

GOVERNING CODES:

2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA ENERGY CODE  
2019 CALIFORNIA GREEN BUILDING CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA MECHANICAL CODE

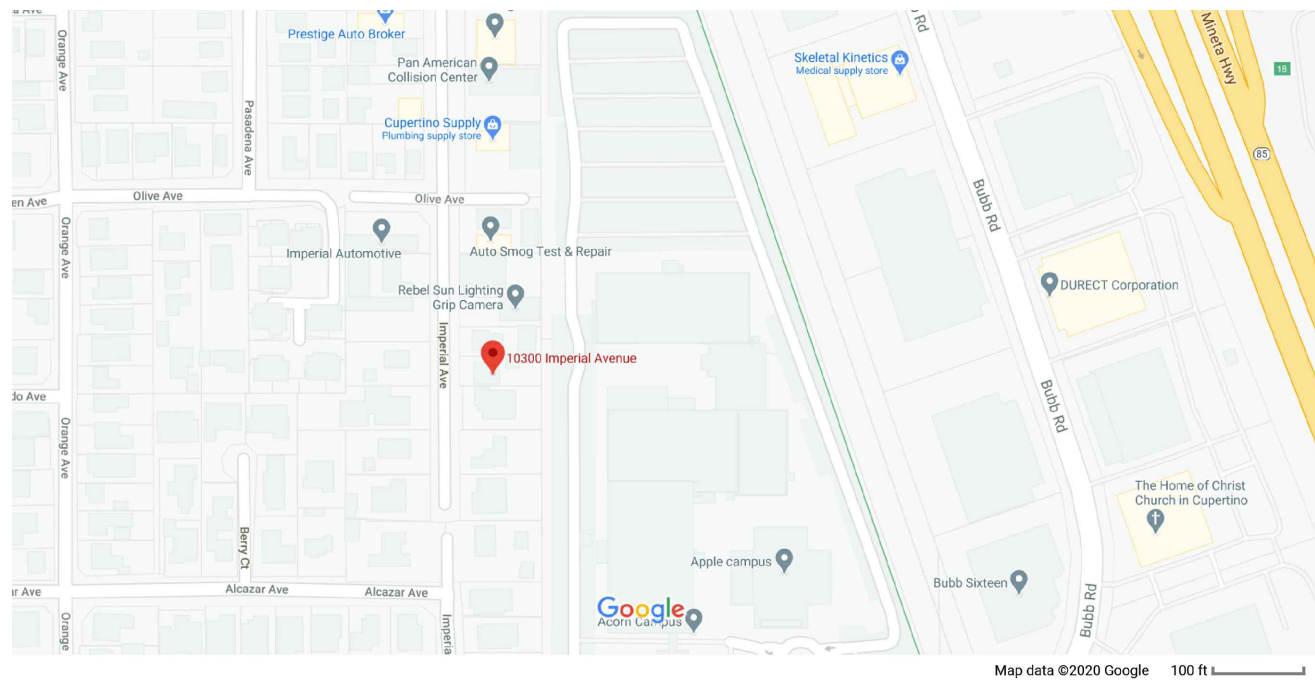
GENERAL NOTES

1. ANY DISCREPANCY DISCOVERED BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE START OF ANY RELATED WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGNER HARMLESS FROM ANY LIABILITY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR DESIGNER.
3. THE CONTRACTOR SHALL REVIEW ALL DETAILS & PLANS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE START OF ANY RELATED WORK.
4. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE DESIGNER.
5. DO NOT SCALE DRAWINGS. DIMENSIONS NOT GIVEN ARE TO BE CALCULATED IN THE FIELD FROM AVAILABLE DATA ELSEWHERE IN THESE SET OF PLANS OR MANUFACTURER'S SPECIFICATIONS.
6. THESE DRAWINGS ARE THE SOLE PROPERTY OF THE DESIGNER. ANY REPRODUCTION, COPYING, ALTERATION OR USE OF THESE DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER IS PROHIBITED.

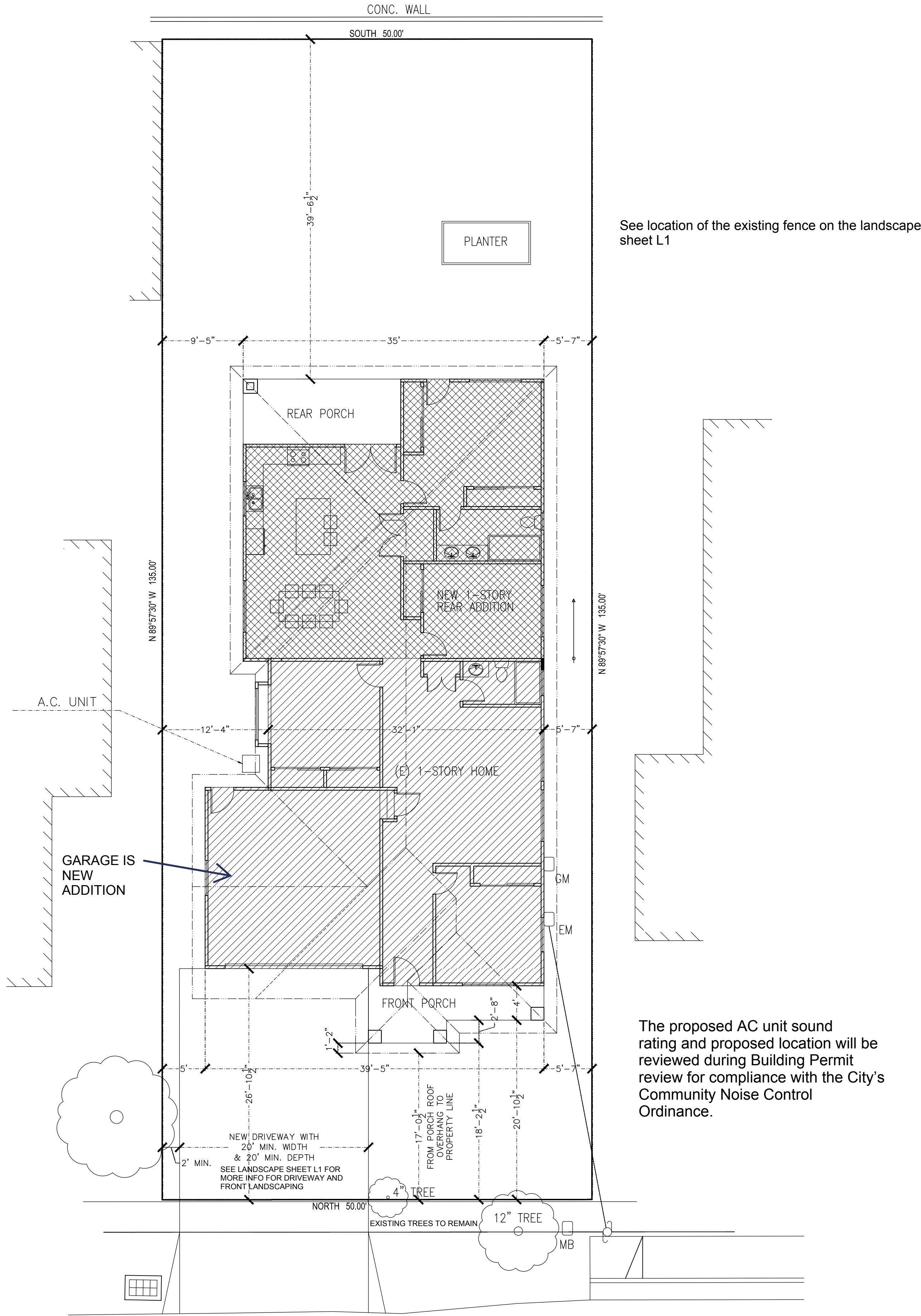
DEMOLITION, BRACING AND SHORING NOTES

1. DEMOLITION WORK CONSISTS OF FURNISHING ALL MATERIAL, SUPPLIES, EQUIPMENT, TOOLS, TRANSPORTATION, AND PERFORMING ALL LABOR AND SERVICES NECESSARY FOR, REQUIRED IN CONNECTION WITH OR PROPERLY INCIDENTAL TO PERFORMING THE DEMOLITION DRILLING, SAWCUTTING, BRACING AND SHORING, FOR STRUCTURAL MEMBERS TO PREVENT THE STRUCTURE FROM BECOMING UNSAFE DURING DEMOLITION AS SHOWN ON THE ACCOMPANY DRAWINGS.
2. THE CONTRACTOR SHALL TAKE THE FOLLOWING PROTECTIVE MEASURES FOR DEMOLITION OF THE STRUCTURE:
  - A. PROVIDE, ERECT AND MAINTAIN LIGHTS, BARRIERS, WEATHER PROTECTION AND OTHER ITEMS AS REQUIRED FOR PROTECTION OF WORKMEN ENGAGE IN DEMOLITION OPERATION AND ADJACENT RESIDENCE OCCUPANTS.
  - B. DO NOT CLOSE OR OBSTRUCT STREETS OR SIDEWALKS WITHOUT PROPER PERMITS
  - C. PROTECT PRIVATE PROPERTY ADJACENT TO OR ON JOBSITE, INCLUDING VENTS, UTILITY LINES, SIDEWALKS, MAIL BOXES.
  - D. PROTECT AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURE DESIGNATED TO REMAIN WHERE DEMOLITION AND REMOVAL WORK IS BEING DONE.
3. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURE AND THE SURROUNDING AREAS TO REMAIN.
4. SPECIAL CARE SHALL BE EXERCISED TO PREVENT DAMAGE TO EXISTING UNDERGROUND UTILITIES WHICH ARE TO REMAIN DURING EXECUTION OF THIS WORK. ANY DAMAGE SHALL BE REPAIRED TO NEW CONDITION BY THE CONTRACTOR AT NO COST TO THE OWNER.
5. REMOVE DEMOLISHED MATERIAL FROM SITE. CLEAN UP ALL WORK RELATED TO DEMOTION. LEAVING THE PROPERTY AND ADJACENT AREAS IN A CLEAN CONDITION.
6. THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION SHALL BE MAINTAINED AT LEVELS GENERALLY ACCEPTABLE WITHIN THE CONSTRUCTION INDUSTRY BY THE USE OF BRACING, SHORING AND UNDERPINNING UNTIL THE PROPOSE STRUCTURE MODIFICATIONS ARE COMPLETED. IN NO CASE SHALL THE EXISTING STRUCTURE BE ALLOWED TO BECOME UNSAFE DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY LOADING CONDITIONS DURING CONSTRUCTION AND SHALL DESIGN AND PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED DURING CONSTRUCTION.

VICINITY MAP



Devaradonda Residence, 10300 Imperial Ave., Cupertino, CA 95014



NEW SITE PLAN

1/8" = 1'-0"

SCOPE OF WORK

1-STORY HOME ADDITION WITH NEW ATTACHED GARAGE.  
EXISTING HOME HAS 1229 SF LIVING SPACE AND 403 SF DETACHED GARAGE.  
NEW HOME WILL HAVE 1907 SF LIVING SPACE AND NEW 442 SF ATTACHED GARAGE.

PROJECT INFORMATION

ASSESSOR'S PARCEL NO.: 357 19 052  
LAND USE: RESIDENTIAL (0-4.4 DU/ACRE)  
ZONING: R1-7-1.5  
ONE-STORY WOOD-FRAMED HOUSE WITH STUCCO FINISH  
AND COMP. SHINGLE ROOF  
OCCUPANCY GROUP: R3 & U  
TYPE OF CONSTRUCTION: VB  
BUILDING CODES: 2019 CBC & 2019 CRC  
BUILDING HEIGHT EXISTING: 15'-1" FROM NATURAL GRADE TO TOP OF ROOF  
BUILDING HEIGHT PROPOSED: 15'-4" FROM NATURAL GRADE TO TOP OF ROOF  
FIRE SPRINKLER: YES  
EXISTING SETBACKS:  
FRONT: 24'-10.5"  
REAR: 71'-10"  
RIGHT SIDE: 5'-7"  
LEFT SIDE: 12'-4"  
PROPOSED SETBACKS:  
FRONT: 24'-10.5" (17'-0.5" FOR PORCH)  
REAR: 39'-6.5"  
RIGHT SIDE: 5'-7"  
LEFT SIDE: 5'-0"

FLOOR AREA BREAKDOWN

LOT SIZE = 6750 SF.

EXISTING ONE-STORY HOME	
1ST FLOOR LIVING SPACE	1229 SF.
DETACHED GARAGE ( TO BE REMOVED)	403 SF.

NEW ONE-STORY HOME	
1ST FLOOR LIVING SPACE	1907.8 SF.
GARAGE	442.4 SF.
TOTAL HOUSE AREA: 1907.8 + 442.4 =	2350.2 SF.
FLOOR RATIO AREA: 2350.2 / 6750 =	0.348 OR 34.8 %
LOT COVERAGE: 2999.2 / 6750 = 0.444 OR 44.4 % (SEE A2 FOR LOT COVERAGE ANALYSIS)	

PROJECT CONTACTS

OWNER

RAGHU DEVARADONDA  
CELL : (408) 218 - 4277  
EMAIL: RDEVARAKONDA@HOTMAIL.COM

APPLICANT & DESIGNER

KET LE  
793 KYLE STREET, SAN JOSE, CA 95127  
CELL : (408) 209 - 8775  
EMAIL: KETLE1@YAHOO.COM

SHEET INDEX

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- A8 - SECTIONS
- L1 - LANDSCAPE PLAN

REVISIONS	BY



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Residential Addition  
RAGHU DEVARADONDA  
10300 Imperial Ave.  
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NEW SITE PLAN

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SHEETS



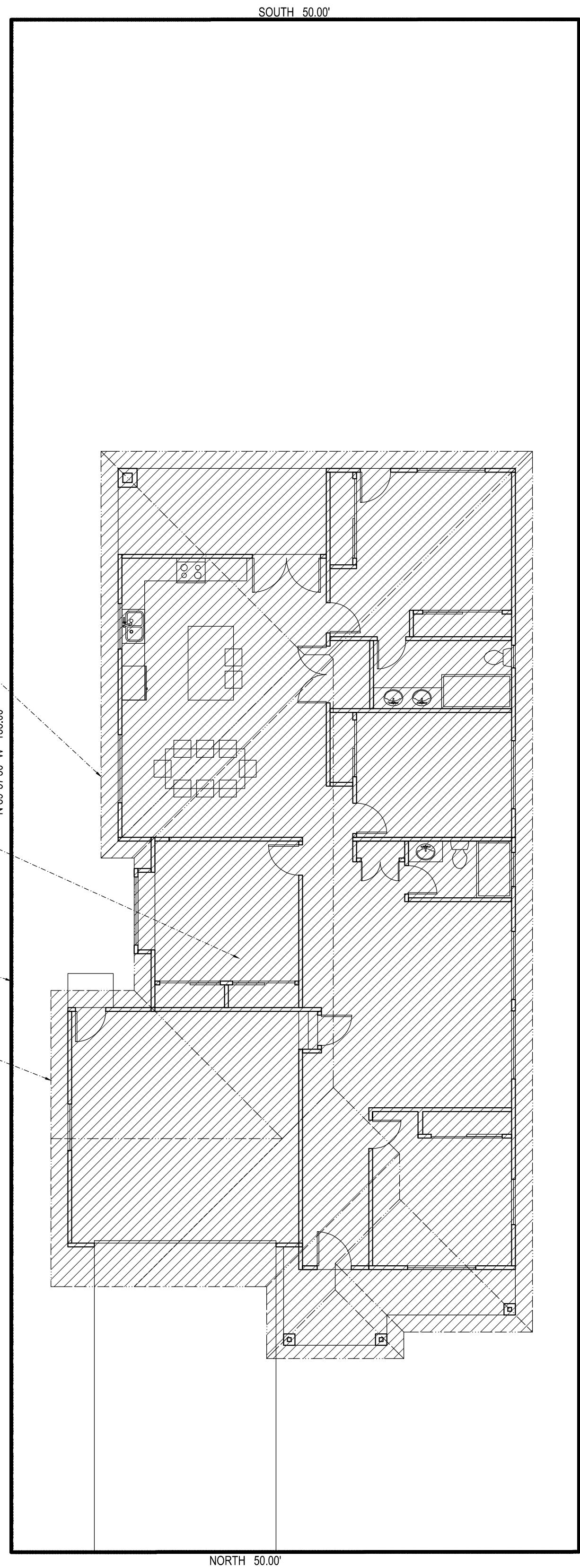
OUTLINE OF ROOF  
TO BE USED FOR  
LOT COVERAGE ANALYSIS

NEW HOME

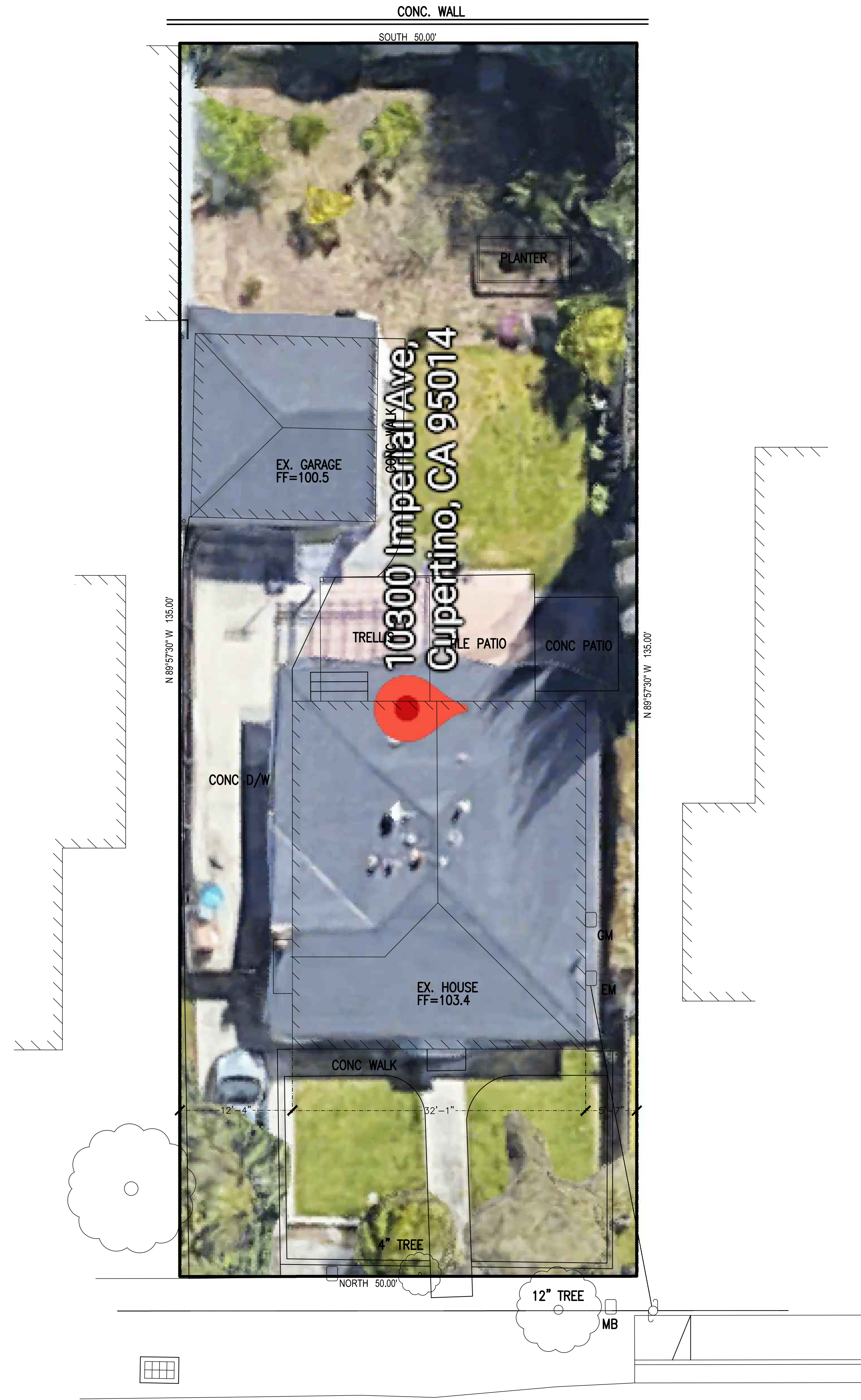
LOT SIZE  
= 50 X 135 = 6750 SF

AREA OF ENTIRE ROOF  
= 2999.2 SF

LOT COVERAGE  
= 2999.2/6750=0.444 OR 44.4%




**LOT COVERAGE PLAN**  
1/8" = 1'-0"




**EXISTING SITE PLAN**  
1/8" = 1'-0"



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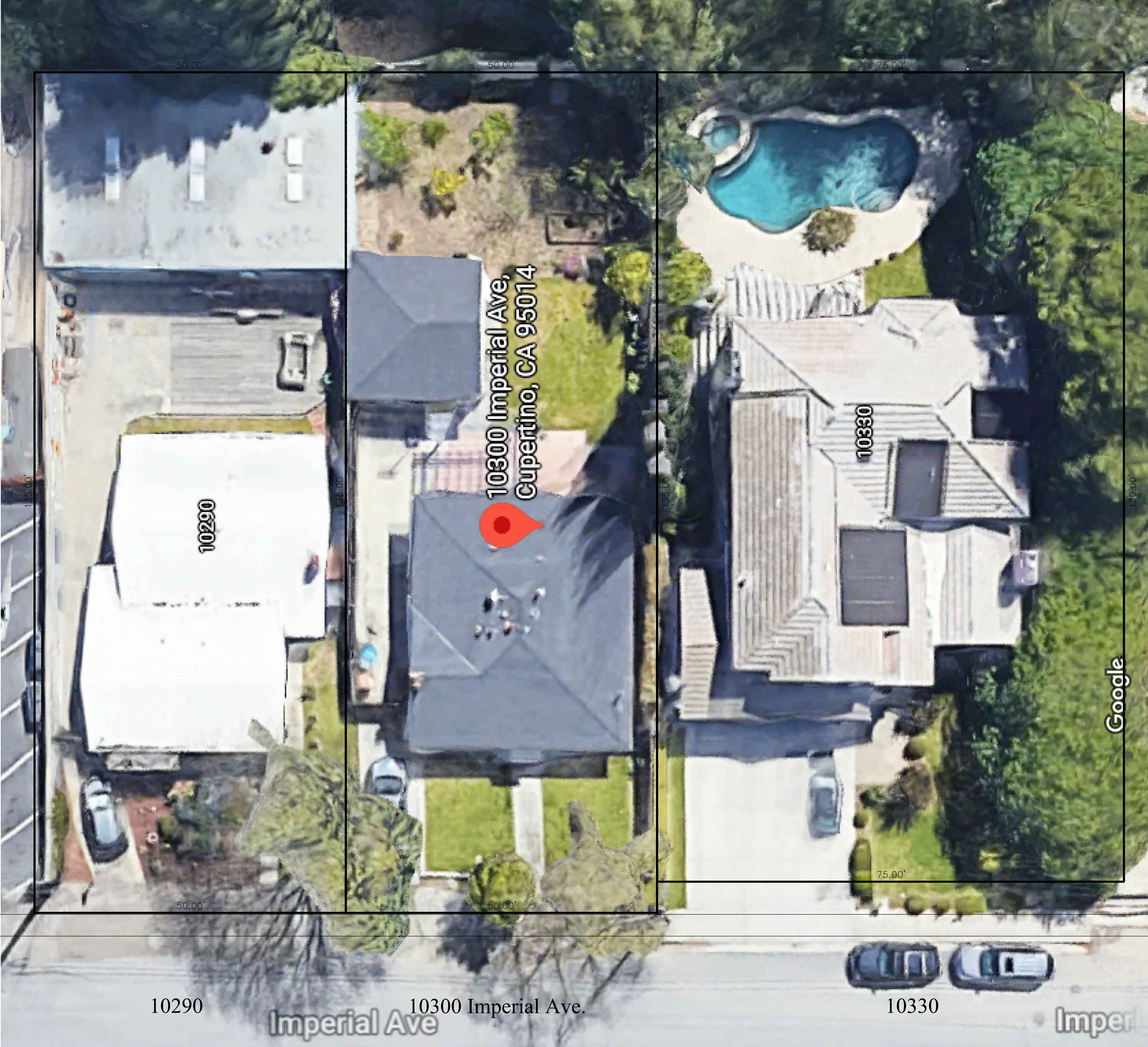
REGISTERED PROFESSIONAL ENGINEER  
No. C57404  
Exp. 12/31/21  
CIVIL  
STATE OF CALIFORNIA

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(E) SITE PLAN & LOT COVERAGE

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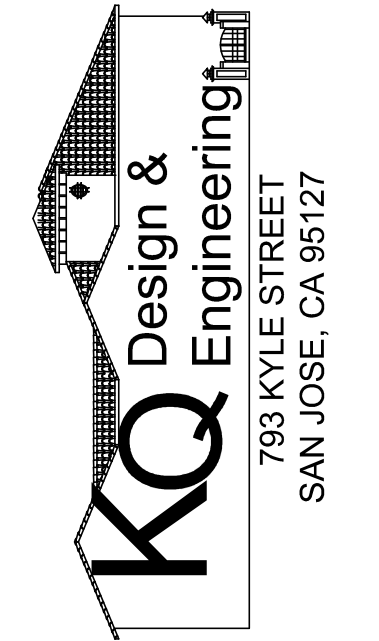




**EXISTING NEIGHBORHOOD SITE PLAN**

1/8" = 1'-0"

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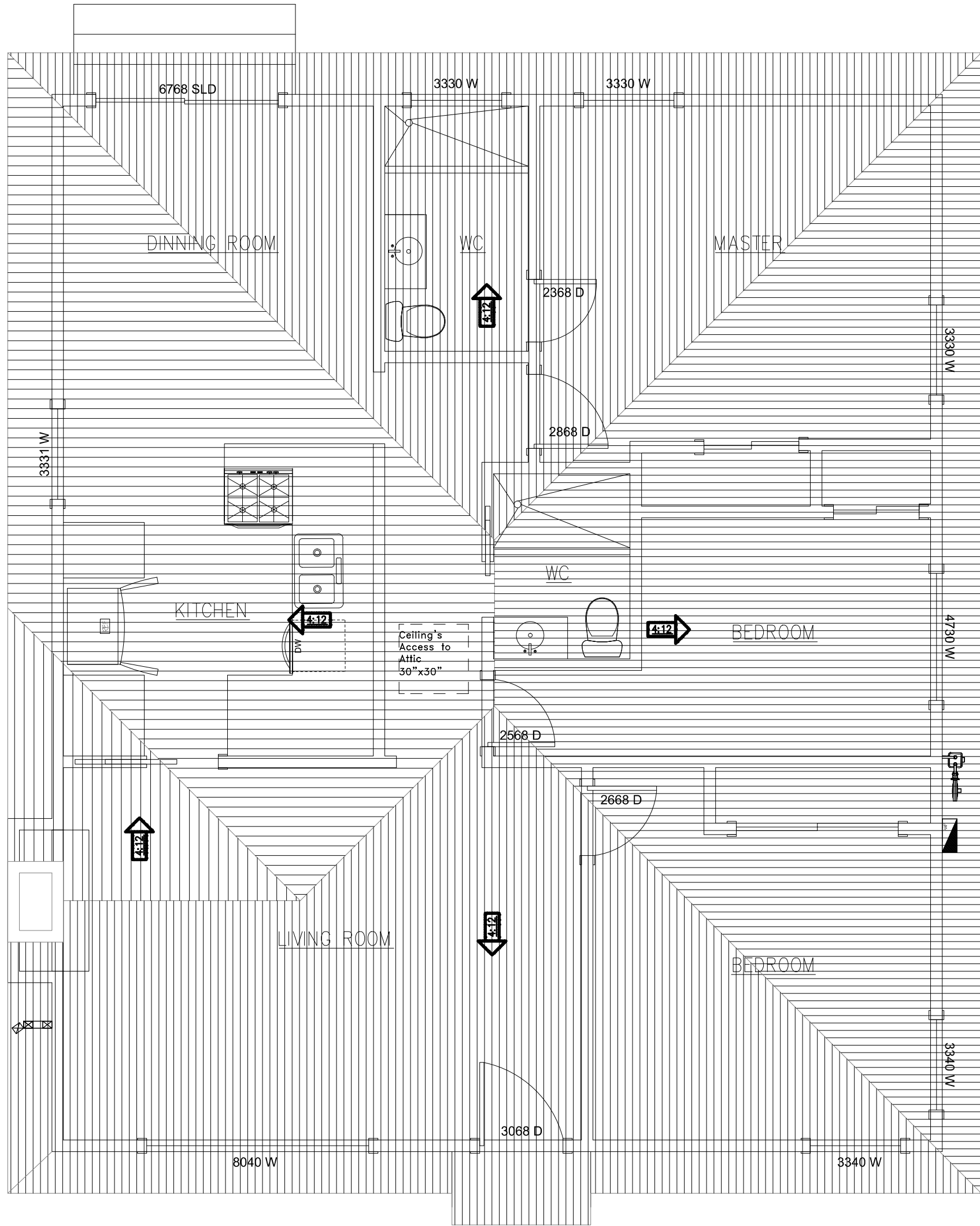
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EXISTING NEIGHBORHOOD SITE PLAN

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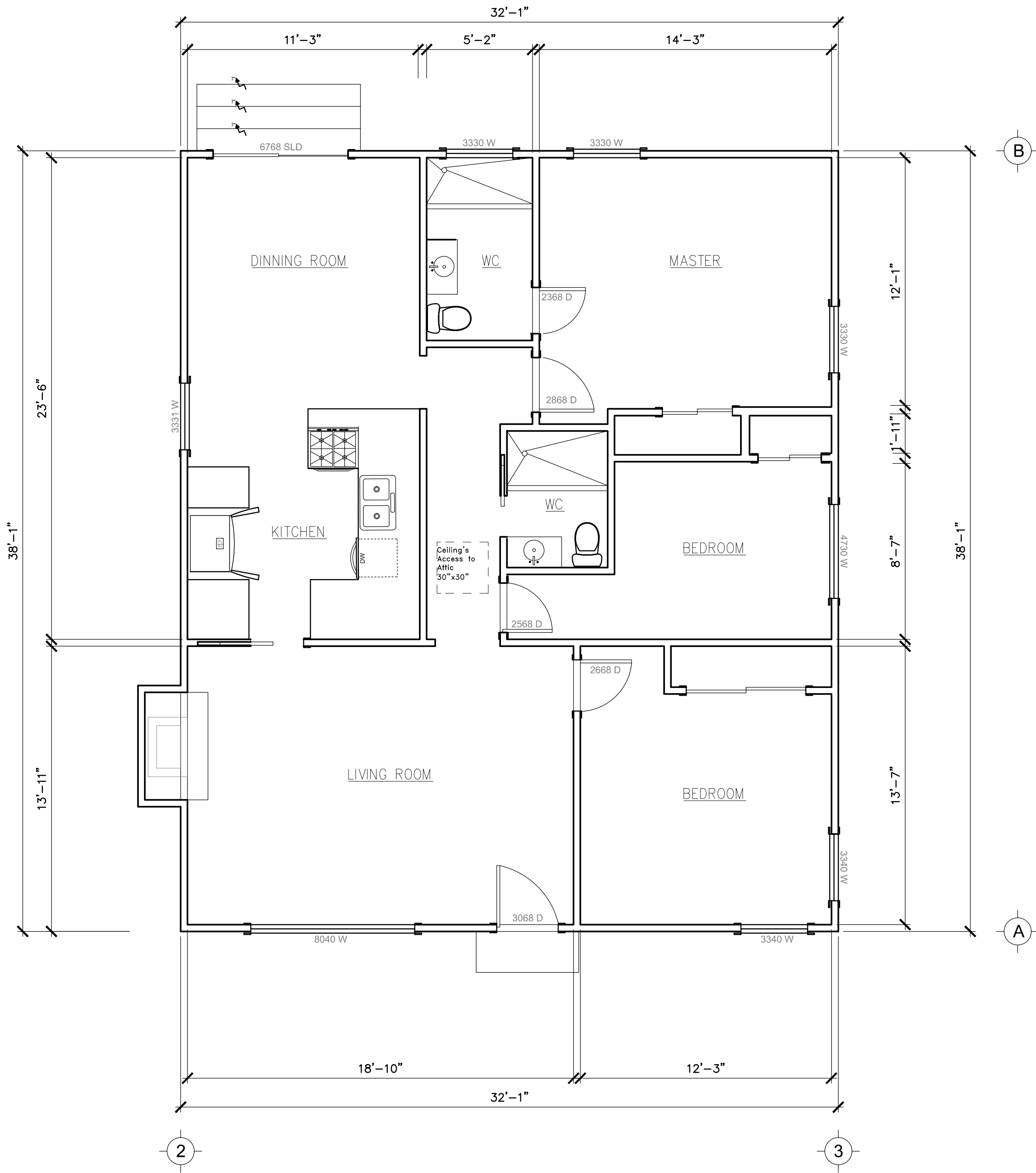
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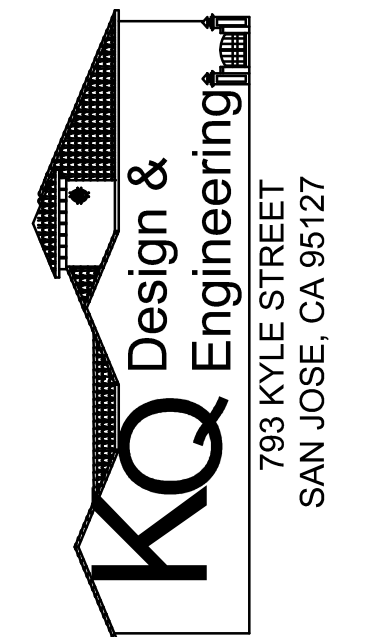


**EXISTING ROOF PLAN**  
1/4" = 1'-0"




**EXISTING FLOOR PLAN**  
1/4" = 1'-0"

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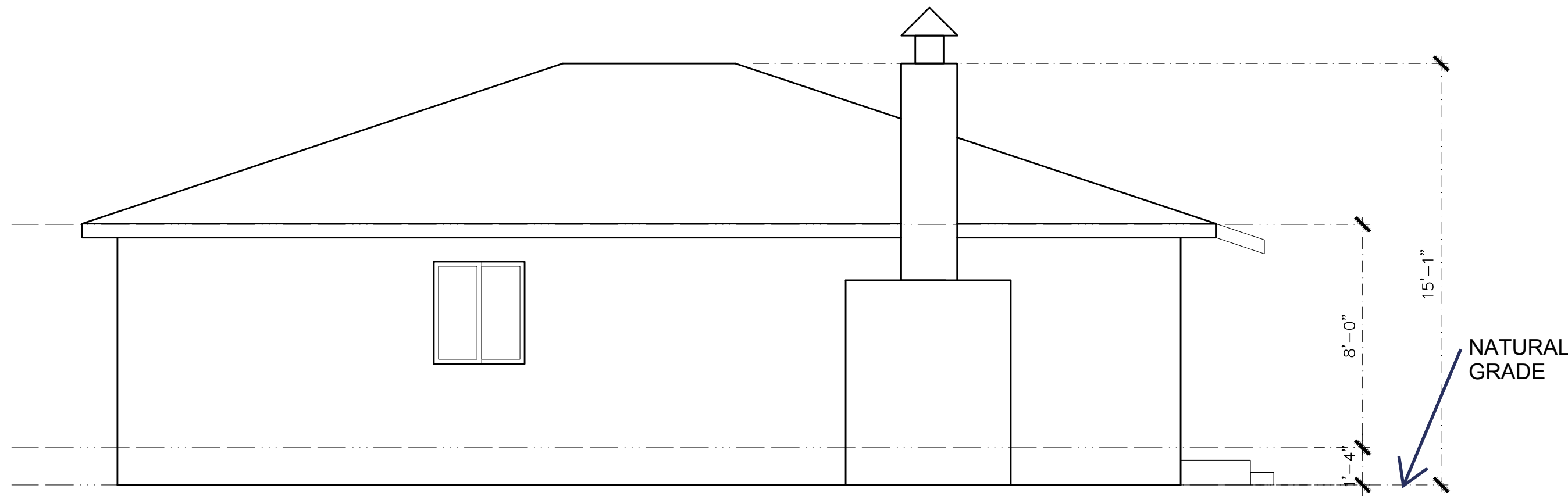


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EXISTING FLOOR/ROOF PLAN

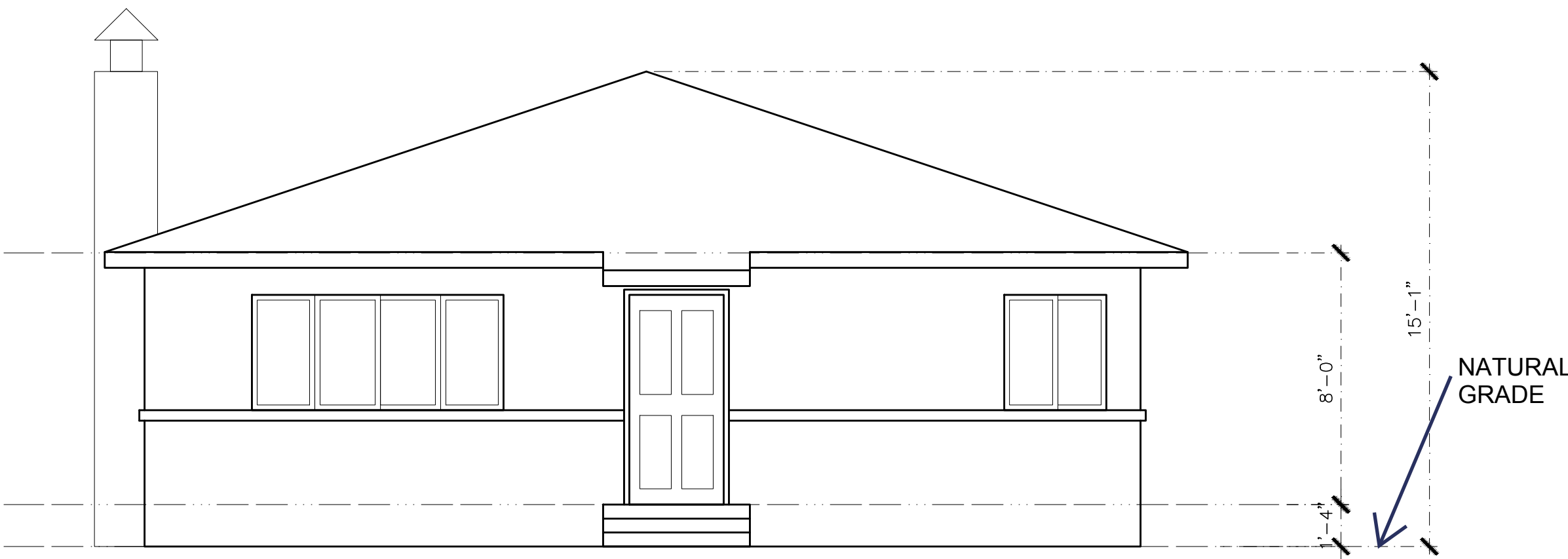
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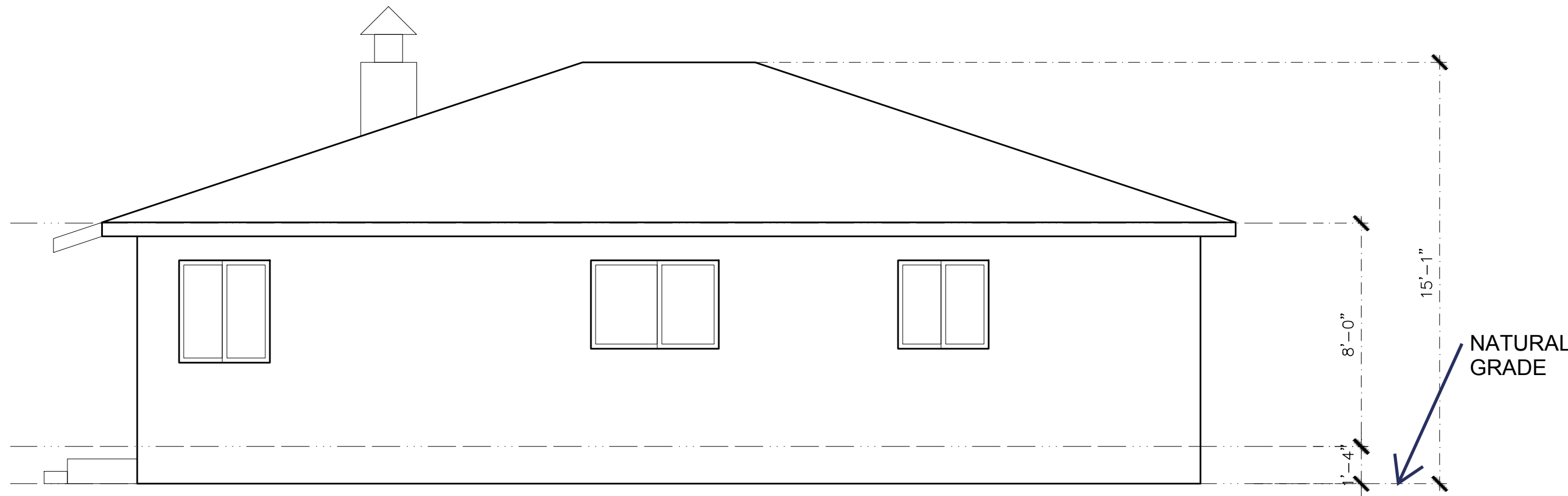
**EXISTING LEFT SIDE ELEVATION (NORTH)**

1/4" = 1'-0"



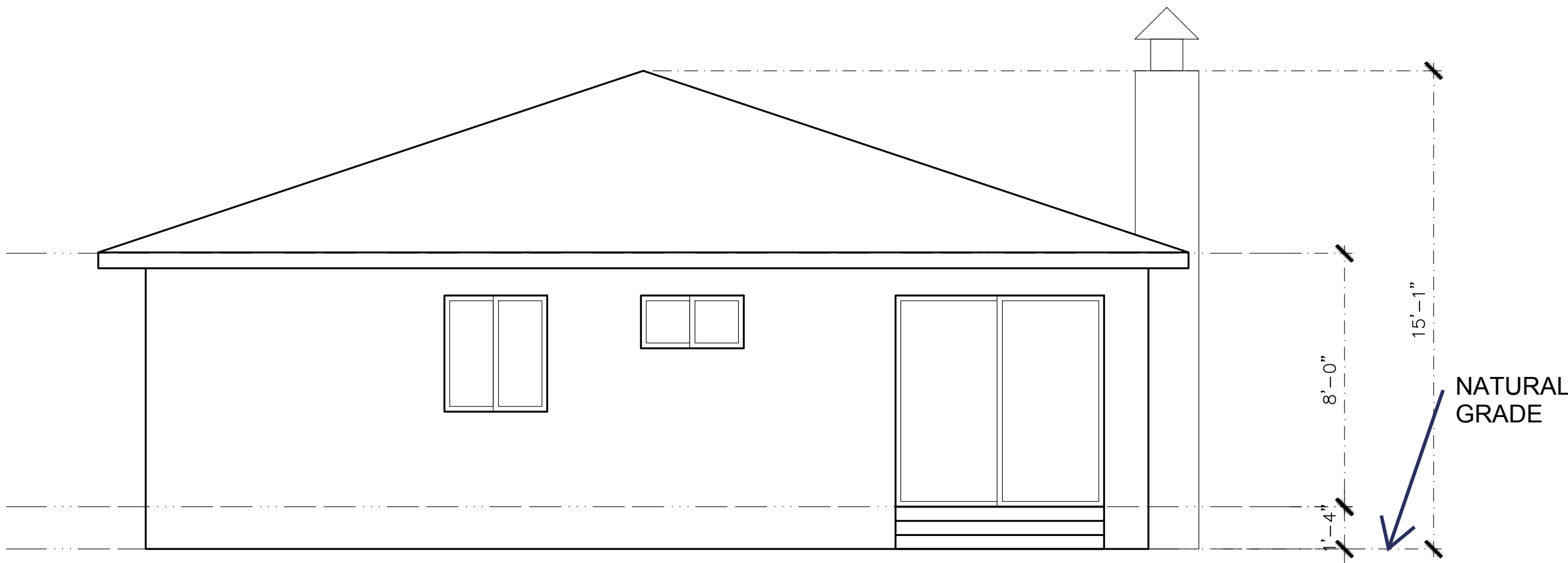
**EXISTING FRONT ELEVATION (WEST)**

1/4" = 1'-0"



**EXISTING RIGHT SIDE ELEVATION (SOUTH)**

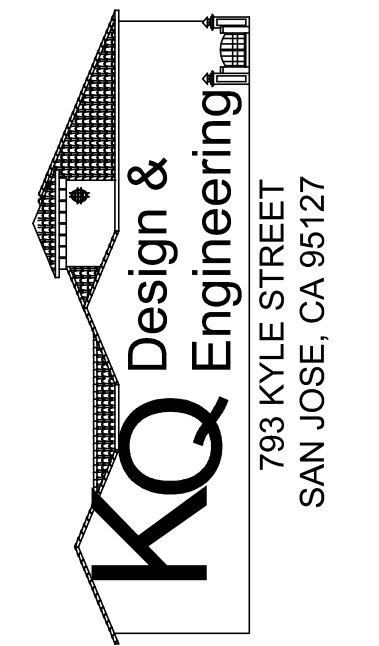
1/4" = 1'-0"



**EXISTING REAR ELEVATION (EAST)**

1/4" = 1'-0"

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EXISTING ELEVATIONS

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$$1/8'' = 1'-0''$$

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EXISTING STREET VIEW



NEW STREET VIEW

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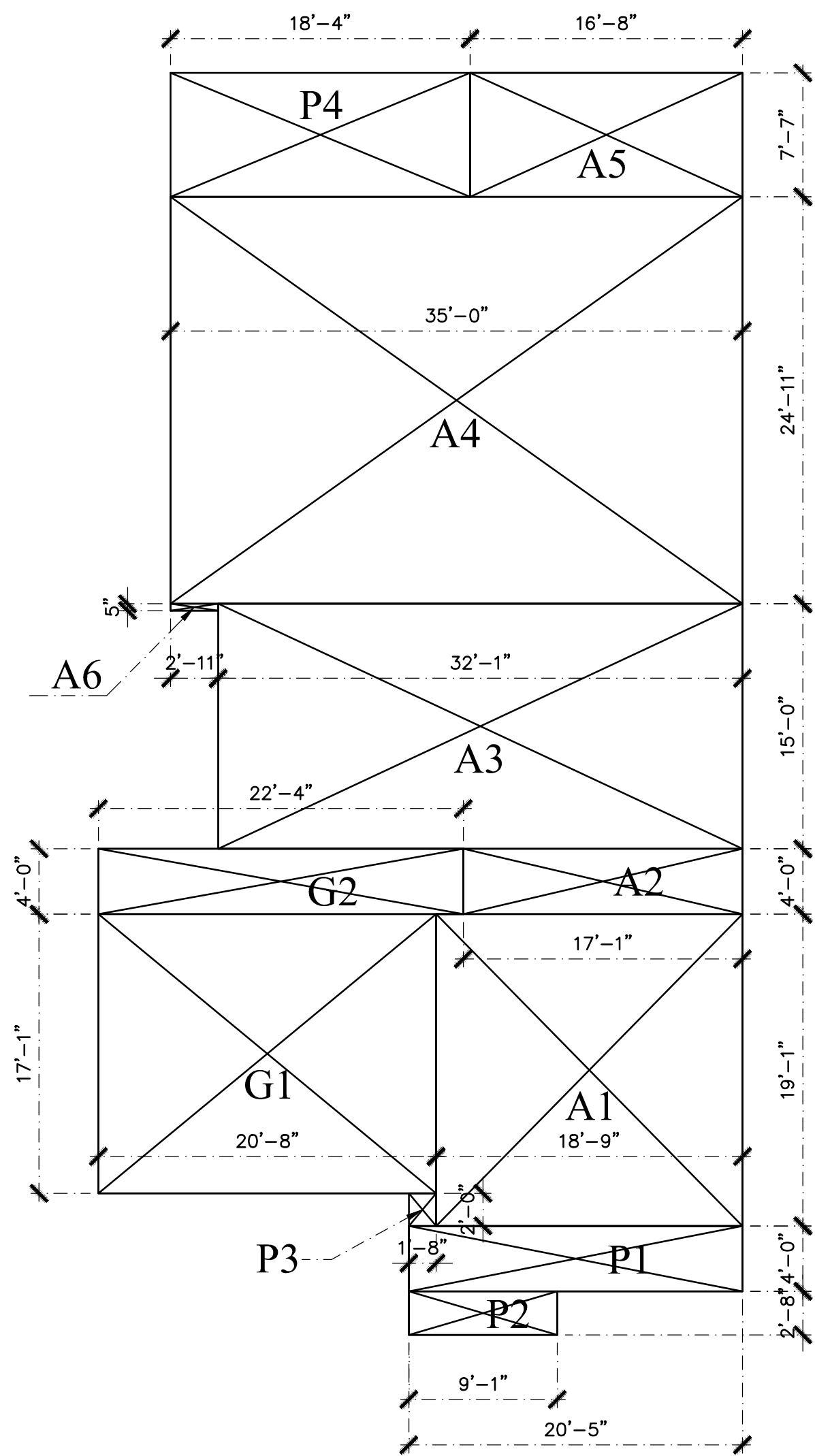


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STREETSCAPE ELEVATION

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1ST FLOOR LIVING AREA CALCULATIONS:

A1= (18'-09"x 19'-01") = 357.81 SF.  
A2= (17'-01"x 04'-00") = 68.33 SF.  
A3= (32'-01"x 15'-00") = 481.25 SF.  
A4= (35'-00"x 24'-11") = 872.08 SF.  
A5= (16'-08"x 07'-07") = 126.39 SF.  
A6= (02'-11"x 00'-05") = 1.22 SF.  
TOTAL = 1907.08 SF.

GARAGE AREA CALCULATIONS:

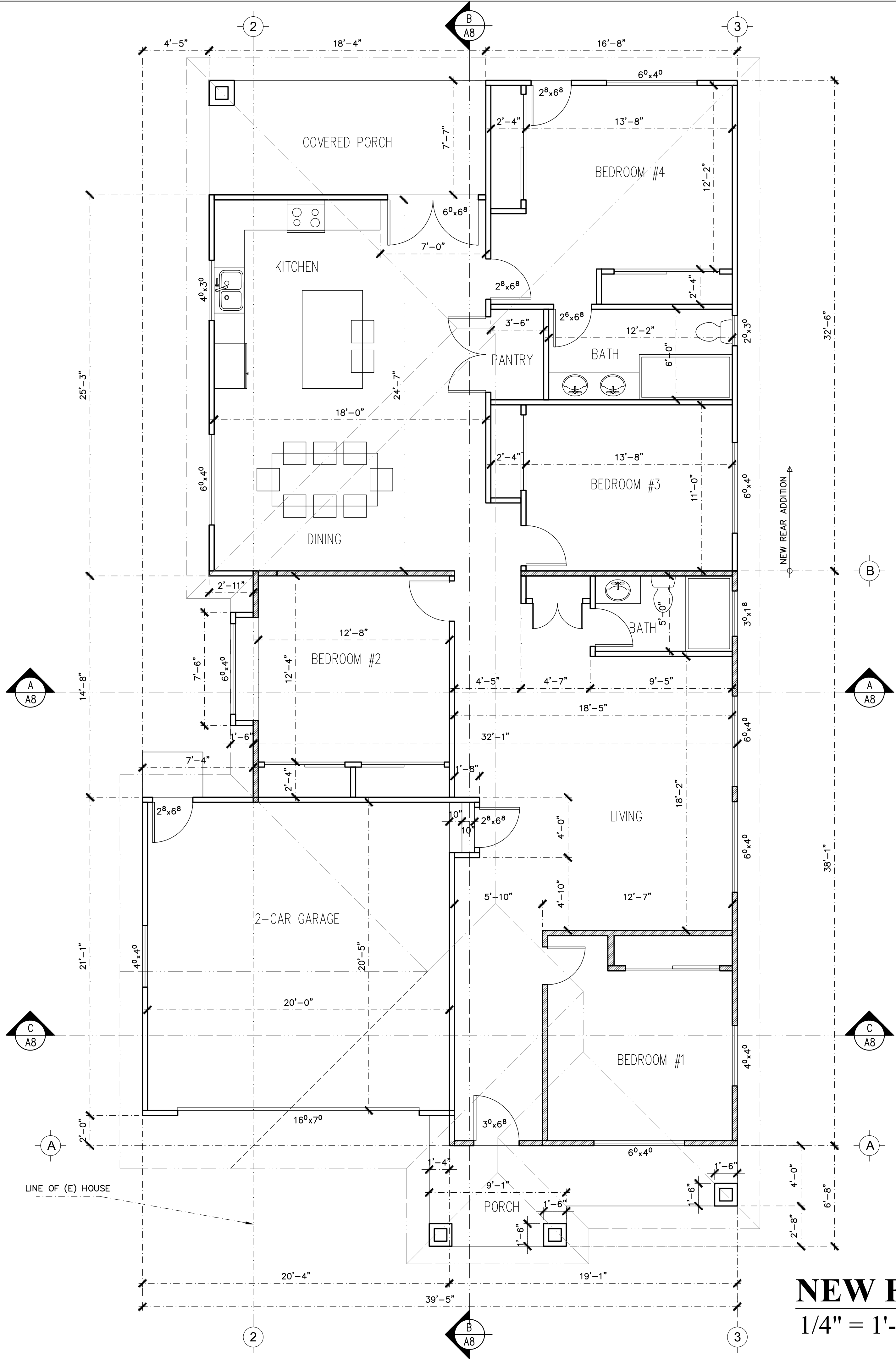
G1= (20'-08"x 17'-01") = 353.06 SF.  
G2= (22'-04"x 04'-00") = 89.33 SF.  
TOTAL = 442.39 SF.

FRONT PORCH AREA CALCULATIONS:

P1= (20'-05"x 04'-00") = 81.67 SF.  
P2= (09'-01"x 02'-08") = 24.22 SF.  
P3= (01'-08"x 02'-00") = 3.33 SF.  
TOTAL = 109.22 SF.

REAR PORCH AREA CALCULATIONS:

P4= (18'-04"x 07'-07") = 139.02 SF.



NEW FLOOR PLAN  
1/4" = 1'-0"

FLOOR PLAN KEYNOTES
1. Bedroom window shall be an egress window to have a minimum net clear opening of 5.7 square feet; and 5.0 sf for grade floor openings minimum net clear opening height of 24 inches; and minimum net clear opening width of 20 inches, sill height not more than 44 inches above the floor. See detail 18/A9
2. All window shall be sliding windows unless noted otherwise on plan. Style of window shall be selected by owner.
3. Tempered safety glass required at these glazing locations per CBC 2406.3: ingress and egress doors, panels in sliding or swinging doors, doors and enclosure for hot tub, bathtub, showers, glazing in walls within 5'-0" of standing surface, glazing that is within 2'-0" of vertical edge of door and within 5'-0" of standing surface.
4. Stair treads to be 10 inches minimum. Treads less than 11 inches require nosing. Nosing to be minimum 0.75 inches and maximum 1.25 inches. Stair risers to be 7.75 inches maximum. All stairs to be uniform in dimensions within 3/8 inch. Per section.
5. 18 inch x 24 inch under-floor crawl space access opening, per CRC section 408.4 if under floor plumbing cleanout is installed. It must be located within 20'-0" of the access opening
6. A readily accessible attic access, minimum 22 inch by 30 inch, located where at least 30 inches of clear headroom occurs and at attic space exceeding 30 sq. ft. per CRC 807.1
7. Width of landing at exterior door shall not be less than door opening width per R311.3
8. Minimum 36 inch deep landing required at all exterior doors (landing shall not be more than 7.75 inches lower than threshold for in-swinging doors. R311.3.1. See detail 2/A9
9. For the exterior entry door, maximum threshold shall be 1.5 inches from the finished floor to the landing, per section R311.3.1.
10. All skylights shall be Velux skylights (ICC Evaluation Report # NER-216) or equal. Provide ICC report to inspector prior to installation.
11. Heat-n-glo directed vent gas fireplace heater to be selected by owner. Gas fireplace shall UL listed or ICC approved. Provide manuf. specs to city inspector.
13. Shower and tub/shower walls shall have a smooth, hard, non-absorbent surface over cement, fiber-cement or glass mat gypsum backer in compliance with ASTM C 1178, C 1288 or C1325 installed per manufacturer recommendations to a height not less than 6 feet above the floor per R307.2
14. Water heater shall be seismically strapped to a wall, provide with 18" high platform, combustion air to outside, pressure relief valve to outside with drain. See detail 16/A9.
15. F.A.U.: furnace in attic, see detail 2/A10. Combustion air from outside, vent to outside and provide setback thermostat.
16. Dishwasher with drain to garbage disposal.
17. Sink with garbage disposal.
18. Cook top to be selected by owner. Vent to outside with backdraft damper.
19. Washer space, provide cold & hot water supply, waste line and if on second floor, a pan with drain to exterior.
20. Dryer space, provide vent to outside with smooth metal duct with backdraft damper.
21. Provide 1/2 inch gyboard type 'X' on the garage side wall next to all living areas. Provide 5/8 type 'X' gyboard at ceiling if gyboard does not extend to roofing through the attic space. Table R302.6
22. Toilet shall have 15 inches minimum from centerline of fixture to the adjacent wall or obstruction on each side. Minimum 30 inches is required for any similar fixtures such as a bidet. Per section 407.5 of 2016 CPC.
23. Door from garage to kitchen area shall be a 1-3/8" thick solid wood door, solid or honeycomb core steel door, or 20 minute rated fire door. Doors shall be a self-latching and self-closing door per R302.5.1.
24. Elements appliances which generate a glow, spark, or flame (such as water heater and furnace) shall be located a minimum of 18 inches above garage floor per CMC 307.1 and CPC 508.14.
25. Ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 26 gage sheet metal steel or other approved material and shall have no openings into the garage per R302.5.2.
26. The maximum hot water temperature discharging from the bathtub, shower and whirlpool bathtub filler shall be limited to 120 degrees Fahrenheit. The water heater thermostat shall not be considered a control for meeting this provision. CPC 414.5 and 418.0.
27. Control valves and showerheads shall be located on the sidewall of shower compartments or be otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment and the bather can adjust the valves prior to stepping into the shower spray per section 408.9 of 2013 CPC
28. Shower shall have a minimum area of 1024 sq. inches and a minimum finish dimension of 30 inches in any directions. an outward swinging 22 inch minimum clear door shall be provided.
GENERAL NOTES FOR CONTRACTOR.

REVISIONS	BY

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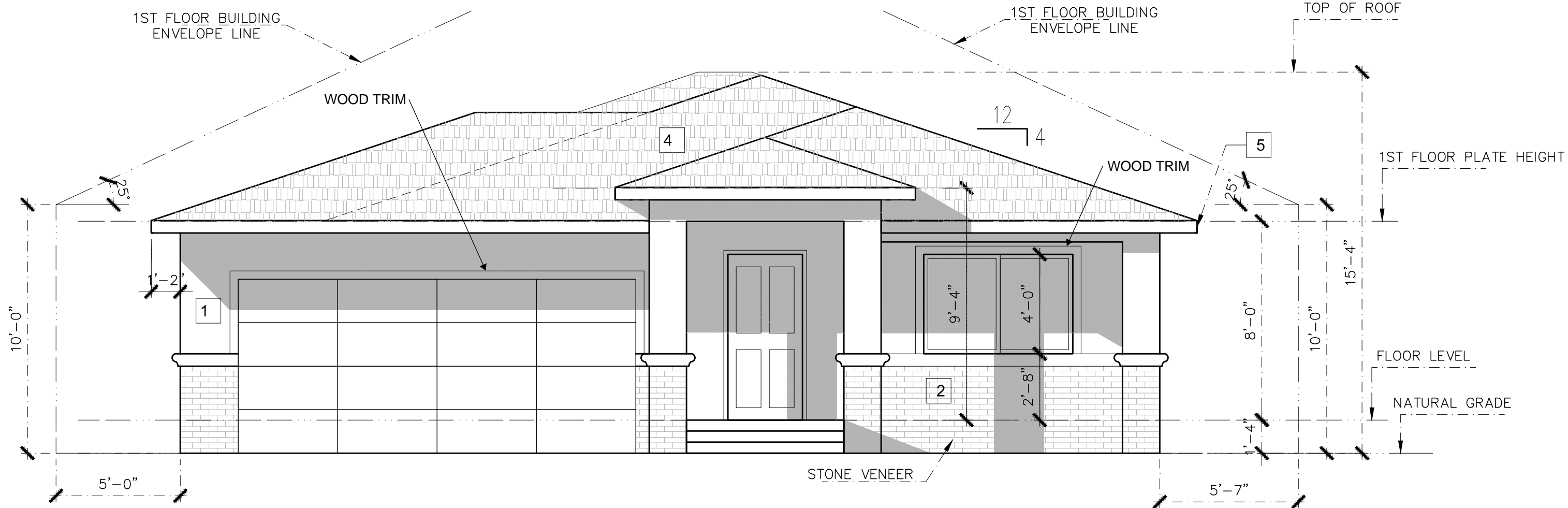
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NEW FLOOR PLAN

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**REAR ELEVATION (EAST)**  
1/4" = 1'-0"



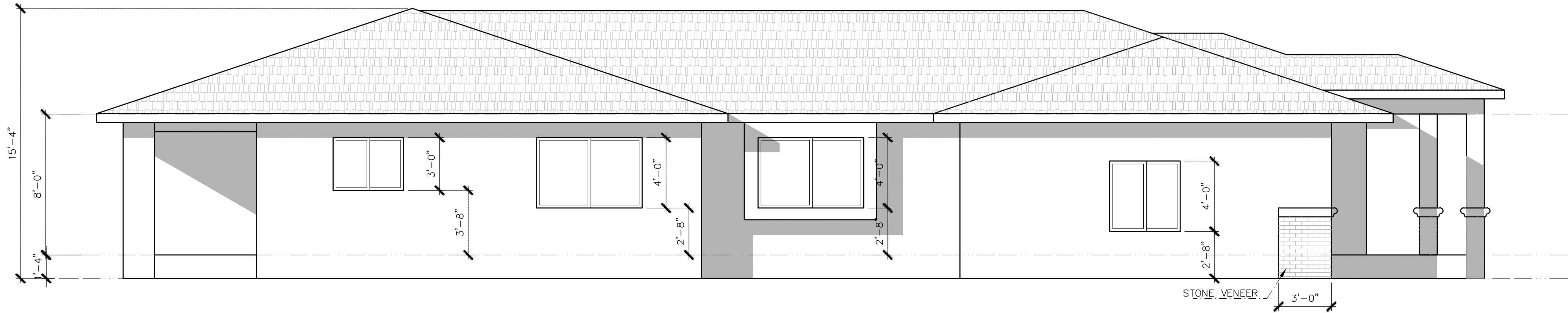
**FRONT ELEVATION (WEST)**  
1/4" = 1'-0"

- Key note on elevation:
- 1 4 inch minimum high and 1/2" thick address number to be clearly visible and legible from the adjacent street fronting the property. Address signage shall be per the City of Cupertino Fire Dept. standards.
  - 2 Exterior wall finish: "stucco wall finish (to be selected by owner) over two layers of Grade D paper wood sheathing.
  - 3 Corrosion resistant weep screed is required below the stucco a minimum of 4" above earth or 2" above paved area.
  - 4 Roof material: comp. shingle roof (to be selected by owner) over 30# felt paper roof plywood per structural plans. Roofing to be class "A" minimum per Cupertino Municipal Code section 16.06.080 Max. weight of roof=4.0 PSF
  - 5 Provide gutters and downspouts to direct roof drainage to storm water drain at street or approved drainage facility.

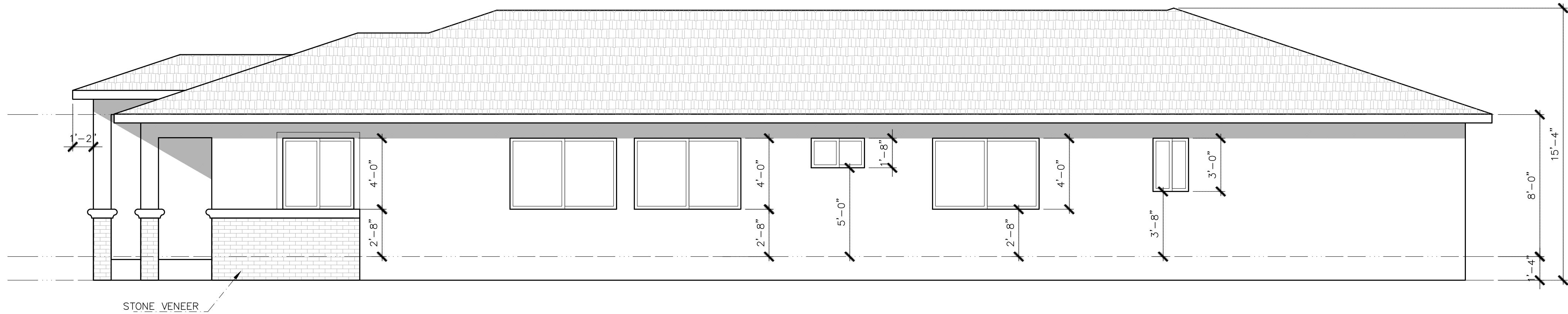


ROOFING: CERTAINTED LANDMARK COMP. SHINGLES, BURNT SIENNA COLOR  
SMOOTH STUCCO WALL FINISH WITH BEHR PAINT COLOR BUCKWHEAT FLOUR

Stone Veneer:  
Estate Veneer Series by Indiana Limestone  
Rockford Estate Blend, see below:

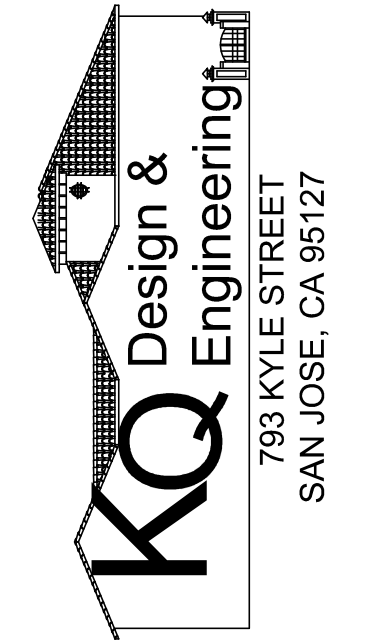


**LEFT SIDE ELEVATION (NORTH)**  
1/4" = 1'-0"



**RIGHT SIDE ELEVATION (SOUTH)**  
1/4" = 1'-0"

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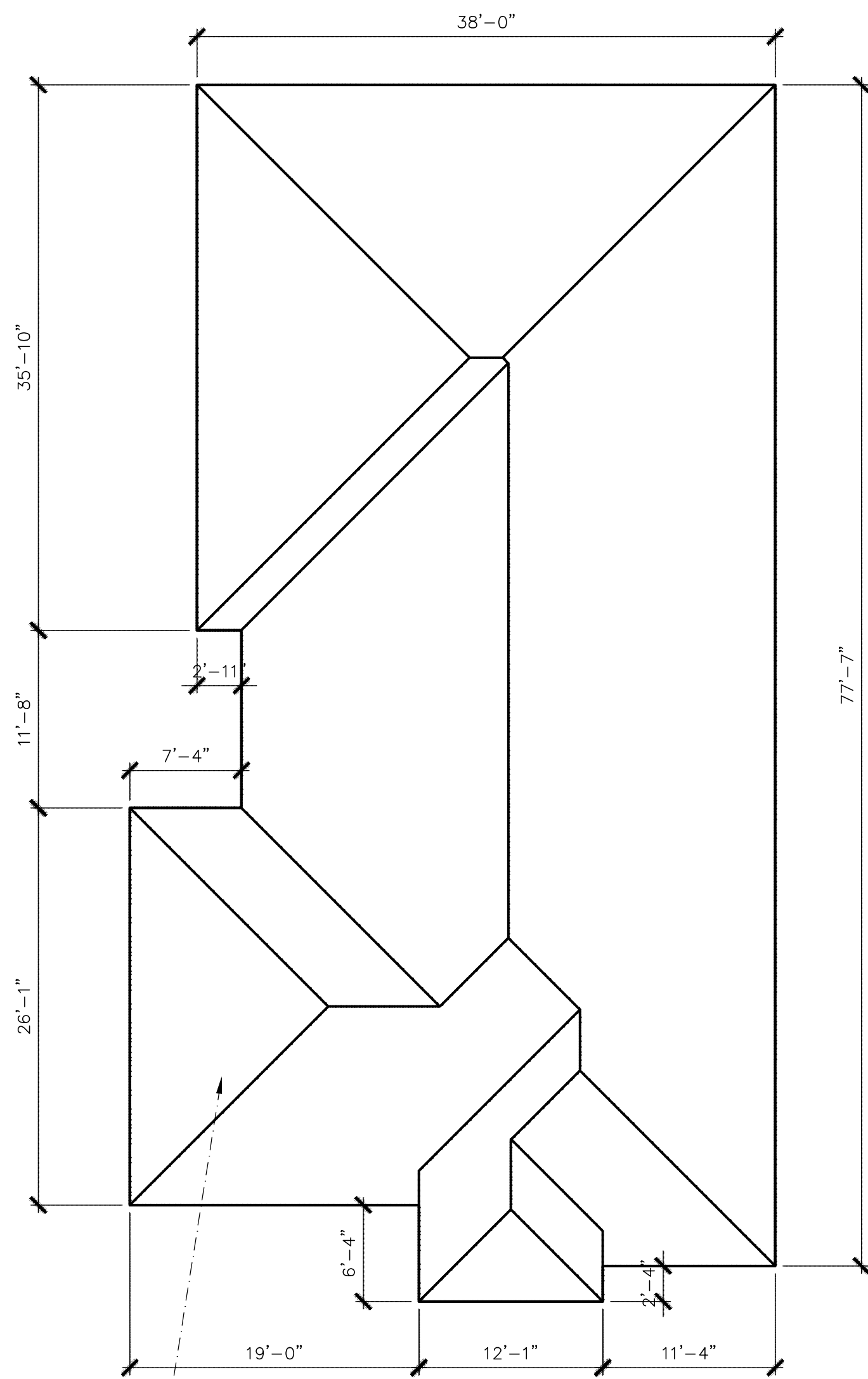


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NEW ELEVATIONS

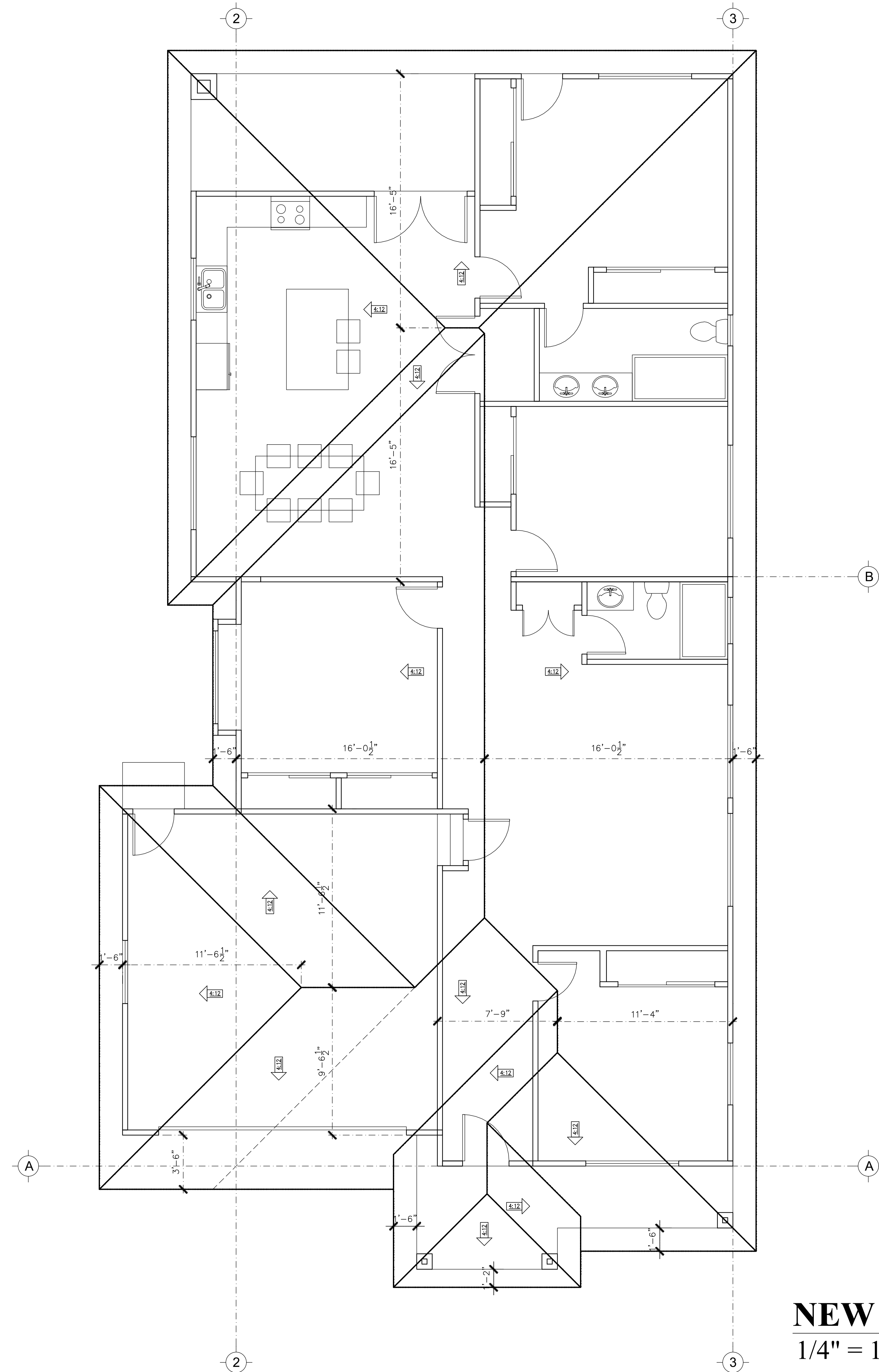
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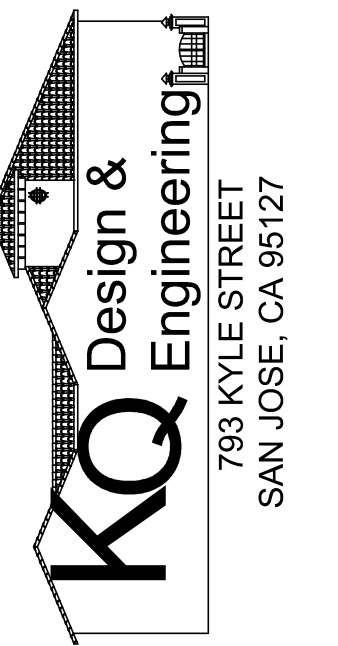
OUTLINE OF ROOF (2999.2 SF)  
TO BE USED FOR  
LOT COVERAGE ANALYSIS

NOTE: 2999.2 SF INCLUDES  
ROOF OVERHANG, FRONT PORCH  
ROOF AND REAR PORCH ROOF



## NEW ROOF PLAN

1/4" = 1'-0"



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NEW ROOF PLAN & LOT COVERAGE

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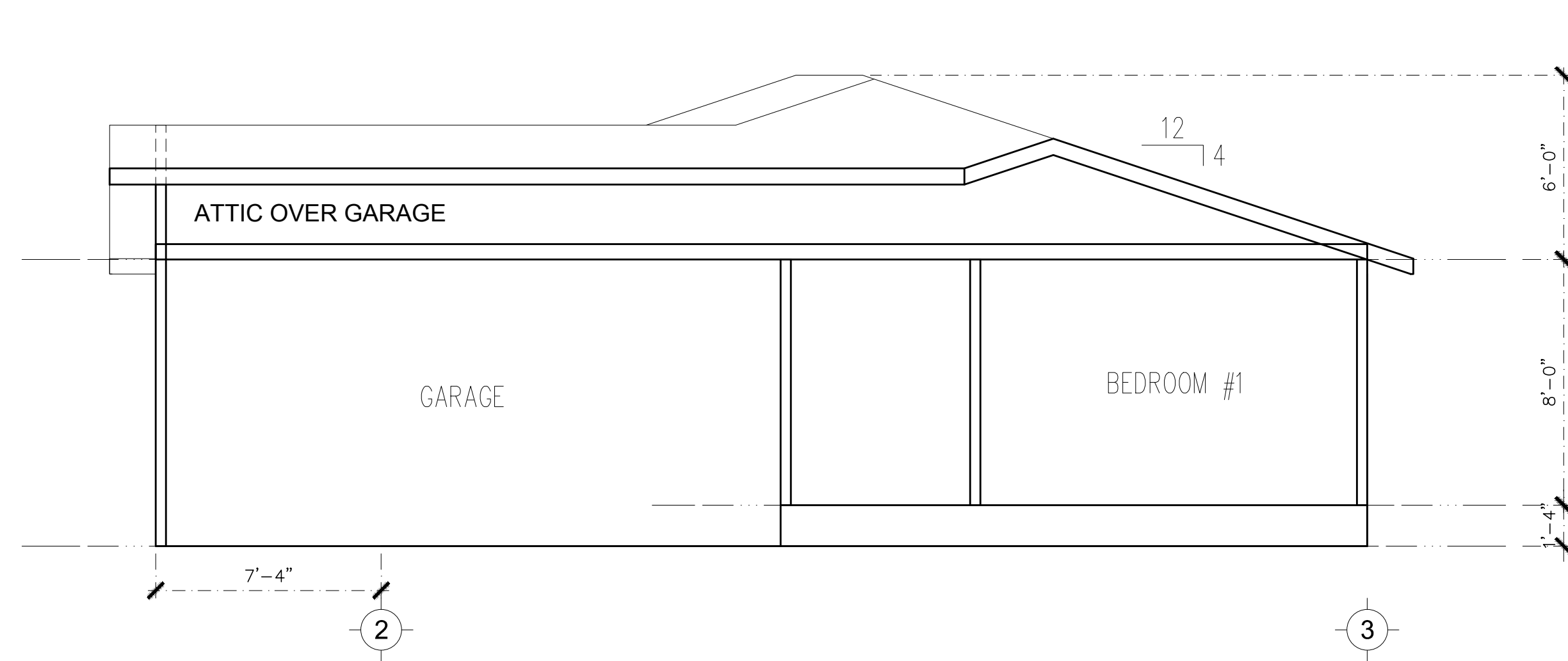
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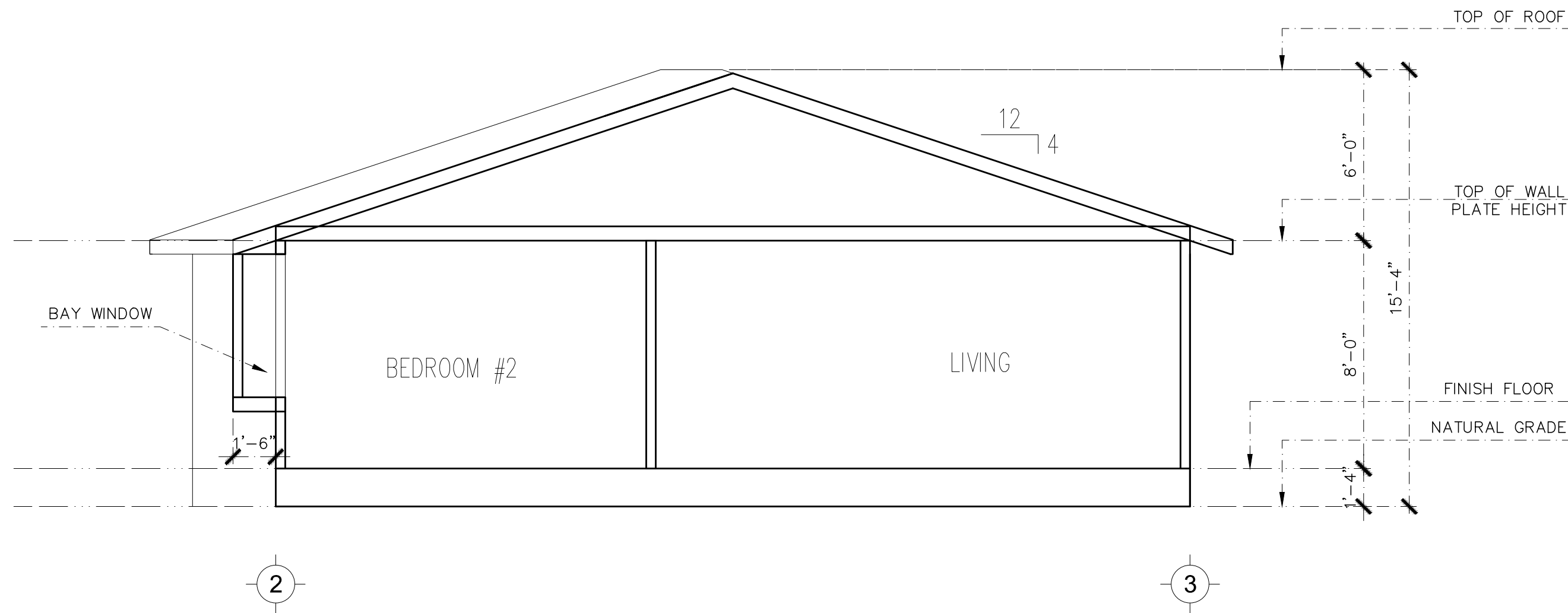
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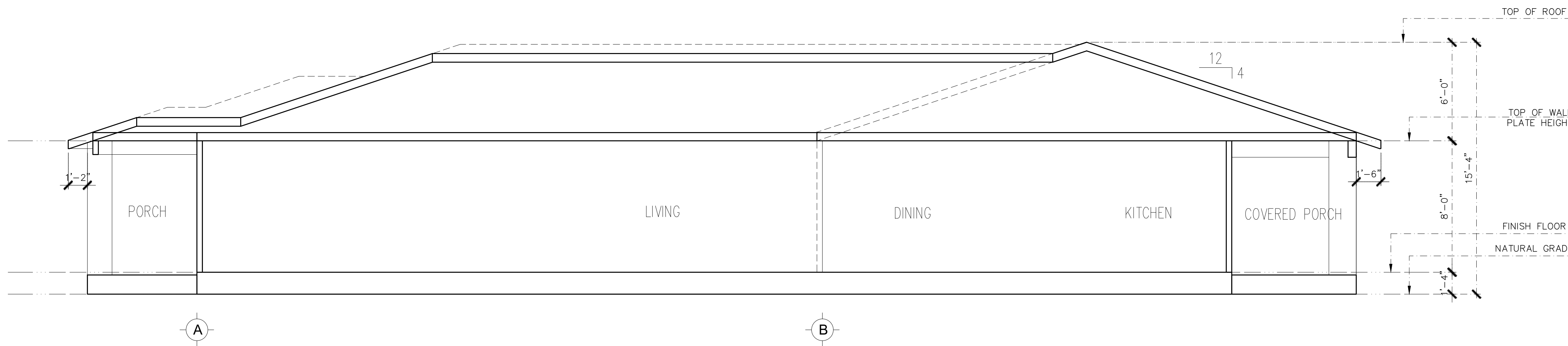




**SECTION C-C**  
1/4" = 1'-0"




**SECTION A-A**  
1/4" = 1'-0"




**SECTION B-B**  
1/4" = 1'-0"

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SAN JOSE, CA 95127



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San Jose, CA, 95127  
Tel: 408-209-8775  
Email: kette1@yahoo.com

Residential Addition  
RAGHU DEVARADONDA  
10300 Imperial Ave.  
Cupertino, CA 95014  
SECTIONS

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
<b>A8</b>
OF
SHEETS



Plant Material shall comply with the following:

For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.

Mulch & Soil Preparation

1 Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of 6" into landscape area (unless contra-indicated by a soil test.).

2 A minimum of 3" layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, direct seeding applications where mulch is contra-indicated.

3 no turf present on this installation.

4 Prior to planting, compacted materials shall be transformed to a friable condition.

5 For soils less than 6% organic matter in the top 6" of soil, add organic compost to planting areas equal to a rate of minimum 4 cubic yards per 1,000sf of permeable area to a minimum depth of 6" into the soil.

6. A soils report is required.

Tree Protection

The following general tree preservation measures apply to all trees to be retained: No storage of material, top soil, vehicles, or equipment shall be permitted within the tree enclosure area. The ground under and around the tree canopy area shall not be altered. Trees to retained shall be irrigated, aerated and maintained as necessary to ensure survival.

Landscape & Irrigation Maintenance

1. Maintenance may include but not limited to the following: routine inspection, auditing, pressure testing, adjustment, and repair of the irrigation system; top dressing with compost, replenishing mulch, fertilizing, pruning, replanting of failed plants, weeding, pest control.

2. Failed plants shall be replaced with the same functionally equivalent plants that may be size-adjusted as appropriate for the stage of growth of the overall installation. Failing plants shall either be replaced or be revived through appropriate adjustments to water, nutrients, pest control or other factors recommended by landscape professional.

LOT SIZE 6750  
FRONT SET BACK IMPERVIOUS SURFACES  
Front Setback 1236sf  
Porch: Impervious Concrete 108.3sf  
Driveway and Entry: Pervious pavers 860sf @ 50%= 430  
Total area: 430+ 108.3 = 538.3 = 44.6%

Total Landscape area 2814.56sf  
New Landscaped area: 248sf on drip irrigation in front only  
Additional Mulch area front 92sf

Total new landscape area 340sf

PLANT SCHEDULE

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
	LAN PU2	Lantana montevicensis 'Purple'	Trailing Lantana	1 gal	6	LW 0.3
	LAN PU3	Lantana montevicensis 'White'	White Trailing Lantana	1 gal	4	LW-0.3
	OST YE2	Osteospermum x 'Zion Copper Amethyst'	African Daisy	1 gal	8	LW-0.3

IRRIGATION

1 Irrigation Controller with rain sensing shut off device either integral or auxiliary required. Controller to be outside of building. Exact location of the controller and weather sensor to be determined by the contractor.

2. Valve Boxes: Exact location of valves to be determined by the contractor based on site conditions and underground utilities. Valves shall have Pressure Reducer and Filter appropriate for Drip. A manual Shut Off Valve shall be installed with Valve Nest.

3. Irrigation for each hydro-zone shall have a separate valve..

4. Manual Shut Off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.

5. All irrigation emission devices must meet the requirements set in the ANSI standard, ASBABE/ICC 802-2014. "Landscape Irrigation Sprinkler and Emitter Standard."

6. No sprinklers will be installed at this site.

7. For areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff. Only drip irrigation will be installed on this site.

8. Irrigation shall be designed, maintained and managed to meet or exceed an average landscape efficiency of 70%.

9. Irrigation run times shall be scheduled between 8pm and 10am. Operation outside time window is allowed for auditing and system maintenance.

10 A diagram or list of the hydro-zones shall be kept with the irrigation controller for subsequent management purposes.

11. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, irrigation schedule and a schedule of landscape and irrigation maintenance.

12. An irrigation audit report shall be completed at the time of final inspection.

HYDRO-ZONES

FRONT DRIP  
1) Shrubs & Tree -LW 0.3

Static Water Pressure = 70psi

Provider: San Jose Water

Meter size 3/4"

- Prescriptive Compliance Pathway- Appendix D
  - Project Information Worksheet
  - Water Efficient Landscape Worksheet
  - Landscape Design Plan

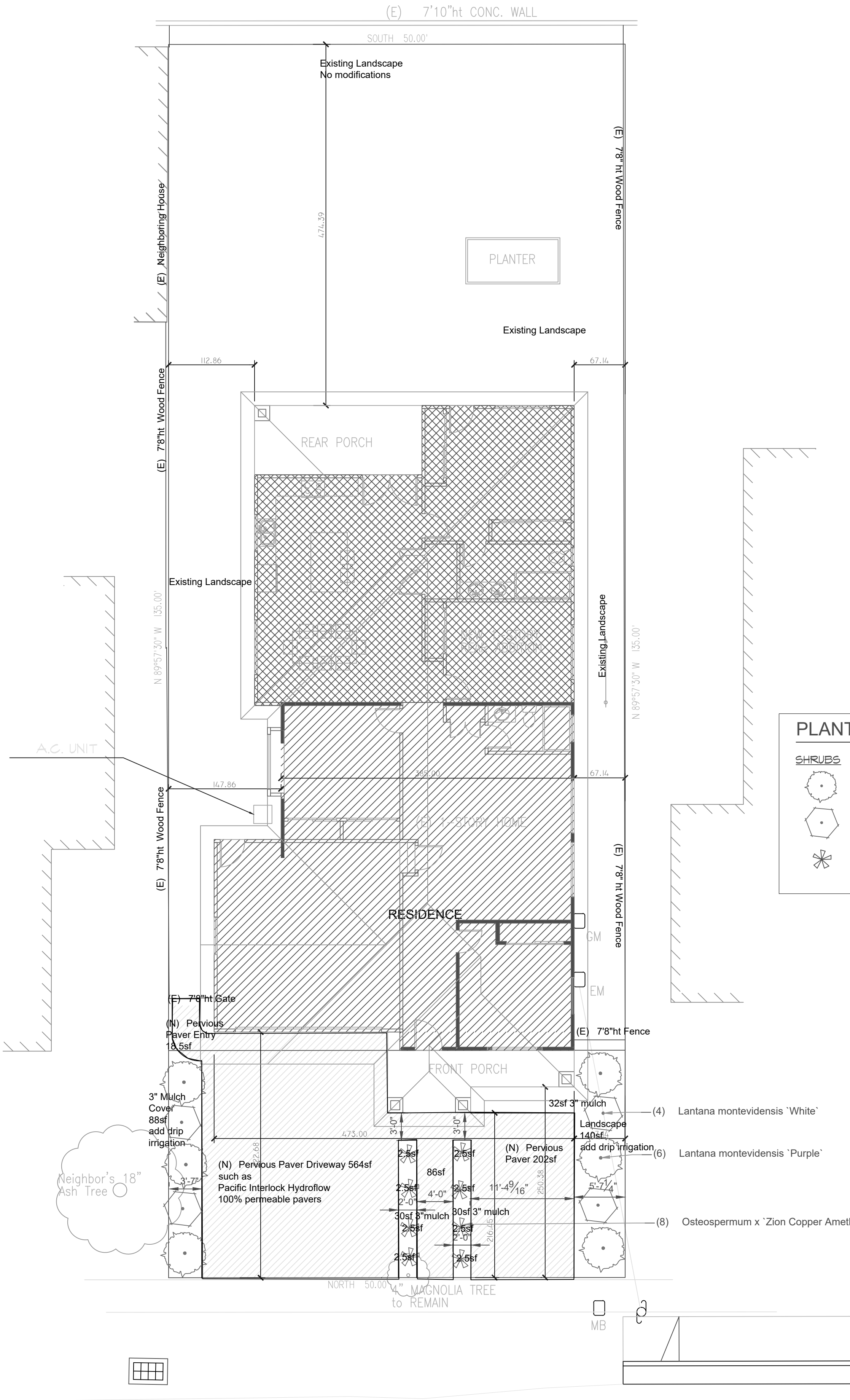
LANDSCAPE WATER-EFFICIENCY (MWEL0) APPENDIX – D CHECKLIST  
(Can only be used when aggregate landscape areas are 2,500 square feet or less)

Landscape Parameter	Design Measures	Location on Plans
Compost	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).	YES
Plant Water Use	<b>Residential:</b> Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. <b>Non-residential:</b> Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	YES
Mulch	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.	YES
Turf	Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects.	N/A
	Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width.	N/A
	Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	
	Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor.	YES
Irrigation System	Irrigation controller programming data will not be lost due to an interruption in the primary power source.	YES
	Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.	YES
	A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.	N/A

Signature

I agree to comply with the requirements of the prescriptive compliance option of the MWEL0 per Appendix D.

Signature of property owner or authorized representative  
Date 4/5/21



Revisions	Date	By
Revised	052521	KAL
Revised	061021	KAL
Revised	063021	KAL



**KL DESIGNS LLC**  
Residential Landscape Planning  
www.KLDesigns.Biz

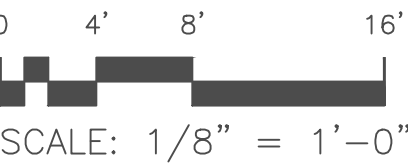
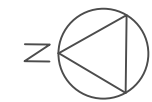
**Kimberly Leichner**  
Award Winning Landscape Designer  
(408) 910-3198  
Kim@KLDesigns.Biz

KL Designs LLC

San Jose, CA 95118  
kim@KLDesigns.biz

Landscape Plan

Devarakonda Residence  
10300 Imperial Ave  
Cupertino CA 95014



SCALE: 1/8" = 1'-0"

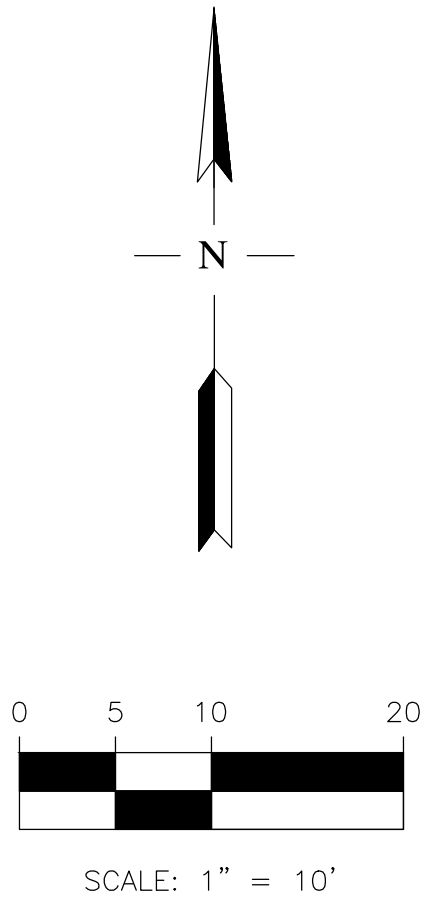
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NOTES:

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5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC.. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.



SITE BENCHMARK:

SET NAIL  
ELEVATION=102.00 ASSUMED DATUM

BASIS OF BEARINGS:

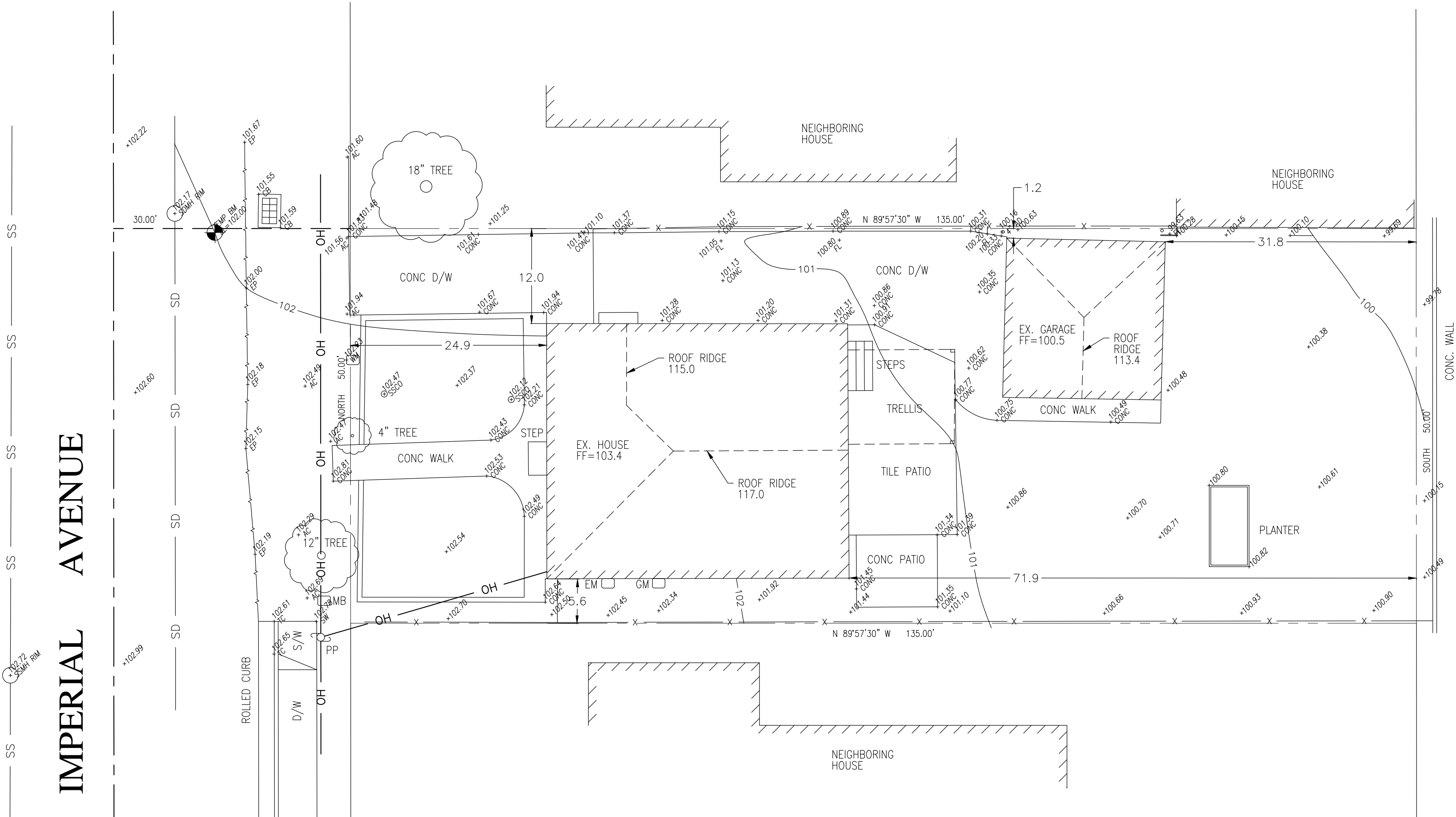
THE BEARING N89°57'30"W OF THE CENTERLINE OF OLIVE AVENUE AS SHOWN ON THE AMENDED MAP OF TRACT 7728, FILED FOR RECORD IN BOOK 557 OF MAPS AT PAGES 49 & 50, SANTA CLARA COUNTY RECORDS.

REFERENCES:

R1 RECORD OF SURVEY (130 MAPS 48)

SITE DATA:

10300 IMPERIAL AVENUE  
CUPERTINO, CA  
LOT 3 RECORD OF SURVEY 130-M-48  
APN: 357-19-052  
AREA=6,750 S.F.±



ABBREVIATION

AD	AREA DRAIN
A.E	ANCHOR EASEMENT
AC	ASPHALT CONCRETE
BRI	BRICK
C/G	CURB & GUTTER
C	CONCRETE
DI	DRAIN INLET
FF	FINISH FLOOR GRADE
FL	FLOWLINE
GM	GAS METER
LG	LIP OF GUTTER
MB	MAIL BOX
P.U.E	PUBLIC UTILITY EASEMENT
P.S.E	PUBLIC SERVICE EASEMENT
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
S/W	SIDEWALK
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
W.C.E.	WIRE CLEARANCE EASEMENT
WM	WATER METER

LEGEND

---	PROPERTY LINE
---	CENTERLINE
SS	UTILITY LINE-TYPE AS NOTED
☼	STREET LIGHT
PG&E	UTILITY BOX-TYPE AS NOTED
WM/GM	WATER/GAS METER
WV	WATER VALVE
Catch Basin	CURB CATCH BASIN
Fire Hydrant	FIRE HYDRANT
MH	MANHOLE-TYPE AS NOTED
CO	SANITARY SEWER CLEANOUT
PP-OH	POWER POLE W/ OVERHEAD WIRE
200	BENCHMARK
MON	CONTOUR LINE
12"	MONUMENT
12"	TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
→	GUY WIRE