



# CUPERTINO | CA4-175

PLANNING SET

04/29/21

Gensler

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## CONTACT INFORMATION

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## PROJECT INFORMATION

**Project Address:** 20563 Stevens Creek Blvd

**APN:** 326-34-044

**Zoning:** P (CG, Res)

**Land Use:** Commercial/Office/Residential

**Lot Area:** 38,950 SF

**FAR:**  $\frac{\text{gross floor area}}{\text{lot area}} = \frac{(6,605 \text{ SF} + 1,328 \text{ SF})}{38,950 \text{ SF}} = \frac{7,933 \text{ SF}}{38,950 \text{ SF}} = 0.2$  (no change)

**Lot Coverage:** 6,605 SF (no change)

**Vehicular Parking:** 51 stalls provided. See sheet A0.03.

**Bicycle Parking:** 7 stalls provided. See sheet A0.03.

**Scope of Work:** Facade upgrades include new paint, replacing existing roof tiles with new standing seam metal roof, replacing existing stone finish with new painted stucco, adding new metal panel cladding, and replacing existing storefront entrances. Upgrade existing landscape at West and South facades. Restripe existing parking stalls. Provide new bike lockers per Parking Ordinance and replace existing bike racks. New colored concrete at pedestrian vehicular crossing, new curb for waste collection area, and replace existing trash cans.

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## Existing Conditions

The existing Bank of America building has an extremely dark interior, confusing entrance to the building and missing tiles on the roof.



View A: Existing Condition of South Facade Facing Stevens Creek Blvd



Site Survey Aerial Map



View B: Existing Condition of West Facade Facing Driveway



View C: Existing Condition of North Facade Facing Parking Lot



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## Existing Conditions



**View D:** Existing Condition of East Facade



Site Survey Aerial Map



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## Design Concept

The proposed exterior renovation will provide a much needed facade refresh by introducing new standing seam metal roof that requires less maintenance and more durability, new color, material, and landscape to emphasize the two entrances, and four additional windows to let more natural light into the building.

The color of the metal roof will match the new gray at the accent walls that will emphasize each of the two entrances. The stone veneer at the West entrance will be replaced with stucco to match the overall stucco material of the existing building and new metal panels on the South facade facing the main street Stevens Creek Blvd will be added to provide wood elements at human scale. Both existing storefronts will be replaced with bank standard aluminum frame and power assisted doors.

The new windows will match the existing window bays at the North facade and will provide natural lighting to the existing offices as well as the central lobby areas through the office's existing glass front wall systems.



View A: Design Concept of South Facade Facing Stevens Creek Blvd



Site Survey Aerial Map



View B: Design Concept of West Facade Facing Driveway



View C: Design Concept of North Facade Facing Parking Lot



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## Design Concept



**View D:** Design Concept of East Facade



Site Survey Aerial Map



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## Site Plan

**Vehicular Parking:**  
7,933 SF/285 SF = 28 stalls required

Existing standard stalls = 50  
Existing standard accessible stalls = 1  
Existing van accessible stalls = 1  
Total existing stalls = 52

Total standard stalls displaced = -1

Total stalls provided = 51

**Bicycle Parking:**  
7,933/1,250 SF = 7 stalls required

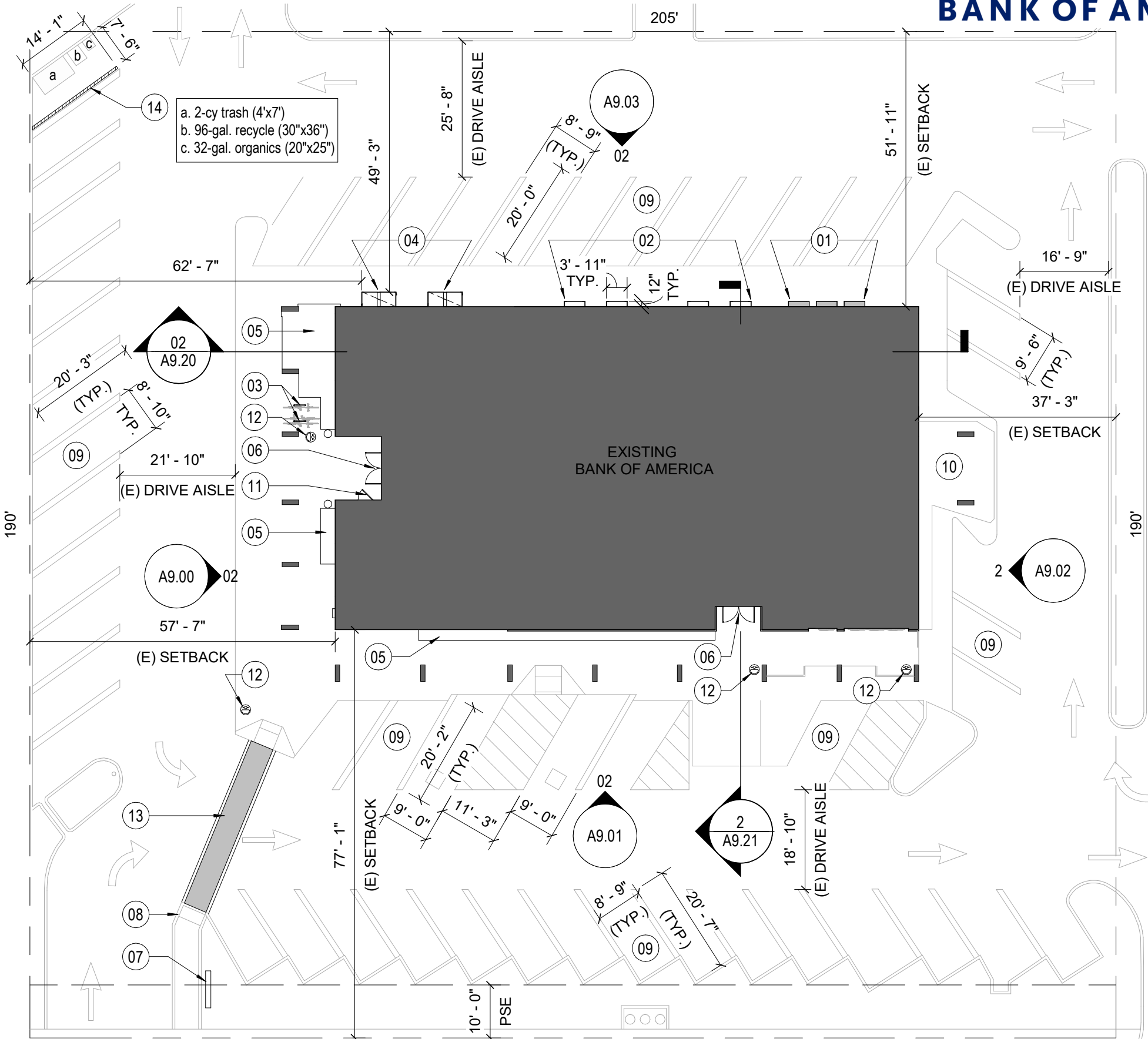
(E) Conc. stands to be removed = -3  
New steel racks = 3  
New class I stalls = 4

Total stalls provided = 7

### Legend

- Existing Property Line
- Existing Building
- Elevation Number on Sheet
- Direction of Elevation
- Sheet where shown

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01 | SITE PLAN

SCALE: 3/64" = 1'-0"

STEVENS CREEK BLVD

BANK OF AMERICA

## SHEET NOTES

- 01 EXISTING WINDOWS TO REMAIN
- 02 NEW WINDOWS TO MATCH EXISTING
- 03 EXISTING CONCRETE BICYCLE STANDS TO BE REPLACED WITH NEW BIKE RACKS
- 04 NEW DOUBLE CAPACITY BICYCLE LOCKER
- 05 EXISTING PLANTING ON LANDSCAPED AREA TO BE REMOVED AND REPLACED WITH NEW LOW HEDGE PLANTING
- 06 EXISTING STOREFRONT TO BE REPLACED WITH NEW ALUMINUM STOREFRONT AND POWER ASSISTED DOORS
- 07 EXISTING MONUMENT SIGN TO BE REPLACED UNDER SEPARATE PERMIT
- 08 REPAIR EXISTING CURB
- 09 EXISTING PARKING STALLS TO BE RESTRIPTED AND EXISTING CURBS TO BE POWER WASHED AND PAINTED WHERE REQUIRED
- 10 EXISTING PLANTING AND LANDSCAPED AREA TO REMAIN
- 11 PAINT EXISTING DOOR TO MATCH ADJACENT WALL
- 12 EXISTING TRASH CAN TO BE REPLACED
- 13 NEW COLORED CONCRETE PAVING AT PEDESTRIAN CROSSING. MATCH EXPT-16
- 14 NEW 6" CURB FOR WASTE COLLECTION AREA



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## Site Map



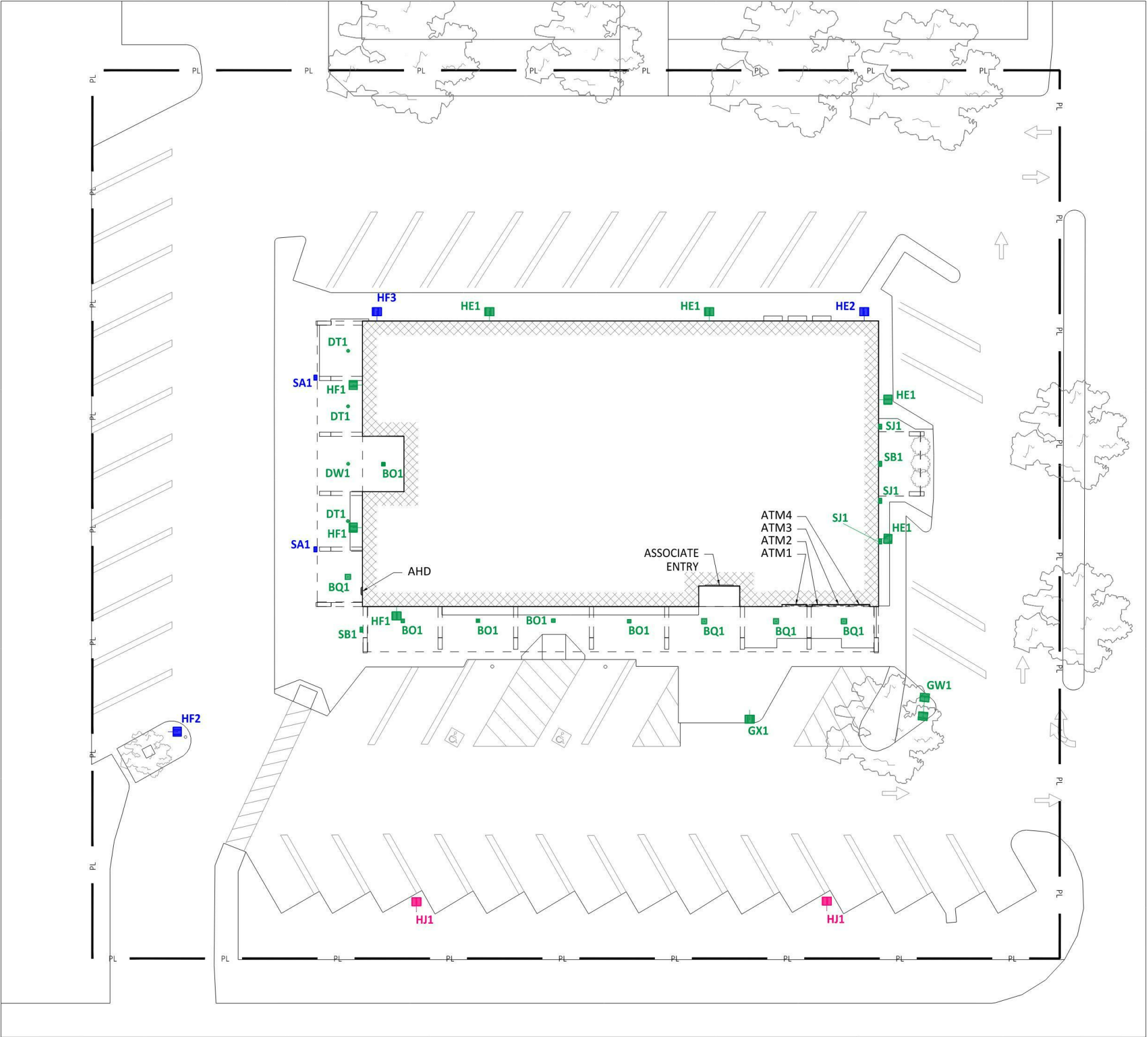


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## Existing Lighting Plan

LABEL	NOTES
BO1	(BO) CPY250-A-DM-F-20W-UL-WH-40K / CANOPY MOUNT / CREE
BQ1	(BQ) CPY250-B-DM-F-C-UL-WH-40K / CANOPY MOUNT / CREE
DT1	(DT) LR6-7L-40K / CANOPY MOUNT / CREE
DW1	(DW) LR6-18L-40K / CANOPY MOUNT / CREE
GW1	(GW) OSQ-A-NM-5SH-B-40K-UL-BZ / POLE MOUNT / CREE
GX1	(GX) OSQ-A-NM-5SH-K-40K-UL-BZ / POLE MOUNT / CREE
HE1	(HE) OSQ-A-NM-4ME-B-40K-UL-BZ / WALL MOUNT / CREE
HE2	(HE) OSQ-A-NM-4ME-B-40K-UL-BZ / WALL MOUNT / CREE
HF1	(HF) OSQ-A-NM-4ME-K-40K-UL-BZ / WALL MOUNT / CREE
HF2	(HF) OSQ-A-NM-4ME-K-40K-UL-BZ / POLE MOUNT / CREE
HF3	(HF) OSQ-A-NM-4ME-K-40K-UL-BZ / WALL MOUNT / CREE
HJ1	(HJ) OSQ-A-NM-4ME-B-40K-UL-BZ / POLE MOUNT / CREE
SA1	(SA) SEC-EDG-2S-WM-02-E-UL-BZ-350-40K / WALL MOUNT / CREE
SB1	(SB) SEC-EDG-2S-WM-02-E-UL-BZ-525-40K / WALL MOUNT / CREE
SJ1	(SJ) SEC-EDG-4M-WM-02-E-UL-BZ-700-40K / WALL MOUNT / CREE





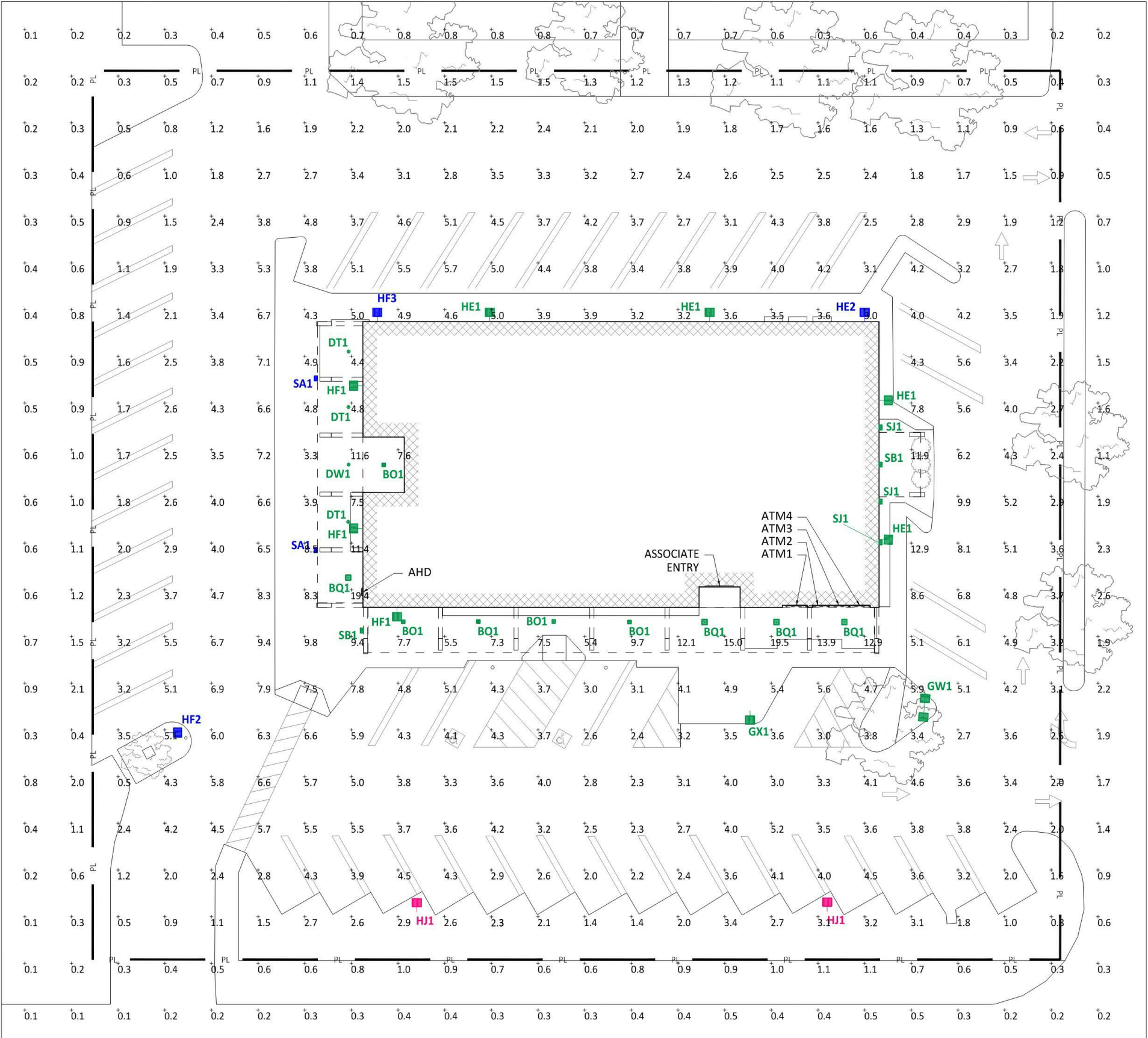
# CUPERTINO | CA4-175

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## Site Photometrics Plan

TITLE 24 AREA CALCS				
Label	Area	Total Watts	LPD	LPD Units
TITLE 24 CALC AREA	39516	2091.71	0.053	Watts/Sq.Ft.

FULL SITE CALCS							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FULL SITE @ GRADE	Illuminance	Fc	2.98	19.5	0.1	29.80	195.00
PARKING INTENSITY	Illuminance	Fc	4.24	19.5	0.6	7.07	32.50



NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.



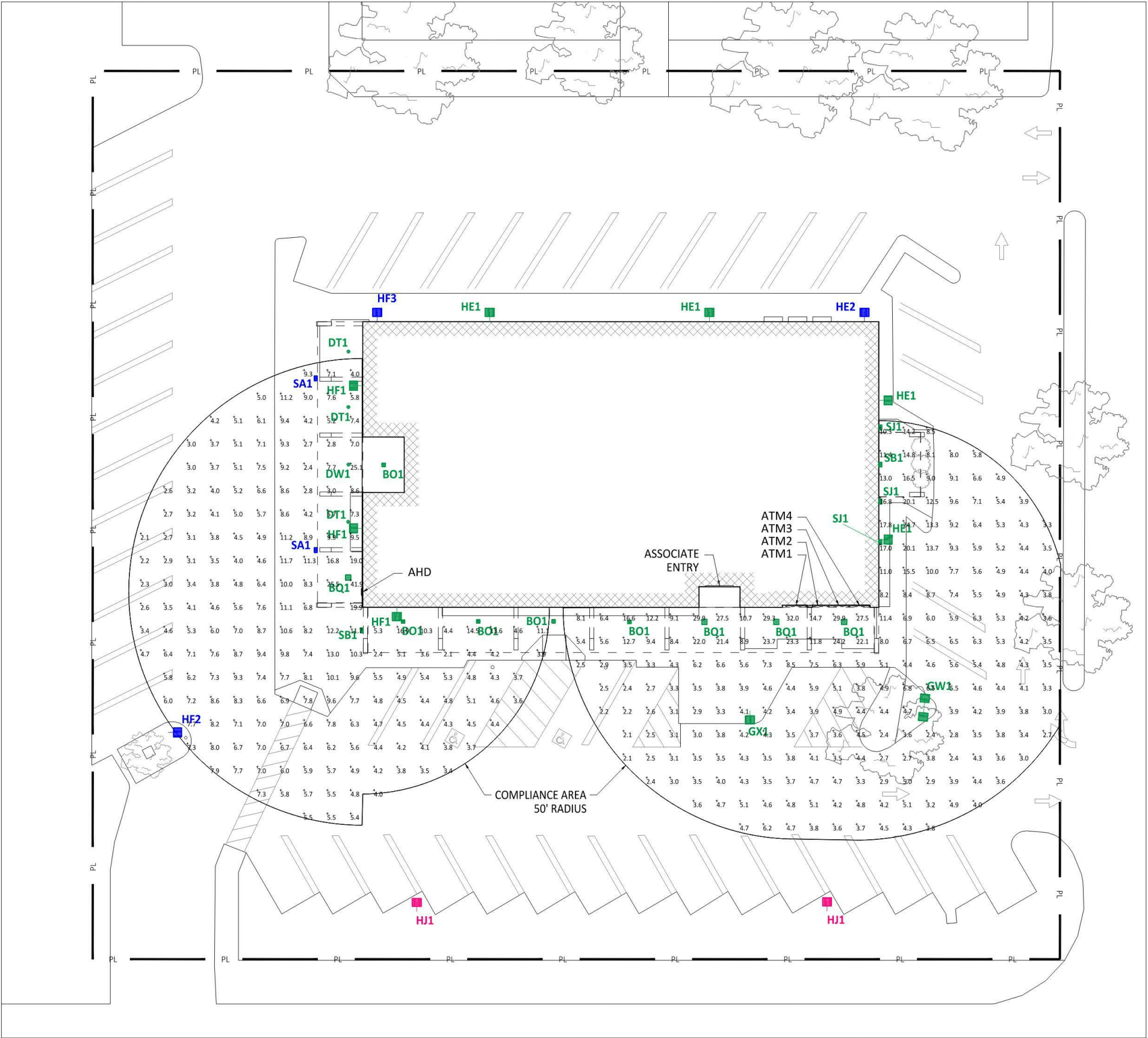
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## ATM Photometrics Plan

NOTE:  
1. READINGS ARE MEASURED AT 36" ABOVE GRADE.

UNIT CALCS 50'							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
AHD 50' @ 36"	Illuminance	Fc	6.70	41.9	2.1	3.19	19.95
ALL ATMS 50' @ 36"	Illuminance	Fc	6.89	32.0	2.1	3.28	15.24



NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

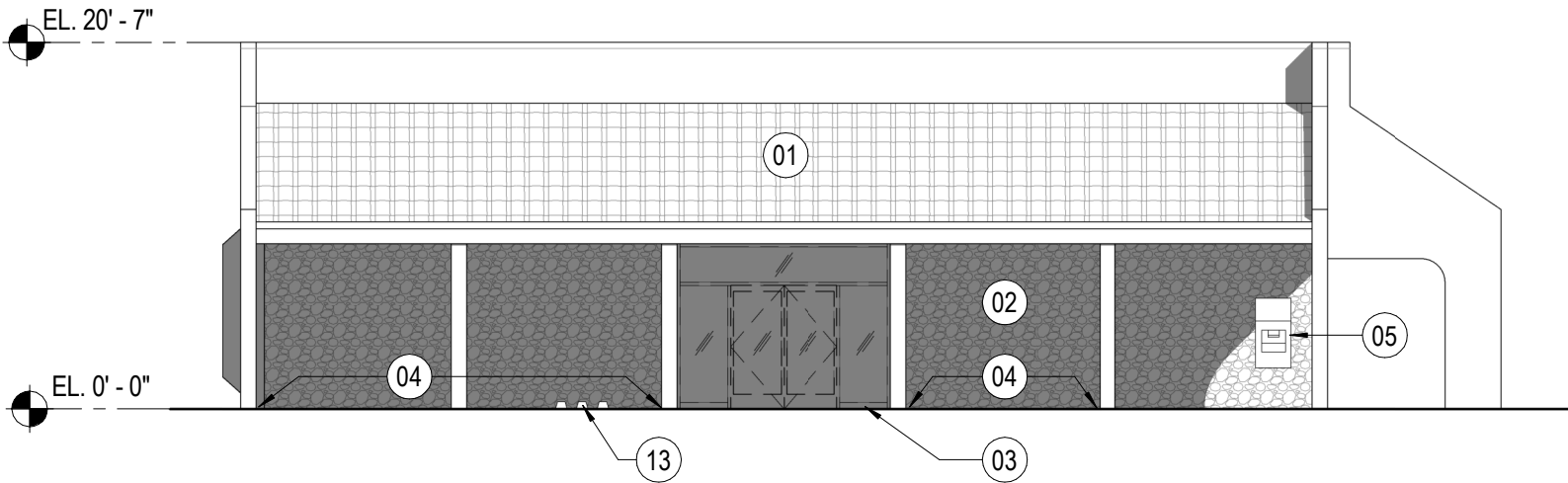
STEVENS CREEK BLVD.



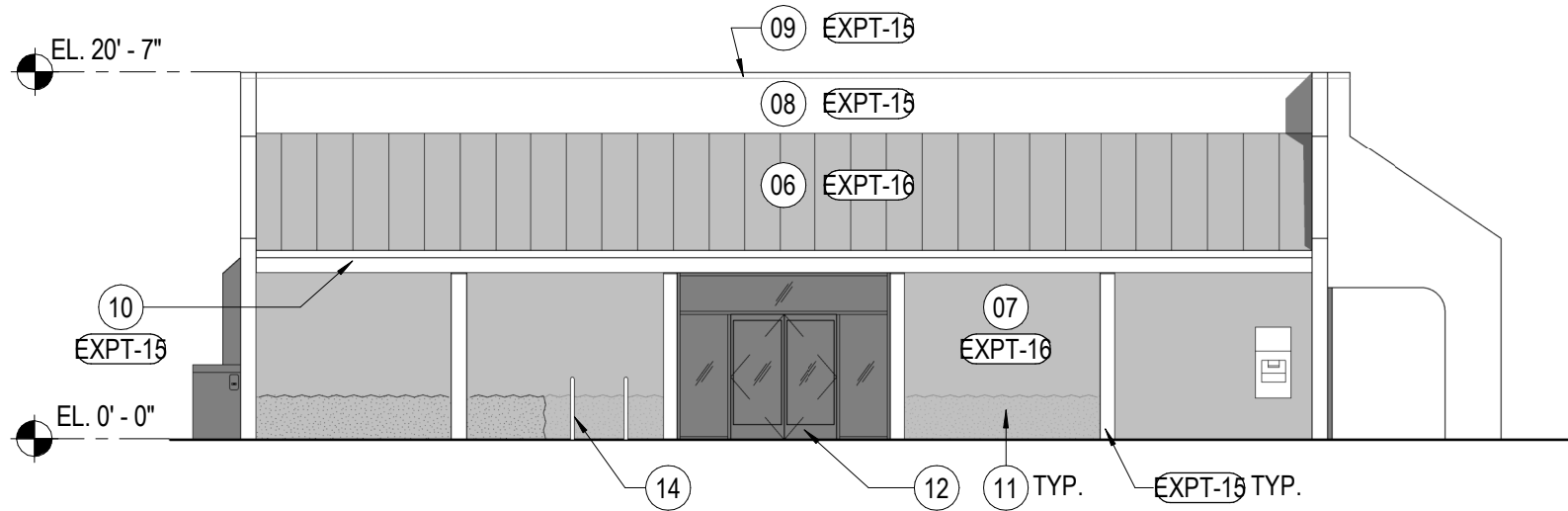
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20563 STEVENS CREEK BLVD  
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## West Elevations



01 | EXISTING WEST ELEVATION  
SCALE: 3/32" = 1'-0"



02 | PROPOSED WEST ELEVATION  
SCALE: 3/32" = 1'-0"

### SHEET NOTES

- 01 EXISTING ROOF TILES TO BE REMOVED
- 02 EXISTING STONE FINISH TO BE REMOVED
- 03 EXISTING ALUMINUM/GLASS STOREFRONT TO BE REMOVED
- 04 EXISTING LANDSCAPE PLANTING TO BE REMOVED
- 05 EXISTING NIGHT DEPOSITORY TO REMAIN
- 06 NEW STANDING SEAM METAL ROOF
- 07 NEW STUCCO FINISH AND PAINT
- 08 EXISTING STUCCO WALL TO RECEIVE NEW PAINT, TYP.
- 09 EXISTING PARAPET METAL FLASHING CAP TO RECEIVE NEW PAINT, TYP.
- 10 EXISTING WOOD FASCIA TO RECEIVE NEW PAINT
- 11 NEW LOW LANDSCAPE HEDGES
- 12 NEW ALUMINUM/GLASS STOREFRONT WITH POWER ASSISTED DOORS
- 13 EXISTING CONCRETE BIKE STANDS TO BE REMOVED
- 14 NEW GALVANIZED STEEL BIKE RACKS

### GENERAL NOTES

SEE SHEET A9.30 FOR MATERIAL & FINISH DETAILS



# CUPERTINO | CA4-175

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## South Elevations

### SHEET NOTES

- 01

EXISTING BUILDING SIGNAGE TO BE REMOVED.  
EXISTING WALL TO BE PATCHED AND REPAIRED  
TO RECEIVE NEW PAINT
- 02

EXISTING ROOF TILES TO BE REMOVED
- 03

EXISTING ALUMINUM/GLASS STOREFRONT TO BE  
REMOVED
- 04

EXISTING LANDSCAPE SHRUBS TO BE REMOVED
- 05

EXISTING ATMS TO REMAIN
- 06

NEW STANDING SEAM METAL ROOF
- 07

NEW ALUMIN/GLASS STOREFRONT WITH POWER  
ASSISTED DOORS
- 08

NEW METAL PANEL CLADDING
- 09

EXISTING STUCCO WALL TO RECEIVE NEW  
PAINT, TYP.
- 10

EXISTING PARAPET METAL FLASHING CAP TO  
RECEIVE NEW PAINT, TYP.
- 11

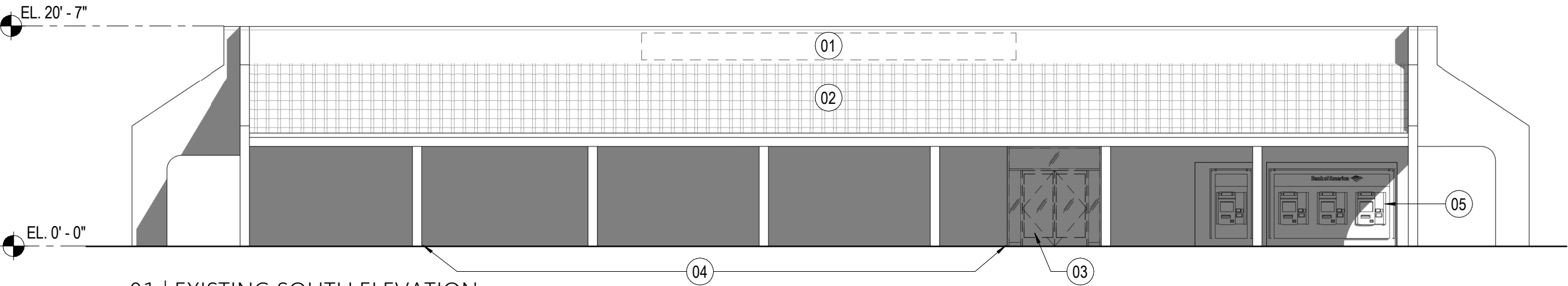
EXISTING WOOD FASCIA TO RECEIVE NEW PAINT
- 12

NEW LOW LANDSCAPE HEDGES
- 13

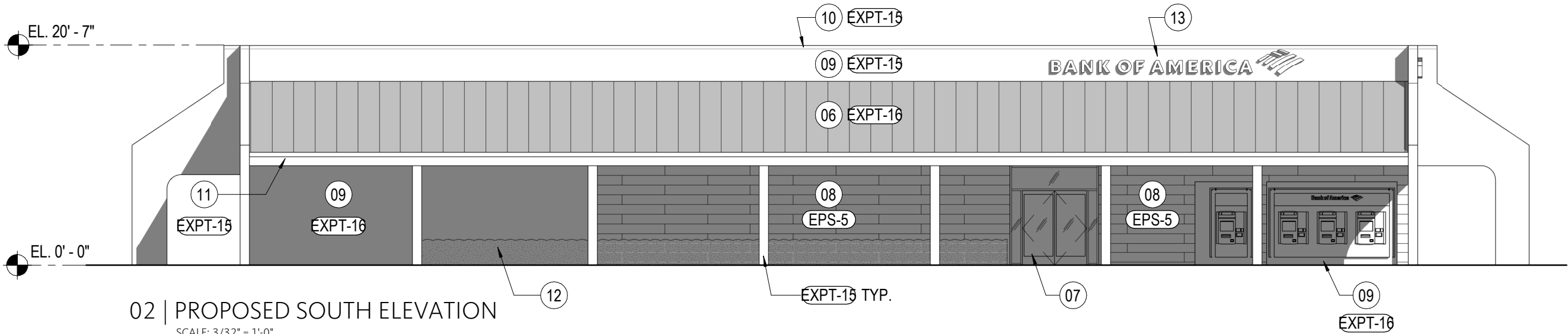
NEW BUILDING SIGNAGE UNDER SEPARATE  
PERMIT

### GENERAL NOTES

SEE PAGE A9.30 FOR MATERIAL & FINISH DETAILS



01 | EXISTING SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



02 | PROPOSED SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



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## East Elevations

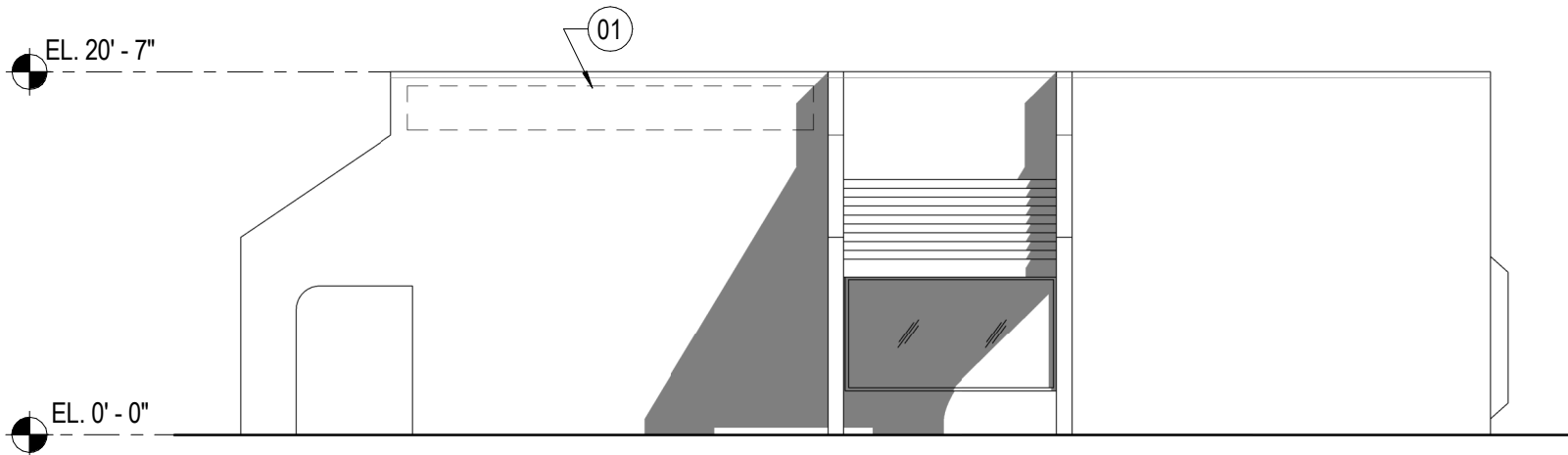


### SHEET NOTES

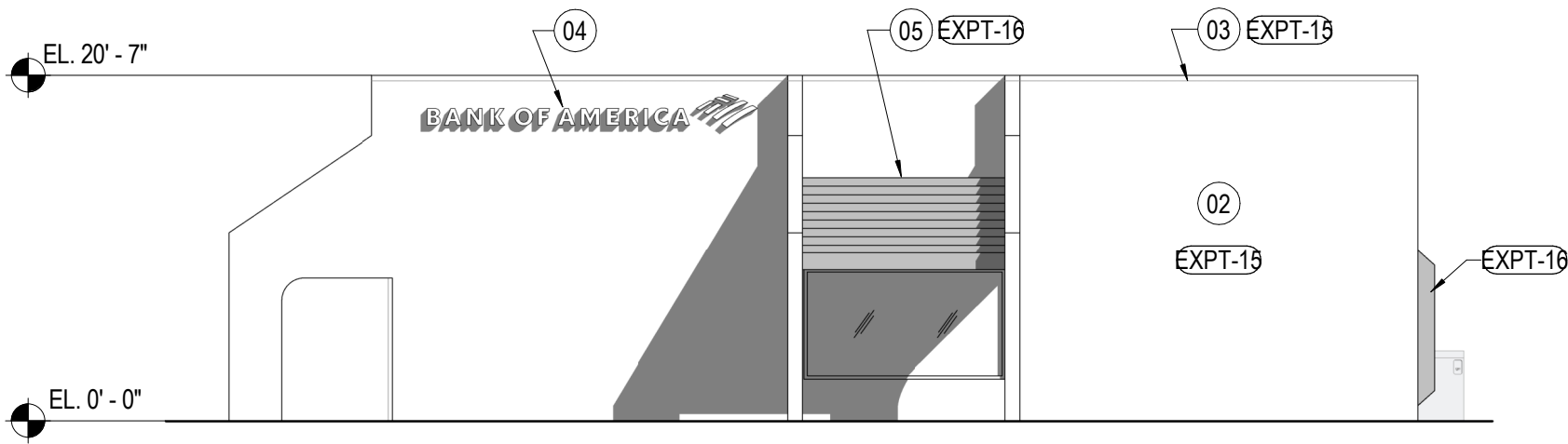
- 01 EXISTING BUILDING SIGNAGE TO BE REMOVED AND EXISTING WALL TO BE PATCHED AND REPAIRED TO RECEIVE NEW PAINT.
- 02 EXISTING STUCCO WALL TO RECEIVE NEW PAINT, TYP.
- 03 EXISTING PARAPET METAL FLASHING CAP TO RECEIVE NEW PAINT, TYP.
- 04 NEW BUILDING SIGNAGE TO BE REVIEWED AND APPROVED UNDER SEPARATE PERMIT
- 05 EXISTING WOOD TRELLIS TO RECEIVE NEW PAINT

### GENERAL NOTES

SEE SHEET A9.30 FOR MATERIAL & FINISH DETAILS



01 | EXISTING EAST ELEVATION  
SCALE: 3/32" = 1'-0"



02 | PROPOSED EAST ELEVATION  
SCALE: 3/32" = 1'-0"

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## North Elevations

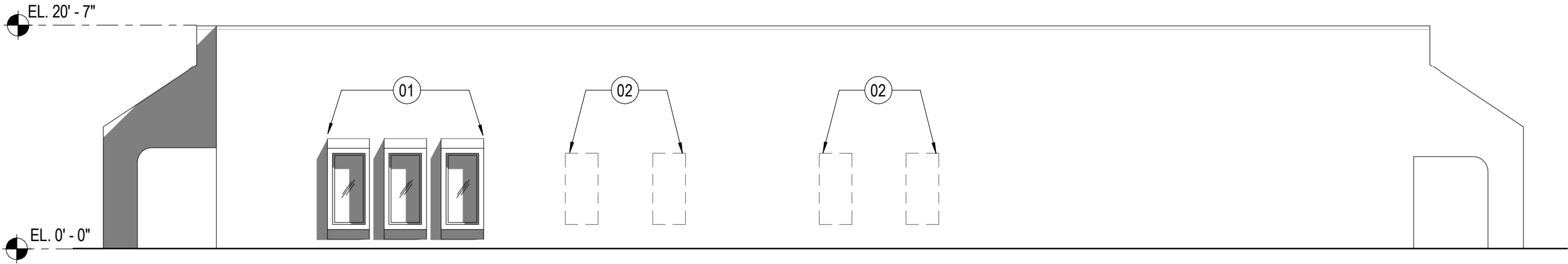


### GENERAL NOTES

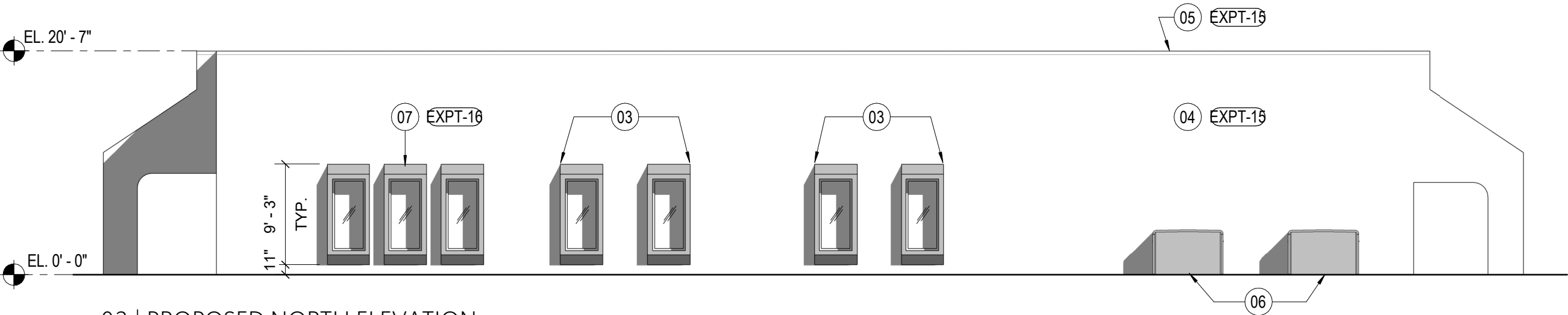
SEE PAGE A9.30 FOR MATERIAL & FINISH DETAILS

### SHEET NOTES

- 01 EXISTING WINDOWS TO REMAIN
- 02 EXISTING WALL TO BE REMOVED FOR NEW WINDOW OPENINGS
- 03 NEW WINDOWS TO MATCH EXISTING
- 04 EXISTING STUCCO WALL TO RECEIVE NEW PAINT, TYP.
- 05 EXISTING PARAPET METAL FLASHING CAP TO RECEIVE NEW PAINT, TYP.
- 06 NEW BICYCLE LOCKERS. SEE SHEET A9.30 FOR ADDITIONAL DETAILS
- 07 WINDOW PROTRUSIONS TO BE PAINTED EXPT-16, TYP.



01 | EXISTING NORTH ELEVATION  
SCALE: 3/32" = 1'-0"



02 | PROPOSED NORTH ELEVATION  
SCALE: 3/32" = 1'-0"



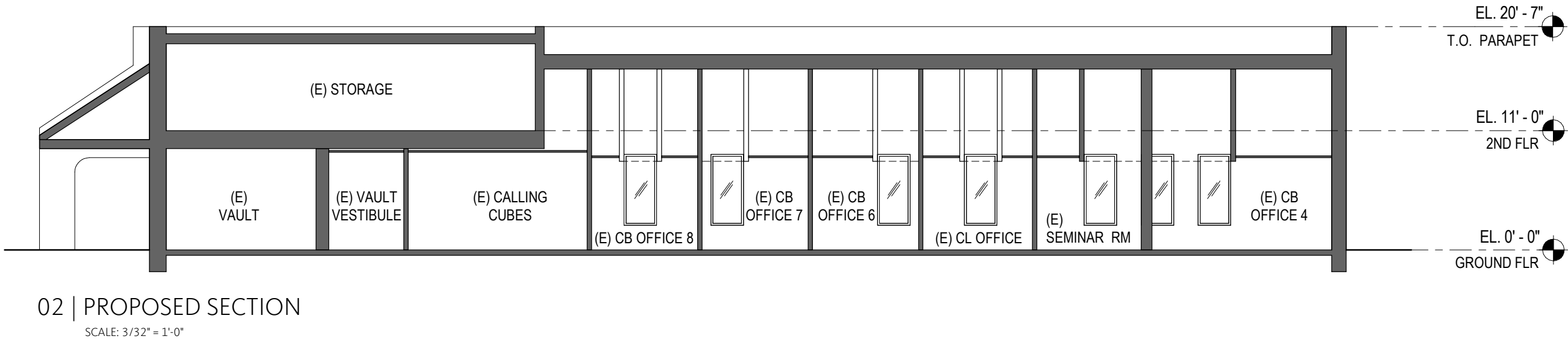
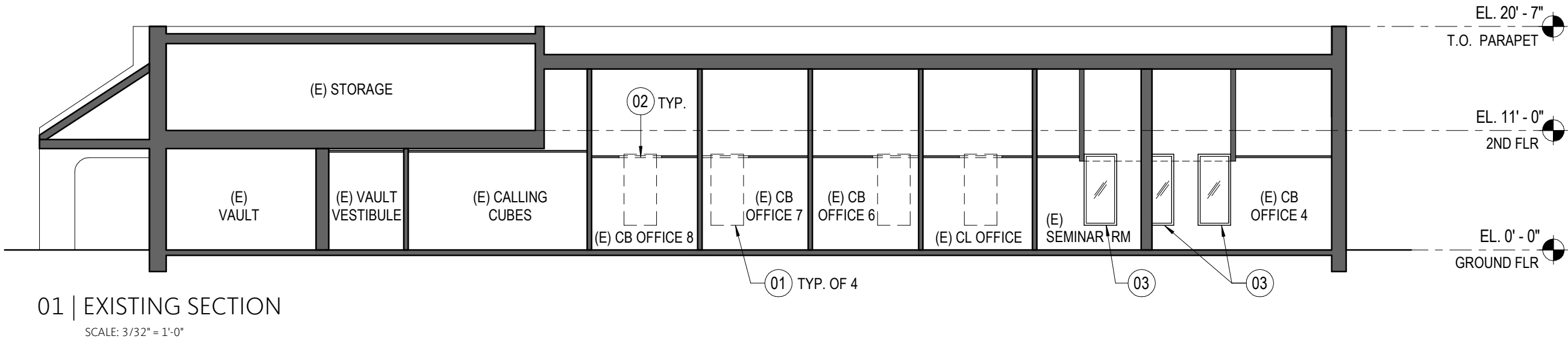
# CUPERTINO | CA4-175

20563 STEVENS CREEK BLVD  
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## Cross Sections

### SHEET NOTES

- 01 EXISTING WALL TO BE REMOVED FOR NEW WINDOW OPENINGS
- 02 EXISTING CEILING TO BE MODIFIED TO ACCOMODATE NEW WINDOWS
- 03 EXISTING WINDOWS TO REMAIN



# CUPERTINO | CA4-175

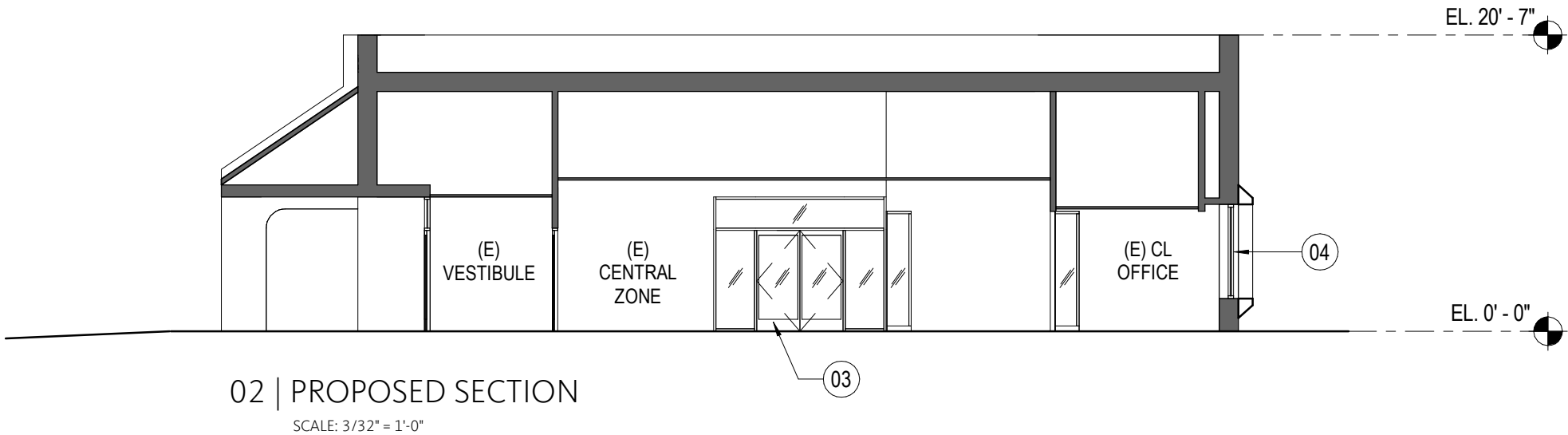
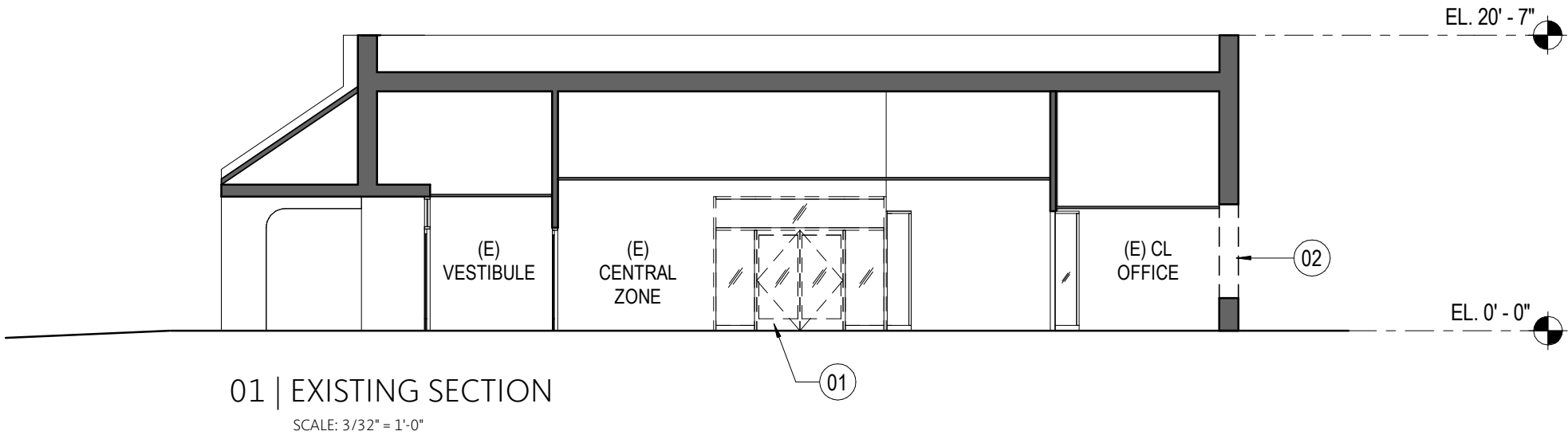
20563 STEVENS CREEK BLVD  
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## Cross Sections



### SHEET NOTES

- 01 EXISTING ALUMINUM/GLASS STOREFRONT TO BE REMOVED
- 02 EXISTING WALL TO BE REMOVED FOR NEW WINDOW OPENINGS
- 03 NEW ALUMINUM/GLASS STOREFRONT WITH POWER ASSISTED DOORS
- 04 NEW WINDOW TO MATCH EXISTING





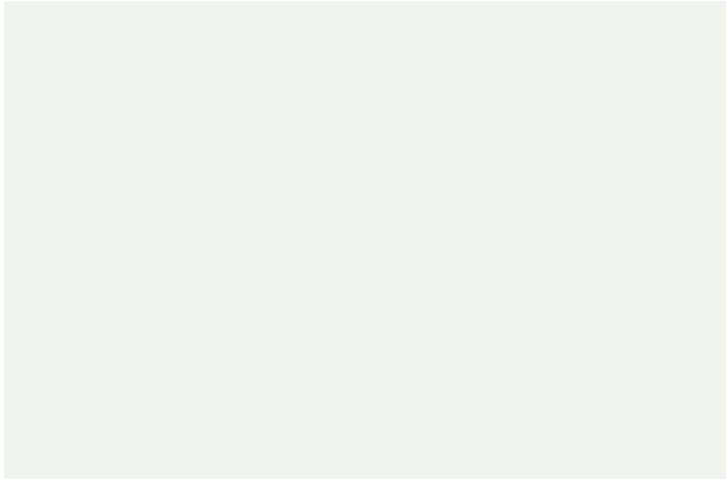
# CUPERTINO | CA4-175

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## Materials and Finishes



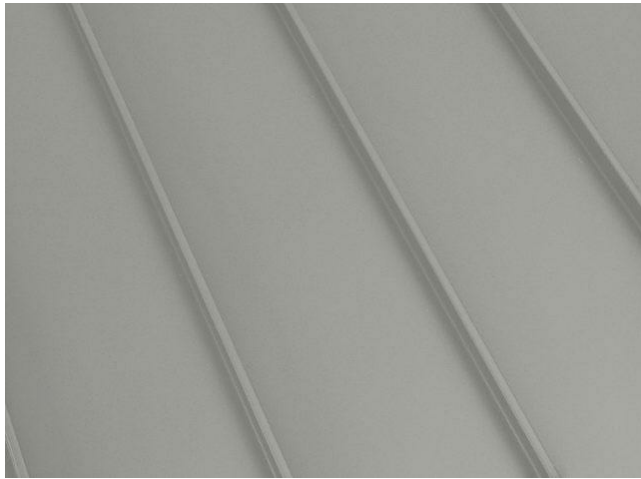
**EPS-5**  
MATERIAL: ALUMINUM METAL PANEL  
MFR: PURE & FREEFORM - FLUSH  
REVEAL SYSTEM  
SPEC: ROMA NOCE SN043  
SIZE: 12" W  
FINISH: SATIN



**EXPT-15**  
MATERIAL: WHITE PAINT  
MFR: BENJAMIN MOORE  
COLOR: SUPER WHITE OC-152  
FINISH : FLAT



**EXPT-16**  
MATERIAL: GRAY PAINT  
MFR: BENJAMIN MOORE  
COLOR: 1472 LRC:57 SILVER CHAIN  
FINISH: FLAT

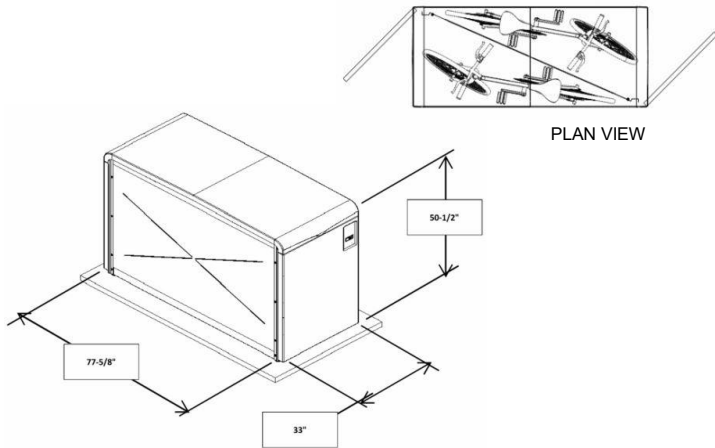


**METAL ROOF**  
MATERIAL: STANDING SEAM STEEL  
PANEL  
COLOR: MATCH EXPT-16



**STOREFRONT**  
MATERIAL: ALUMINUM  
FINISH: CLEAR ANODIZED ALUMINUM  
SIZE: 2" x 4 1/2" FRAMING SYSTEM  
GLAZING: 1" CLEAR TEMPERED  
INSULATED

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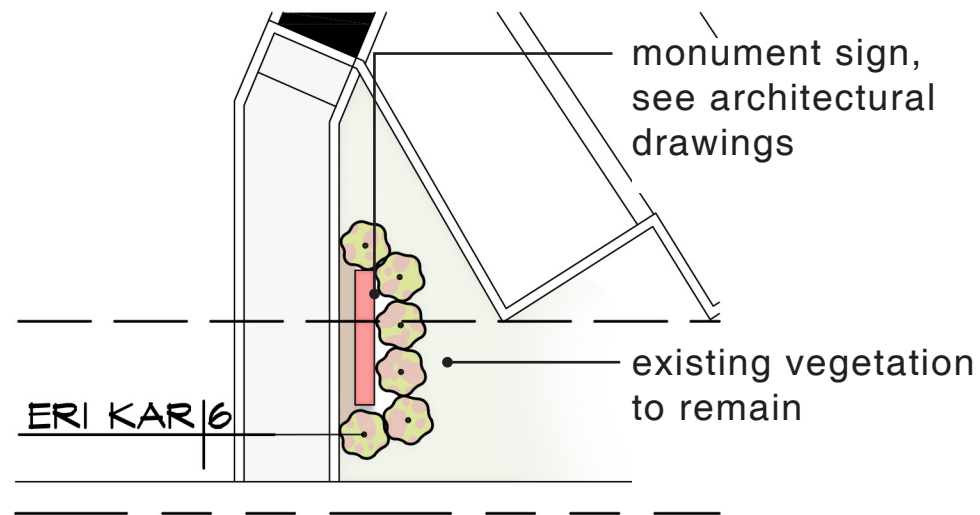
**BICYCLE LOCKER**  
MATERIAL: HIGH DENSITY POLYESTER  
SMC, POWDER COATED STEEL SIDE  
PANELS  
MFR: CYCLESAFE ECOPARK SM-M02  
FINISH: MATCH EXPT-16  
SIZE: 33" x 77 1/2" x 50 1/2"  
CAPACITY: 2 BIKES



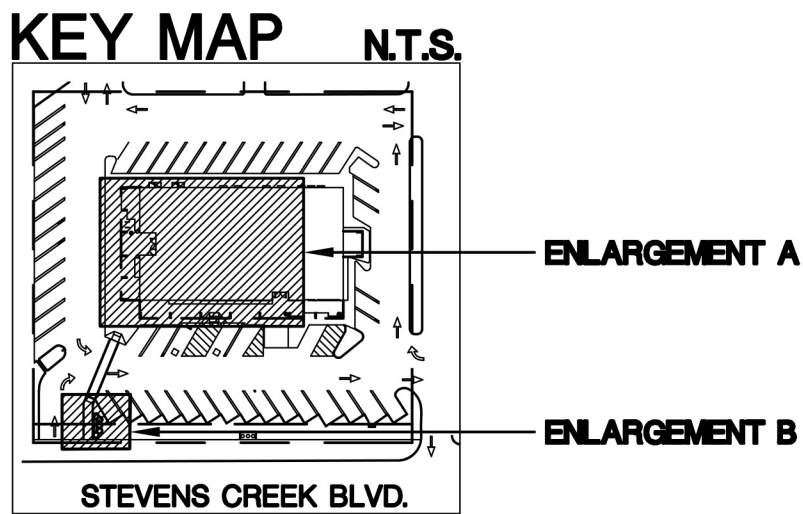
**BICYCLE RACK**  
MATERIAL: STEEL PIPE  
SIZE: 2" DIA.  
FINISH: GALVANIZED STEEL  
CAPACITY: 2 BIKES



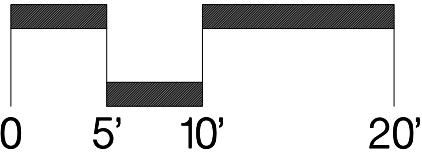
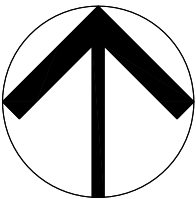
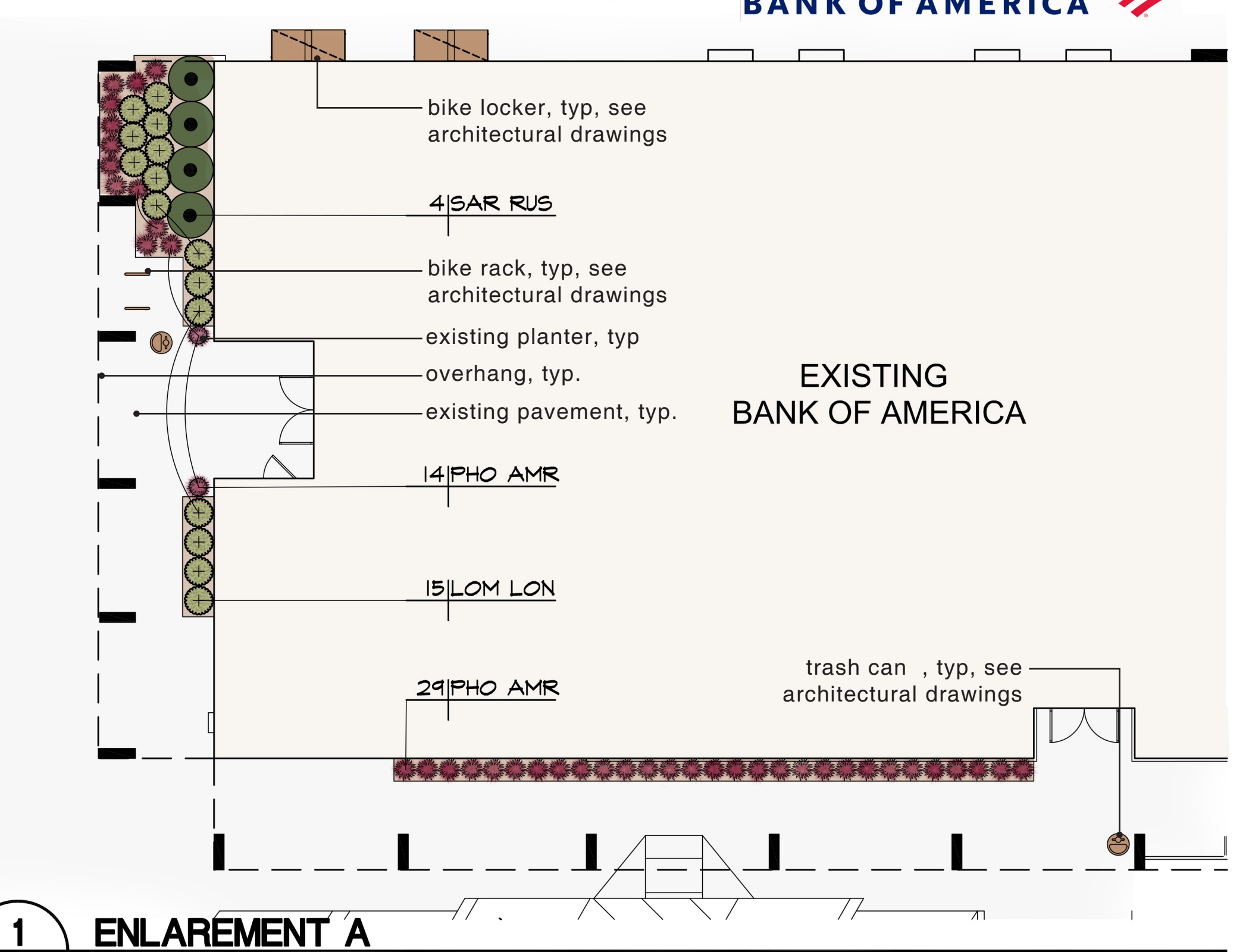
**TRASH RECEPTACLE**  
MATERIAL: POWDER COATED STEEL  
MFR: BELSON OUTDOORS, DC-728501  
COLOR: BLACK  
SIZE: 23-1/4" DIA. x 34" H



**2**  
**L1.0** **ENLARGEMENT B**  
**PLAN**



**1**  
**L1.0** **ENLARGEMENT A**  
**PLAN**



**FOR LANDSCAPE NOTES AND  
PLANT SCHEDULE, SEE SHEET L1.1**



LANDSCAPE NOTES, PLANT SCHEDULE  
AND LANDSCAPE MATERIALS

LANDSCAPE NOTES

1. MULCH: INSTALL A UNIFORM THREE INCH COVERING OF WALK-ON MULCH, 1-1/2" MAX PARTICLE SIZE, AVAILABLE THROUGH REDI-GRO (916) 381-6063 IN ALL PROPOSED PLANTING AREAS.
2. WATER EFFICIENT LANDSCAPING: THE TOTAL PROPOSED LANDSCAPE AREA IS 360 SF AND WILL BE SUBJECT TO THE CITY'S PRESCRIPTIVE COMPLIANCE APPLICATION. THE APPLICATION WILL BE SUBMITTED AS PART OF THE BUILDING PERMIT SUBMITTAL.

PLANTING SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WUCOLS	SPACING
LOM LON	15	LOMANDRA LONGIFOLIA PLATINUM BEAUTY 'ROMA' / PLATINUM BEAUTY LOMANDRA	1 GAL	LOW	30" o.c.
PHO AMR	43	PHORMIUM X 'AMAZING RED' / AMAZING RED NEW ZEALAND FLAX	1 GAL	LOW	24" o.c.
SAR RUS	4	SARCOCOCCA RUSCIFOLIA / FRAGRANT SARCOCOCCA	5 GAL	LOW	48" o.c.
<u>GC</u>					
ERI KAR	6	ERIGERON KARVINSKIANUS / SANTA BARBARA DAISY	1 GAL	LOW	30" o.c.



