



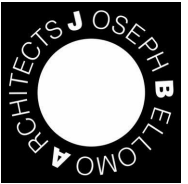
19820 Homestead Road, Cupertino



19820 Homestead Road,Cupertino, CA

A VIEW OF THE EXISTING BUILDING FROM HOMESTEAD ROAD

APPLICANT: HOMESTEAD HOMES 19620 STEVENS CREEK BLVD STE 280, CA 95070		CIVIL ENGINEER: SANDIS 1700 S. WINCHESTER BLVD, CAMPBELL, CA 95008		PROJECT DESCRIPTION: GENERAL PLAN AMENDMENT INITIATION		A2		VICINITY MAP		A14		EAST AND WEST ELEVATIONS	
CONTACT: ELLA SUN AND WILLIAM PAN WPAN@WPANRE.COM ELLASUN.HOUSE@GMAIL.COM		CONTACT: STEVE YAZALINA SYAZ@SANDIS.NET		PROPERTY ADDRESS: 19820 HOMESTEAD ROAD, CUPERTINO, CA		A3		PARCEL MAP		A15		NORTH AND SOUTH ELEVATIONS	
ARCHITECT: JOSEPH BELLOMO ARCHITECTS 102 UNIVERSITY AVENUE PALO ALTO, CA 94301 (650) 326 0374 PROJECT ARCHITECT: PRATIMA SHAH PRATIMA@BELLOMOARCHITECTS.COM		GEOTECHNICAL ENGINEER: ROMIG ENGINEERS 1390 EL CAMINO REAL, SAN CARLOS, CA 94070 CONTACT: PAYUM VOSSOUGH PAYUM@ROMIGENGINEERS.COM		OWNER: HOMESTEAD HOMES		A4		LAND USE PLAN		A16		ELEVATION FROM DRIVEWAY	
				APN: 316-04-064		A5		CITY OF SUNNYVALE GENENRAL PLAN		A17		AERIAL VIEW	
				EXISTING LAND USE: LOW DENSITY (1-5DU/Ac.)		A6		ZONING MAP		A18		STREET VIEW FROM HOMESTEAD ROAD	
				PROPOSED LAND USE: LOW MEDIUM DENSITY (5-10 DU/Ac.)		A7		ZONING CODE COMPLIANCE		A19		CONTEXT PICTURES	
				EXISTING LOT ZONING: A1-43		A8		SITE PLAN		A21		SHADOW STUDY	
SURVEYOR: SANDIS 1700 S. WINCHESTER BLVD, CAMPBELL, CA 95008 CONTACT: STEVE YAZALINA SYAZ@SANDIS.NET		MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERS: CONTACT: JOEL CRUZ JOELC@INTERFACEENG.COM		PROPOSED ZONING AMENDMENT: PLANNED UNIT DEVELOPMENT		A9		SECOND FLOOR PLAN		C0		SITE SURVEY	
				OCCUPANCY: RESIDENTIAL		A10		ROOF PLAN		C1		GRADING PLAN	
				LOT SIZE: 21,780 SQ FT		A11		AREA CALCULATIONS		L2		EXISTING TREE SURVEY	
				FIRE SPRINKLER: FULLY SPRINKLERED		A12		PROPOSED SUBDIVISION		L4		LANDSCAPE CONSTRUCTION DETAILS	
				TRASH / RECYCLING: ON SITE		A13		GRAPHIC REPRESENTATION OF CHANGE IN DENSITY		L5		PLANT PICTURES	
ARBORIST: DAVE DOCKTER CONTACT: DAVEDOCKTER@COMCAST.NET		LANDSCAPE ARCHITECT: ANYI LANDSCAPE STUDIO CONTACT: ANYI HUANG ANYIHUANG@GMAIL.COM											



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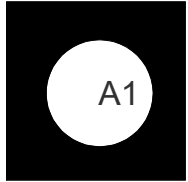
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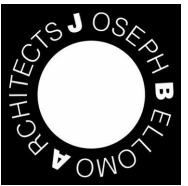
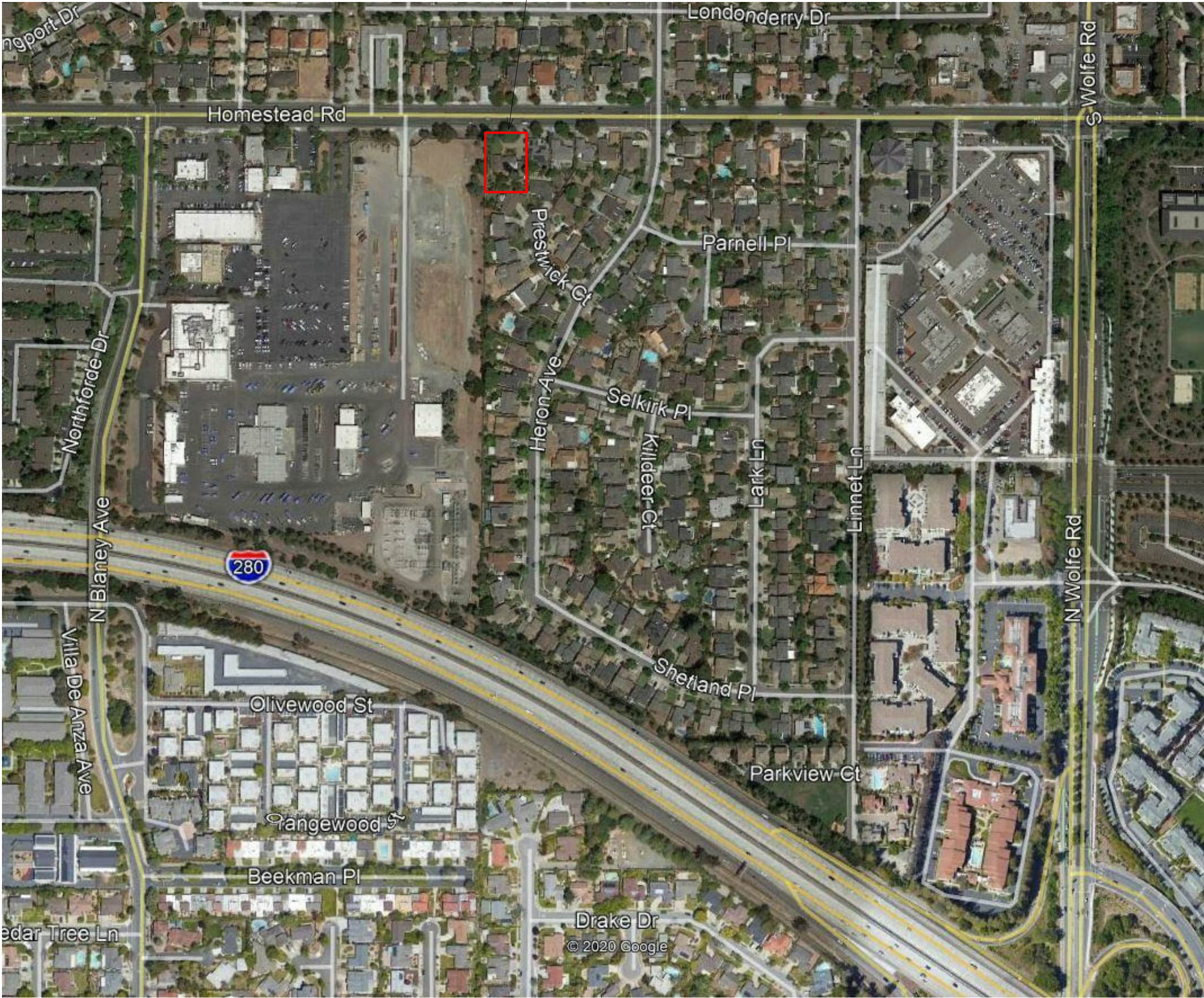
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COVER SHEET

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19820 Homestead Road



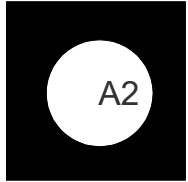
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VICINITY MAP

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PARCEL MAP

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EXISTING GENERAL PLAN LAND USE : LOW DENSITY RESIDENTIAL (1-5 DU/Ac)

ADJOINING PROPERTIES:

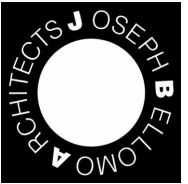
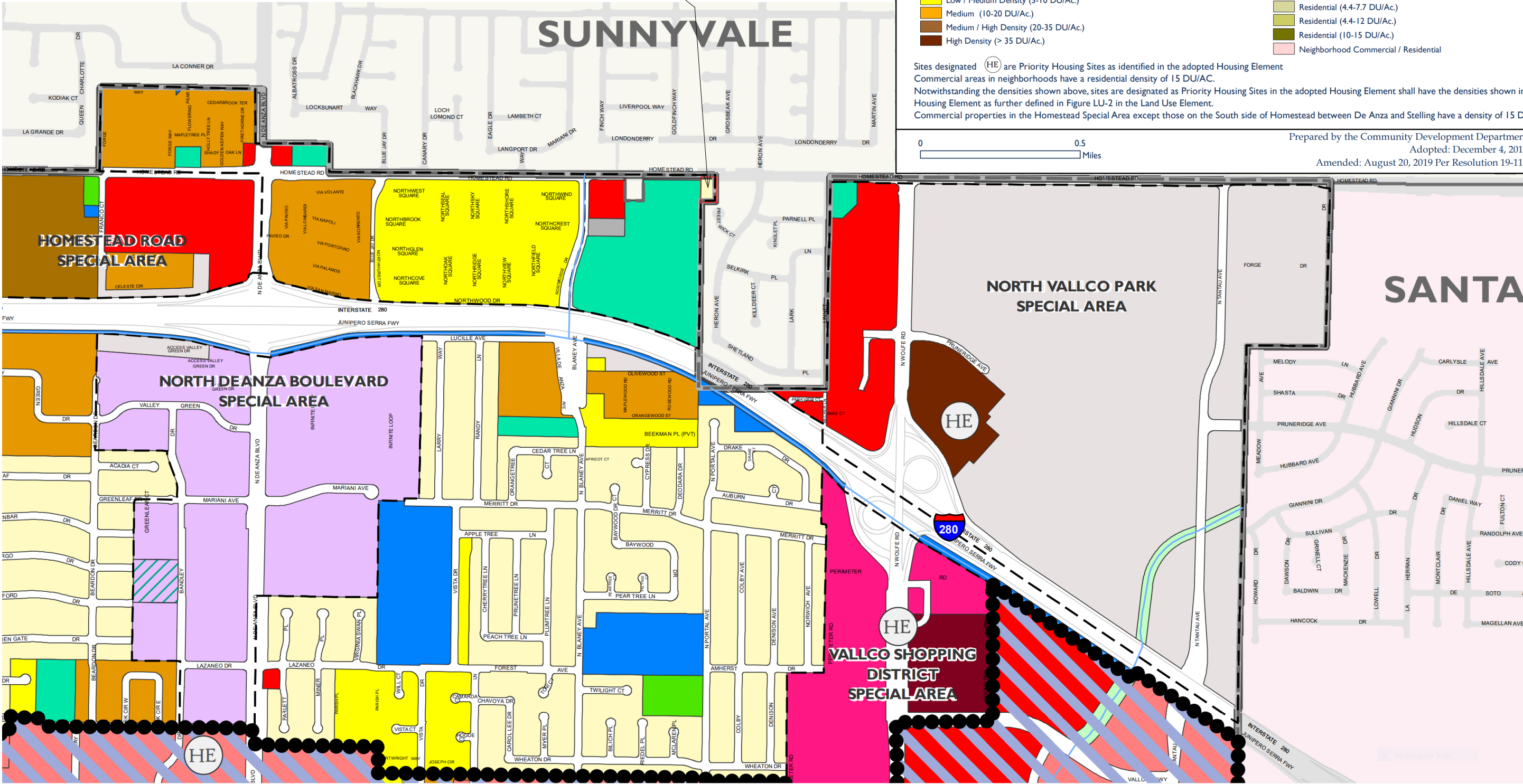
NORTH : HOMESTEAD ROAD

EAST: SINGLE FAMILY RESIDENCE IN CITY OF SUNNYVALE
(ZONE: RO , GENERAL PLAN DEIGNATION: LOW DENSITY RESIDENTIAL)

SOUTH:SINGLE FAMILY RESIDENCE CITY OF SUNNYVALE
(ZONE: RO , GENERAL PLAN DEIGNATION: LOW DENSITY RESIDENTIAL)

WEST: PG&E PROPERTY (QUASI PUBLIC/INSTITUTIONAL)

19820 HOMESTEAD ROAD



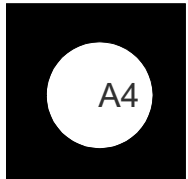
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LAND USE PLAN

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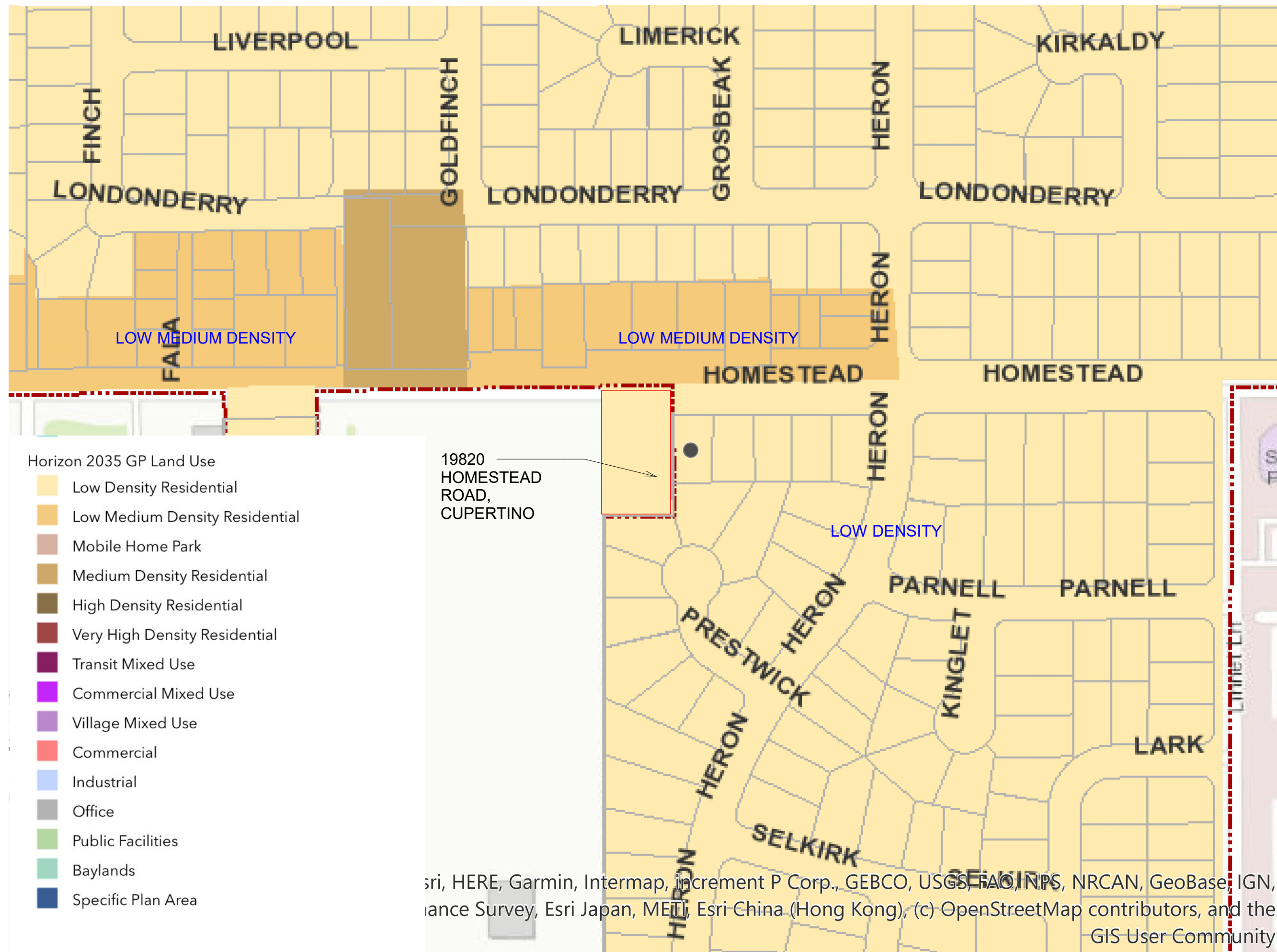
CITY OF SUNNYVALE GENERAL PLAN

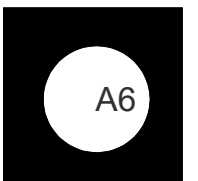
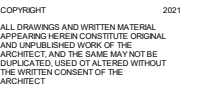
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GENERAL PLAN AMENDMENT:

EXISTING LAND USE DESIGNATION: LOW DENSITY RESIDENTIAL (1-5 DU/Ac)

ONE RESIDENTIAL UNIT ON 18,900 SQ FT

RESIDENTIAL DENSITY IS: 2.3 DU/Ac

PROPOSED LAND USE DEISGNATION: LOW MEDIUM DENSITY (5-10 DU/Ac)

FOUR RESIDENTIAL UNITS ON 18,900 SQ FT

RESIDENTIAL DENSITY IS: 9.2 DU/Ac

Project: 19820 Homestead Road, Cupertino , CA

Cupertino Municipal Code Analysis

Site Information:

Area of the Property: 21,775 sq ft

Current Assigned Zoning: Agriculture A1

Proposed Zoning : Planned Development Units

Project Program: 4 Single Family Homes in a Planned Development

Zoning Code Requirements: As per Multifamily Residential : R3

Area of the property without easement for future road: 18,900 sq ft

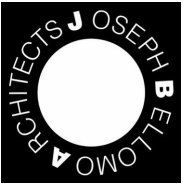
Site Development Regulation:

A. Density – Maximum number of units cannot exceed that allowed by the General Plan

	Required	Proposed : 4 Residential Units
Number of Units	Dwelling net lot area	
Upto 3 Units	9300	
Over 3	2000 additional square feet per dwelling unit Reuired Area for 4 Units: 11,300	4 Units on 21,775 sq ft.
Lot Width	70 feet at front building setback line	115 feet

Building Development Regulations

A. Maximum Lot Coverage	40% of net lot area	38%
B. Maximum Height	Limited to two stories (not to exceed 30 feet)	Two Stories: Height 25 ft
C. Setbacks	First Floor	Second Floor
1. Front-yard	Required : 20 feet	Required : 20 ft
2. Side-yard	Proposed: 20 ft	Proposed: 20 ft
i. Interior side	Required: 6 feet	Required :9 ft
ii. Street side	Proposed :10'6	Proposed : 10' 6 ft on West and
3. Rear-yard	Required: 12 feet	9 ft
	Not Applicable	12 Ft on East side
	20 feet or 20% of the lot depth, whichever is greater. Main building may encroach as close as 10 feet to rear lot line if a useable rear-yard setback area of not less than twenty times the width of the lot.	Not Applicable
D. Private Outdoor Space - Balconies may be provided to fulfill this standard.	Approximately 20% of each unit's gross first-floor area	45 to 51% of each unit's gross first floor area
E. Second Story Decks and Patios		
1. Front-yard	Required :17 feet	Proposed: 20 ft
2. Side-yard	15 feet:	Not Proposed
3. Rear-yard	20 feet	Proposed: 20 ft



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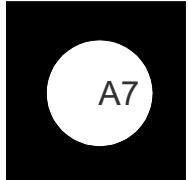
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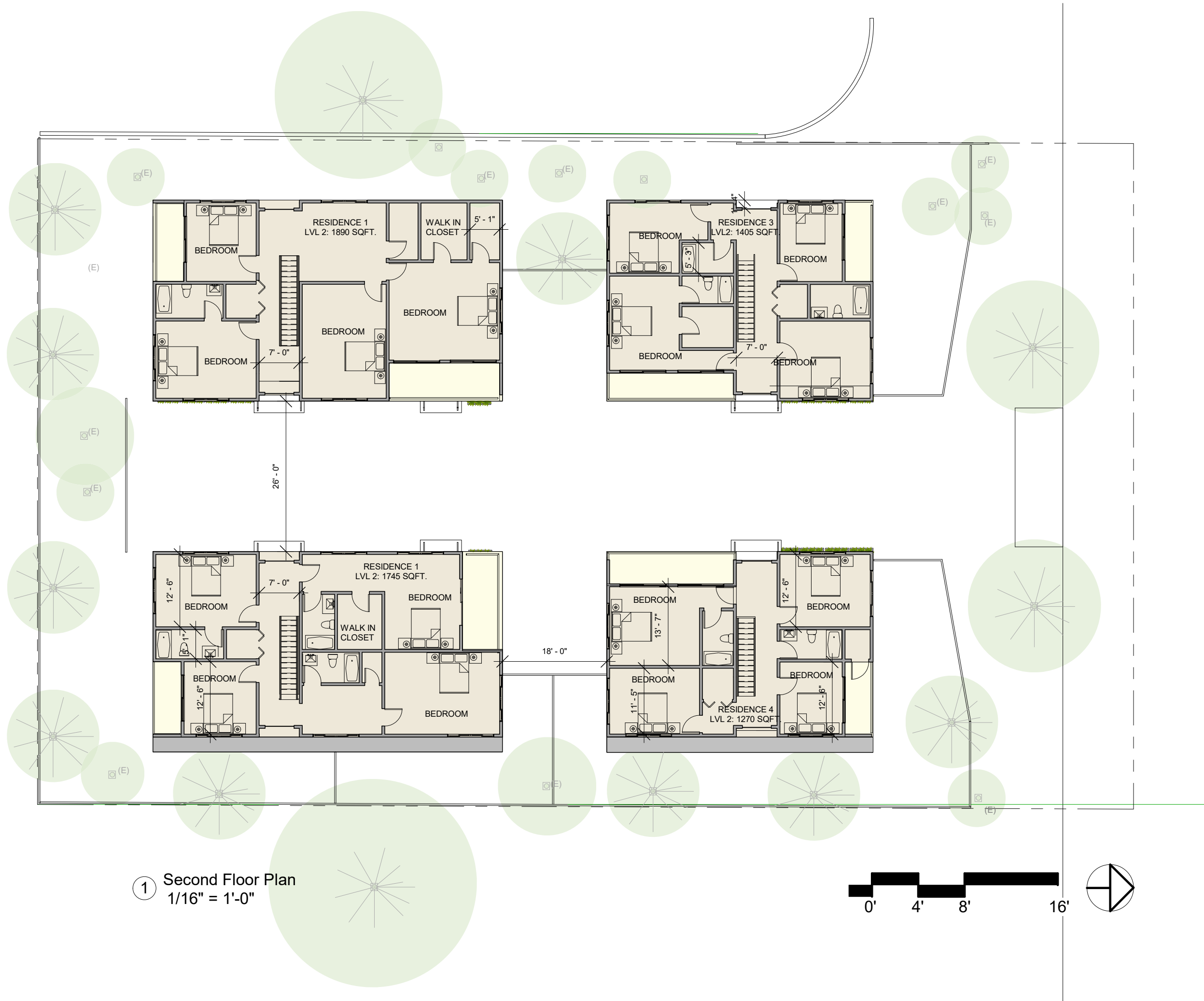
ZONING CODE COMPLIANCE

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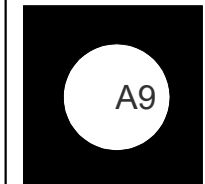
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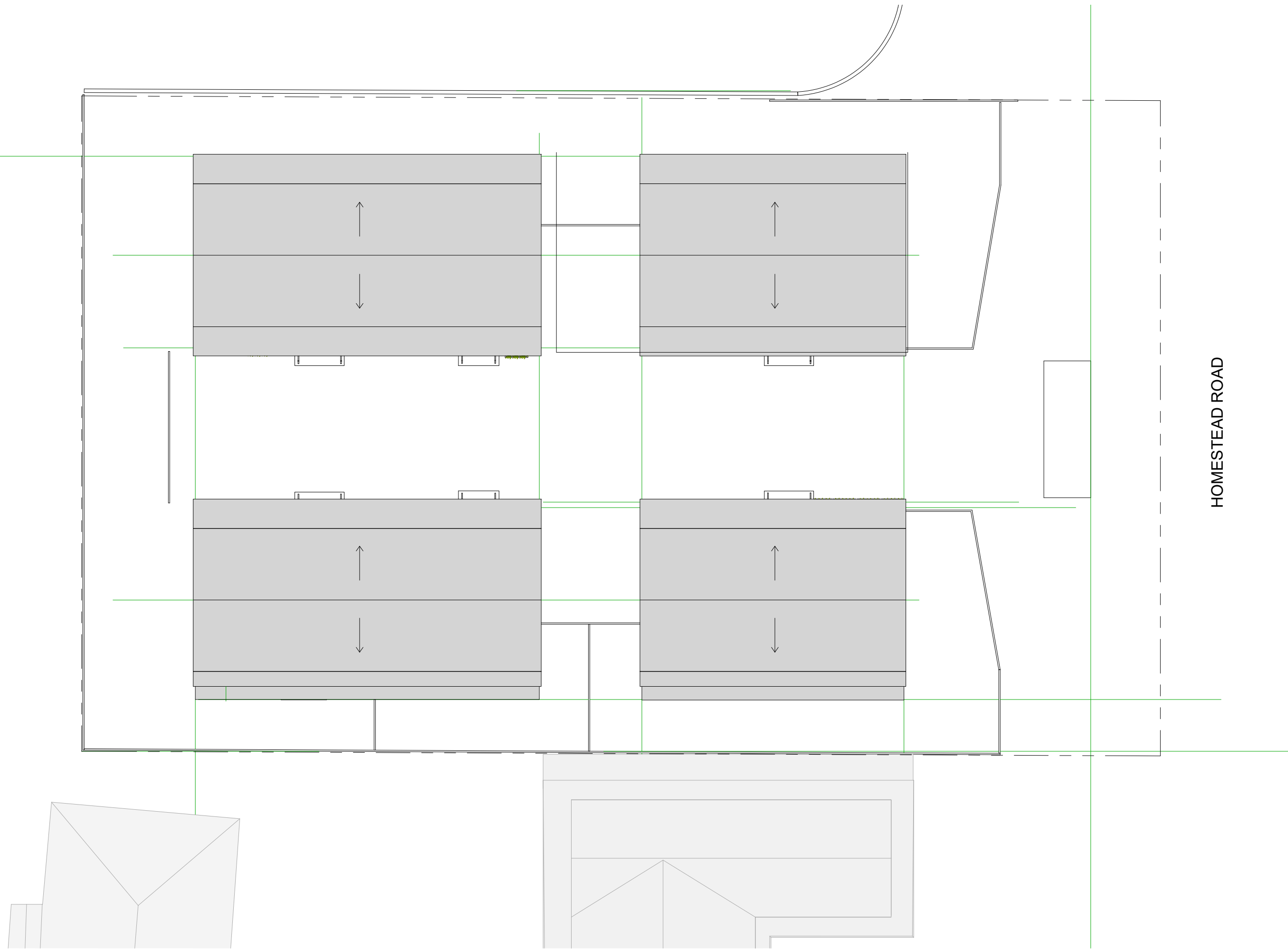
SECOND FLOOR PLAN

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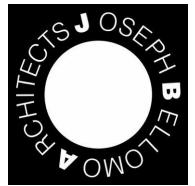
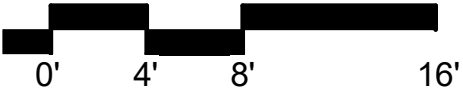
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① Roof Plan
1/16" = 1'-0"



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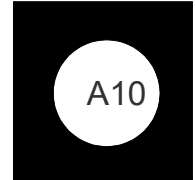
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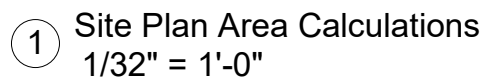
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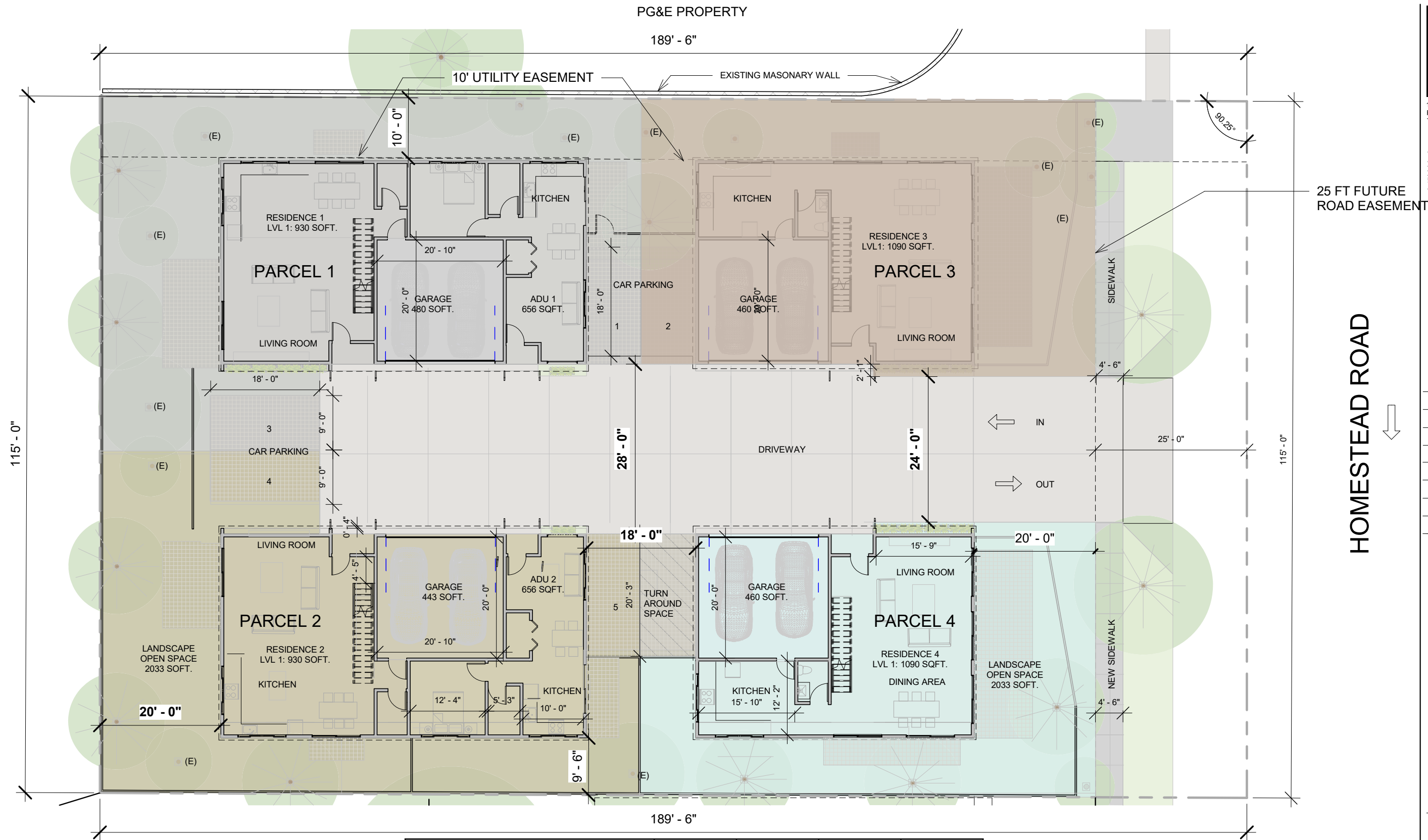
ROOF PLAN

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PROPOSED SUBDIVISION

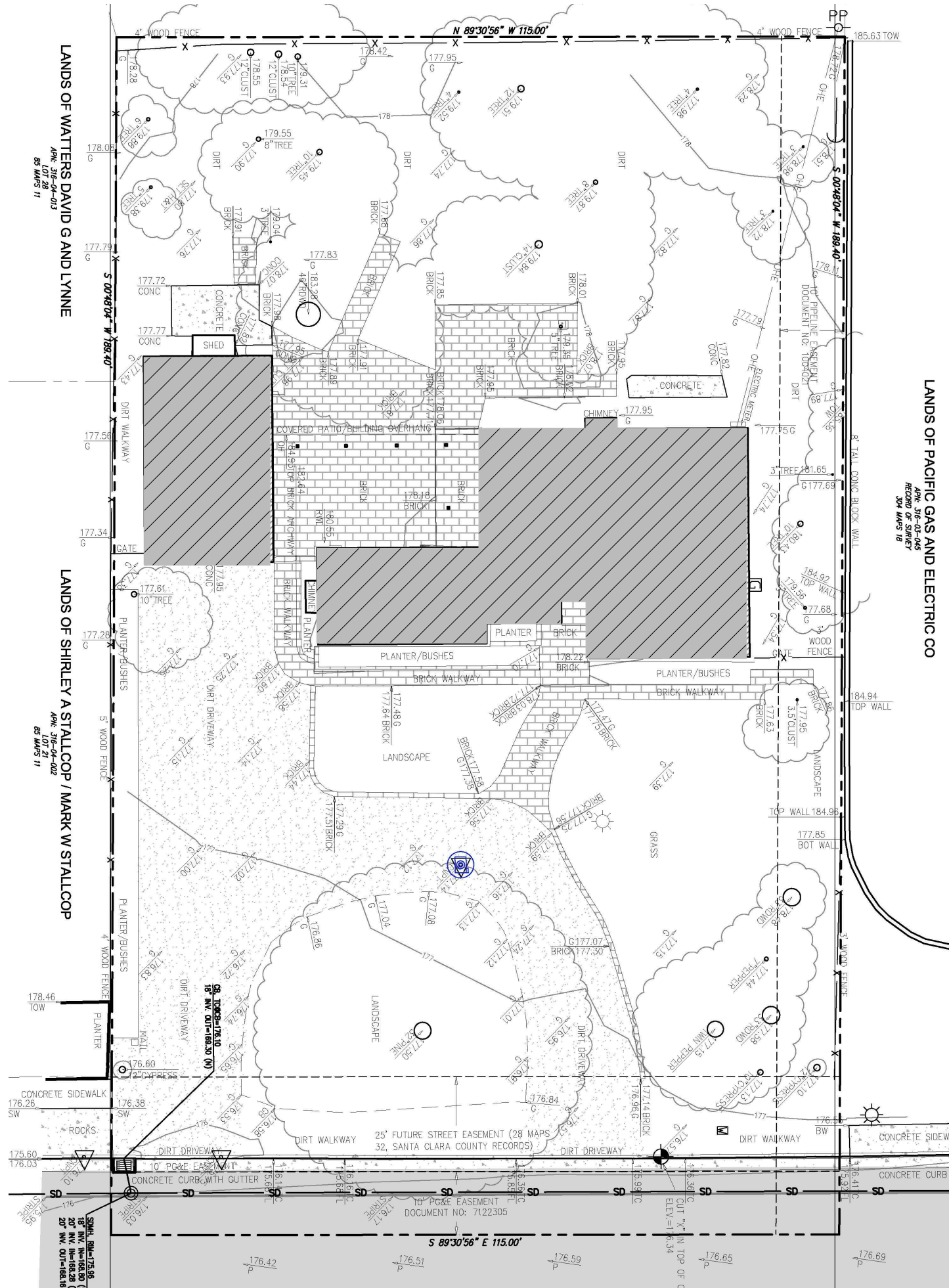
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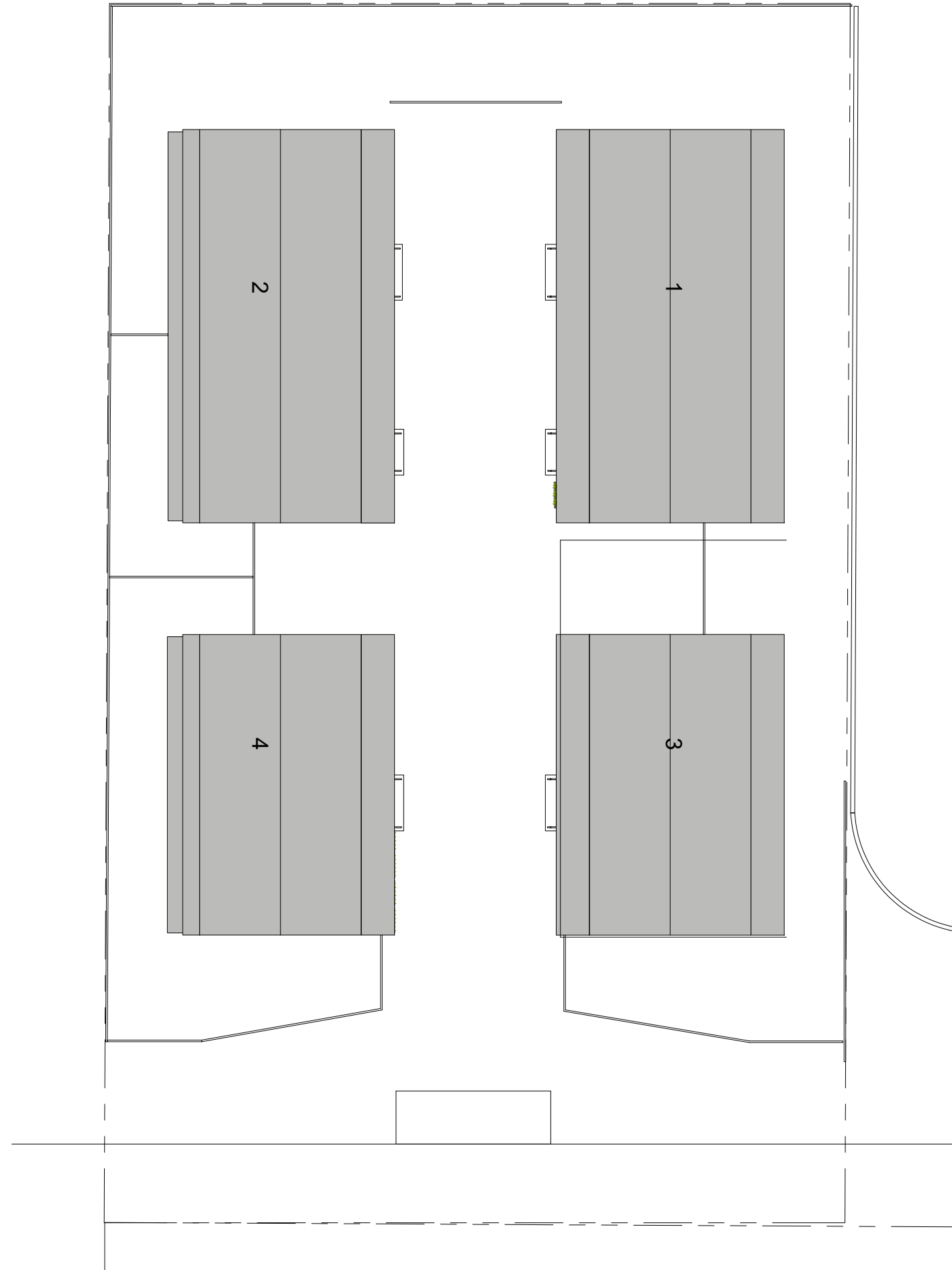
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② Site Plan with Proposed Parcel Division
1/16" = 1'-0"

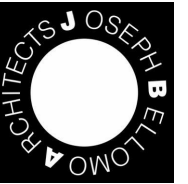
	PARCEL 1	PARCEL 2	PARCEL 3	PARCEL 4
AREA OF THE PARCEL	4460	4320	3350	3145
SITE COVERAGE	2033	2033	1550	1550
SQUARE FOOTAGE	3923	3808	2955	2820
FLOOR AREA RATIO	1:0.87	1: 0.88	1: 0.88	1: 0.89
LANDSCAPED OPEN SPACE	2103	1963	1638	1595
	47%	45%	49%	51%



EXISTING USE LOW RESIDENTIAL (1-5 DU/Ac)



PROPOSED USE :LOW MEDIUM RESIDENTIAL (5-10 DU/Ac)



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GRAPHIC REPRESENTATION OF CHANGE IN DENSITY

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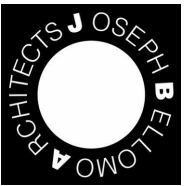




② East Elevation
1/16" = 1'-0"



① West Elevation
1/16" = 1'-0"



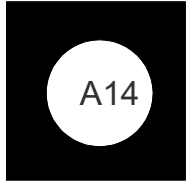
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EAST AND WEST ELEVATIONS

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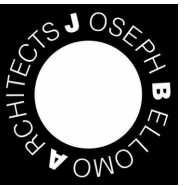




① North Elevation
1/16" = 1'-0"



② South Elevation
1/16" = 1'-0"



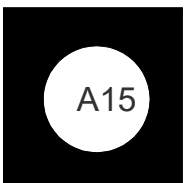
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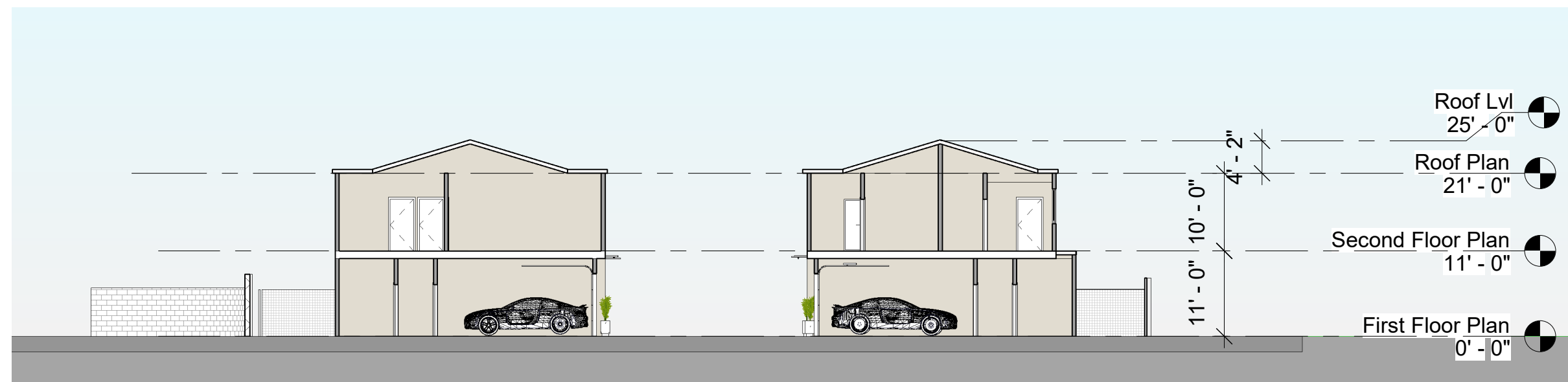
NORTH AND SOUTH ELEVATIONS

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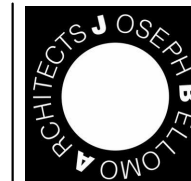




① Elevation from the Driveway 1
1/16" = 1'-0"



② Section 1
1/16" = 1'-0"



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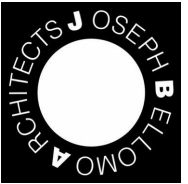
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ELEVATION FROM DRIVEWAY

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Aerial View



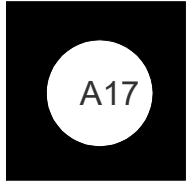
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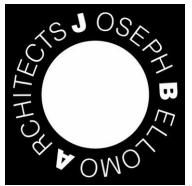
AERIAL VIEW

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A View from Homestead Road

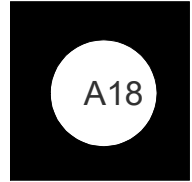


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Project Name: 19820 Homestead Road, Cupertino	STREET VIEW FROM HOMESTEAD ROAD
---------------------------------------------------------	----------------------------------------

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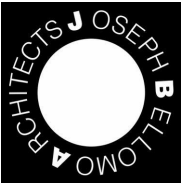
Residential Property on East side of the Property: City of Sunnyvale R0
Single Story Single Family Home

Residential Property on East side of the Property: City of Sunnyvale R0
Single Story Single Family Home



PG&E Property on the West Side of the Property.
Land Use: Quasi Public/ Institutional

Residential Property on the North side of the Property: City of Sunnyvale
Double Story Residences with Low Medium Density



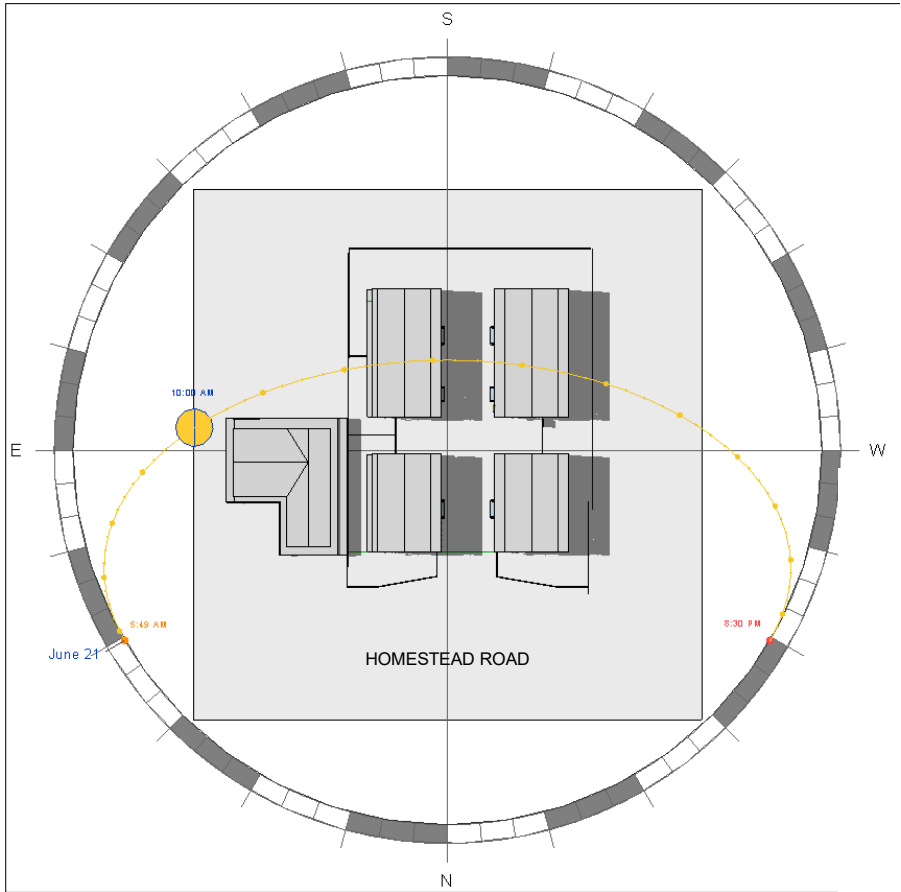
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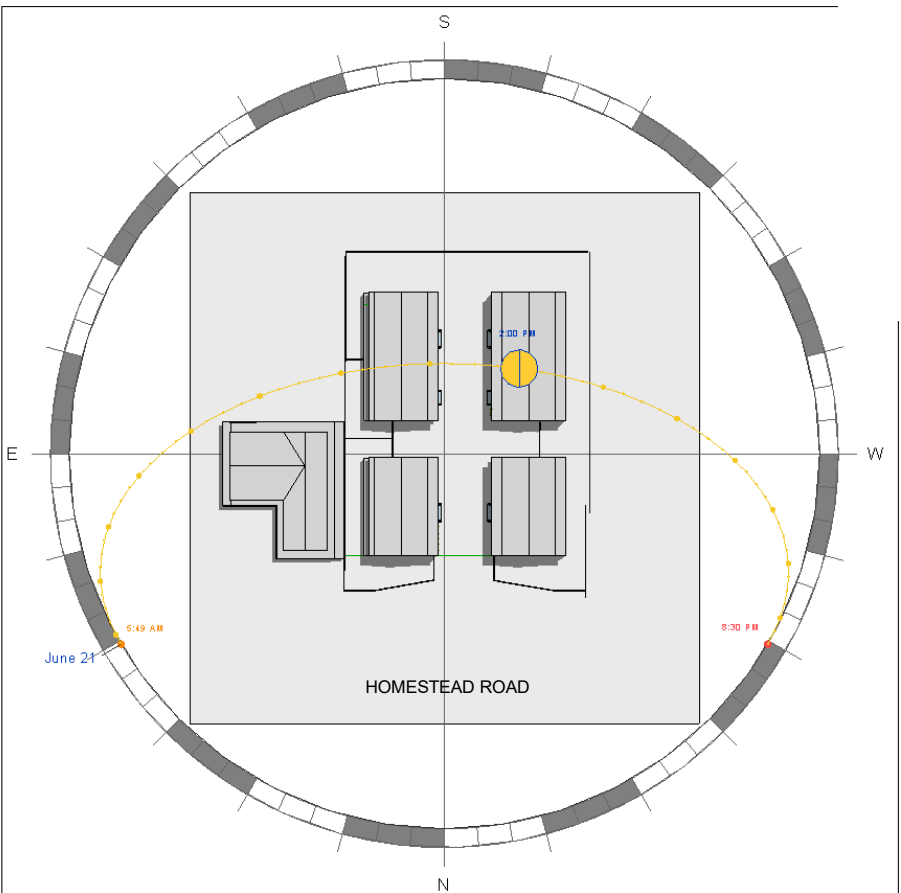
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CONTEXT PICTURES

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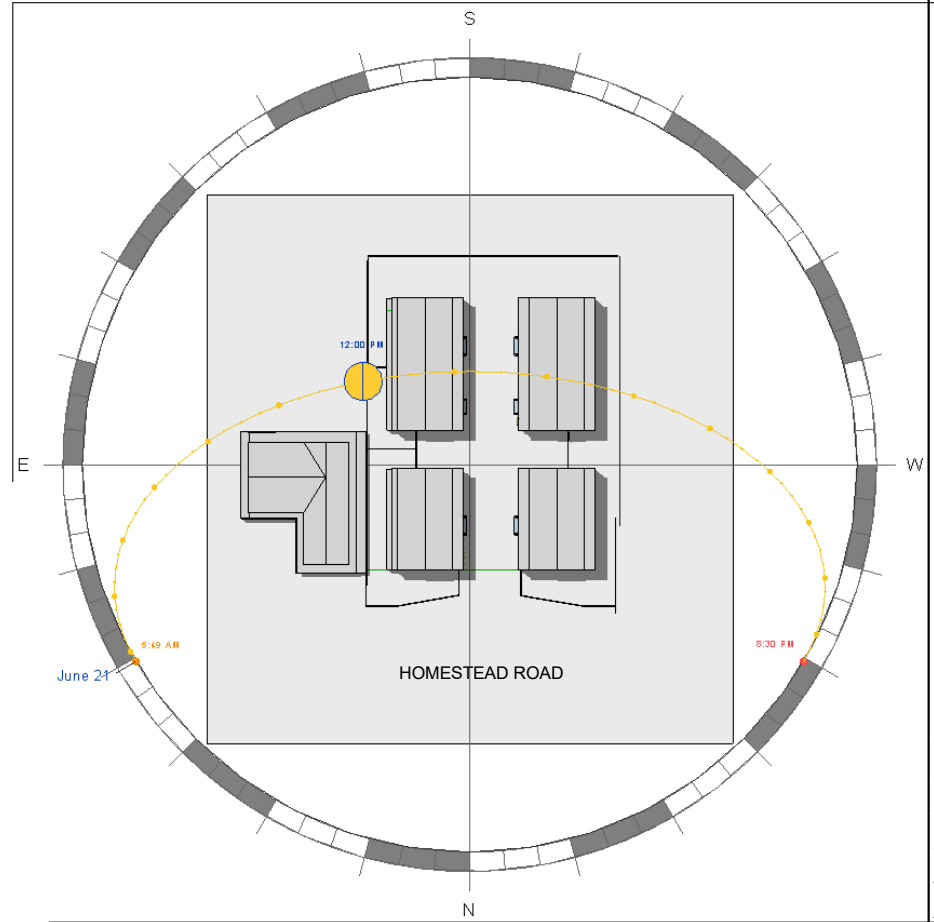
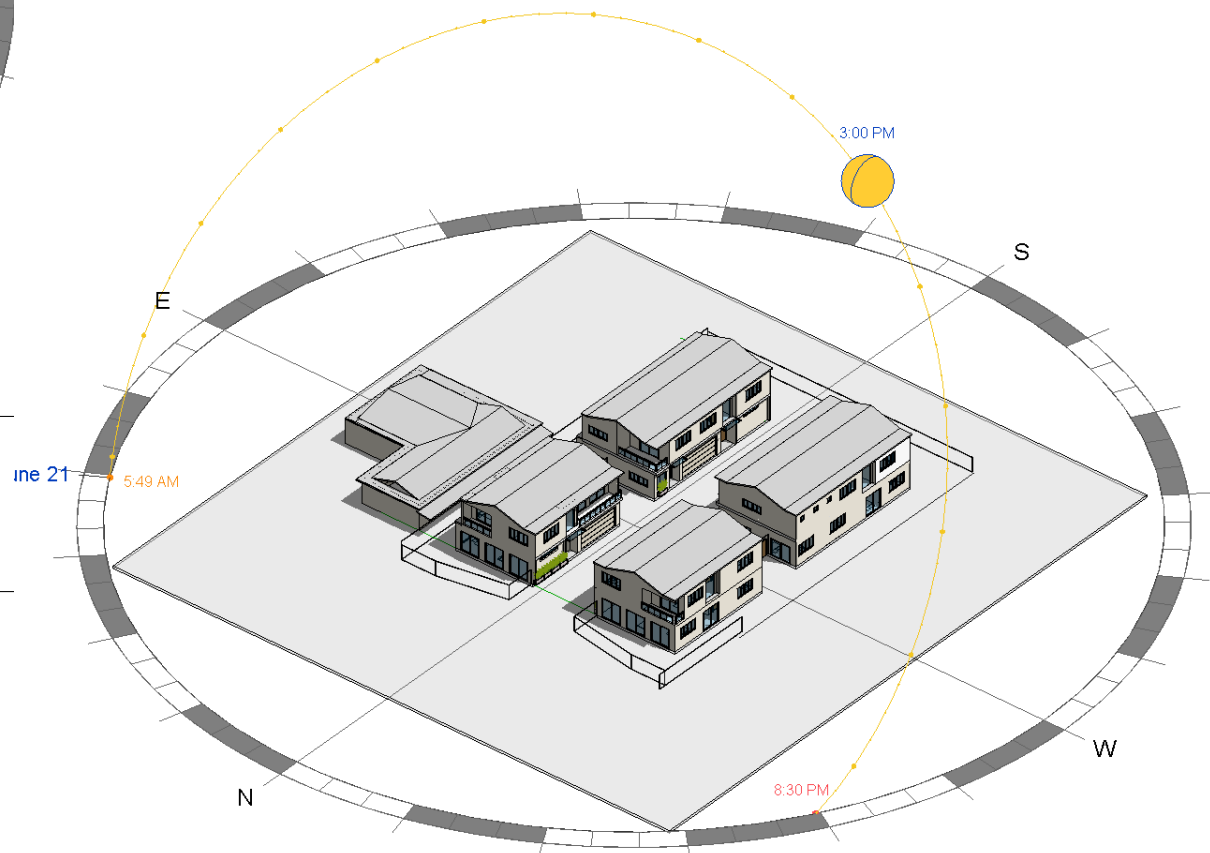


SHADOW AT 10 AM

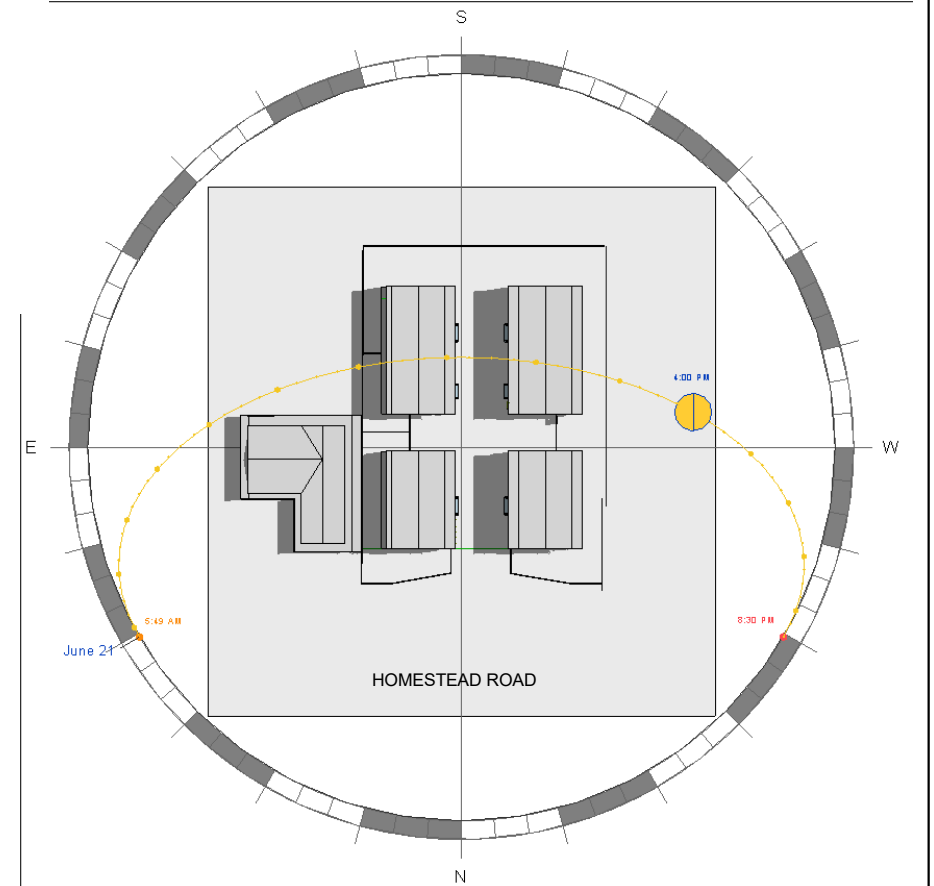


SHADOW AT 2 PM

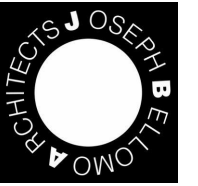
SHADOW STUDY : JUNE 21 ST



SHADOW AT 12 NOON



SHADOW AT 4 PM

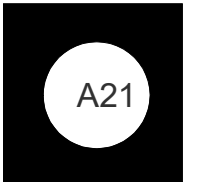


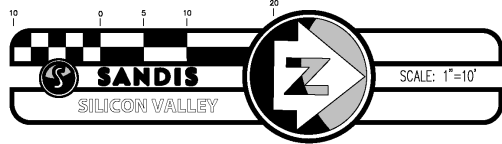
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ARCHITECT

Project Name:
19820 Homestead Road, Cupertino
SHADOW STUDY

DATE
05/01/2021
SCALE
PRINTABLE TO SCALE FORMAT 12" X 18"
Project Number
2020-04





SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF ELLA SUN IN AUGUST, 2020.

KELLY S. JOHNSON
L.S. NO. 9126



SEPTEMBER 1 2020
DATE

LANDS OF PACIFIC GAS AND ELECTRIC CO

APN: 316-03-045
RECORD OF SURVEY
304 MAPS 16

LANDS OF YAN SUN

49 MAPS 32
SANTA CLARA COUNTY RECORDS
DOC. NO. 24554578
ONE STORY WOOD HOUSE
APN: 316-04-064
217801 SQ.FT.

LANDS OF WATTERS DAVID G AND LYNNE

APN: 316-04-013
LOT 28
85 MAPS 11

LANDS OF SHIRLEY A STALLCOP / MARK W STALLCOP

APN: 316-04-002
LOT 21
85 MAPS 11

EASEMENT NOTE

EASEMENTS SHOWN ARE PER RECORD OF SURVEY MAP BOOK 49 OF MAPS, PAGE 32, SANTA CLARA COUNTY RECORDS, AND ORANGE COAST TITLE COMPANY OF NORTHERN CALIFORNIA TITLE REPORT ORDER NO. 520-6235675-60, DATED MAY 21, 2020.

UNDERGROUND UTILITY NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN UPON THIS MAP IS PER RECORD OF SURVEY BOOK 49 OF MAPS, PAGE 32, SANTA CLARA COUNTY RECORDS AND HAS BEEN ROTATED 01104° TO CALIFORNIA STATE PLANE COORDINATES ZONE III NAD83, EPOCH 2020.50.

SURVEY NOTES

- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- DATES OF FIELD SURVEY: 08/12/2020-08/13/2020
- 10' POLE EASEMENT IS INDISCERNIBLE IN WIDTH AND CAN BE FOUND ON DOCUMENT NUMBER 7122305 FILED JULY 27, 1981 IN SANTA CLARA COUNTY

SITE BENCHMARK

THE SITE ELEVATION REFERENCE FOR THIS SURVEY IS A CUT "X" ON NORTH SIDE OF SUBJECT PROPERTY IN THE TOP OF CURB ON HOMESTEAD ROAD APPROXIMATELY 28' EAST OF THE NORTHWEST PROPERTY CORNER

ELEV.=176.34

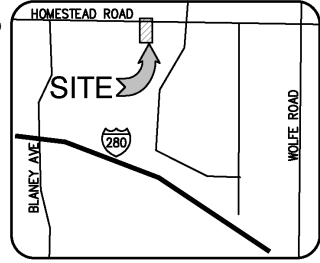
BOUNDARY NOTE

THE ELEVATION REFERENCE FOR THIS SURVEY IS A CITY OF CUPERTINO BENCHMARK, DESCRIBED AS BM14 SVLE, A BRASS DISC TOP OF CURB NEXT TO CATCH BASIN AT NORTH WEST CURB RETURN, WOLFE ROAD AND HOMESTEAD ROAD.

ELEV.=184.653

CITY OF CUPERTINO BENCHMARK, BM14 SVLE, A BRASS DISC TOP OF CURB NEXT TO CATCH BASIN AT NORTH WEST CURB RETURN, WOLFE ROAD AND HOMESTEAD ROAD APPROXIMATELY 950' WEST OF SITE.

ELEV.=184.653



VICINITY MAP

N.T.S.

ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.

—	BUILDING FACE
—	CONTOURS
—	FACE OF CURB LINE
—	ACCESSIBLE RAMP GRADE BREAK/EDGE LINE
—	FLOW LINE
X	FENCE LINE, TYPE / HEIGHT AS INDICATED
SD	STORM DRAIN LINE
SS	SANITARY SEWER LINE
WTR	WATER LINE
OHE	OVERHEAD ELECTRIC LINE
—	STORM DRAIN MANHOLE
—	DRAIN INLET ON CURB
—	SANITARY SEWER MANHOLE
—	WATER METER / BOX
—	WATER VALVE
—	FIRE HYDRANT
—	GAS METER
—	ELECTROLIER ON TOP OF POLE
—	POWER POLE
—	GUY WIRE ANCHOR
—	SIGN
—	MAILBOX
—	360 PHOTO LINK
—	BENCHMARK
—	SPOT ELEVATION
—	TREE WITH DRIPLINE, SIZE AS INDICATED
—	BRICK HATCH
—	DIRT DRIVEWAY HATCH
—	CONCRETE HATCH
—	PAVEMENT HATCH

ABBREVIATIONS

BLDC	BUILDING CORNER
BLDL	BUILDING LINE
BW	BACK OF WALK
CNPT	SURVEY CONTROL POINT
CONC	CONCRETE
FGBOOR	FINISHED GRADE AT DOOR
FL	FIRE HYDRANT
FL	FLOW LINE
FND IP	FOUND IRON PIPE
FND MON	FOUND SURVEY MONUMENT
G	GROUND
GB	GRADE BREAK
GM	GAS METER
GRATE	DRAIN INLET GRATE
GUY	GUY WIRE ANCHOR
LIP	LIP OF GUTTER
MLBX	MAILBOX
OH	BUILDING OVERHANG
P	PAVEMENT ELEVATION
PNL	ELECTRIC PANEL
PP	POWER POLE
RWL	RAIN WATER LEADER
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
STL	STREET LIGHT
SW	SIDEWALK
TC	TOP OF CURB
TCBCB	TOP OF CURB AT CATCH BASIN
TH	THRESHOLD
TOW	TOP OF WALL
VLT	VAULT
WF	WOOD FENCE
WM	WATER METER
WV	WATER VALVE

Project Name:
19820 Homestead Road, Cupertino

SITE SURVEY

DATE
09/27/20
SCALE
PRINTABLE TO SCALE FORMAT 12" X 18"
Project Number
2020-04

C0



SANDIS

CIVIL ENGINEERS
SURVEYORS
PLANNERS

636 Ninth Street | Oakland, CA 94607 | P. 510.873.8866 | www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE: 2020/09/01
SCALE: 1"=10'
DRAWN BY: N.M.
APPROVED BY: N.B.B.
DRAWING NO.: 220441

No.	REVISION/ISSUE	DATE	BY

19820 HOMESTEAD ROAD

CUPERTINO

CALIFORNIA

TOPOGRAPHIC AND BOUNDARY SURVEY

SHEET

1



STREET TREE: PISTACIA CHINENSIS 'KEITH DAVEY' - CHINESE PISTACHE



INTERIOR LANDSCAPE TREE: LAGERSTROEMIA 'MUSKOGEE' - CRAPE MYRTLE



INTERIOR LANDSCAPE TREE: CERCIS OCCIDENTALIS - WESTERN REDBUD

PROPOSED PLANT PALETTE

19820 HOMESTEAD RD.
CUPERTINO, CA