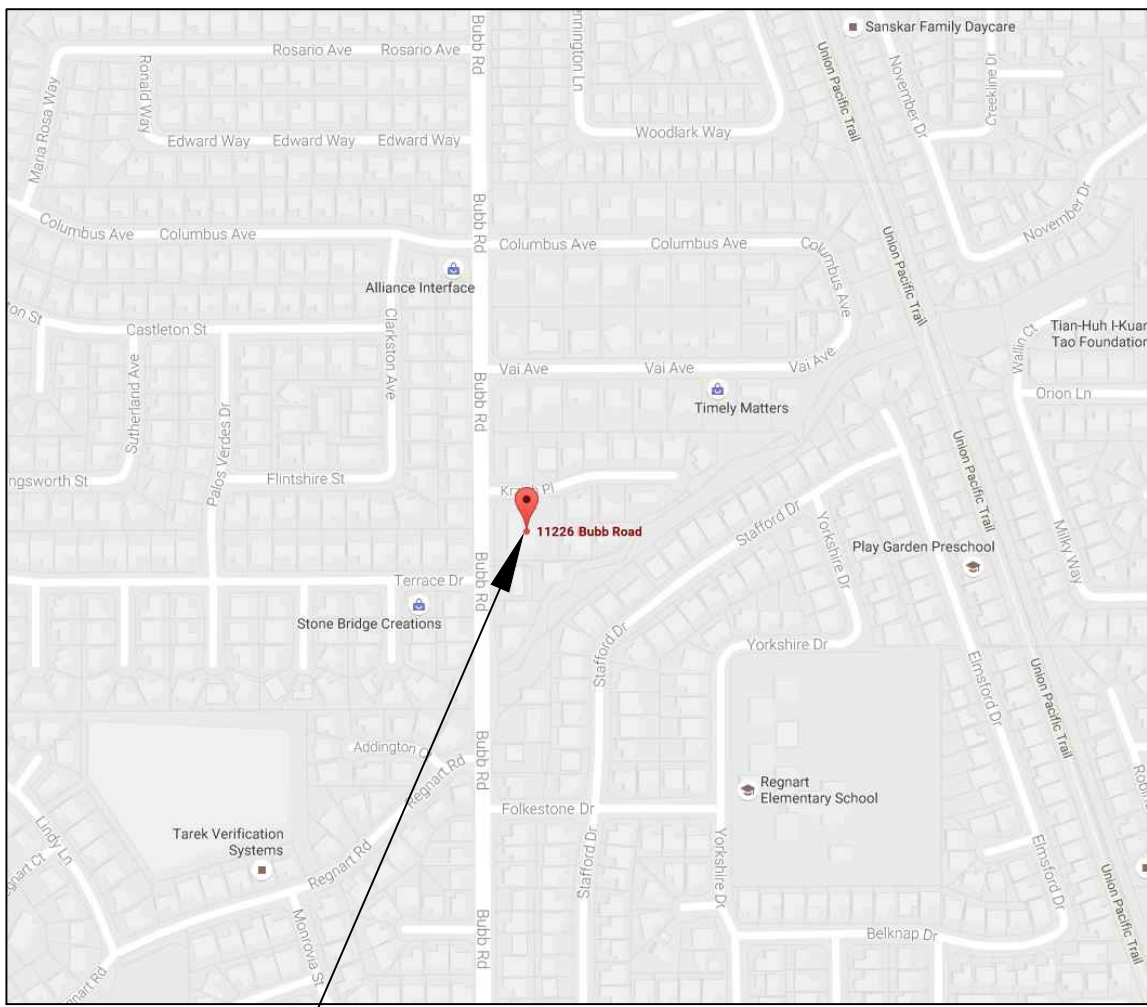




TENTATIVE MAP

THREE NEW SINGLE FAMILY LOT SUBDIVISION

AND STREET DEDICATION IN FEE

11226 BUBB RD.

CUPERTINO, CALIFORNIA 95014

BEGINNING AT THE SOUTHWESTERLY CORNER OF THAT CERTAIN PARCEL OF LAND, DESCRIBED IN THE DEED RECORDED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON JULY 5, 1955 IN BOOK 3215 OF OFFICIAL RECORDS, AT PAGE 88.

CITY OF CUPERTINO
SCALE: 1"=20'

CALIFORNIA
MAY 2020

SMP ENGINEERS

BASIS OF ELEVATIONS:

TOP OF SANITARY SEWER MANHOLE LOCATED AT THE INTERSECTION OF BUBB RD. AND KRZICH PLACE EL: 100.00'

BASIS OF BEARINGS:

THE BEARING N 00°00'00" E OF CENTERLINE OF BUBB RD., AS SHOWN ON THAT CERTAIN TRACT NO. 4708, RECORDED IN BOOK 257 OF MAPS AT PAGES 54 & 55, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

REFERENCES:

④ 362-06-01

Tree Assessment

11226 Bubb Road
Cupertino, CA
May 2020



Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=poor 5=excellent	Suitability for Preservation	Comments
71	Hollywood juniper	17,15,12,12	No	4	High	Beautiful specimen; multiple attachments at base; full, vigorous crown; displacing surrounding concrete.
72	Hollywood juniper	12,11,10,10,8	No	4	High	Beautiful specimen; multiple attachments at base; full, vigorous crown; displacing surrounding concrete; crown bows to east.
73	Canary Island date palm	30	No	5	High	Off-site; tag on fence; 20' brown trunk; excellent health.
74	Blue atlas cedar	18	Yes	3	Moderate	Narrow, upright form; codominant high in crown; heavy laterals to west; crook at 3'.
75	Blue atlas cedar	17,10	Yes	4	Moderate	Upright form; base covered in ivy; codominant at 2'; good vigor.
76	Mexican fan palm	14,14	No	4	Moderate	Codominant at base; 6' and 7' brown trunk.
77	Coast live oak	13,13	Yes	4	Moderate	Codominant at 4' with included bark; small stem removed on north; full, dense crown.
78	Douglas fir	13	No	3	Moderate	Replaced leader; previously topped; good vigor.
79	Blue atlas cedar	19	Yes	3	Moderate	Good upright form; slightly thin and drought stressed; sap flowing on trunk; dieback in upper crown.
80	Coast live oak	35,15	Yes	5	High	Excellent health and structure; 15' stem attaches at 4' and extends low to east; full, dense crown.
81	African fern-pine	7,5,5,4,4,4,4	No	3	Low	Multiple attachments at base; growing at edge of fence in raised planter; slightly chlorotic.
82	Coast live oak	2,2	No	3	Low	Base at fence line in raised planter; trunk bows at 4'; full crown; codominant at 7'.
83	Coast live oak	6	No	3	Low	Base at fence line in raised planter; trunk bows at 4'; slightly thin; codominant at 6'.

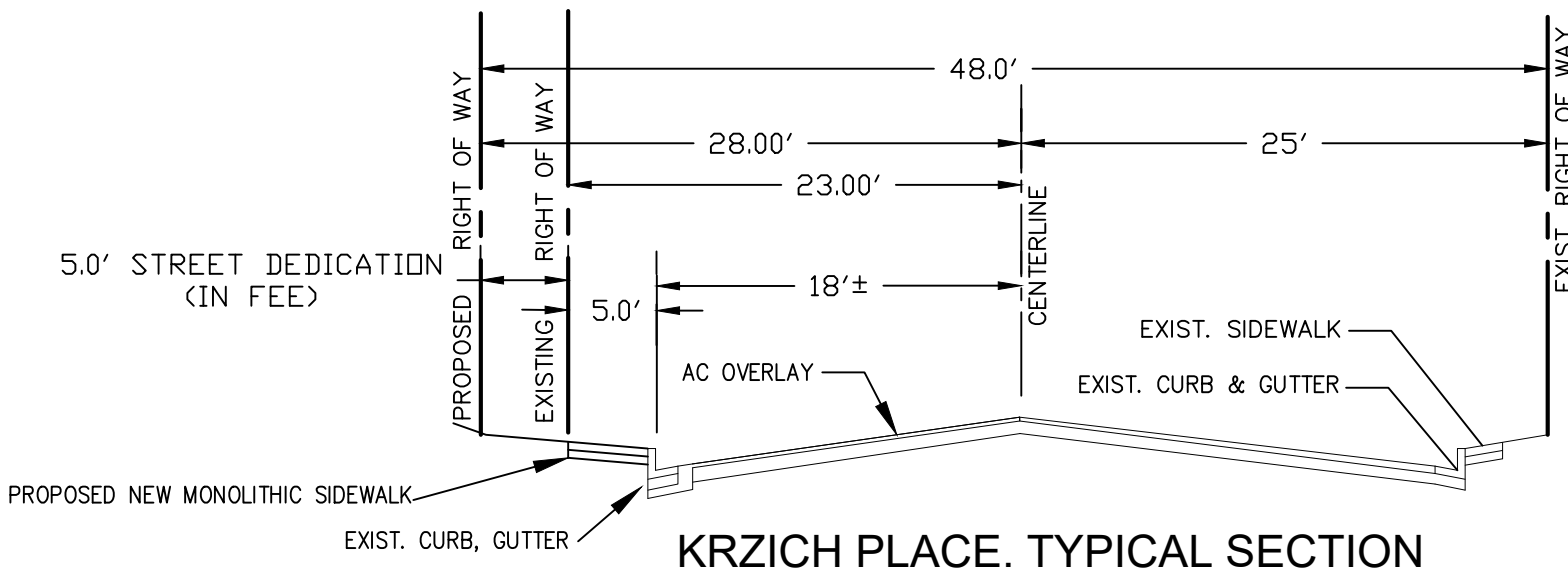
PROPOSED LOTS	SQ. FT.	ACRES
LOT A	11,231	0.257
LOT B	11,231	0.257
LOT C	11,231	0.257
STREET DEDICATION (IN FEE)	11,231	0.257
TOTAL	33,694	0.771

PROPOSED LOTS	GROSS SQ. FT.	NET SQ. FT.
LOT A	11,231	11,231
LOT B	11,231	11,231
LOT C	11,231	11,231
TOTAL	33,694	33,694

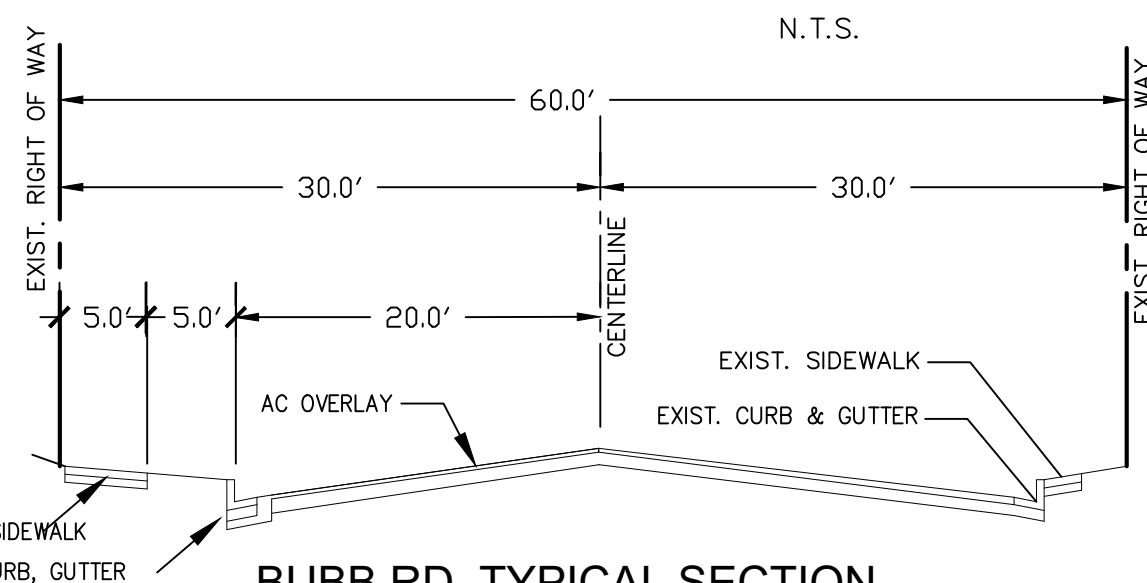
EXISTING PARCEL	SQ. FT.	ACRES
PARCEL A	32,310	0.742

GENERAL NOTES

- PROPERTY OWNER: QI ESTATES LAND DEVELOPMENT 11226 BUBB RD. CUPERTINO, CA 95014
- SUBDIVIDER: QI ESTATES LAND DEVELOPMENT 11226 BUBB RD. CUPERTINO, CA 95014
- PREPARED BY: SAEID RAZAVI, RCE 52724 SMP ENGINEERS CIVIL ENGINEERS AND LAND SURVEYORS 1534 CAROB LANE LOS ALTOS, CA 94024 (650) 941-8055
- ASSESSOR'S PARCEL NUMBER: 362-06-036
- CONTOUR INTERVAL = 2'
- EXISTING LAND USE: RESIDENTIAL
- PROPOSED LAND USE: LOTS 1 THRU 3 RESIDENTIAL USE
- EXISTING WELLS: THERE ARE NO KNOWN WELLS.
- FLOOD ZONE CLASSIFICATION: FEMA FLOOD ZONE X - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
- STREETS: ALL PROPOSED STREET MODIFICATIONS WILL BE DEDICATED AND IMPROVED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
- EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL AND COMMERCIAL
- WATER: SAN JOSE WATER COMPANY
- FIRE PROTECTION: CITY OF CUPERTINO
- SANITARY SEWER: CUPERTINO SANITARY DISTRICT
- POWER AND GAS: PACIFIC GAS AND ELECTRIC.
- TELEPHONE: AT&T
- PROPOSED STREET PLANTING: IN ACCORDANCE WITH CITY ORDINANCE NO. 125
- AREA TO BE SUBDIVIDED: APPROXIMATELY 0.742 ACRES (32,316 SQUARE FEET) INTO 3 LOTS.
- NEW EASEMENT: PRIVATE STORM DRAIN EASEMENTS (P.S.D.E.) SHALL BE DESIGNATED ON THE PARCEL MAP.
- CONTOUR ELEVATION: SANTA CLARA VALLEY WATER DISTRICT BENCHMARK.
- ALL DIMENSIONS ARE APPROXIMATE.
- NO NEW STREET NAMES ARE SPECIFICALLY PROPOSED AT THIS TIME.



KRZICH PLACE. TYPICAL SECTION

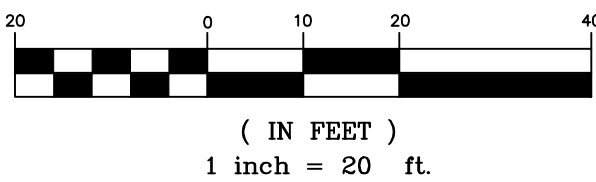


BUBB RD. TYPICAL SECTION

LEGEND AND ABBREVIATIONS

- STREET CENTER LINE
- EXTERIOR BOUNDARY LINE
- NEW LOT LINE
- EXIST. PROPERTY LINE
- EASEMENT LINE
- INDICATES FOUND STANDARD CITY MONUMENT
- PUBLIC UTILITY EASEMENT
- PRIVATE STORM DRAIN EASEMENT
- EXISTING SETBACK
- ⊙ PUE
- PSDE
- EXIST. SB

GRAPHIC SCALE



1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER:

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SMP ENGINEERS
CIVIL ENGINEERS

TENTATIVE MAP
THREE NEW RESIDENCES
11226 BUBB RD., CUPERTINO, CA 95014
APN: 362-06-036

Revisions:



Date: 5/21/2020

Scale:

Prepared by:

A.D.

Checked by:

S.R.

Job #: 216073

Sheet:

TM

ABBREVIATIONS			
	DESCRIPTION		DESCRIPTION
AB	AGGREGATE BASE (CLASS AS NOTED)	LP	LOW POINT
AC	ASPHALT CONCRETE	MON	MONUMENT
AD	AREA DRAIN	OG	ORIGINAL GROUND
BC	BACK OF CURB	PB	PULL BOX
BFL	BACK FLOW WATER PREVENTOR VALVE	PGEV	PG&E VAULT
BOW	BOTTOM OF WALL	R,P/L	PROPERTY LINE
BW	BACK OF WALK	PP	POWER POLE
C&G	CURB AND GUTTER	PERF	PLASTIC PERFORATED PIPE
CTF	GARAGE FINISH FLOOR (BACK)	PSE	PUBLIC SERVICE EASEMENT
R,C/L	CENTERLINE	PVC	POLYVINYL CHLORIDE
CLSW	CENTERLINE SWALE	R/W	RIGHT OF WAY
CO	CLEANOUT	RCP	REINFORCED CONCRETE PIPE
CP	CONTROL POINT	SD	STORM DRAIN
DWY	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
DI	DROP INLET	SS	SANITARY SEWER LINE
DLTE	DAYLIGHT	SSMH	SANITARY SEWER MANHOLE
ELCT	ELECTRIC	SW	SIDEWALK
EP	EDGE OF PAVEMENT ELEVATION	TC	TOP OF CURB
EUC	EUCALYPTUS TREE	TF	TOP OF FOUNDATION
(E),EX	EXISTING	TOB	TOP OF BANK
FF	FINISHED FLOOR	TOS	TOE OF SLAB
FG	FINISH GRADE	TOW	TOP OF WALL
FH	FIRE HYDRANT	TP	TOP OF PIPE
FL	FLOWLINE	UG	UNDERGROUND GAS
FNC	FENCE	UST	UNDERGROUND SANITARY SEWER
FOG	FOG LINE	UST	UNDERGROUND STORM DRAIN
GB	GRADE BREAK	UT	UNDERGROUND TELEPHONE
GFF	GARAGE FINISHED FLOOR (FRONT)	UW	UNDERGROUND WATER
GUY	GUY WIRE	VCP	VITRIFIED CLAY PIPE
HP	HIGH POINT	WL	WHITE LINE STRIPE
IP	IRON PIPE	WLK	WALKWAY
JP	JOINT POLE	WM	WATER METER
JB	JUNCTION BOX (UTILITY)	WV	WATER VALVE
LIP	LIP OF GUTTER		

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		FILL AREA LIMIT
		CUT AREA LIMIT
		CONTOUR
		WATER LINE
		STORM DRAIN PIPE (SOLID)
		SANITARY SEWER PIPE
		SUBDRAIN PIPE (PERFORATED)
		OVERHEAD UTILITIES WITH POLE
		GAS LINE
		ELECTRIC LINE (UNDERGROUND)
		JOINT TRENCH
		STREET LIGHT VAULT
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		ELECTROLIER
		WATER METER
		TREE WITH TRUNK
		6' WOODEN FENCE
		SPOT ELEVATION
		TREE PROTECTION FENCE
		5' TALL CHAIN LINK
		SWALE
		DIRECTION OF FLOW IN PIPE
		AREA DRAIN/ INLET
		OVERLAND RELEASE PATH
		GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE
		(E) TREE TO BE REMOVED
		ROOF DOWN-SPOUT RELEASED TO 24" SPLASH BLOCK, DISCHARGING TO LANDSCAPE AREAS AND AWAY FROM BUILDING

GRADING AND DRAINAGE PLANS

THREE NEW RESIDENCES

11226 BUBB RD. , CUPERTINO, CA 95014

GENERAL NOTES

- All work shall be in accordance with the State of California Department of Transportation Standard Specifications (dated July 1992), Standard Plans (dated July 1992), and City of Cupertino Standard Details. The Contractor shall perform the work described in the specification, and as shown on the drawings, and to the satisfaction of the City Engineer.
- The Contractor is required to notify the Public Works Inspector two (2) working days prior to requiring an inspection. Two (2) working days prior to installing permanent striping, the Contractor shall call for review and approval of the proposed striping by the City Traffic Engineer. The City shall have the right to make changes in the locations of the alignment of lane stripes and pavement markings.
- All underground utilities shall be installed and adequately backfilled before placement of the base material and surface structures. If utilities are to be installed subsequently, a written notification from the affected utility company indicating its commitment to bore or tunnel shall be submitted to the City Engineer before proceeding with the work. Underground utilities, except storm and sanitary sewer, will not be permitted in pavement area, with the exception of street crossings, otherwise specifically approved and authorized by the City Engineer.
- The Contractor shall have all of the utilities, underground mains and services that may conflict with the project, located in the field. The Contractor shall contact Underground Service Alert (USA) two (2) working days in advance of any work, for location of the underground facilities, at (800) 642-2444.
- All trench backfill, fill areas, and base material shall attain a minimum 95 % compaction as per Standard Specifications. For typical trench sections, refer to the City Standard Details, with the exception of sanitary sewers.
- All trees, roots and foreign matter in existing or proposed Right of Way shall be removed to a depth of two (2) feet below subgrade and disposed of.
- All existing pavement removed or damaged shall be replaced as required by the City Engineer.
- All concrete used for all structures must be Class "A" (6 sacks per cubic yard) as per Standard Specifications and shall attain a strength of 3,000 p.s.i. in 28 days. Sidewalks, curbs and gutters shall be Class "B" (5 sacks per cubic yard) as per Standard Specification and shall attain a strength of 3,000 p.s.i. in 28 days.
- Drop inlets installed shall be City of Cupertino Standard unless otherwise noted on the plans. The boxes shall be installed at the same time the P.C.C. curb and gutter is installed. Class "A" P.C.C. shall be used.
- A minimum thickness of six (6) inches of P.C.C. shall be required for commercial driveway approaches and five (5) inches for residential. Locations shall be determined prior to the installation of curbs. The driveway shall be installed at the same time as the curb.
- All street curbs shall be vertical P.C.C. curbs.
- Install City of Cupertino street name signs, four (4) blades each per assembly as shown on the plans.
- Install City of Cupertino standard monument box (es) and monument(s) as shown on the plans.
- All grade stakes and laths required by the City Engineer shall be installed by the Subdivider's Engineer as directed. Minimum off-sets for cut stakes shall be five (5) feet.
- Prior to commencing work, the Contractor shall have cut sheets approved by the City Engineer. Notify the City Engineer two (2) working days prior to requiring inspection.
- The Contractor shall submit a written request for final inspection.
- One pound of dispersing black shall be mixed with each cubic yard of concrete at the batch plant.
- Grading of lots outside of R/W as per typical section and for cross-section, shall be completed and approved by the City Engineer before proceeding with preparation of the subgrade and placement of surface structures on lots. All lots shall be graded to the street elevation, or as shown on the plans, or as determined by the City Engineer.
- Notify the City Engineer (two) 2 working days in advance of requiring services for checking field staking. At this time, three (3) copies of the cut sheets will be furnished.
- All standard street monuments, lot corner pipes, and other permanent monuments disturbed during construction shall be replaced before acceptance of the improvements by the City of Cupertino.
- Manhole frames and covers shall be brought to finish grade before final paving.
- The Developer shall pay all costs for moisture-density curves (Calif. Test No. 216E) and any other tests required by the City Engineer during street construction.
- Approval of these plans does not release the Contractor of the responsibility for the corrections of mistakes, errors, or omissions contained therein. If, during the course of construction of improvements, public interest requires a modification of/or a departure from the City of Cupertino specification or these improvement plans, the City Engineer shall have the authority to require such modification or departure and to specify the manner in which the same is to be completed.
- Septic tanks shall be pumped and backfilled to the satisfaction of Santa Clara County Health Department prior to construction.
- For all five (5) foot monolithic sidewalks, all fire hydrants and electroliers shall be installed behind the sidewalk.
- Each sheet of the construction/modification plans shall be initiated by the City Engineer to be considered approved final plans. It shall be the responsibility of the Contractor, and all Subcontractors to insure they are furnished with approved plans or the latest revised plans.
- All water lines, valves, hydrants, and appurtenances thereto installed within the City of Cupertino Municipal Water Utility's services area, shall be the property of said water utility.
- Construction signing shall be installed prior to the beginning of work.
- Any and all storm lines installed as part of the work on these plans shall be cleaned of all excess material, debris and obstructions. Storm lines shall be flushed as directed by the City Engineer.

SANITARY SEWER NOTES

- All work performed shall be installed to manufacturers specifications and all work shall comply with all current local, state and federal requirements.
- All work shall be constructed in accordance with these plans and the Standard Specifications of the Cupertino Sanitary District.
- All excavation and backfilling within street right-of-way shall be done in accordance with the requirements of the Engineer of the public agency having jurisdiction. Encroachment Permits shall be obtained and a copy shall be on the job during construction.
- Fill material shall be compacted to a minimum of two and one half (2.5) feet above the top of pipe elevation by methods that will not damage the pipe or substituted with gravel or one (1) slurry mix. Fill material must attain a minimum of ninety five percent (95%) relative compaction, as per State of California Standard Specifications.
- The District Engineer shall be notified two (2) working days in advance of starting construction on this project , 20065 Stevens Creek Boulevard, Building C, Cupertino, CA 95014 (408) 253-7071. At that time, traffic plans, encroachment permits and the sewer diversion plans shall be given to the District Engineer. Sewer diversion plans shall include sewage bypass and emergency plans. Work shall not begin until the District Engineer has provided written acceptance of these plans.
- One (1) sanitary sewer lateral shall be installed for each lot or building. Location of lateral and property corners to be staked in field at the same time the sewer main is staked for construction. Laterals shall not be laid on less than two percent (2%) grade and shall have a minimum cover of four and one half (4.5) feet at property line or edge of sanitary sewer easement. Laterals shall be deeper than four and one half (4.5) feet when directed by District Engineer. Laterals shall not be extended beyond the street right-of-way line or sanitary sewer easement line until the main has been tested. Lateral sewers constructed outside of the public street or Cupertino Sanitary District Easement shall be constructed in accordance with the requirements of, and shall be inspected by the City of Cupertino Building Department.
- The Contractor performing work on the sanitary sewers shall be required to register with the District and provide insurance as specified in Sections 1.39 and 1.40 of the District's Standard Specifications.
- The Developer and General Contractor shall be responsible for protection of all existing improvements including existing sanitary sewer facilities that are to remain and if damaged during construction of the proposed improvements, shall be repaired to the satisfaction of the Cupertino Sanitary District and other affected agencies.
- Channels of all District manholes within the construction area shall be protected by plywood covers, placed in the manholes and manhole castings shall be adjusted to final grade in accordance with the Standard Specifications of the Cupertino Sanitary District or as directed by the District Engineer.
- The Developer and General Contractor shall be responsible for the prevention of construction debris entering the existing sanitary sewer system due to the construction activities associated with this project and the Developer and Contractor shall pay all costs associated with the release of construction debris into the existing sanitary sewer system due to the construction activities associated with this project.
- The Developer and General Contractor shall be responsible for the prevention of a sewage spill associated the Contractors activities on this project and the Developer and Contractor shall pay all costs associated with the release of sewage into surface drainage system and downstream surface waters.
- Utility Notification (Contractor shall locate all utilities prior to start of excavation):
 - Underground Service Alert 800-227-2600
 - Storm Drains City of Cupertino
 - Sanitary Sewers Cupertino Sanitary District
- All Sanitary Sewer Pipes shall be PVC-SDR26 or approved equal, unless otherwise specified by the District Engineer.
- Access for pedestrians and vehicles shall be provided at all times unless approved in writing by District Engineer.
- VIDEOTAPE INSPECTION OF THE EXISTING/ (N) PROPERTY LINE CLEANOUT, POINT OF CONNECTION AND STREET LATERAL IS REQUIRED PRIOR TO PASSING THE CITY OF CUPERTINO FINAL INSPECTION. OWNER TO CALL DISTRICT 48 HOURS PRIOR TO VIDEO INSPECTION TO SCHEDULE A DISTRICT INSPECTOR. DISTRICT TO PROVIDE BUILDING DEPARTMENT WHIT WRITTEN NOTIFICATION UPON COMPLETION OF INSPECTION.

Approval of these plans by Cupertino Sanitary District does not relieve the installer of the responsibility for the correction of mistakes, errors, or omissions. If, during the course of construction of the sanitary sewers the public interest requires a modification of, or a departure from the District Specifications or these improvement plans, the District Engineer shall have the authority to require such modifications or departure and to specify the manner in which the modifications or departure is to be done.

Approved _____, 20_____

CUPERTINO SANITARY DISTRICT

District Engineer

EARTHWORK TABLE

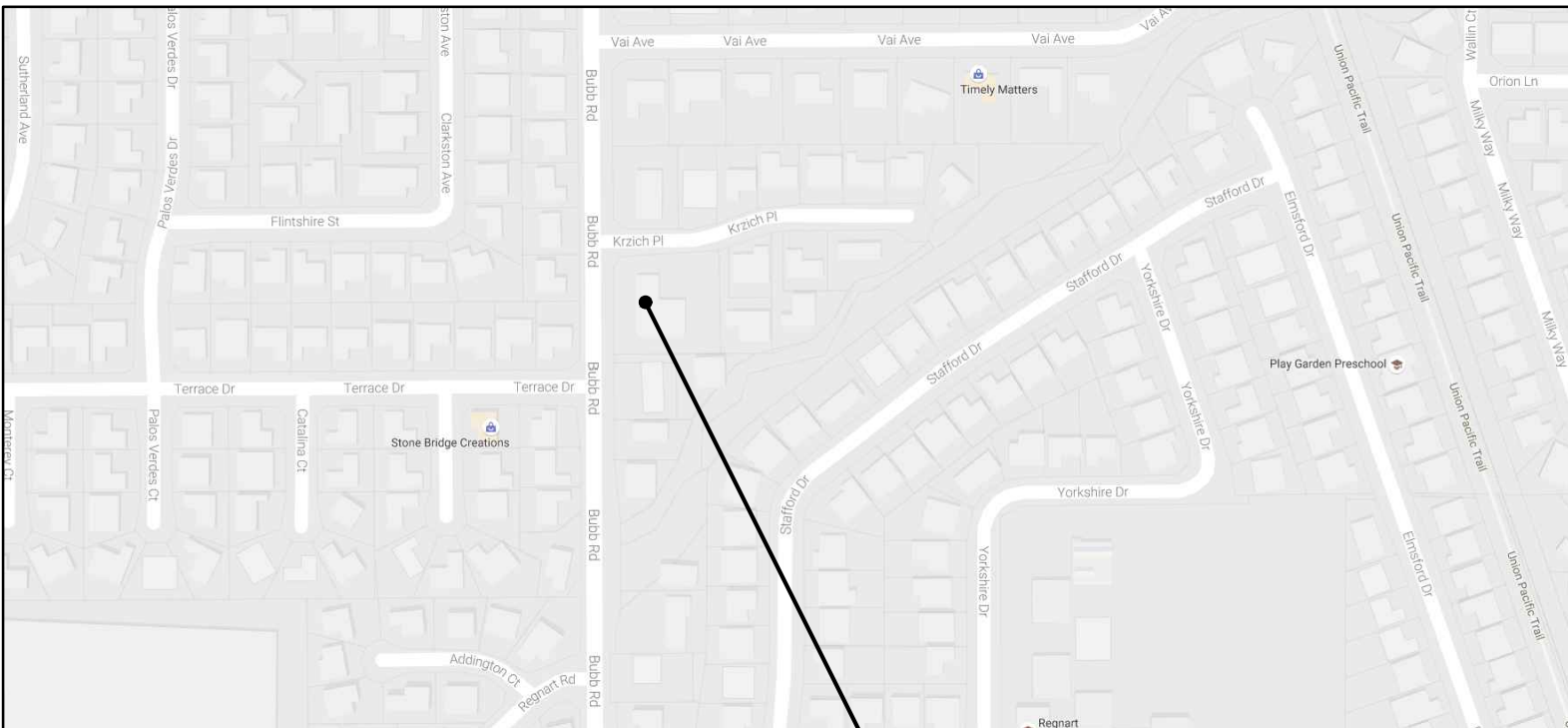
	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
BUILDING	153	551		
SITE	128	321		
TOTAL	281	872	0	591

NOTE:

- EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFF'S.

CITY ENGINEER'S SIGNATURE

APPROVED BY: TIMM D. BORDEN RCE 45512 Date
DIRECTOR OF PUBLIC WORKS EXP. 12/31/2020



LOCATION MAP

N.T.S.

PROJECT SITE



SHEET INDEX:

C-1	COVER SHEET
C-2	NOTES/DETAILS
C-3	GRADING AND DRAINAGE PLAN
C-4	STORMWATER CONTROL NOTES/ DETAILS
C-5	STORMWATER CONTROL PLAN

BASIS OF BEARINGS:

THE BEARING N 00°00'00" E OF CENTERLINE OF BUBB RD., AS SHOWN ON THAT CERTAIN TRACT NO. 4708, RECORDED IN BOOK 257 OF MAPS AT PAGES 54 & 55, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

REFERENCED ASSUMED BENCHMARK:

TOP OF SANITARY SEWER MANHOLE LOCATED AT THE INTERSECTION OF BUBB RD. AND KRZICH PLACE EL: 100.00'

CUPERTINO SANITARY SEWER DISTRICT NOTE:

- CUPERTINO SANITARY SEWER DISTRICT CONNECTION PERMIT IS REQUIRED PRIOR TO ISSUE OF ANY BUILDING PERMIT.
- SEE SANITARY SEWER NOTES ON SHEET C-2 FOR REQUIREMENTS AND RECOMMENDATIONS.

GEOTECHNICAL REVIEW:

-GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL/ SOILS ENGINEER.
-GEOTECHNICAL/ SOILS ENGINEER TO PROVIDE AND FURNISH LETTER OF APPROVAL TO CITY.

NOTE:

"THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, BASEMENT EXCAVATION, PIER DRILLING, FOOTING EXCAVATIONS, PREPARATION OF SUBGRADE AND PLACEMENT OF NON-EXPANSIVE FILL BENEATH THE BASEMENT SLAB AND SLABS-ON-GRADE, PAVEMENTS, RETAINING WALL BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED JANUARY 10, 2013. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-559-9980) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT."

DRAINAGE NOTES

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
- On site storm drain lines shall consist of solid PVC-SCH 40 OR PVC SDR-35 minimum or better. Use PVC SCH80 OR PVC SDR-26 for pipes running under driveway.
- Storm drain inlets shall be precast concrete, Christy U23 type or equivalent. Use traffic grade cover for inlets in driveways and stalls.

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



ENGINEERS
CIVIL ENGINEERS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER:

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SMP ENGINEERS
CIVIL ENGINEERS

GRADING AND DRAINAGE PLANS
THREE NEW RESIDENCES
11226 BUBB RD., CUPERTINO, CA 95014
APN: 362-06-036

COVER SHEET

Revisions:



Saeed Raza

Date:

1/30/2020

Scale:

AS SHOWN

Prepared by:

S.P.

Checked by:

S.R.

Job #:

216073

Sheet:

1 OF 5

C-1

PUBLIC WORK NOTES:

1. Approval of these plans does not release the Owner and/or Contractor of the responsibility for the corrections of mistakes, errors, or omissions contained therein. If, during the course of construction of improvements, public interest requires a modification of/or a departure from the City of Cupertino specification or these improvement plans, the City Engineer shall have the authority to require such modification or departure and to specify the manner in which the same is to be completed, at the sole expense of the Owner and/or Contractor.
2. Contact Public Works, 777-3104, for inspection of grading, storm drainage and public improvements.
3. All public improvements must be completed prior to occupancy.
4. Contractor is responsible for dust control and insuring the area adjacent to the work is left in a clean condition.
5. The Contractor shall review standard detail 6-4 on tree protection prior to accomplishing any work or removing any trees.
6. All grading shall be done in accordance with the Soils report .
7. All storm line installation with slopes less than 2% shall be certified by the Civil Engineer.
8. All on-site sanitary sewer lines and laterals shall be subject to building departments approval prior to installation.
9. Utilize Best Management Practices (BMP's), as required by the State Water Resources Control Board, for ANY activity which disturbs the soil.
10. A work schedule of grading and erosion & Sediment Plan shall be provided to the City engineer by August 15, No grading to be performed between October 1 to April 15.
11. Civil Engineer or Soils Engineer to review all grading and submit a final report to the City prior to occupancy.
12. Compaction reports and pad elevation certification are required on all building pad work.
13. The Owner or Contractor must call for final inspection, and the project must be signed off, prior to requesting return of bonds.
14. All (N) electrical services(power,phone,and/or cable) shall be undergrounded.
15. To initiate release of bonds , contact the Public Works Inspector for Final Inspection.
16. Prior to beginning of any work within the public right of way, the contractor will be responsible for pulling an encroachment permit from the public works department.

STANDARD GRADING & DRAINAGE PLAN NOTES
CITY OF CUPERTINO

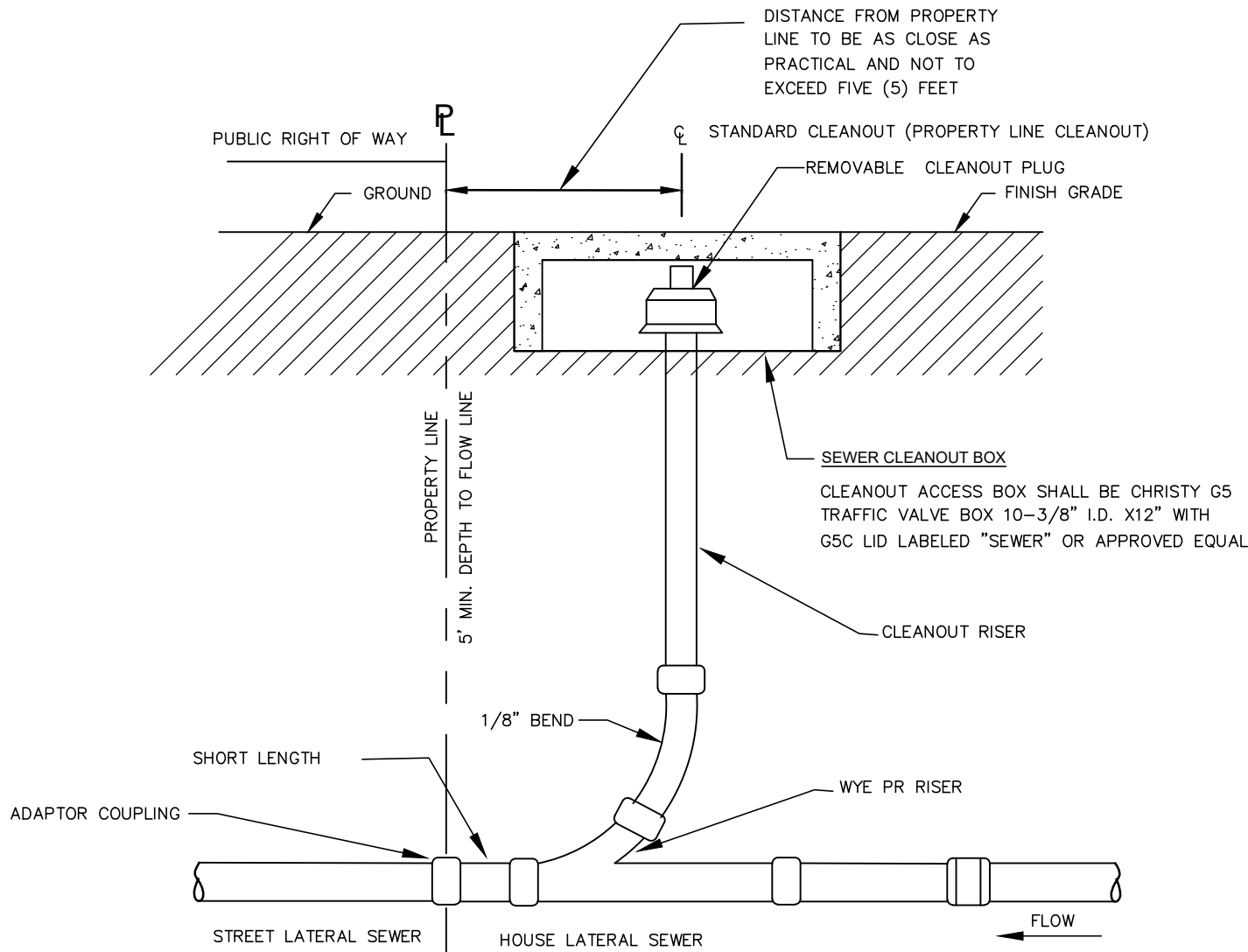
1. All grading and related drainage work is subject to observation by the City Permittee or representative shall notify the City of Cupertino Public Works Inspector at least two working days before start of any grading.
2. Approval of this plan applies only to (A) the excavation, placement, and compaction of natural earth materials, (B) the installation on-site (i.e. private property) storm water conveyance and treatment facilities that are outside of the building envelope, and (C) the installation of retaining structures that are independent of any building structure (see note 3 below). This approval does not constitute approval of either public property or the private property of others. Approval of this plan also does not constitute approval of any improvements with the exception of those listed above. Proposed improvements, with the exception of those listed above, are subject to review and approval by the responsible authorities and all other required permits shall be obtained.
3. Unless otherwise noted on the plan, any depiction of a retaining structure shall not constitute approval for construction of the retaining structure unless a separate structural review by the City is completed and approved.
 - It shall be the responsibility of the Permittee or agent to identify, locate and protect all underground facilities.
 - The permittee or agent shall maintain the streets, sidewalks and all other public rights-of-way in a clean, safe and usable condition at all times. Spills of soil, rock or construction debris shall be immediately removed from the public owned property. Approved protective measures and temporary drainage provisions shall be provided to protect adjoining properties from deposition of material or diverted flows both during and after all phases of construction.
 - Any grading shall be performed in such a manner as to comply with the requirements and standards established by the Bay Area Air Quality Management District or any other applicable regulations.
 - This project shall comply with the Prevention of Flood Damage as stated in Chapter 11.02 of the Cupertino Municipal Code.
 - All known well locations on the site have been shown and such wells shall be maintained or abandoned according to current regulations administered by the Santa Clara Valley Water District. Call (408) 242-2111 Extension 2111 to arrange for District observation of all well abandonments.
 - In the event that Human Remains and/or Cultural Materials are found, all project-related construction should cease within a 100-foot radius. The contractor shall, pursuant to section 50201 of the Health and Safety Code, and section 50201 of the Public Resources Code of the State of California, notify the Santa Clara County Coroner immediately.
11. This plan does not approve the removal of trees. Appropriate tree removal permits and methods of tree preservation should be obtained from the City Planning Department and the City Arborist.
12. Approval of these plans does not release the contractor of the responsibility for corrections of mistakes, errors, or omissions contained therein. If, during the course of construction of improvements, public interest requires a modification of/or a departure from the City of Cupertino Specifications or these improvement plans, the City Engineer shall have the authority to require such modification or departure and to specify the manner in which the same is to be completed.
13. The project has been designed to comply with the Excavation, Grading and Retaining Walls requirements as stated in Chapter 11.01 and Residential Hillside (RHS) Zones as stated in Chapter 11.02 of the Cupertino Muni Code.
14. A Transportation Permit (Haul Route Permit- Chapter 11.32 of the Cupertino Muni Code) and Construction Management Schedule is required for all Grading projects.
15. Grading will not be allowed between October 1st and April 31st of any year without Erosion Control plans and measures approved by the Director of Public Works. Stormwater pollution prevention measures in accordance with City specifications and with the document "Clean Bay Blueprint" shall be implemented throughout the year to the satisfaction of the Director of Public Works.
16. A post construction "as-built" plan is required by the Director of Public Works from a Civil or Soils Engineer retained by the owner to provide the final horizontal and vertical locations of the improvements approved with this plan such as subdrains, on-site storm water conveyance and treatment systems, and on-site retaining structures.

UTILITY NOTES:

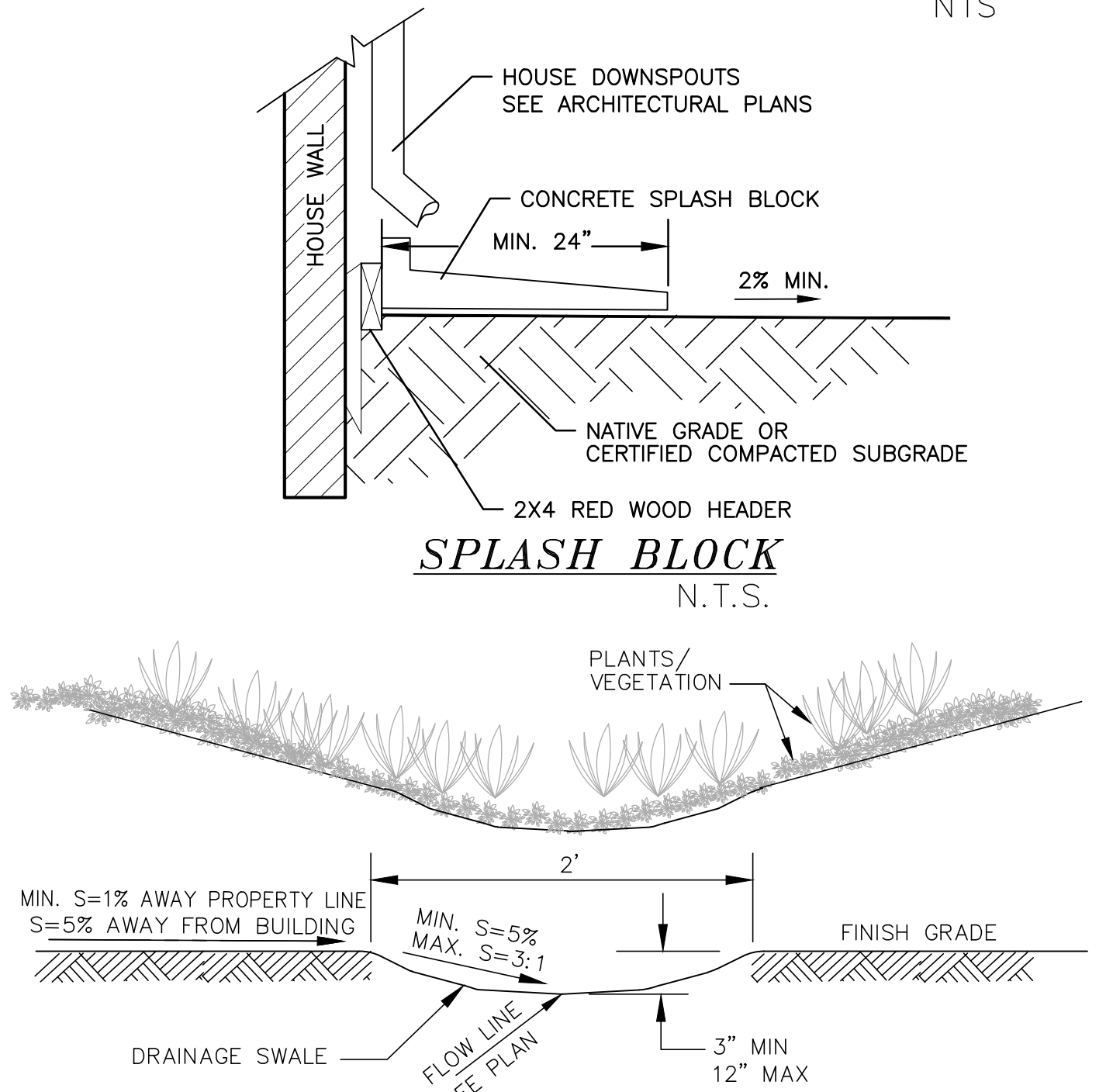
1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. CONNECT SANITARY SEWER AND WATER LINES TO EXISTING STREET LATERALS.
3. CONNECT GAS AND ELECTRIC LINES TO EXISTING STREET LATERALS, PER PG&E STANDARDS.
4. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
5. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
6. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER/ DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLANS.

SANITARY SEWER DISTRICT NOTICE TO APPLICANT/ OWNER:

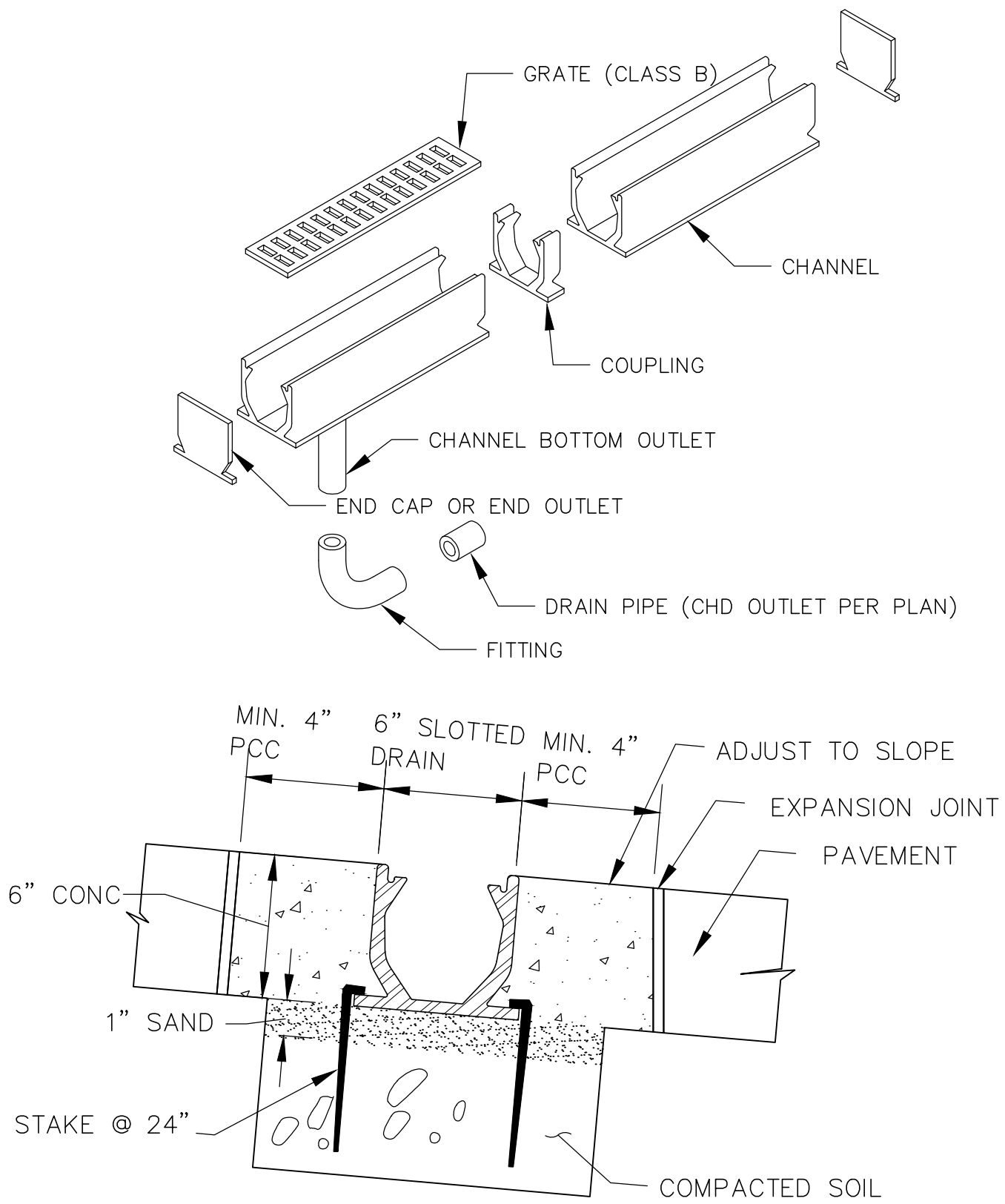
- An approved backflow device(IAPMO or UPC approved) is required for first floor Since the lowest finished floor with plumbing is less than (1') foot above the rim of the nearest upstream manhole.



STANDARD SANITARY SEWER CLEANOUT NTS

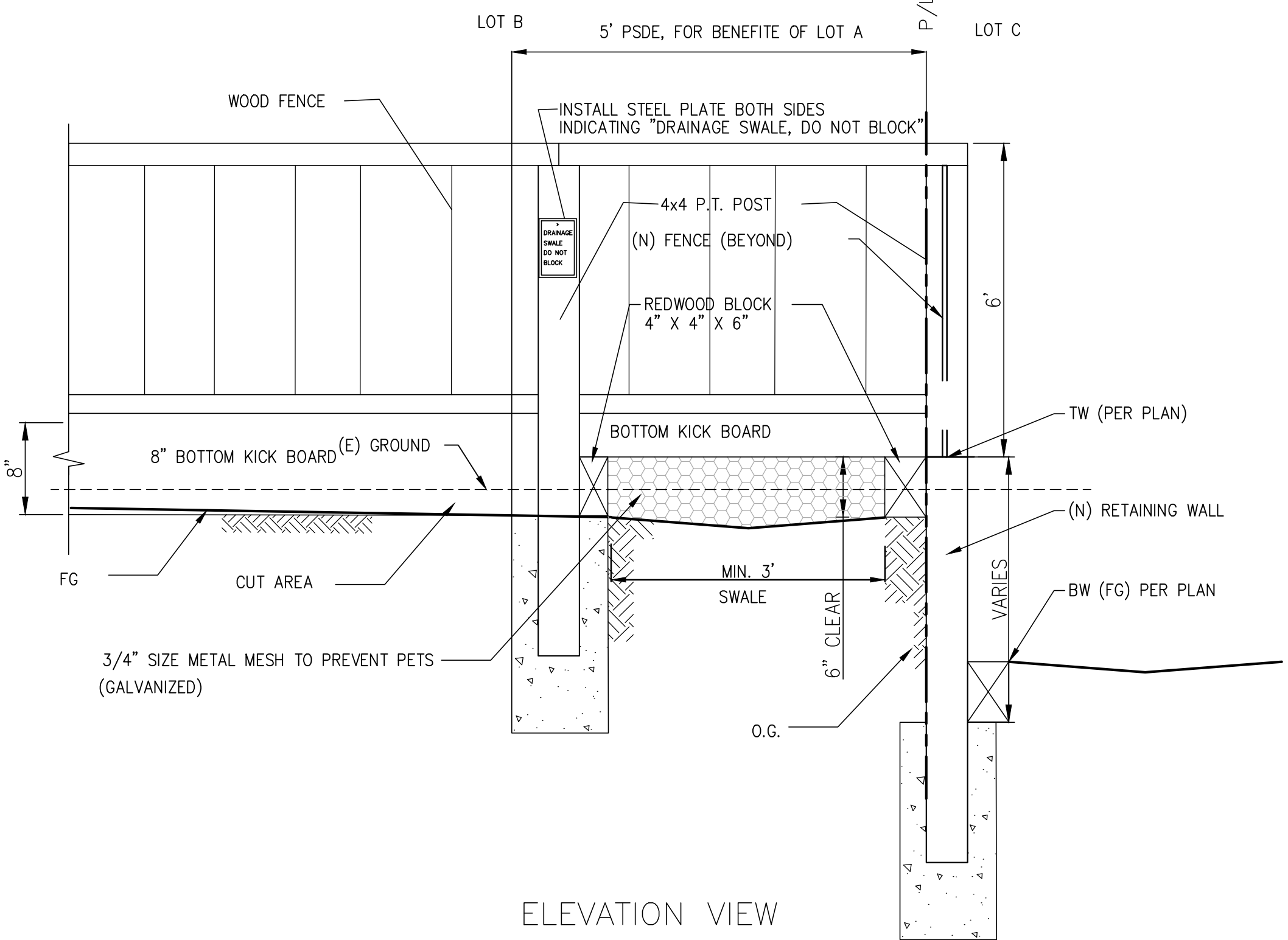


EARTH SWALE DETAIL N.T.S.



CHANNEL DRAIN TYPICAL DETAIL

N.T.S.



FENCE OPENING AT SWALE AND RETAINING WALL

N.T.S.

OWNER:

Revisions:



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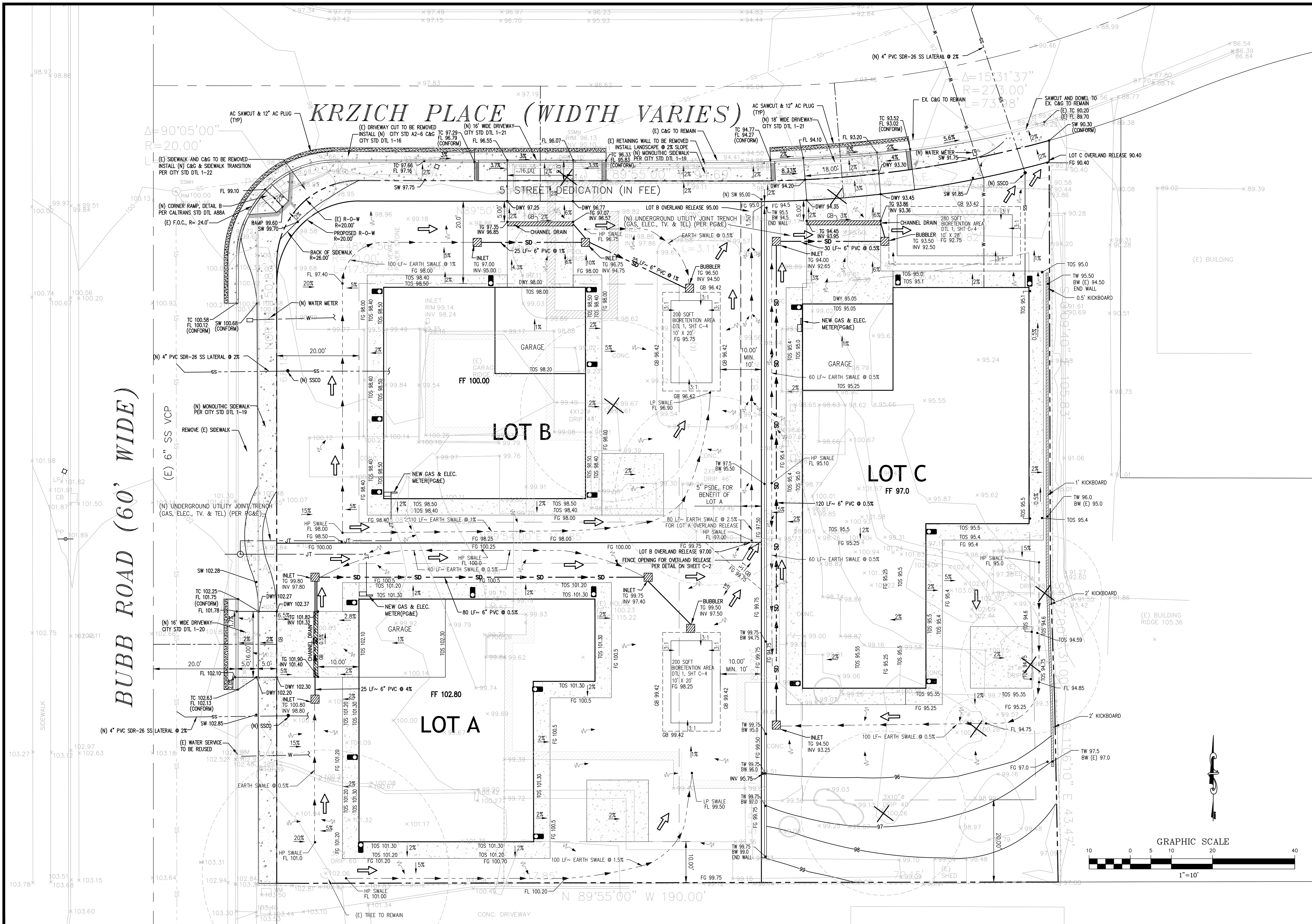
GRADING AND DRAINAGE PLANS
THREE NEW RESIDENCES
11226 BUBB RD., CUPERTINO, CA 95014
APN: 362-06-036

Revisions:



Date: 1/30/2020
Scale: 1"=10'
Prepared by: S.P.
Checked by: S.R.
Job #: 216073

Sheet: 3 OF 5
C-3



OPERATION AND MAINTENANCE
INFORMATION:

RESPONSIBLE PARTY FOR MAINTENANCE:
HOME OWNER

STORMWATER CONTROL PLAN

THREE NEW RESIDENCES
11226 BUBB RD. , CUPERTINO, CA 95014
APN: 362-06-036

SHEET INDEX:

STRM-1 COVER SHEET/ NOTES/ MEASURES
STRM-2 STORMWATER MANAGEMENT PLAN

TABLE 3		ROUTINE MAINTENANCE
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	N/A
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED, CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

BIOTREATMENT SOIL REQUIREMENTS

- BIOTREATMENT SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C.3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS.
- PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

BIOTRETENTION NOTES:

- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
- PLACE 2 TO 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
- SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
- CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT MAXIMUM 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED INLINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
- A MINIMUM 1" DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
- DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

Compliance with NPDES Permit Provision C.3:

The San Francisco Bay Regional Water Quality Control Board (SFRWQCB) incorporated updated requirements into Santa Clara County's National Pollution Discharge Elimination System (NPDES) Permit in August 06. These updated stormwater quality control requirements are predominantly in the category of new development discharge controls. The Permit requires that permanent, post-construction stormwater quality control measures be implemented as part of development projects.

Updated stormwater quality control measures include:
- Source Control Measures
- Site Design Measures
- Treatment Control Measures

Beginning August 15, 2006, all projects creating or replacing 10,000 sq. ft. or more of impervious surface area must design and install a permanent post-construction stormwater treatment facility on the site. The system must be design and installed according to numeric sizing criteria.

All projects, regardless of size that create or replace impervious surface may be required to install stormwater quality controls to the maximum extent practicable.

This project proposes to implement appropriate source control and site design measures. The project creates/replaces LESS THAN 10,000 SQFT of impervious surface area, therefore, it is not required to provide stormwater treatment facilities based on numeric sizing criteria. However, the project proposes to implement stormwater treatment measures to maximize the removal of pollutants to the maximum extent practicable.

1 Source Control Measures:

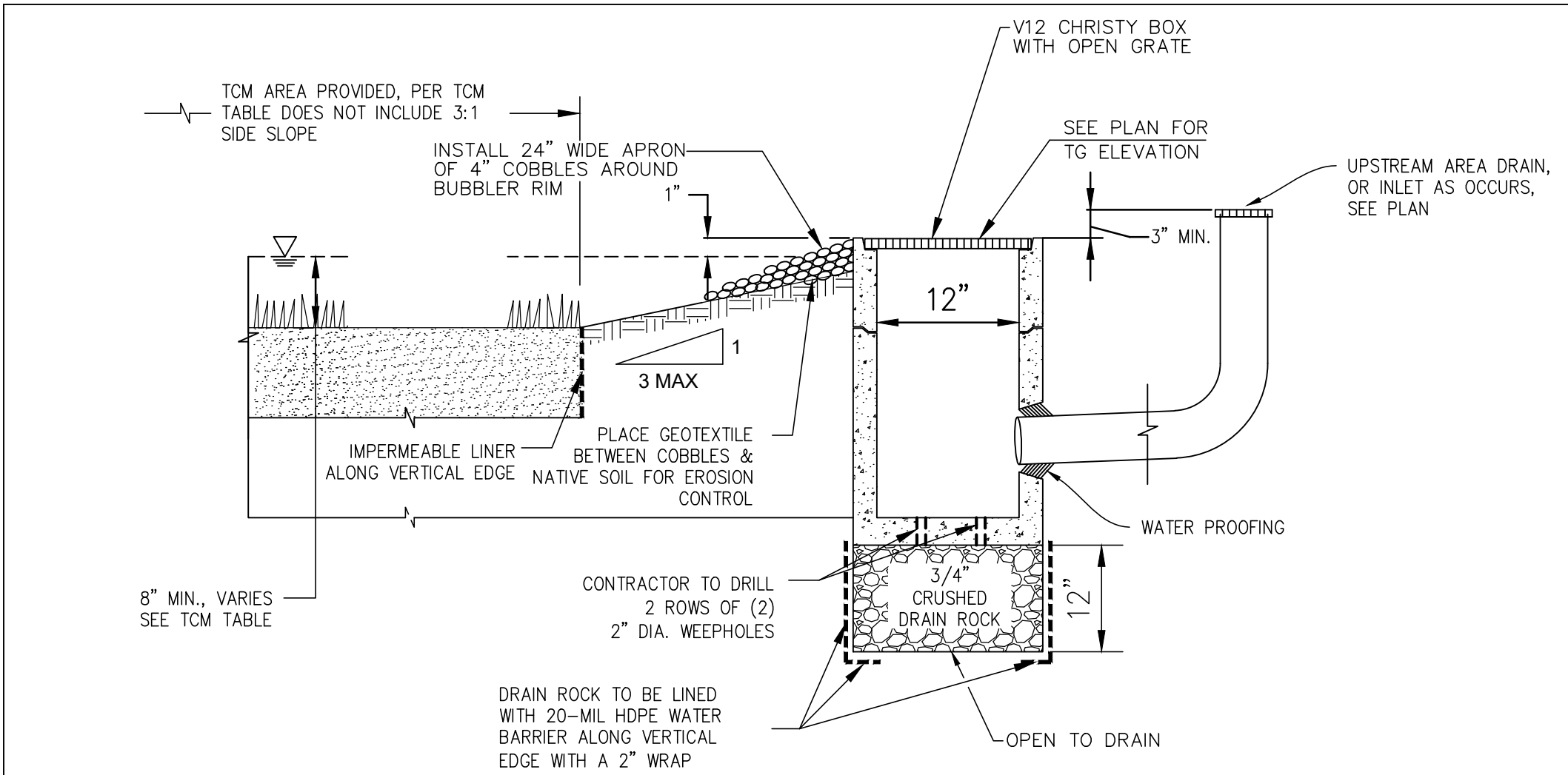
- Covered material storage and Garage.

2 Site Design Measures:

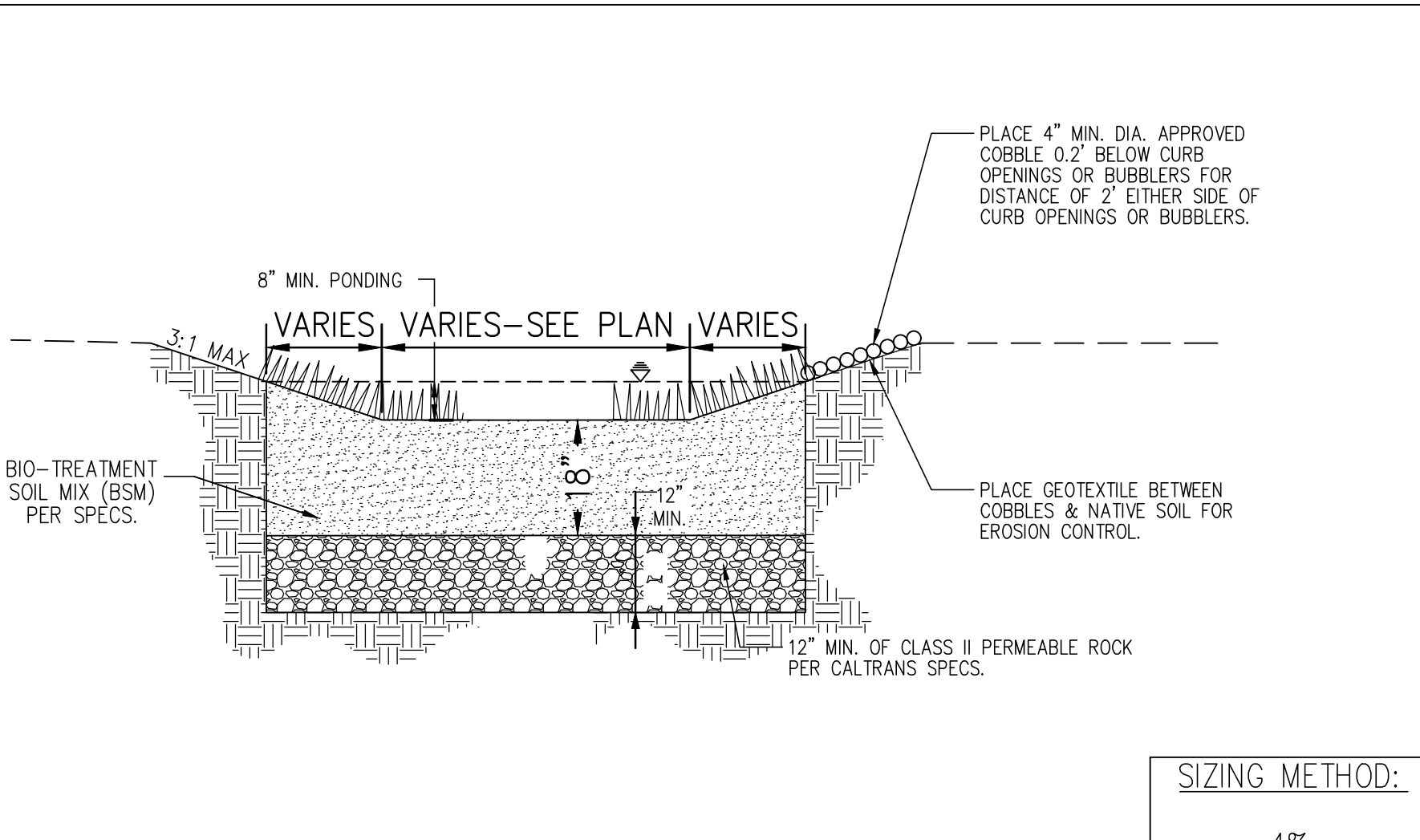
- Disconnected Roof downspout splash blocks that deflect the water away from the building and flow to on-site landscaped areas, or Grassy swales to maximize infiltration and Minimize pollutants before draining to on-site inlets.

3 Stormwater Treatment Measures:

BIORETENTION AREA



2 BUBBLER BOX DETAIL N.T.S.



1 BIORETENTION BASIN W/O LINER, W/O UNDERDRAIN N.T.S.

STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS, TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

TREATMENT CONTROL MEASURE C.3 SIZING TABLE									
TCM#	TCM	LOCATION	TREATMENT TYPE:	DRAINAGE TRIBUTARY AREA		* LID TREATMENT SIZING FACTOR	TREATMENT AREA REQUIRED (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)	PONDING DEPTH REQUIRED (INCH)
				DRAINAG AREA#	EFFECTIVE IMPERVIOUS AREA (SQFT)				
TMC-1	LOT A	Bioretention unlined w/o underdrain		9,746	4,830	0.04	193	200	6
TMC-2	LOT B	Bioretention unlined w/o underdrain		9,699	4,429	0.04	177	200	6
TMC-3	LOT C	Bioretention unlined w/o underdrain		11,928	6,716	0.04	269	280	6
FOOTNOTES:									
*:(Flow Hydraulic Design Basis, per C.3.d.ii., item 2.c.), Simplified Approach (4% rule)									

EXISTING PERVIOUS/ IMPERVIOUS AREA TABLE				
LOCATION/ DESCRIPTION	AREA (SQFT)	AREA (ACRES)	%	MATERIAL
EX. HOUSE, 2 EX. SHEDS, POOL HOUSE, FOOTPRINT	6,494	0.15	20.1%	ROOF
EX. PATIO, PORCH, WALKWAYS, LANDINGS	7,522	0.17	23.3%	CONCRETE
TOTAL IMPERVIOUS	14,016	0.32	43.4%	IMPERVIOUS
PAVERS DRIVEWAY/WALKWAY	2,074	0.05	6.4%	PERVIOUS CONC.
LANDSCAPE/ GROUND	16,226	0.37	50.2%	GROUND
TOTAL PERVIOUS	18,300	0.42	56.6%	PERVIOUS
TOTAL SITE	32,316	0.74	100.0%	
PROPOSED PERVIOUS/ IMPERVIOUS AREA TABLE				
LOCATION/ DESCRIPTION	AREA (SQFT)	AREA (ACRES)	%	MATERIAL
BUILDING ROOF, 3 UNITS	9,599	0.22	29.7%	ROOF
DWY/ WALKWAY PORCH	3,990	0.09	12.3%	CONCRETE
PATIO	675	0.02	2.1%	CONCRETE
PUBLIC SIDEWALK (WITHIN DEDICATION)	743	0.02	2.3%	CONCRETE
TOTAL IMPERVIOUS	15,007	0.34	46.4%	IMPERVIOUS
LANDSCAPE/ GROUND	17,109	0.39	52.9%	GROUND
PUBLIC LANDSCAPE (WITHIN DEDICATION)	200	0.00	0.6%	GROUND
TOTAL PERVIOUS	17,309	0.40	53.6%	PERVIOUS
TOTAL SITE	32,316	0.74	100.0%	
TOTAL IMPERVIOUS CHANGE (INCREASE)	991	0.02	3.1%	IMPERVIOUS

DRAINAGE MANAGEMENT AREA TABLE						
DRAINAG AREA#	WATERSHED	DRAINAGE AREA (SQFT)	IMPERVIOUS AREA (SQFT)	PERVIOUS AREA (SQFT)	* EFFECTIVE IMPERVIOUS AREA (SQFT)	DESIGNATED TCM#
DMA 1	LOT A	9,746	4,284	5,462	4,830	TMC-1
DMA 2	LOT B	9,699	3,843	5,856	4,429	TMC-2
DMA 3	LOT C	11,928	6,137	5,791	6,716	TMC-3
DMA 4	DEDICATION	943	743	200	763	**EXEMPT
TOTAL		32,316	15,007	17,309	16,738	
FOOTNOTES:						
* EFFECTIVE IMPERVIOUS AREA = (0.1 X PERVIOUS AREA) + IMPERVIOUS AREA						
** Per Chapter 2.3 of the C3 Stormwater Handbook Roadway projects that add new sidewalk along an existing roadway are exempt from Provision C.3.c of the Municipal Stormwater Permit.						



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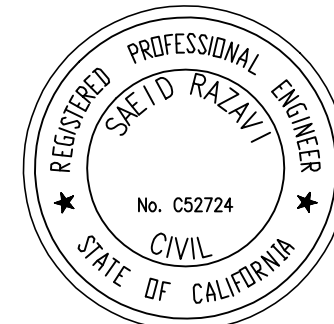
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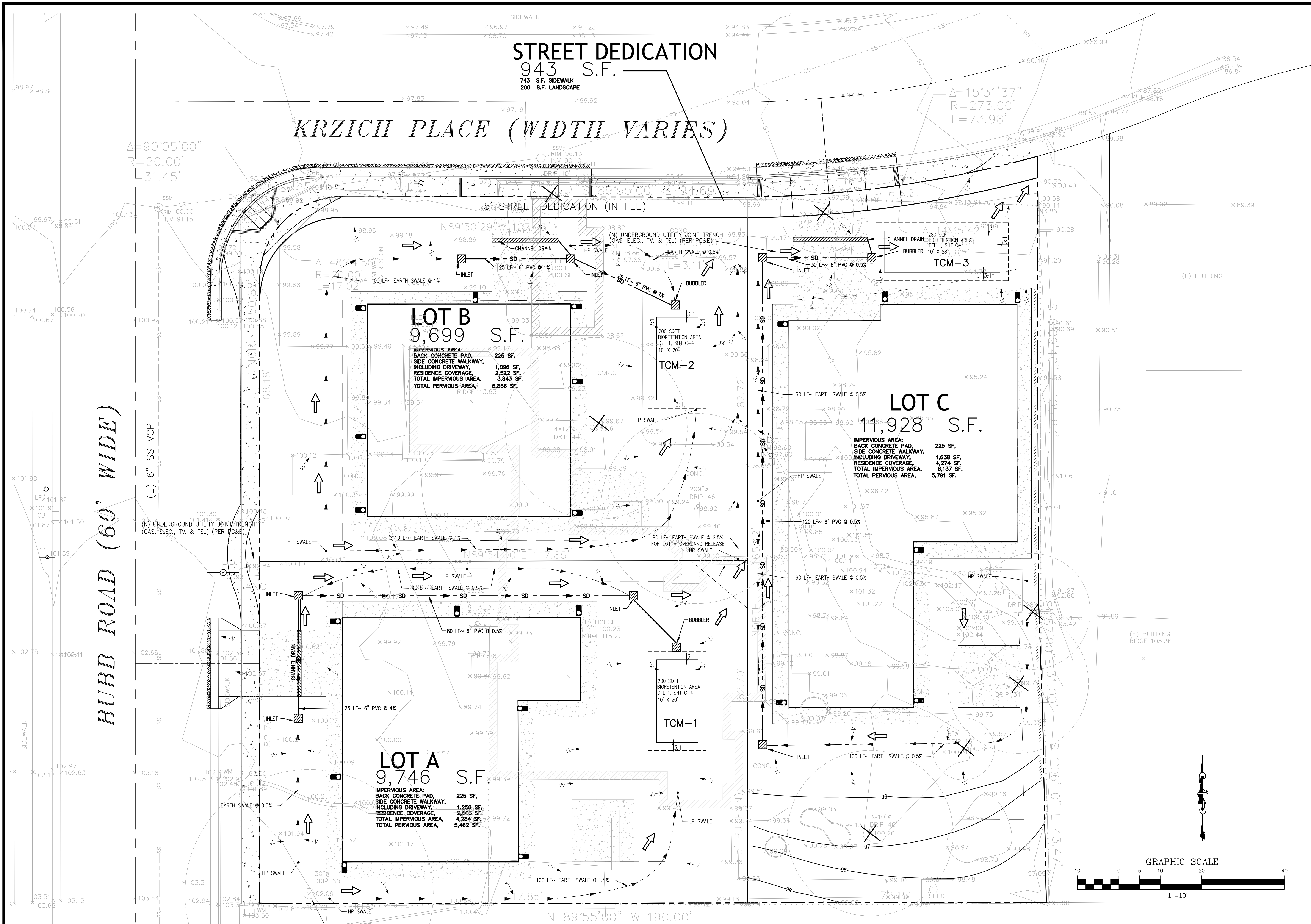
STORMWATER CONTROL NOTES

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Checked by: S.R.
Job #: 216073

Sheet: 4 OF 5
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GRADING AND DRAINAGE PLANS
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STORMWATER CONTROL PLAN

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Sheet: 5 OF 5
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Saeed Razavi

