

10208 Orange Ave

Cupertino, Ca 95014

May 13th, 2020

Planning Application



OWNER:

Thomas James Homes
255 Shoreline Dr STE 428
Redwood City, CA 94065

Phone: 650.382.0648

Contact
Cynthia Thiebaut
cthiebaut@tjhusa.com

ARCHITECT:

KTGY Group, Inc.
1814 Franklin St. Suite 400,
Oakland, CA 94612

Phone: 510.272.2910

Contact
Franklin La Pointe
flapointe@ktgy.com

CIVIL ENGINEER:

CBG
2633 Camino Ramon #350
San Ramon, CA 94583

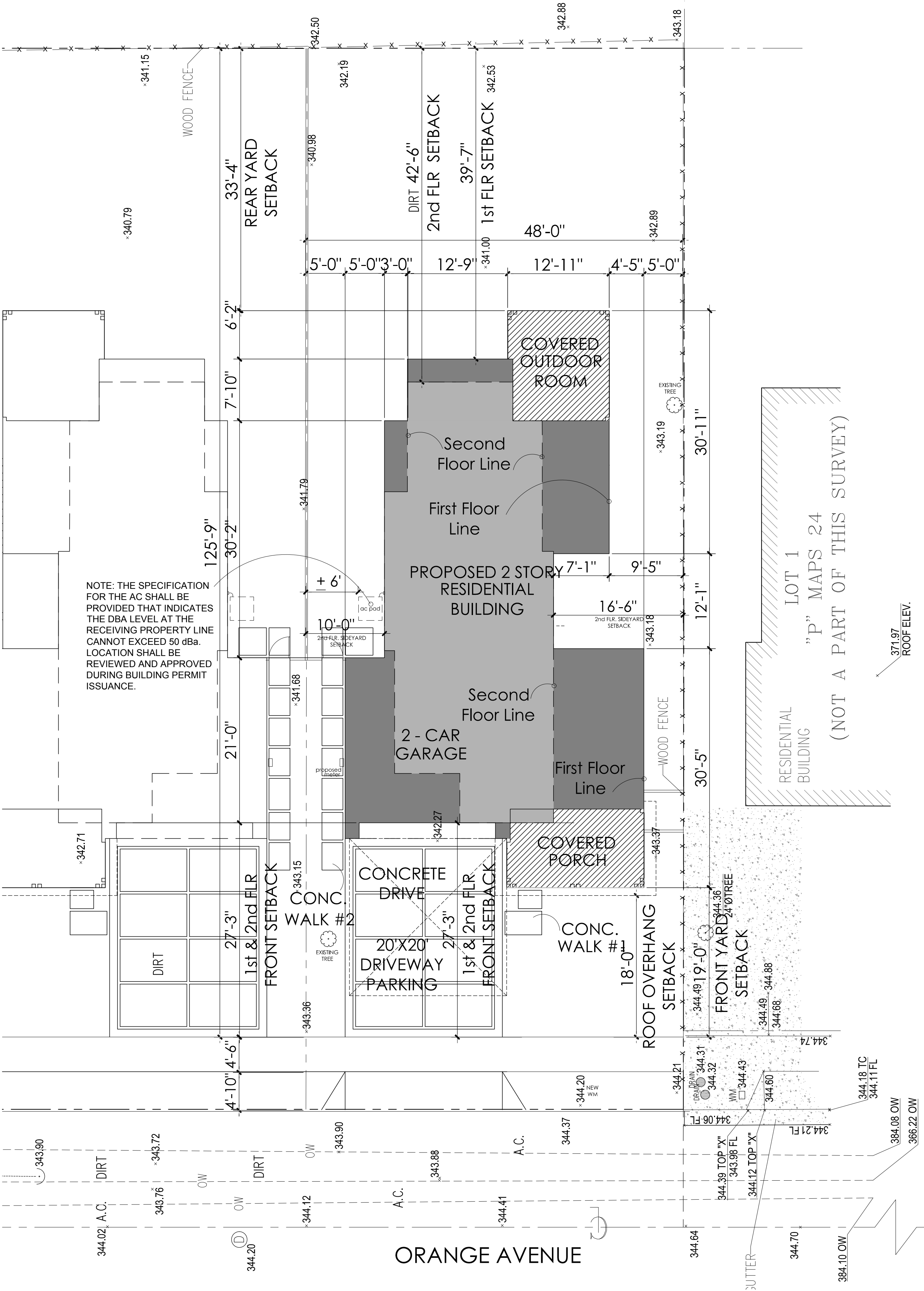
Phone: 925.866.0322

SHEET INDEX		
ARCHITECTURAL		LANDSCAPE
A1.0	Proposed Site / Data	L-1 Site Plan & Site Calculations
A1.1	Lot Coverage	L-2 Planting Plan
A2.0	First / Second Floor Plan	FD-1 Fence Details
A2.1	Square Footage	CIVIL
A3.0	Exterior Elevations / Roof	C Topographic Survey
A3.1	Sections	AP-1 Area Plan
A4.0	Privacy Planting	TP
A5.1	Materials Board	TP-1 Tree Protection Plan

VICINITY MAP	

TABLE 1: PROJECT DATA

Address: 10208 Orange Avenue		APN: 357-18-032				
Zoning District: P(Res4.4-7.7)	Lot Area: 6,000 SQ FT					
Land Use: Residential (4.4-7.7 du/ac)	Lot Width: 48'		Lot Depth: 125'			
NO EXISTING STRUCTURES. CONSTRUCT A NEW TWO-STORY HOME, 4 BEDROOMS WITH ATTACHED 2-CAR GARAGE.						
DEVELOPMENT STANDARDS						
STANDARD	EXISTING		CODE REQUIREMENT	PROPOSED		
SETBACKS:	CUPERTINO MUNICIPAL CODE (CMC) Chapter 19.28.070					
	FIRST FLOOR	SECOND FLOOR	FIRST FLOOR	SECOND FLOOR	FIRST FLOOR	SECOND FLOOR
FRONT	N/A	N/A	20'	25'	27'-3"	27'-3"
REAR	N/A	N/A	20'	25'	39'-7"	42'-6"
SIDE (LEFT)	N/A	N/A	5'	15'	5'-0"	10'-0"
SIDE (RIGHT)	N/A	N/A	5'	15'	5'-0"	16'-6"
TOTAL SIDE	N/A	N/A	10'	30'	10'-0"	26'-6"
LOT COVERAGE:	CUPERTINO MUNICIPAL CODE (CMC) Chapter 19.28.070					
TOTAL LOT COVERAGE			2,700 SQ FT*		2,348 SQ FT	
SQUARE FOOTAGE:						
BELOW GRADE	N/A		N/A		N/A	
FIRST FLOOR (EXCLUDING GARAGE)			N/A		1,230 SQ FT	
SECOND FLOOR- 66% MAX OF FIRST FLOOR	N/A		N/A		1,041 SQ FT	
GARAGE			N/A		425 SQ FT	
DETACHED BUILDINGS	N/A		N/A		N/A	
ACCESSORY DWELLING UNIT	N/A		N/A		N/A	
TOTAL			2,700 SQ FT		2,696 SQ FT	
*F.A.R. 45% of lot area						
GARAGE/PARKING:	CUPERTINO MUNICIPAL CODE (CMC) Chapter 19.124					
# OF PARKING SPACES	1		4		4	
INTERIOR GARAGE DIMENSIONS PER SPOT	N/A		10'x20'		20'x20'	
GARAGE WIDTH AS A PERCENTAGE OF THE FRONTAGE WIDTH	N/A		50%		43%	
HEIGHT:	CUPERTINO MUNICIPAL CODE (CMC) Chapter 19.28.070					
MAIN BUILDING HEIGHT	N/A		28'		25'-10"	
ACCESSORY BUILDING HEIGHT	N/A		N/A		N/A	
IMPERVIOUS PAVING:	SEE DIAGRAM SHEET A1.1					
LOTS <60' WIDTH	N/A		50% FRONT YARD AREA		43%	
LOTS >60' WIDTH	N/A		40% FRONT YARD AREA		N/A	



Floor Plan Summary:
4 Bedrooms
3 Baths
2219 s.f. Living

FAR Requirement:
Lot Size: 6000 s.f.
FAR Max.: .45
6000 x .45 = 2700 s.f. Max.
(Includes Garage)

FAR Provided:
1st Floor: 1230 s.f.
Garage: 425 s.f.
Subtotal: 1655 s.f.
2nd Floor: 1041 s.f.
Total: 2696 s.f.

Second Floor Requirement:
66% Max. of 1st Floor + Garage
1655 x .66 = 1092 s.f. Max.
Provided: 1041 s.f.

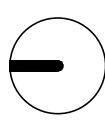


Architecture + Planning
888.456.5849
ktgy.com



10208
ORANGE AVENUE
Cupertino, CA #2019-0601

SCHEMATIC DESIGN
MAY 13, 2020



Scale: 1/8" = 1'-0"
0 4 8 16

Proposed Site Plan
LOT 2

A1.0

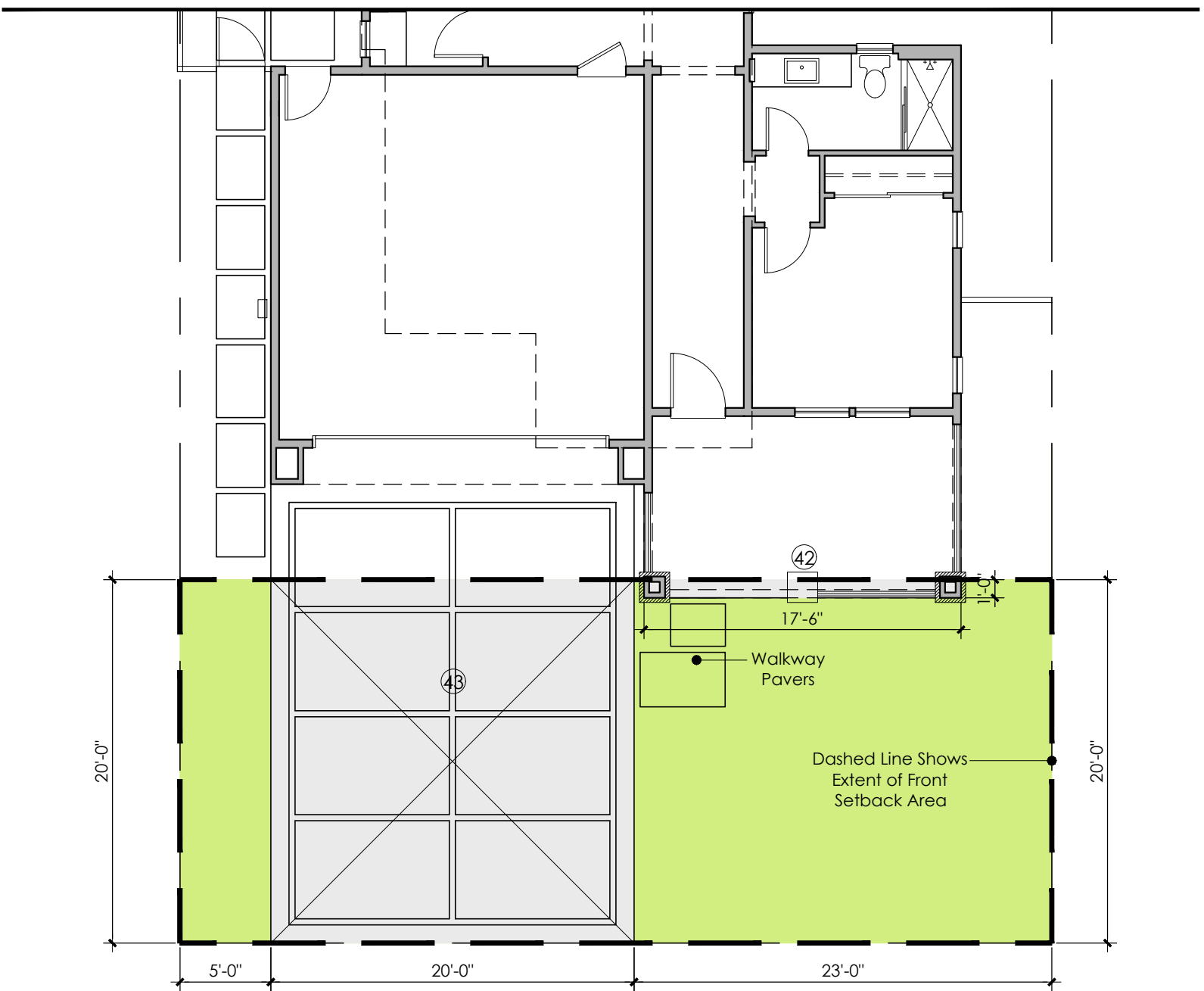
BLOCK CALCS:

IMPERVIOUS SURFACE

42. 17'-6" x 1'-0" = 17.50 SQ. FT.
43. 20'-0" x 20'-0" = 400.00 SQ. FT.

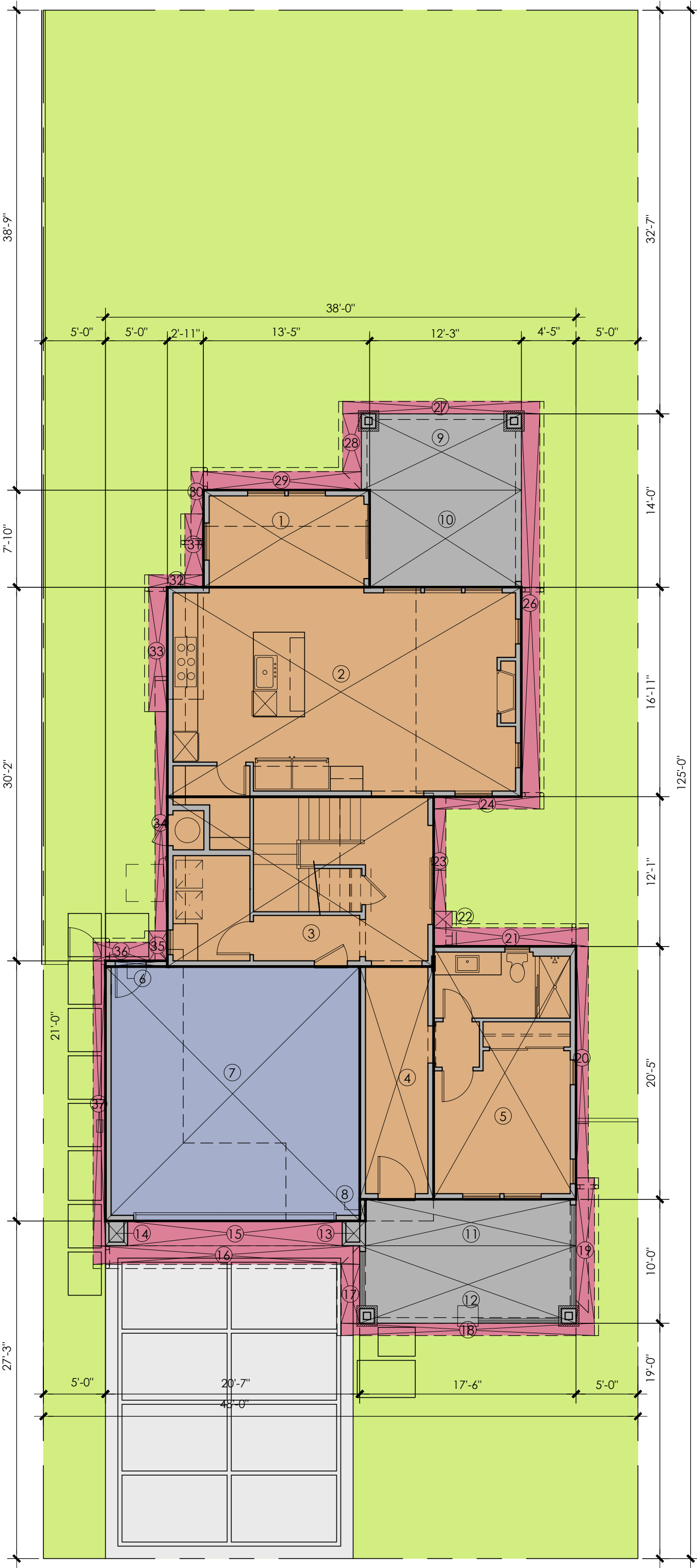
TOTAL = 417.50 SQ. FT.

MAX. IMPERVIOUS SURFACE:
FRONT SETBACK AREA = 961.60 S.F.
50% MAX. SURFACE ALLOWED
961.60 S.F. X .5 = 480.80 S.F. MAX.
PROVIDED: 43%



First Floor

MAXIMUM IMPERVIOUS SURFACE



First Floor

MAXIMUM LOT COVERAGE 6,000 x 45% = 2,700.00 SQ. FT.
ACTUAL COVERAGE 1,230.12 + 425.05 + 355.96 + 337.72 = 2,348.85 SQ. FT. (39%)

BLOCK CALCS:

HOUSE - 1ST FLOOR

1. 13'-5" x 7'x10" = 105.10 SQ. FT.
2. 28'-7" x 16'-11" = 483.53 SQ. FT.
3. 21'-6" x 13'-8" = 294.73 SQ. FT.
4. 6'-0" x 18'-9" = 111.97 SQ. FT.
5. 11'-6" x 20'-5" = 234.79 SQ. FT.

TOTAL = 1230.12 SQ. FT.

GARAGE

6. 5'-0" x 0'-6" = 2.29 SQ. FT.
7. 20'-6" x 20'-6" = 421.96 SQ. FT.
8. 0'-6" x 1'-9" = 0.80 SQ. FT.

TOTAL = 425.05 SQ. FT.

PORCH, OUTDOOR ROOM & MISC.

9. 12'-11" x 6'-2" = 79.65 SQ. FT.
10. 12'-3" x 7'-10" = 95.95 SQ. FT.
11. 17'-0" x 3'-9" = 63.75 SQ. FT.
12. 17'-6" x 6'-3" = 109.11 SQ. FT.
13. 1'-10" x 2'-0" = 3.75 SQ. FT.
14. 1'-10" x 2'-0" = 3.75 SQ. FT.

TOTAL = 355.96 SQ. FT.

BLOCK CALCS:

ROOF OVERHANG - 1ST FLOOR

15. 17'-4" x 2'-0" = 34.28 SQ. FT.
16. 21'-6" x 1'-6" = 32.31 SQ. FT.
17. 1'-6" x 4'-9" = 7.12 SQ. FT.
18. 20'-6" x 1'-0" = 20.45 SQ. FT.
19. 1'-6" x 11'-9" = 17.60 SQ. FT.
20. 1'-0" x 18'-8" = 18.69 SQ. FT.
21. 12'-6" x 1'-6" = 18.75 SQ. FT.
22. 1'-6" x 1'-4" = 2.01 SQ. FT.
23. 1'-0" x 8'-3" = 8.24 SQ. FT.
24. 8'-7" x 1'-0" = 8.58 SQ. FT.
26. 1'-6" x 30'-11" = 46.37 SQ. FT.
27. 15'-11" x 1'-0" = 15.91 SQ. FT.
28. 1'-6" x 4'-8" = 7.00 SQ. FT.
29. 12'-9" x 1'-6" = 19.12 SQ. FT.
30. 1'-0" x 3'-5" = 3.41 SQ. FT.
31. 1'-6" x 4'-11" = 7.37 SQ. FT.
32. 4'-5" x 1'-0" = 4.41 SQ. FT.
33. 1'-6" x 10'-0" = 15.06 SQ. FT.
34. 1'-0" x 17'-8" = 17.70 SQ. FT.
35. 1'-6" x 2'-5" = 3.56 SQ. FT.
36. 4'-6" x 1'-6" = 6.78 SQ. FT.
37. 1'-0" x 23'-0" = 23.00 SQ. FT.

TOTAL = 337.72 SQ. FT.

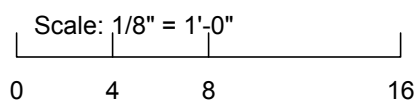


Architecture + Planning
888.456.5849
ktgy.com



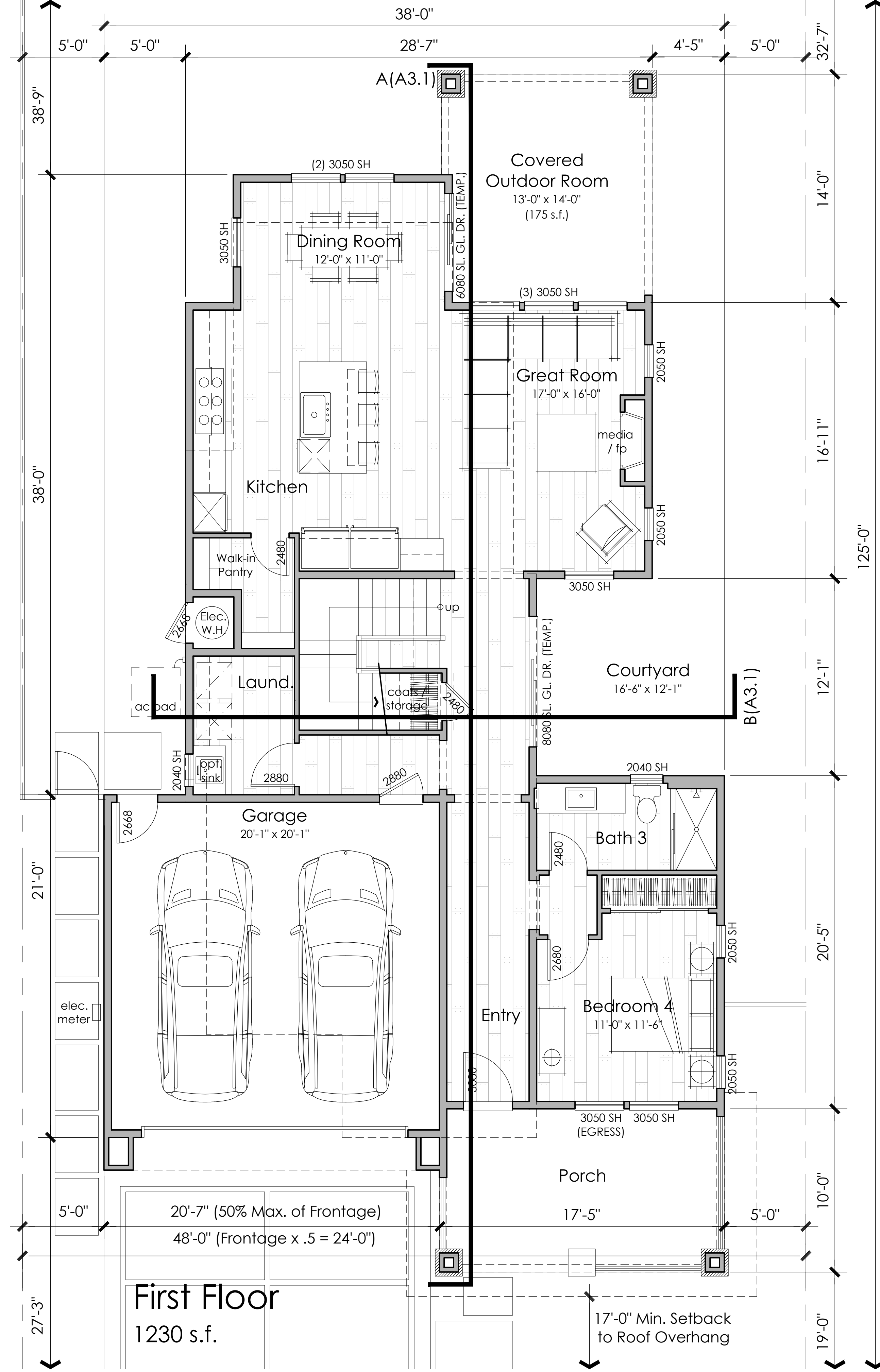
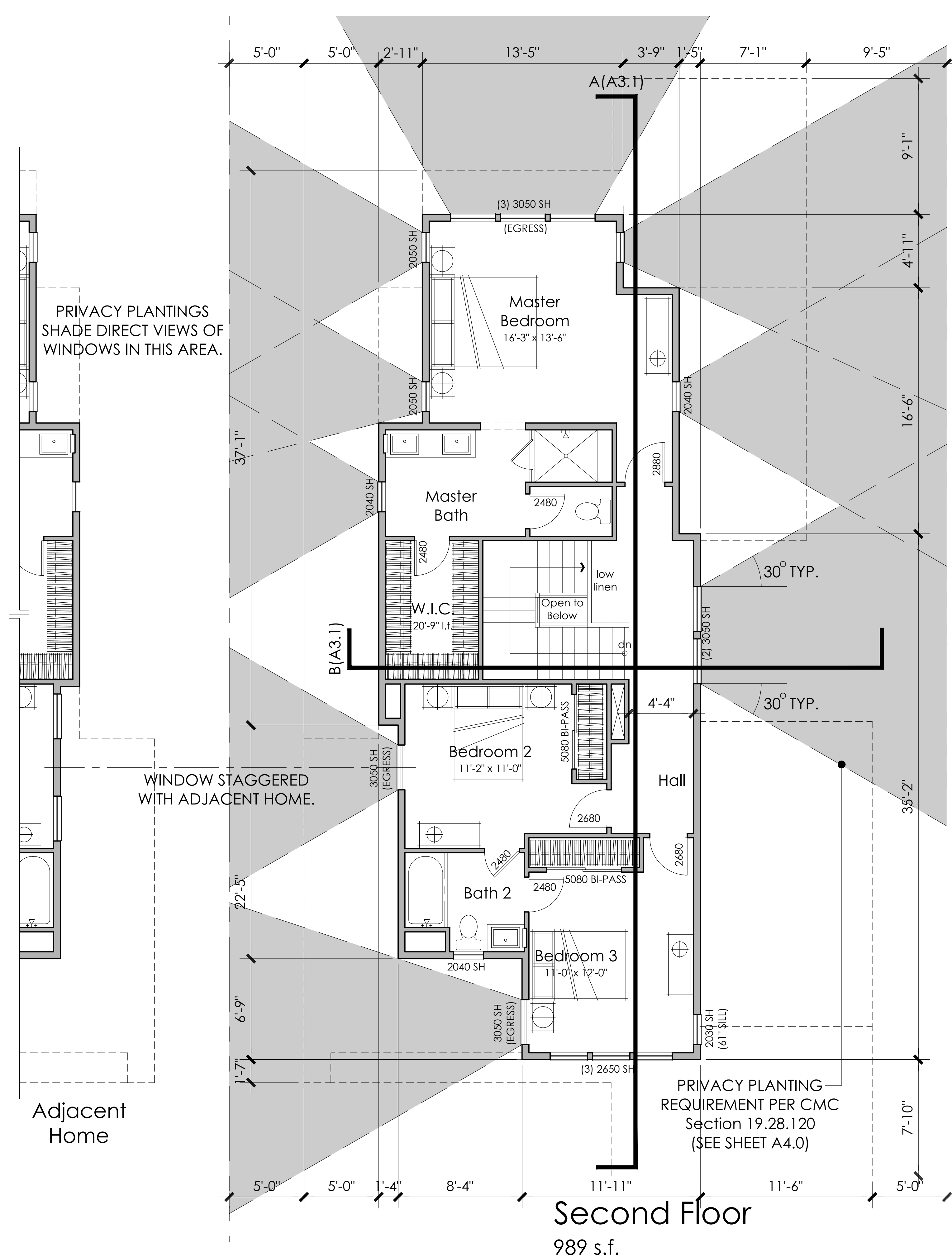
10208
ORANGE AVENUE
Cupertino, CA #2019-0601

SCHEMATIC DESIGN
MAY 13, 2020



LOT COVERAGE
LOT 2

A1.1



Floor Plan Summary:
4 Bedrooms
3 Baths
2219 s.f. Living

FAR Requirement:
Lot Size: 6000 s.f.
FAR Max.: .45
 $6000 \times .45 = 2700$ s.f. Max.
(Includes Garage)

FAR Provided:
1st Floor: 1230 s.f.
Garage: 425 s.f.
Subtotal: 1655 s.f.
2nd Floor: 1041 s.f.
Total: 2696 s.f.

Second Floor Requirement:
66% Max. of 1st Floor + Gar.
 $1655 \times .66 = 1092$ s.f. Max.
Provided: 1041 s.f.



Architecture + Planning
888.456.5849
ktgy.com



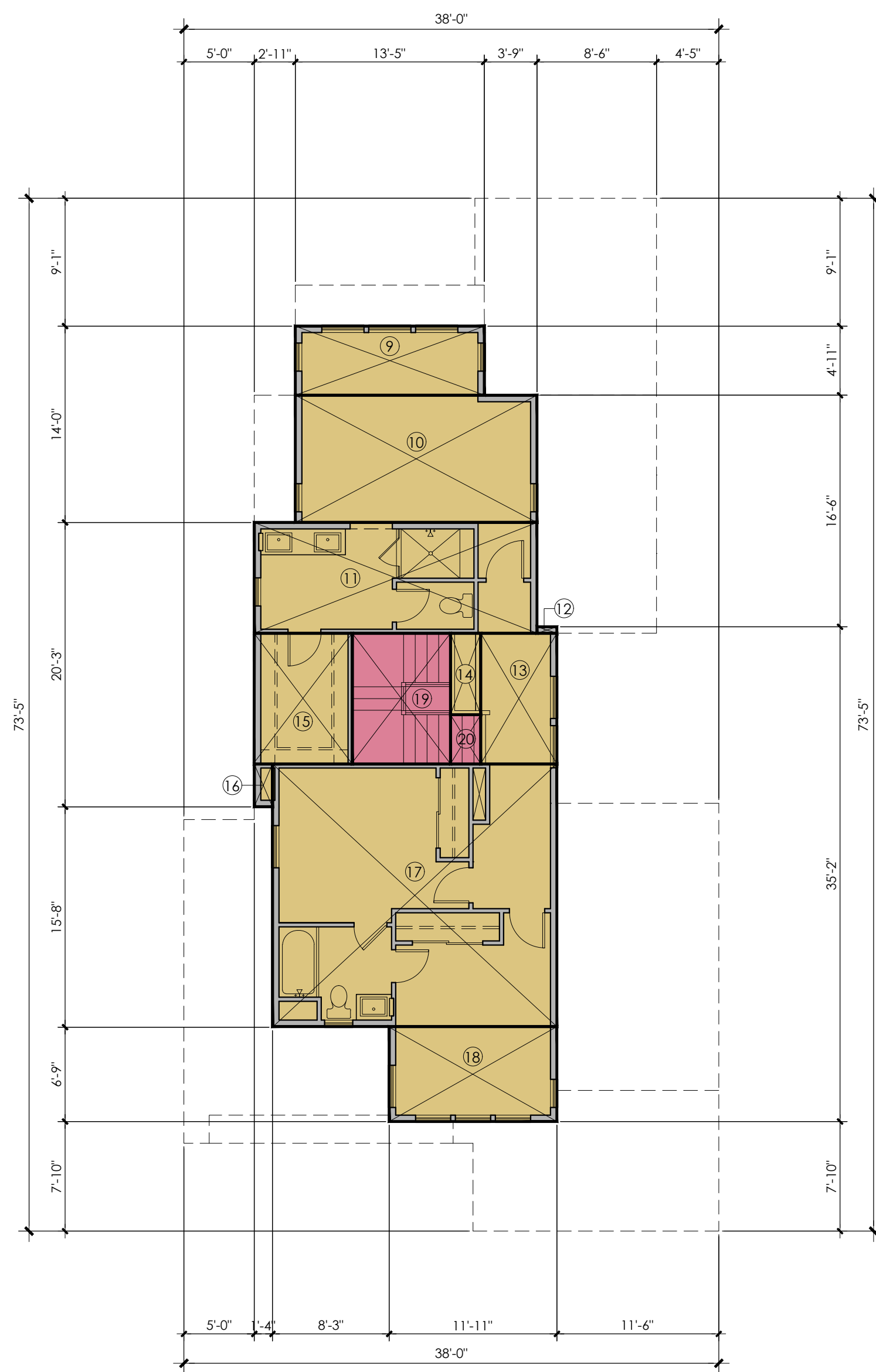
10208
ORANGE AVENUE
Cupertino, CA #2019-0601

SCHEMATIC DESIGN
MAY 13, 2020

Scale: 1/4" = 1'-0"
0 2 4 8

FLOOR PLANS
LOT 2

A2.0



BLOCK CALCS:

HOUSE - 2ND FLOOR

9. 13'-5" x 4'-11"	=	66.03 SQ. FT.
10. 17'-2" x 9'-0"	=	155.22 SQ. FT.
11. 20'-1" x 7'-10"	=	158.16 SQ. FT.
12. 1'-5" x 6"	=	0.65 SQ. FT.
13. 5'-5" x 9'-4"	=	50.33 SQ. FT.
14. 2'-2" x 5'-9"	=	12.43 SQ. FT.
15. 7'-0" x 9'-4"	=	64.75 SQ. FT.
16. 1'-4" x 3'-0"	=	3.93 SQ. FT.
17. 20'-2" x 18'-8"	=	377.22 SQ. FT.
18. 11'-11" x 6'-9"	=	80.44 SQ. FT.

TOTAL = 969.16 SQ. FT.

STAIRS

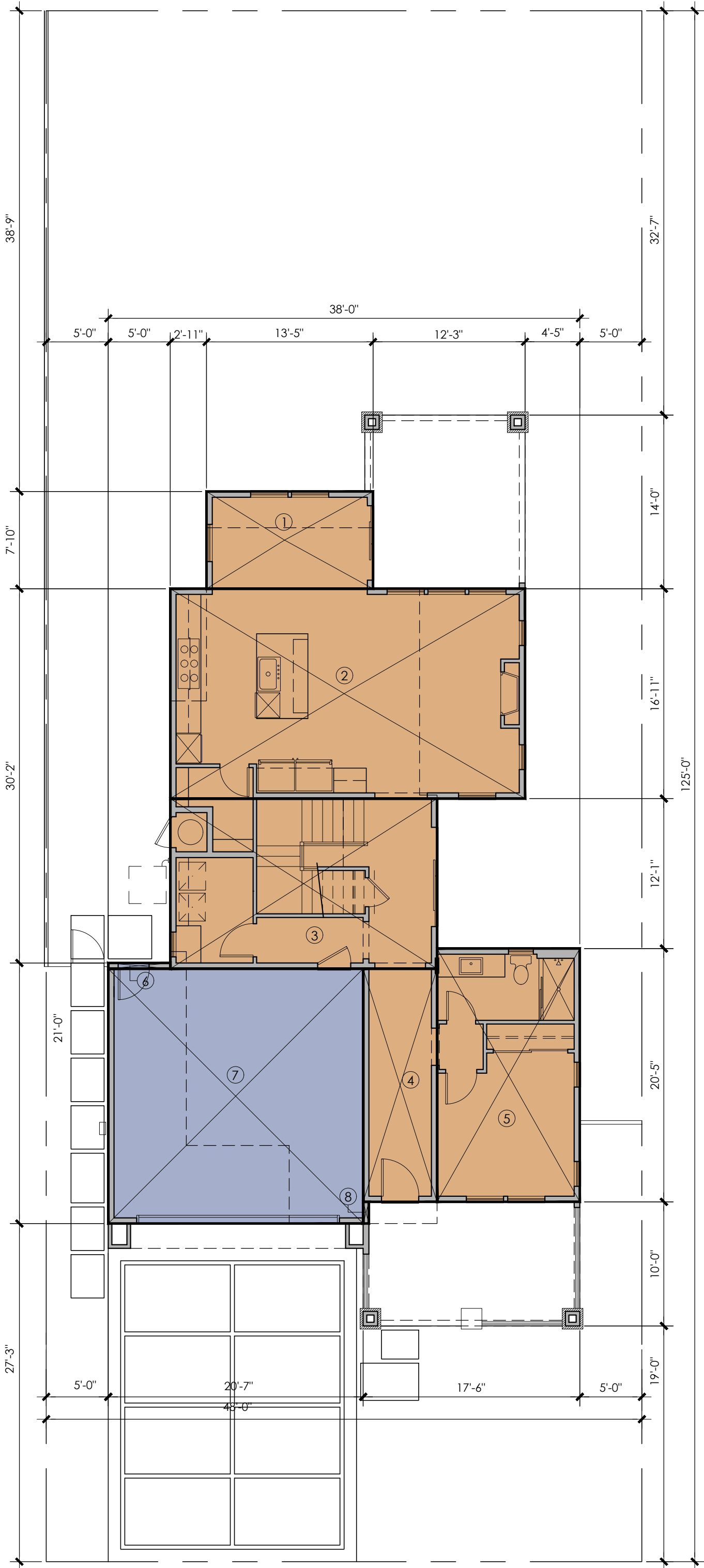
19. 7'-0" x 9'-4"	=	64.85 SQ. FT.
20. 2'-2" x 3'-6"	=	7.51 SQ. FT.

TOTAL = 72.36 SQ. FT.

2ND FLOOR TOTAL = 1041.52 SQ. FT.

Second Floor

MAXIMUM 2ND FLOOR AREA 66% OF 1ST FLOOR TOTAL
 1655.17 SQ. FT. X .66 = 1092.41 SQ. FT.
 PROPOSED 2ND FLOOR AREA = 1041.52 SQ. FT. (63%)



BLOCK CALCS:

HOUSE - 1ST FLOOR

1. 13'-5" x 7'x10"	=	105.10 SQ. FT.
2. 28'-7" x 16'-11"	=	483.53 SQ. FT.
3. 21'-6" x 13'-8"	=	294.73 SQ. FT.
4. 6'-0" x 18'-9"	=	111.97 SQ. FT.
5. 11'-6" x 20'-5"	=	234.79 SQ. FT.

TOTAL = 1230.12 SQ. FT.

GARAGE

6. 5'-0" x 0'-6"	=	2.29 SQ. FT.
7. 20'-6" x 20'-6"	=	421.96 SQ. FT.
8. 0'-6" x 1'-9"	=	0.80 SQ. FT.

TOTAL = 425.05 SQ. FT.

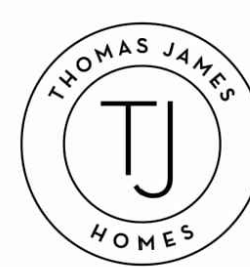
1ST FLOOR TOTAL = 1655.17 SQ. FT.

First Floor

MAXIMUM TOTAL FLOOR AREA 6,000 LOT x 45% = 2,700.00 SQ. FT.
 PROPOSED TOTAL FLOOR AREA 1,655.17 + 1041.52 = 2,696.69 SQ. FT. (45%)



Architecture + Planning
 888.456.5849
 ktgy.com



10208
ORANGE AVENUE
 Cupertino, CA #2019-0601

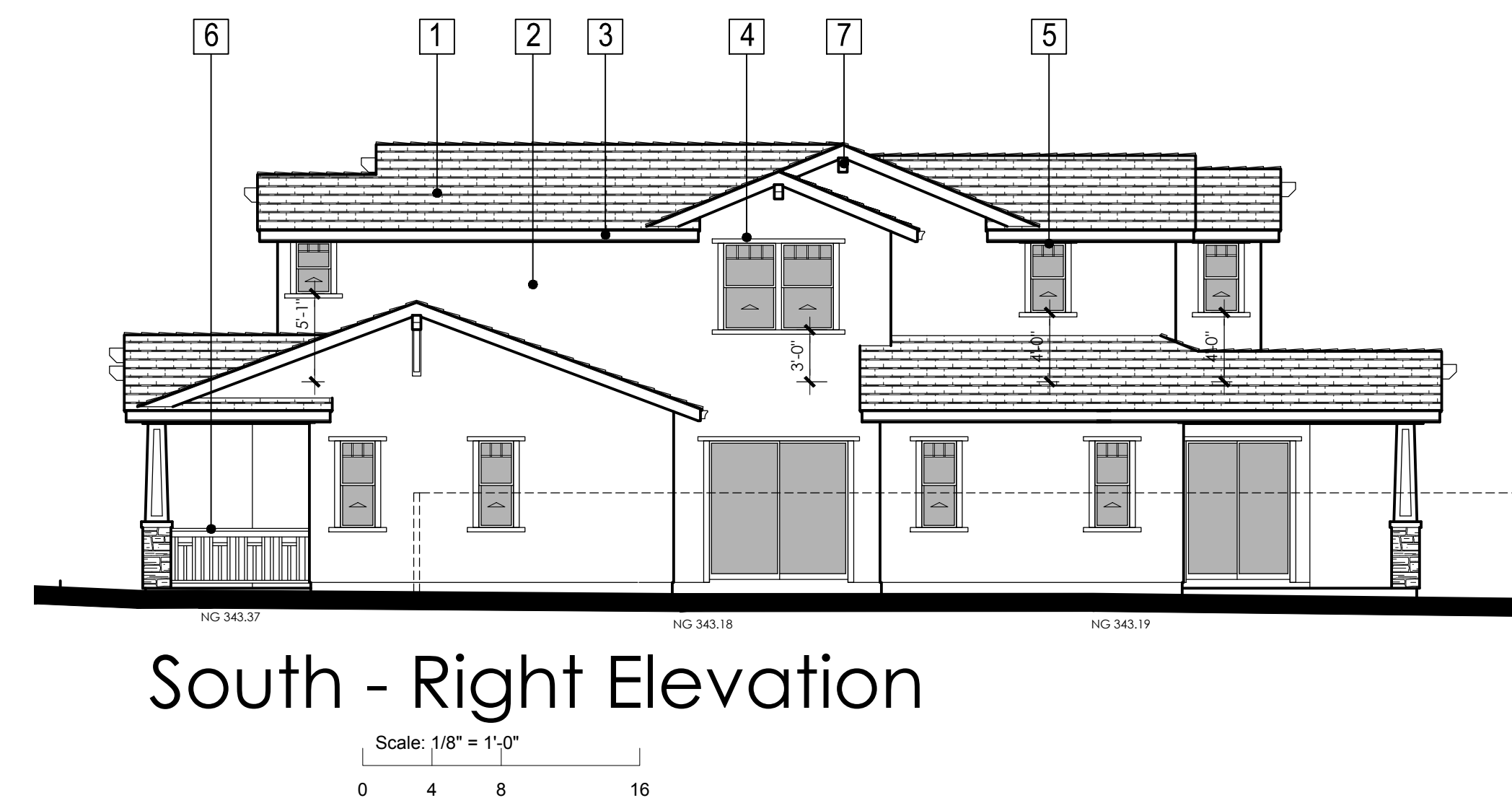
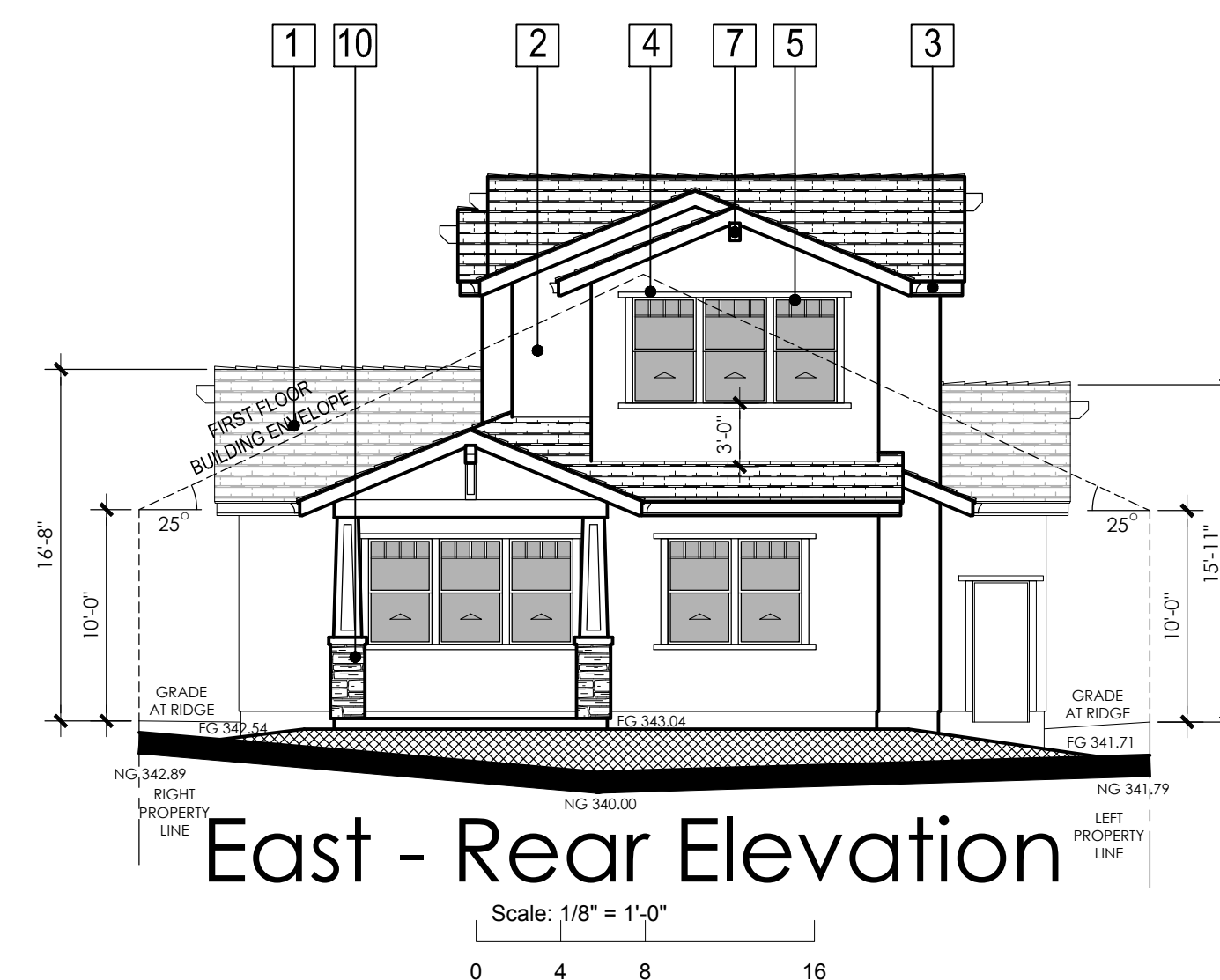
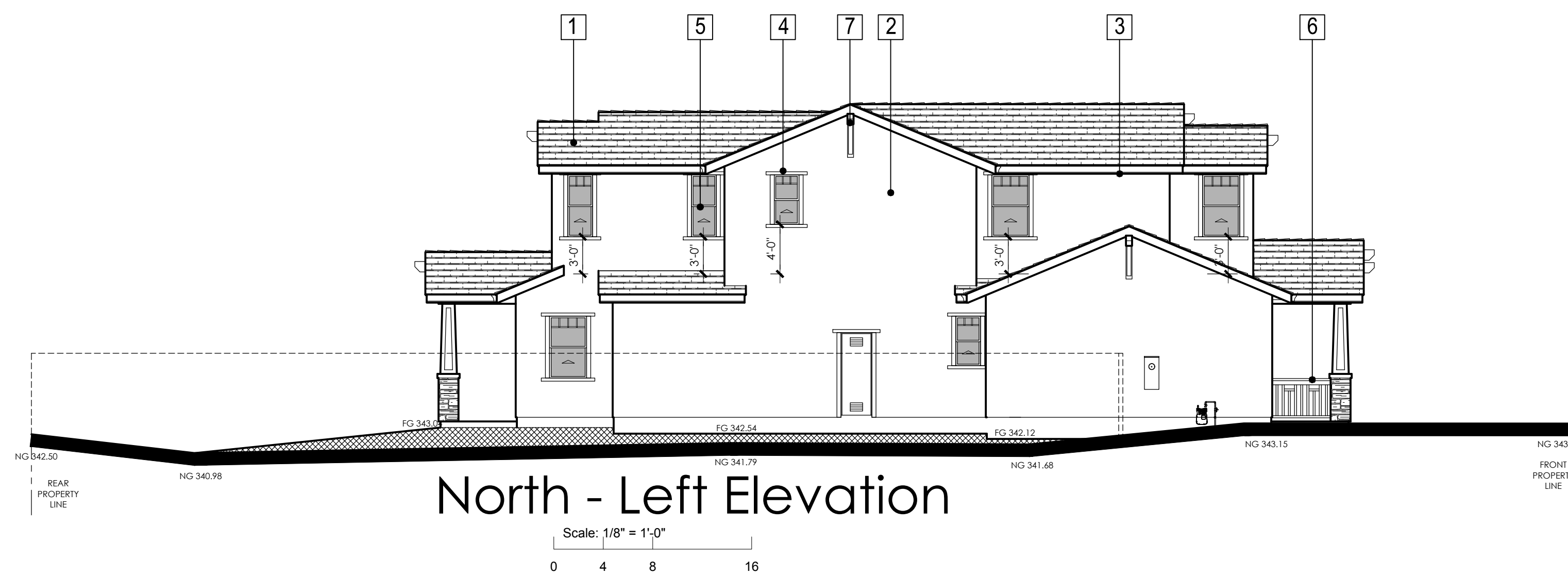
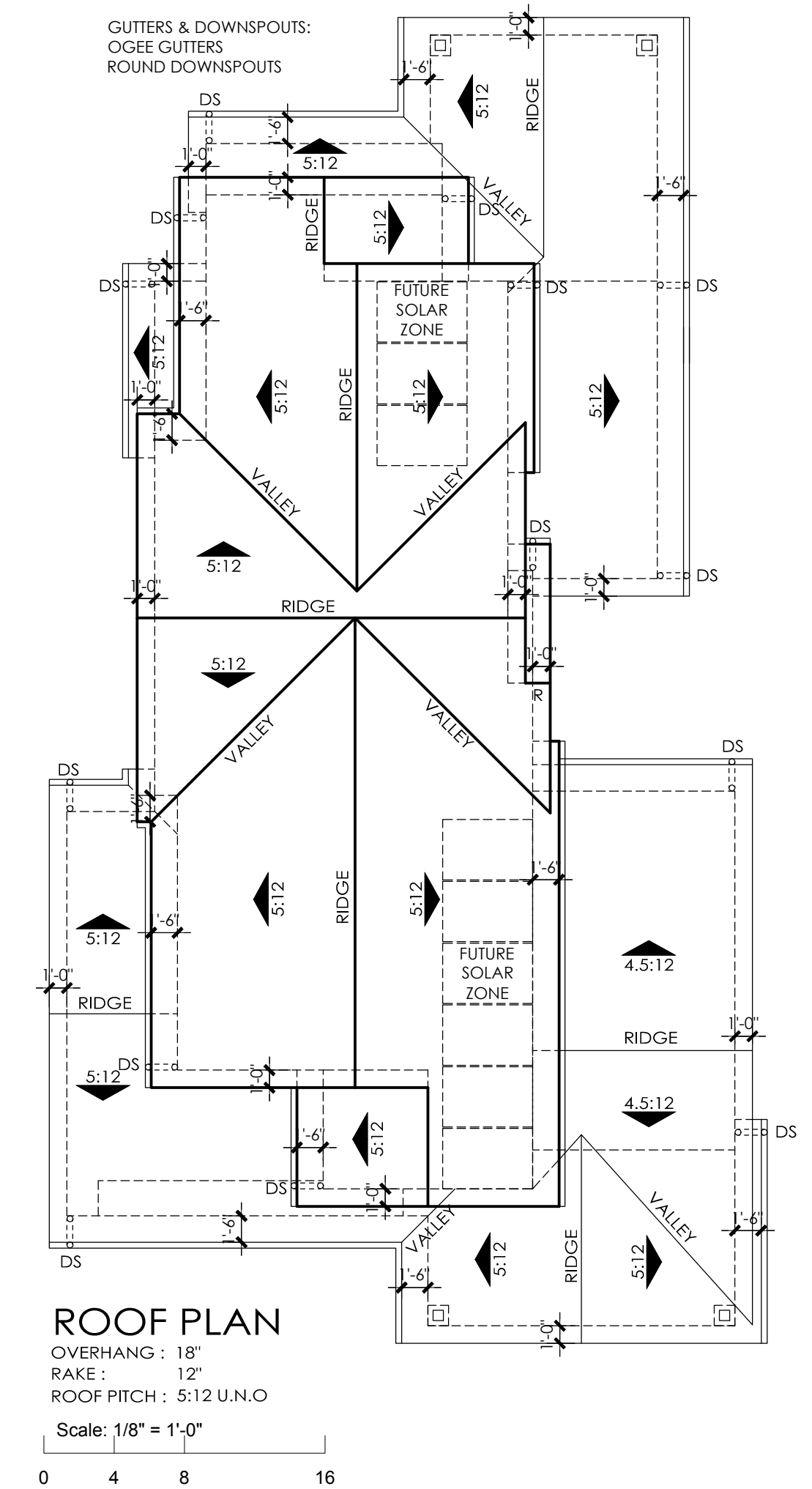
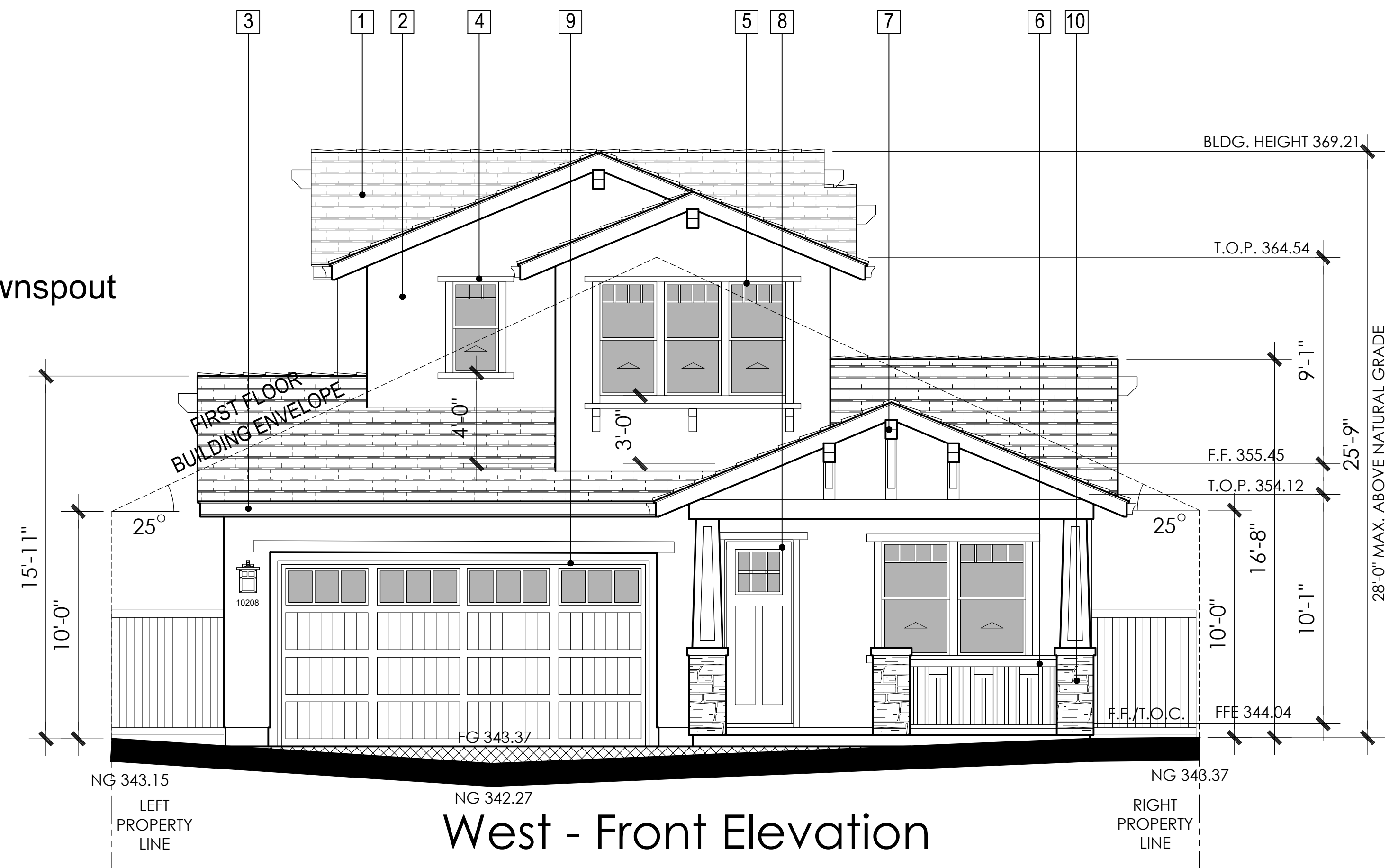
SCHEMATIC DESIGN
 MAY 13, 2020

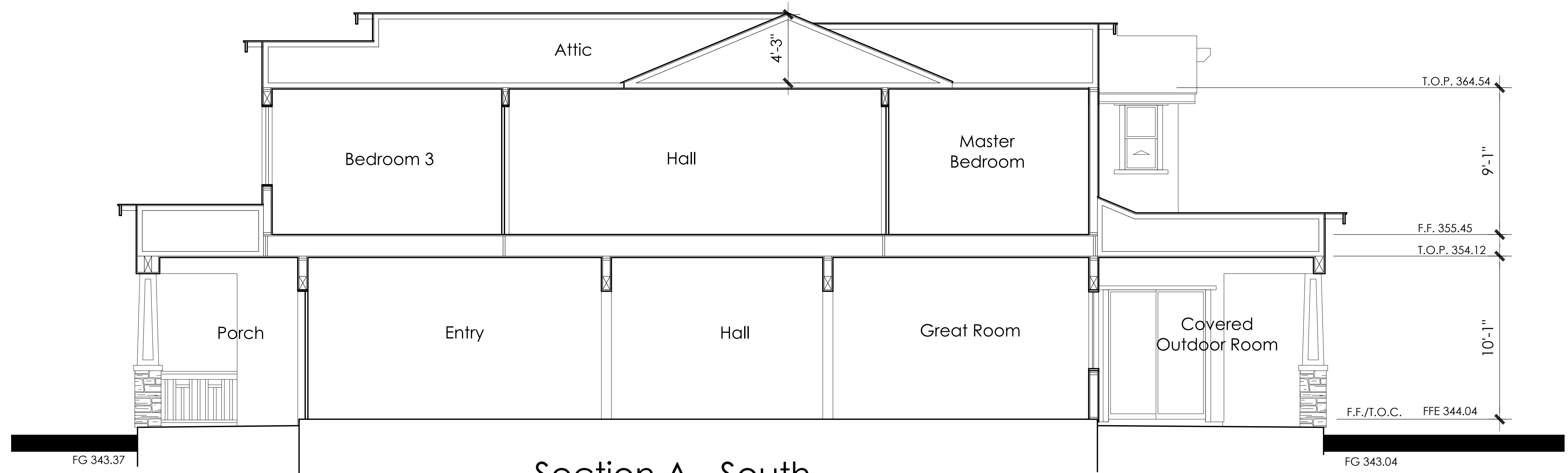
Scale: 1/8" = 1'-0"
 0 4 8 16

SQUARE FOOTAGE
 LOT 2

A2.1

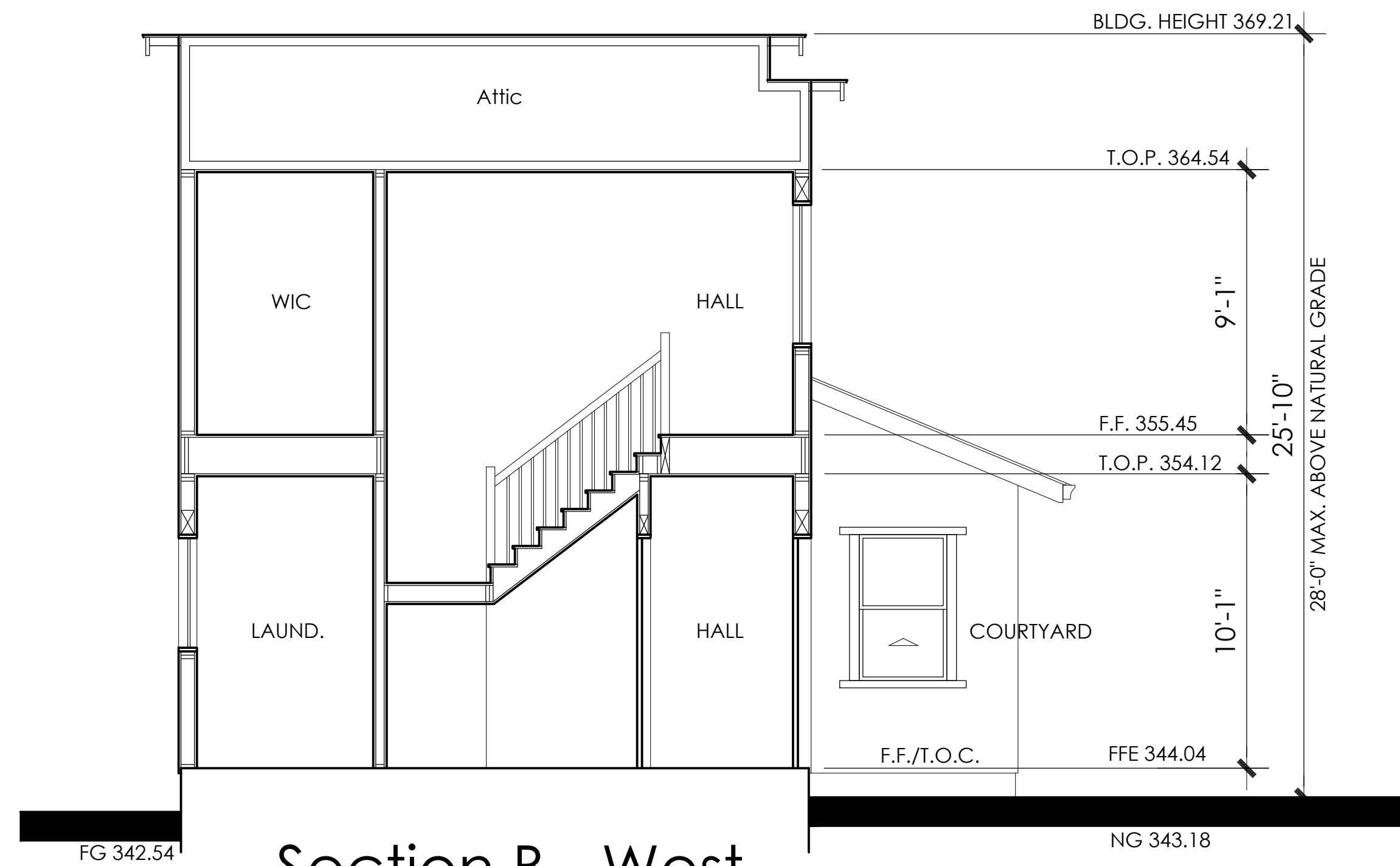
- Material List: (Lot 2 - 10208 Orange Ave.)
- 1 Architectural Grade Composition Shingles
 - 2 Stucco Finish
 - 3 2x6 Fascia w/ Ogee Gutter and Round Downspout
 - 4 1 1/2" x 3 1/2" Trim Surround (Typ.)
 - 5 Milgard Tuscany Vinyl Windows
 - 6 Decorative Wood Railings
 - 7 Outlookers / Kickers
 - 8 Fiberglass Front Door
 - 9 Metal Garage Door
 - 10 Tapered Columns w/ Stone Veneer Base





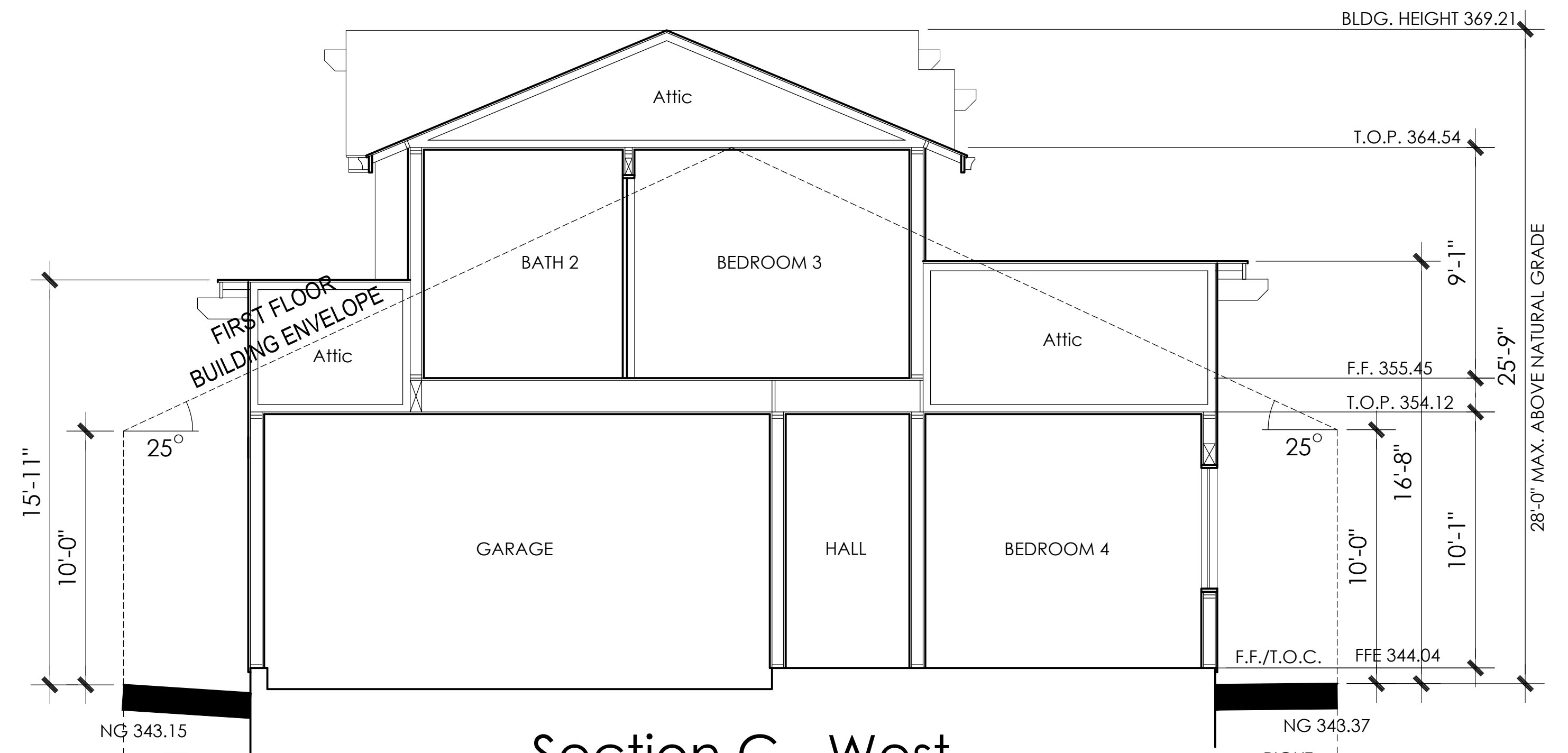
Section A - South

Scale: 1/4" = 1'-0"
0 2 4 8



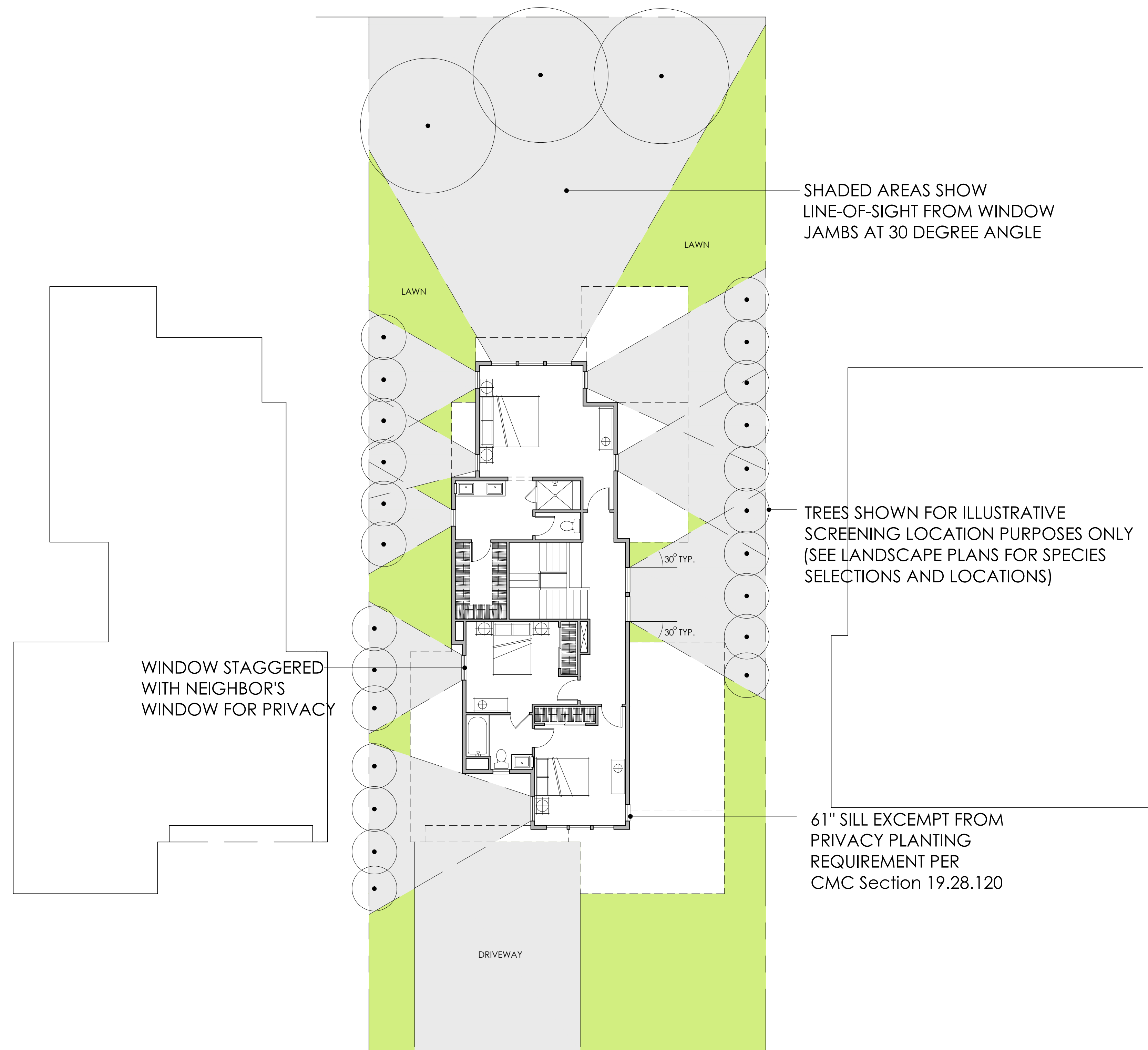
Section B - West

Scale: 1/4" = 1'-0"
0 2 4 8



Section C - West

Scale: 1/4" = 1'-0"
0 2 4 8



SECOND FLOOR
 PRIVACY PLANTING REQUIREMENTS
 PER CMC Section 19.28.120



EXTERIOR RENDERINGS
(NOT TO SCALE)

10208

HOUSE NUMBERS



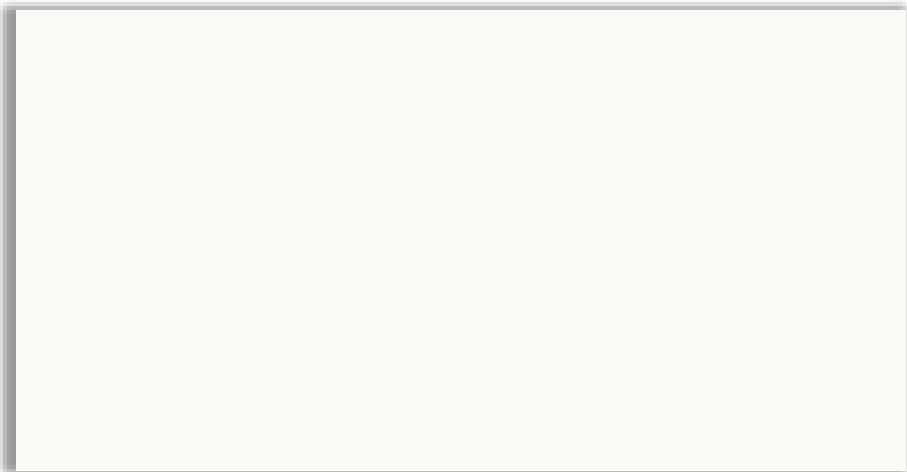
EXTERIOR LIGHT FIXTURE
7.5" W X 9.5" D X 16.5" H



MILGARD TUSCANY VINYL
WINDOWS WITH GRIDS



ROYCROFT MIST GRAY
SW 2844
• SMOOTH COAT STUCCO



HIGH REFLECTIVE WHITE
SW 7757
• GARAGE DOOR
• FRONT DOOR
• EXTERIOR TRIM
• RAILING



ELDORADO STONE
BLUFFSTONE – MINERET



CHARCOAL
GAF ROOF SHINGLES



10208 ORANGE AVENUE
CUPERTINO, CALIFORNIA 95014

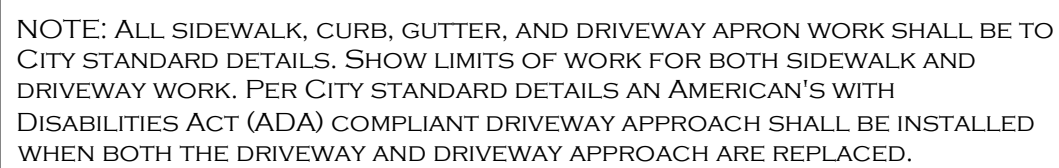
This is an example of design specifications for this particular plan and elevation. Detailed specifications, finishes and fixtures are subject to change, at any time, without notice or obligation. Square footages and lot dimensions are approximate and may vary in construction and depending on the standard of measurement used, engineering and municipal requirements, or other site-specific conditions. Homeowner is responsible for obtaining all necessary permits and approvals. Not an offer or solicitation to sell real property. Thomas James Homes is a registered trademark of Thomas James Homes, LLC. ©2018 Thomas James Homes. All rights reserved. CA DRE License #20057267

NOTES:
DIMENSIONS PROVIDED IN THIS DOCUMENT
ARE BASED OFF THE ARCHITECTURAL PLANS
AND ARE TO BE VERIFIED IN FIELD. ACTUAL
FIELD CONDITIONS MAY EFFECT THESE
DIMENSIONS. PROJECT MANGER TO NOTIFY
DESIGNER OF DIMENSIONS AND FIELD
CONDITIONS THAT DIFFER FROM THE DESIGN
PACKAGE AND ARCHITECTURAL PLANS.

DATE: 04.17.20
DESIGNER: KRISTIN LASKY
ARCHITECT: KTGy

A5.1

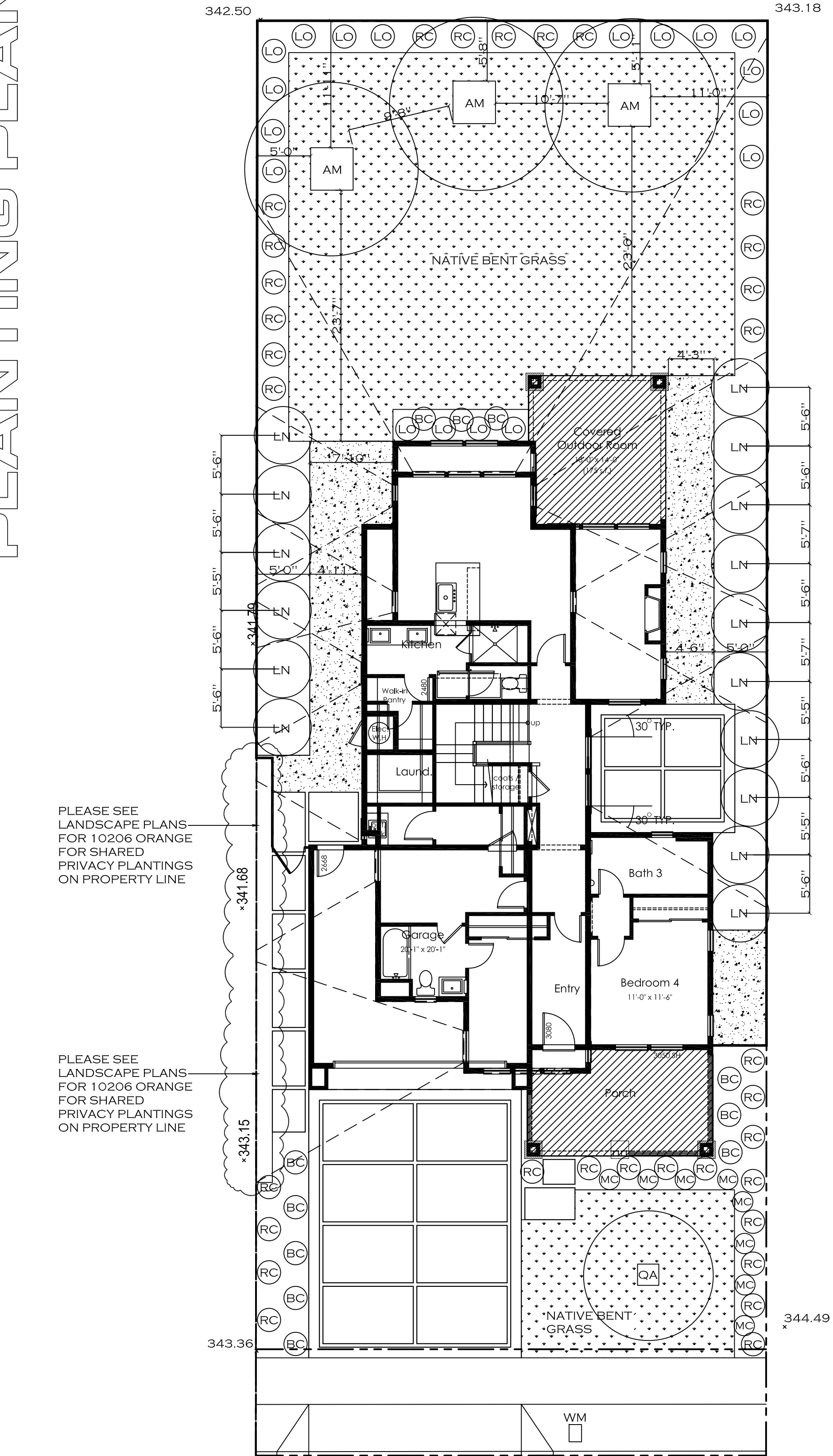
MATERIALS BOARD



TOTAL PROPOSED TURF: 0 SQ. FT.

L-1

SHEET INDEX:
L-1: SITE PLAN
L-2: PLANTING PLAN



ORANGE AVENUE

NOTE: MINIMUM TREE SIZE SHALL BE 24" BOX AND A MINIMUM OF 6' HIGH PLANTED HEIGHT. THE MINIMUM SHRUB SIZE SHALL BE 15 GALLON AND A MINIMUM OF 6' HIGH PLANTED HEIGHT.

PLANTING AND TREE LEGEND:

BOTANICAL NAME		COMMON NAME		SIZE	QTY.	MATURITY HEIGHT	YEARS TO REACH	WUCOLS	SPEC.	NOTES
LO	OLIVA EUROPAEA MONTEANA	LITTLE OLIVE LEAF DWARF OLIVE	1 GAL	18	4" IN HEIGHT	1-2 YEARS	LOW	SHRUB	1	HIGH AT INSTALL
RC	ROMNEYA COULELII 'WHITE CLOUD'	MATILUA POPPY	1 GAL	32	6" IN HEIGHT	2-3 YEARS	VERY LOW	SHRUB	3	HIGH AT INSTALL
QA	QUERCUS AGRIFFOLIA	MAINTILIA	36" BOX	3	30-36 IN HEIGHT	20+ YEARS	VERY LOW	TREE	10	12' TALL AT INSTALL, FRONT YARD
MC	MIMUS MENZIESII CALIF. LARIS	WINTER BLUE GRASS	1 GAL	8	2-3 IN HEIGHT	1-2 YEARS	LOW	GRASS	8	HIGH AT INSTALL
BC	BRICKHOPEA LANATUM	WINTER BLUE GRASS	1 GAL	1	3-6 IN HEIGHT	2-3 YEARS	VERY LOW	SHRUB	8	HIGH AT INSTALL
LN	LARIX NOBILIS	GRECIAN LAUREL	16 GAL	16	15-40 IN HEIGHT	6-7 YEARS	LOW	SHRUB	6	TALL AT INSTALL, PRIVACY
AM	ARBUTUS MENZIESII (STANDARD)	MARINA STRAWBERRY TREE	36" BOX	3	40" IN HEIGHT	6-7 YEARS	LOW	TREE	10	12' TALL AT INSTALL, REPLACEMENT FOR HERITAGE & PRIVACY
GROUND COVER										
NATIVE BENT GRASS (1:679 SQ. FT.)								LOW	GRASS	
NOTE: MULCH/ WOOD CHIPS ALL BEDS/ MULCH SHALL BE 3" THICK (NO SOIL SHALL BE VISIBLE IN ANY PLANTER AREA)										
NOTE: ONLY APPROVED LOCAL QUALITY SUPPLIERS FOR PLANT SOURCES SHALL BE USED. OBTAIN LIST FROM THOMAS JAMES HOMES										

PRODUCERS & INSTALLERS OF PREMIUM PEAT GROWN SOD

California Native Sod

Native Bentgrass™

Agrostis Pallens

The industry's 1st choice in native sod.

Native Bentgrass delivers excellent durability, Exceptional recovery and a dark green turf mat.

- Medium Leaf Texture
- Thrives in full sun & partial shade
- Withstands low mowing heights
- Strong sod mat provides effective weed barrier
- Extremely drought tolerant
- Uniform growth habit with excellent wear recovery due to self-repairing rhizomes

P.O. Box 307 • Stockton, California 95201 • (800) 437-8873 • www.deltabluegrass.com

Updated 11/06/2017

UB 36-2/UB 48-2 Specifications

36" and 48" DeepRoot® Tree Root Barrier

Material and Thickness

Properties	Typical Value	ASTM Test Method
Tensile strength (psi)	1800-19	D688
Elongation at Break (%)	100	D688
Tensile Modulus	150,000 PSI	D688
Notched and Impact	64-42	D2564
Hardness Shore D	74-80	D1505
Hardness Shore P	65	D2240

- PLANTING NOTES:
- THE PLANTING PLAN IS DIAGRAMMATIC. ALL PLANT LOCATIONS ARE APPROXIMATE. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED.
 - QUANTITIES SHOWN ON THE PLANTING PLAN ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES BETWEEN QUANTITIES & SYMBOLS SHOWN.
 - THE LANDSCAPE CONTRACTOR SHALL SUBMIT A SOIL REPORT FROM AN AUTHORIZED TESTING AGENCY, BUTLERS MILL, OR EQUIVALENT, TO THE OWNER OR LA BEFORE BEGINNING WORK.
 - PRIOR TO PLANTING, ALL IRRIGATION SYSTEMS SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE THOROUGHLY SOAKED. ADJUST IRRIGATION SYSTEM, HEADS, SPRAY ANGLES, ETC.
 - ALL AREAS TO BE PLANTED, WHICH HAVE A SLOPE OF LESS THAN 10% SHALL BE CROSS-RIPPED TO A DEPTH OF 6" AND THE FOLLOWING AMENDMENTS SPREAD EVENLY THOROUGHLY BLENDED IN PER 1,000 SQUARE FEET (QUANTITIES SUBJECT TO CHANGE PER SOILS REPORT). A). 4 CUBIC YARDS NITROGEN FORTIFIED REDWOOD SHAVINGS (B). 100 POUNDS AGRICULTURAL GYPSUM. C). 35 POUNDS SOIL SULFUR. D). 25 POUNDS 16-6-8 SLOW RELEASE FERTILIZER.
 - EACH PLANT SHALL RECEIVE "AGRIFORM" OR EQUIVALENT 21 GRAM PLANT TABLETS AS FOLLOWS: 1 GALLON CONTAINER = 1 21 GRAM. 5 GALLON CONTAINER = 3 21 GRAM. 15 GALLON CONTAINER = 5 21 GRAM. PER 3 INCH BOXED TREE SIZE = 1 21 GRAM.
 - PLAN BACKFILL SHALL BE 50% SITE SOIL, AND 50% NITROGEN FORTIFIED REDWOOD SHAVINGS BY VOLUME, OR APPROVED EQUIVALENT.
 - PLANT PITS SHALL BE TWICE THE SIZE OF THE DESIGNATED NURSERY CONTAINERS.
 - PLANT MATERIAL SHALL NOT BE ROOT BOUND. FIVE GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF 6 MONTHS AND A MAXIMUM OF 2 YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH FREE OF DISEASES AND PESTS.
 - REMOVE NURSERY STAKES ON ALL VINES AND ATTACH TO ADJACENT WALLS OR FENCES WITH NON-METALLIC TIES. REMOVE NURSERY STAKES AND TIES FROM ALL TREES OR NURSERY STOCK. MAINTAIN SIDE SODGING ON ALL TREES. DOUBLE STAKE ALL 5 AND 15 GALLON, AND 24" BOX TREES. TRIPLE GUY ALL 36" BOX AND LARGER TREES.
 - TREES, SHRUBS AND VINES SHALL NOT BE PLACED WITHIN 12" OF SPRINKLER HEADS.
 - SHRUBS SHOWN IN PLANTER AREAS SHALL BE UNDER-PLANTED WITH GROUND COVERS SHOWN BY ADJACENT SYMBOL TO WITHIN 12" OF MAIN PLANT STEM.
 - THE LANDSCAPE CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH, AND TOOLS DAILY.
 - THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL DRAINAGE, IRRIGATION, PLANTING AND LOW VOLTAGE LIGHTING SYSTEMS FOR A PERIOD OF 60 CALENDAR DAYS AFTER COMPLETION AND ACCEPTANCE OF WORK. PROVIDE A SEPARATE LANDSCAPE MAINTENANCE LINE ITEM IN BID.
 - PRIOR TO THE END OF MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER AND LA TO ARRANGE FOR A FINAL WALK THROUGH. THE OWNER MUST ACCEPT ALL MAINTAINED AREAS PRIOR TO THE END OF THE MAINTENANCE PERIOD.
 - ALL POTS: THE CONTRACTOR SHALL DRILL A DRAINAGE HOLE IN THE BOTTOM OF ALL POTS. INSTALL DRIP THROUGH HOLE IN POT. SEAL INSIDE POTS WITH "EASY SEAL". PROVIDE 2" LAYER OF 1/2" SIZE GRAVEL IN BOTTOM OF POTS. BACKFILL POTS WITH POT PLANTER MIX TO WITHIN 3" OF RIM OF POT AFTER SETTING. BACKFILL SHALL BE "KELOGG SUPPLY INC." POT PLANTER MIX OR EQUIVALENT. ALL POTS SHALL RECEIVE 4-21 GRAM "AGRIFORM" PLANT TABLETS PER POT. PROVIDE THREE POT SHIMS TRIANGULAR SPACED AROUND SAUCER BASE. OWNER TO REVIEW AND APPROVE POT LAYOUT, COLOR AND FINISH.

Linear Application of DeepRoot Tree Root Barriers at Time of Installing Concrete Sidewalks and Curbs

Typical Section of Curb, Gutter and DeepRoot Tree Root Barrier

Typical Section of Curb, Gutter and DeepRoot Tree Root Barrier

Surround Style Planting with DeepRoot Universal Barriers

SHRUB PLANTING

TREE GUYING

SUITABLE IMPORT TOPSOIL

GENERAL - TOPSOIL SHALL BE FREE OF ROOTS, CLODS, STONES LARGER THAN 1 INCH IN THE GREATEST DIMENSION, POCKETS OF COARSE SAND, NOXIOUS WEEDS, STICKS, LUMBER, BRUSH AND OTHER LITTER. IT SHALL NOT BE INFESTED WITH NEMATODES OR OTHER UNDESIRABLE DISEASE-CAUSING ORGANISMS SUCH AS INSECTS AND PLANT PATHOGENS.

TOPSOIL SHALL BE FRIABLE AND HAVE SUFFICIENT STRUCTURE IN ORDER TO GIVE GOOD TILTH AND AERATION TO THE SOIL.

GRADATION LIMITS - SOIL SHALL BE A SANDY LOAM. THE DEFINITION OF SOIL TEXTURE SHALL BE THE USDA CLASSIFICATION SCHEME. GRAVEL OVER 2 MILLIMETERS IN DIAMETER SHALL BE LESS THAN 20% BY WEIGHT.

PERMEABILITY RATE - HYDRAULIC CONDUCTIVITY RATE SHALL BE NOT LESS THAN ONE INCH PER HOUR NOR MORE THAN 10 INCHES PER HOUR WHEN TESTED IN ACCORDANCE WITH THE USDA HANDBOOK NUMBER 60, METHOD 34B OR OTHER APPROVED METHODS.

FERTILITY - THE RANGE OF THE ESSENTIAL ELEMENTAL CONCENTRATION IN SOIL SHALL BE AS FOLLOWS:

AMMONIUM BICARBONATE/DTPA EXTRACTION PARTS PER MILLION (MG/KILOGRAM DRY WEIGHT BASIS)	PHOSPHORUS
2-40	40-220
2-35	2-35
0.6-8	0.6-8
0.6-8	0.6-8
0.1-5	0.1-5
0.2-1.0	0.2-1.0
50-150	50-150
0-100	0-100
25-500	25-500
0.1-1.0	0.1-1.0

SOIL MAY NEED TO BE AMENDED AND CONDITIONED TO OPTIMIZE PLANT GROWTH. THE ABOVE LISTED FERTILITY IS FOR SOIL SELECTION.

CONCENTRATION OF NUTRIENTS FOR FINAL ACCEPTANCE

AMMONIUM BICARBONATE/DTPA EXTRACTION PARTS PER MILLION (MG/KILOGRAM DRY WEIGHT BASIS)	PHOSPHORUS
15-40	125-220
5-35	5-35
0.6-8	0.6-8
1-8	1-8
0.3-5	0.3-5
0.2-1.0	0.2-1.0
50-150	50-150
0-100	0-100
25-500	25-500
0.1-1.0	0.1-1.0

ACIDITY - THE SOIL PH RANGE MEASURED IN THE SATURATION EXTRACT (METHOD 21A, USDA HANDBOOK NUMBER 60) SHALL BE 6.5 - 7.9.

SALINITY - THE SALINITY RANGE MEASURED IN THE SATURATION EXTRACT (METHOD 3A, USDA HANDBOOK NUMBER 60) SHALL BE 0.5 - 2.5 DS/M.

CHLORIDE - THE MAXIMUM CONCENTRATION OF SOLUBLE CHLORIDE IN THE SATURATION EXTRACT (METHOD 3A, USDA HANDBOOK NUMBER 60) SHALL BE 150 MG/L (PARTS PER MILLION).

BORON - THE MAXIMUM CONCENTRATION OF SOLUBLE BORON IN THE SATURATION EXTRACT (METHOD 3A, USDA HANDBOOK NUMBER 60) SHALL BE 1 MG/L (PARTS PER MILLION).

SODIUM ADSORPTION RATIO (SAR) - THE MAXIMUM SAR SHALL BE 3 MEASURED PER METHOD 20B, USDA HANDBOOK NUMBER 60.

ALUMINUM - AVAILABLE ALUMINUM MEASURED WITH THE AMMONIUM BICARBONATE/DTPA EXTRACTION SHALL BE LESS THAN 3 PARTS PER MILLION.

SOIL ORGANIC MATTER CONTENT - SUFFICIENT SOIL ORGANIC MATTER SHALL BE PRESENT TO IMPART GOOD PHYSICAL SOIL PROPERTIES BUT NOT BE EXCESSIVE TO CAUSE TOXICITY OR CAUSE EXCESSIVE REDUCTION IN THE VOLUME OF SOIL DUE TO DECOMPOSITION OF ORGANIC MATTER. THE DESIRABLE RANGE IS 3% TO 6% ON A DRY WEIGHT BASIS. THE CARBON/NITROGEN RATIO SHOULD BE ABOUT 1:10.

CALCIUM CARBONATE CONTENT - FREE CALCIUM CARBONATE (LIMESTONE) SHALL NOT BE PRESENT FOR ACID-LOVING PLANTS.

HEAVY METALS - THE MAXIMUM PERMISSIBLE ELEMENTAL CONCENTRATION IN THE SOIL SHALL NOT EXCEED THE FOLLOWING CONCENTRATIONS:

AMMONIUM BICARBONATE/DTPA EXTRACTION PARTS PER MILLION (MG/KILOGRAM DRY WEIGHT BASIS)	ARSENIC
1	1
10	10
2	2
30	30
1	1
3	3
0.5	0.5
3	3
0.5	0.5

IF THE SOIL PH IS BETWEEN 6 AND 7, THE MAXIMUM PERMISSIBLE ELEMENTAL CONCENTRATION SHALL BE REDUCED 50%. IF THE SOIL PH IS LESS THAN 6.0, THE MAXIMUM PERMISSIBLE ELEMENTAL CONCENTRATION SHALL BE REDUCED 75%. NO MORE THAN THREE METALS SHALL BE PRESENT AT 50% OR MORE OF THE ABOVE VALUES.

PHYTOTOXIC CONSTITUENTS, HERBICIDES, HYDROCARBONS, ETC. - GERMINATION AND GROWTH OF MONOCOTS AND DICOTS SHALL NOT BE RESTRICTED MORE THAN 10% COMPARED TO THE REFERENCE SOIL. TOTAL PETROLEUM HYDROCARBONS SHALL NOT EXCEED 50 MG/KG DRY SOIL, MEASURED PER THE MODIFIED EPA METHOD NO. 801.5. TOTAL AROMATIC VOLATILE ORGANIC HYDROCARBONS (BENZENE, TOLUENE, XYLENE AND ETHYLBENZENE) SHALL NOT EXCEED 0.5 MG/KG DRY SOIL, MEASURED PER EPA METHODS NO. 802.0.

TREE/ DRAINAGE INSTALLATION NOTE:

LANDSCAPE CONTRACTOR SHALL COORDINATE THE TREE ROOTBALL LOCATION WITH THE MECHANICAL DRAINAGE LINE LOCATIONS TO ASSURE NO CONFLICTS WITH THE PLACEMENT OF EACH. WHEN A DRAINAGE LINE LOCATION IS LOCATED ADJACENT TO THE TREE'S ROOTBALL, A ROOT BARRIER DEVICE SHALL BE IMPLEMENTED.

- ADDITIONAL NOTE:**
- ALL TREES WITHIN 8' OF HARDSURFACE SHALL HAVE A ROOT BARRIER INSTALLED.
- SOIL PREPARATION**
- ALL TURF AREAS TO RECEIVE ROTOTILLING AND SOIL PREPARATION TO A DEPTH OF 6".
 - SHRUB AREAS TO RECEIVE SOIL PREPARATION AT LOCATION OF SHRUB ONLY.
 - GROUND COVER AND COLOR AREAS TO RECEIVE SOIL PREPARATION THROUGHOUT PLANTING AREA TO A DEPTH OF 2".
- PLANTING**
- ALL TREES 5 GAL OR LARGER SHALL BE SINGLE STAKED.
 - ALL TREES 24" BOX OR LARGER SHALL BE DOUBLE STAKED FOR SINGLE TRUNK TREES, GUYED FOR MULTI-TRUNK TREES.
 - GROUND COVER PLANT MATERIAL SHALL BE TRIANGULARLY SPACED.

SHRUB PLANTING

TREE GUYING

TREE STAKING

REVISIONS

11.19.19
2.20.20
4.7.20
5.12.20

THESE DRAWINGS ARE FOR AESTHETIC USE ONLY AND SHALL BE DESIGNED BY A LICENSED LANDSCAPE ARCHITECT. ANY ACTING IN THE MANNER OF A LICENSED LANDSCAPE ARCHITECT WITHOUT A LICENSE AND PROPERTY LINES SHALL BE VERIFIED ON THE DRAWING. THE ACCURACY OF MEASUREMENTS OR PROPERTY LINES SHALL BE THE RESPONSIBILITY OF THE CLIENT. SUPPLIED WITH A LICENSED SURVEY.

gomez designs

landscape design & installation

o. 805.520.1297 - c. 805.823.5068

cal. contractors lic. #1011989

agomezdesigns.com

SHEET TITLE:

PLANTING

PLAN

PROJECT ADDRESS:

THOMAS JAMES HOMES

10208 ORANGE AVENUE

CUPERTINO, CA.

DRAWN

AG

CHECKED

AG

DATE

8.8.19

SCALE

1/8"=1'-0"

JOB NO.

SHEET

L-2

ORANGE AVENUE

LOMITA AVENUE

PASADENA AVENUE

OLIVE AVENUE

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CUPERTINO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT E, BLOCK 9, AS SHOWN UPON THAT CERTAIN MAP ENTITLED, "MAP OF RESUBDIVISION OF SUBDIVISION NO. 1, TOWN OF MONTA VISTA", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON APRIL 11, 1917 IN VOLUME P OF MAPS, AT PAGE 24.

REFERENCE DOCUMENT:

PER PRELIMINARY TITLE REPORT FROM FIDELITY NATIONAL TITLE COMPANY

ORDER NO. FSBC-0301900373-DG

DATED AS OF: APRIL 9, 2019

SCHEDULE B / EASEMENT(S):

6. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: COUNTY OF SANTA CLARA
PURPOSE: PUBLIC ROAD AND HIGHWAY PURPOSES
RECORDING DATE: FEBRUARY 24, 1954
RECORDING NO.: 953468, BOOK 2820, PAGE 584, OF OFFICIAL RECORDS
AFFECTS: AS DESCRIBED IN SAID DOCUMENT HEREIN REFERRED TO

-PLOTTED HEREON

BASIS OF BEARINGS:

THE BEARING NORTH 00° 00' 00" EAST, ON THE CENTERLINE OF ORANGE AVENUE AS SHOWN ON THAT CERTAIN MAP, FILED FOR RECORD IN BOOK 854 OF MAPS AT PAGE 48, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS BASIS OF BEARINGS FOR THIS MAP.

LAND AREA:

CONTAINING AN AREA OF 12,959.99 SQ. FT., OR 0.2975 ACRES, MORE OR LESS.

BENCHMARK:

BM ID: 1071 (NAVD 1988)
SCVND BRASS DICK (R180); ON TOP OF THE SOUTHERLY CURB OF STEVENS CREEK BOULEVARD AT APPROXIMATELY 200 FEET WESTERLY OF PENINSULA / BUDD ROAD AND NEAR RAILROAD CROSSING POLE #22118. ALSO, 2.5 FEET NORTH OF THE RAILROAD CROSSING LIGHTS, AND 20 FEET WEST FROM THE CENTER OF THE TRACKS. CITY OF CUPERTINO
ELEV. = 326.91 FT.

SURVEYOR'S NOTE:

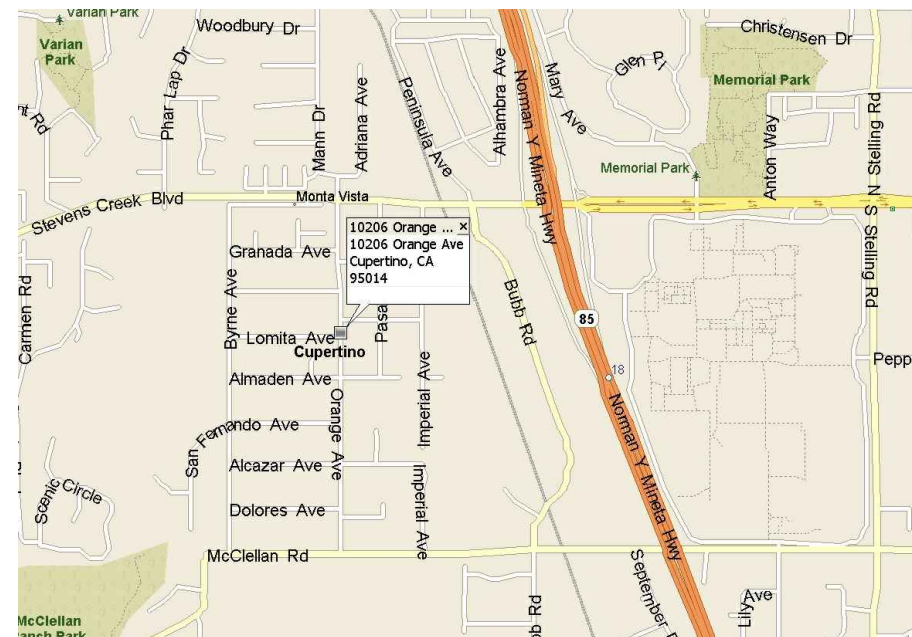
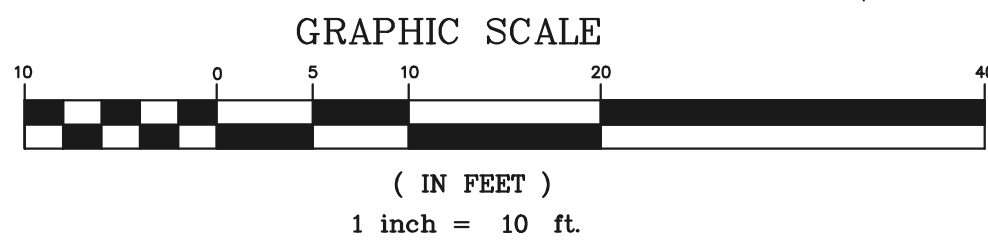
- THIS MAP IS NOT A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.
- SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING HAVE BEEN SET BY OTHERS, AND USED ONLY AS REFERENCE FOR PURPOSES OF TOPOGRAPHIC MAPPING, WITHOUT THE VERIFICATION OF ITS AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.
- RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.

LEGEND:

APN	- ASSESSOR'S PARCEL NUMBER	PG	- PAGE
A.C.	- ASPHALT CONCRETE	S.S.D.M.	- STANDARD SURVEY DISC MONUMENT
BM	- BENCHMARK	TC	- TOP OF CURB ELEV.
C/CL	- CENTERLINE	---	- PROPERTY LINE
CONC	- CONCRETE	---	- CENTERLINE
FB	- FIELD BOOK	---	- RETAINING WALL
FD	- FOUND	---	- BUILDING LINE
FL	- FLOWLINE ELEV.	---	- FENCE LINE
INTER	- INTERSECTION		

SYMBOLS:

DR	- DRAIN	SLPB	- STREET LIGHT BOX
GM	- GAS METER	T	- TREE
PP	- POWER POLE	WM	- WATER METER
PPA	- POWER POLE ANCHOR	WV	- WATER VALVE
SM	- SEWER MANHOLE		
SP	- SIGN POST		
SDM	- STORM DRAIN MANHOLE		



M&G CIVIL ENGINEERING AND
LAND SURVEYING

REGISTERED PROFESSIONAL ENGINEER
ANTHONIA A. DE BEON
No. C-31604
EXP. 12-31-2020
CIVIL
STATE OF CALIFORNIA
05/17/19
(signed)

TITLE: TOPOGRAPHIC SURVEY 10206 ORANGE AVENUE, CUPERTINO, CA 95014-2841		
CLIENT: Thomas James Capital	JOB NO.: 19-14924	DATE: 05/13/19
SCALE: 1" = 10'	DESIGNED BY: F.G. / DC	REVISION (S):
DRAWN BY: MK	CHECKED BY: C.D.L.	SHEET 1 OF 1 SHEET