# 10208 Orange Ave

Cupertino, Ca 95014

May 13th, 2020
Planning Application



#### **OWNER:**

Thomas James Homes 255 Shoreline Dr STE 428 Redwood City, CA 94065

Phone: 650.382.0648

Contact

Cynthia Thiebaut cthiebaut@tjhusa.com

#### **ARCHITECT:**

KTGY Group, Inc. 1814 Franklin St. Suite 400, Oakland, CA 94612

Phone: 510.272.2910

Contact

Franklin La Pointe flapointe@ktgy.com

#### **CIVIL ENGINEER:**

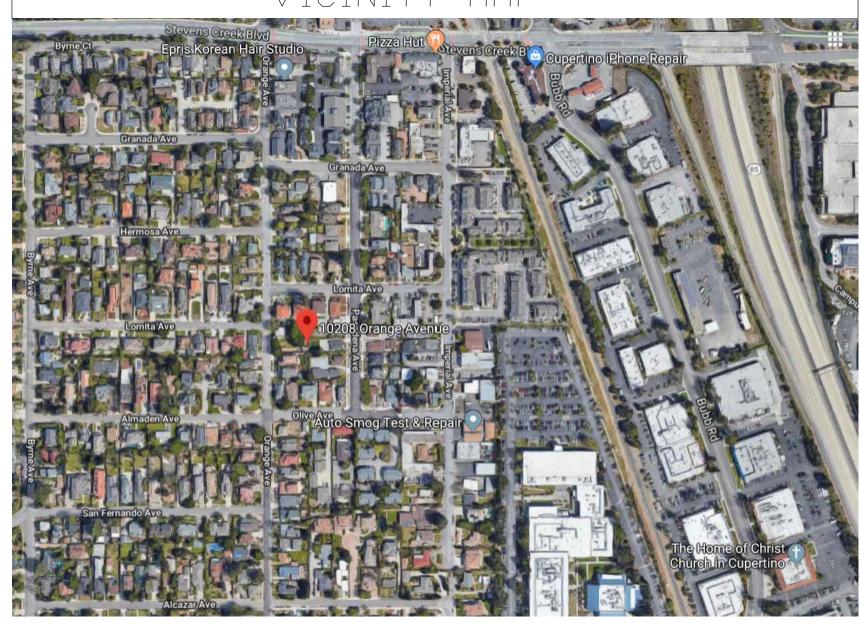
CBG

2633 Camino Ramon #350 San Ramon, CA 94583

Phone: 925.866.0322

#### SHEET INDEX ARCHITECTURAL LANDSCAPE Site Plan & Site Calculations Proposed Site / Data Planting Plan Lot Coverage FD-1 Fence Details First / Second Floor Plan CIVIL Topographic Survey Square Footage Exterior Elevations / Roof Area Plan Sections Privacy Planting Tree Protection Plan Materials Board

#### VICINITY MAF



#### **TABLE 1: PROJECT DATA**

Address: 10208 Orange Avenu	ıe	APN: 357-18-032						
Zoning District: P(Res4.4-7.7)	Lot Area: 6,000 SQ FT							
Land Use: Residential								
	Lot Width: 48'	Lot Depth: 125'						
(4.4-7.7 du/ac)	Lot Width. 48	Lot Deptil. 123						
NO EXISTING STRUCTURES. CONSTRUCT A NEW TWO-STORY HOME, 4 BEDROOMS WITH ATTACHED 2-								
CAR GARAGE.								

DEVELOPMENT STANDARDS								
STANDARD	EX	XISTING CODE REQUIREMENT			PROPOSED			
SETBACKS:		CUPERTINO MUNICIPAL CODE (CMC) Chapter 19.28.070						
	FIRST	SECOND	FIRST	SECOND	FIRST	SECOND		
	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR		
FRONT	FRONT N/A N/A		20'	25'	27'-3"	27'-3"		
REAR	N/A	N/A	20'	25'	39'-7"	42'-6"		
SIDE (LEFT)         N/A         N/A           SIDE (RIGHT)         N/A         N/A		N/A	5'	15'	5'-0"	10'-0"		
		N/A	5'	15'	5'-0"	16'-6"		
TOTAL SIDE	TOTAL SIDE N/A N/A		10'	30'	10'-0"	26'-6"		

LOT COVERAGE:	CUPERTINO MUNICIPAL CODE (CMC) Chapter 19.28.070				
TOTAL LOT COVERAGE		2,700 SQ FT*	2,348 SQ FT		
SQUARE FOOTAGE:					
BELOW GRADE	N/A	N/A	N/A		
FIRST FLOOR					
(EXCLUDING GARAGE)		N/A	1,230 SQ FT		
SECOND FLOOR- 66%					
MAX OF FIRST FLOOR	N/A	N/A	1,041 SQ FT		
GARAGE		N/A	425 SQ FT		
DETACHED BUILDINGS	N/A	N/A	N/A		
ACCESSORY DWELLING					
UNIT	N/A	N/A	N/A		
TOTAL		2,700 SQ FT	2,696 SQ FT		
	*F.A.R. 45	% of lot area			
GARAGE/PARKING:	CUPERTIN	O MUNICIPAL CODE (CMC) Cha	oter 19.124		
# OF PARKING SPACES	1	4	4		
INTERIOR GARAGE					
DIMENSIONS PER SPOT	N/A	10'x20'	20'x20'		
GARAGE WIDTH AS A					
PERCENTAGE OF THE					
FRONTAGE WIDTH	N/A	50%	43%		
HEIGHT:	CUPERTINO MUNICIPAL CODE (CMC) Chapter 19.28.070				
MAIN BUILDING HEIGHT	N/A	28'	25'-10"		
ACCESSORY BUILDING					
HEIGHT	N/A	N/A	N/A		
IMPERVIOUS PAVING:	SEE DIAGRAM SHEET A1.1				
LOTS <60' WIDTH	N/A	50% FRONT YARD AREA	43%		
LOTS >60' WIDTH	N/A	40% FRONT YARD AREA	N/A		











10208 Orange Ave.

10218 Orange Ave.

STREET SCAPE









25'-9' 30'-2"

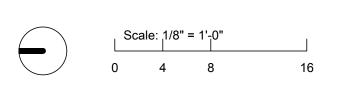
NOTE: THE SPECIFICATION

PROVIDED THAT INDICATES
THE DBA LEVEL AT THE
RECEIVING PROPERTY LINE

CANNOT EXCEED 50 dBa.
LOCATION SHALL BE
REVIEWED AND APPROVED
DURING BUILDING PERMIT

FOR THE AC SHALL BE

ISSUANCE.



48'-0''

12'-11"

COVERED

ROOM

Second

Floor Line/

First Floor

Line

PROPOSED 2 STORY 7'-1"
RESIDENTIAL

BUILDING

Second

Floor Line

ORANGE AVENUE

2 - CAR

CONCRETE DRIVE

DRÍVEWAY

PARKING

GARAGE

\_,4'-5",5'-0"

16'-6''

First Floor

Line

CONC. WALK #1

COVERED

2nd FLR. SIDEYARD

5'-0",5'-0"3'-0" 12'-9"

Floor Plan Summary: 4 Bedrooms 3 Baths 2219 s.f. Living

FAR Requirement: Lot Size: 6000 s.f. FAR Max.: .45  $6000 \times .45 = 2700 \text{ s.f. Max.}$ (Includes Garage)

FAR Provided:

1st Floor: 1230 s.f. Garage: 425 s.f. Subtotal: 1655 s.f. 2nd Floor: 1041 s.f. 2696 s.f. Total:

Second Floor Requirement: 66% Max. of 1st Floor + Garage  $1655 \times .66 = 1092 \text{ s.f. Max.}$ Provided: 1041 s.f.

344 00 FL

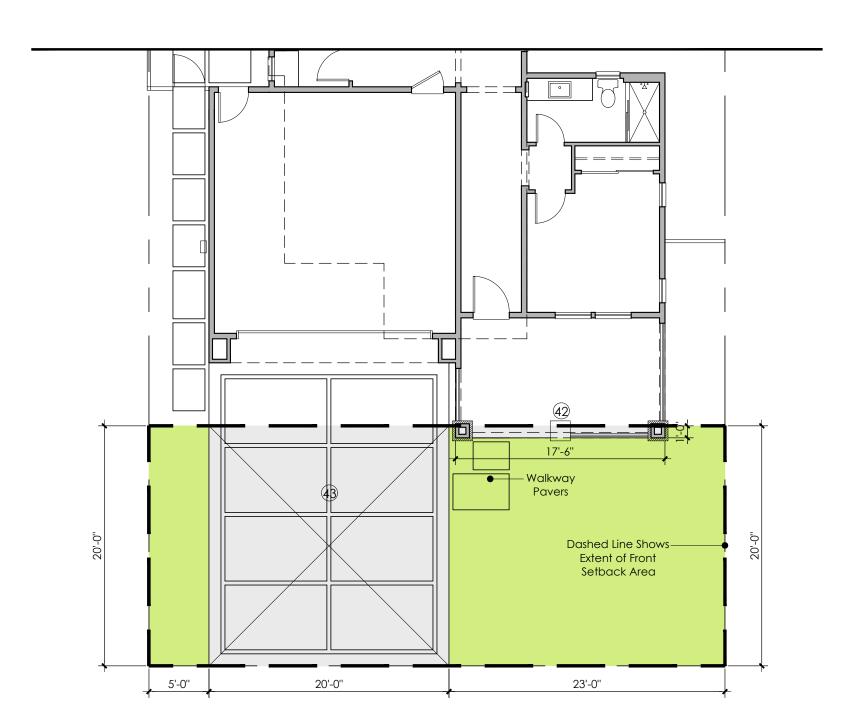
# BLOCK CALCS:

#### IMPERVIOUS SURFACE

= 17.50 SQ. FT. 42. 17'-6" x 1'-0"  $43.\ 20'-0'' \times 20'-0'' = 400.00 \, \text{SQ. FT.}$ 

TOTAL = 417.50 SQ. FT.

MAX. IMPERVIOUS SURFACE: FRONT SETBACK AREA = 961.60 S.F. 50% MAX. SURFACE ALLOWED 961.60 S.F. X .5 = 480.80 S.F. MAX. PROVIDED: 43%



First Floor

MAXIMUM IMPERVIOUS SURFACE



# BLOCK CALCS:

# HOUSE - 1ST FLOOR

1. 13'-5" x 7'x10" = 105.10 SQ. FT.  $2.28'-7'' \times 16'-11'' = 483.53 \, \text{SQ. FT.}$ 3. 21'-6" x 13'-8" = 294.73 SQ. FT. 4. 6-0" x 18'-9" = 111.97 SQ. FT. 5. 11'-6" x 20'-5" = 234.79 SQ. FT.

TOTAL = 1230.12 SQ. FT.

#### GARAGE

= 2.29 SQ. FT. 6. 5'-0" x 0'-6" 7. 20'-6" x 20'-6" = 421.96 SQ. FT. 8. 0'-6" x 1'-9" 0.80 SQ. FT.

TOTAL = 425.05 SQ. FT.

### PORCH, OUTDOOR ROOM & MISC.

9.  $12'-11'' \times 6'-2'' = 79.65 \, \text{SQ. FT.}$ 10. 12'-3" x 7'-10" = 95.95 SQ. FT. 11. 17'-0" x 3'-9" = 63.75 SQ. FT. 12. 17'-6" x 6'-3" = 109.11 SQ. FT. 13. 1'-10" x 2'-0" = 3.75 SQ. FT. 14. 1'-10" x 2'-0" 3.75 SQ. FT.

TOTAL = 355.96 SQ. FT.

#### BLOCK CALCS:

# ROOF OVERHANG - 1ST FLOOR

34.28 SQ. FT. 15. 17'-4" x 2'-0" 32.31 SQ. FT. 16. 21'-6" x 1'-6" 7.12 SQ. FT. 17. 1'-6" x 4'-9" 18. 20'-6" x 1'-0" 20.45 SQ. FT. 19. 1'-6" x 11'-9" 17.60 SQ. FT. 20. 1'-0" x 18'-8" 18.69 SQ. FT. 21. 12'-6" x 1'-6" 18.75 SQ. FT. 2.01 SQ. FT. 22. 1'-6" x 1'-4" 23. 1'-0" x 8'-3" 8.24 SQ. FT. 24. 8'-7" x 1'-0" 8.58 SQ. FT. 26. 1'-6" x 30'-11" = 46.37 SQ. FT. 27. 15'-11" x 1'-0" = 15.91 SQ. FT. 28. 1'-6" x 4'-8" 7.00 SQ. FT. 29. 12'-9" x 1'-6" 19.12 SQ. FT. 30. 1'-0" x 3'-5" 3.41 SQ. FT. 7.37 SQ. FT. 31. 1'-6" x 4'-11" = 32. 4'-5" x 1'-0" 4.41 SQ. FT. 33. 1'-6" x 10'-0" 15.06 SQ. FT. 34. 1'-0" x 17'-8" 17.70 SQ. FT. 35. 1'-6" x 2'-5" 3.56 SQ. FT. 36. 4'-6" x 1'-6" 6.78 SQ. FT. 37. 1'-0" x 23'-0" 23.00 SQ. FT.

TOTAL = 337.72 SQ. FT.

# First Floor

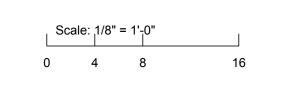
MAXIMUM LOT COVERAGE 6,000 x 45% = 2,700.00 SQ. FT. 1,230.12 + 425.05 + 355.96 + 337.72 ACTUAL COVERAGE = 2,348.85 SQ. FT. (39%)

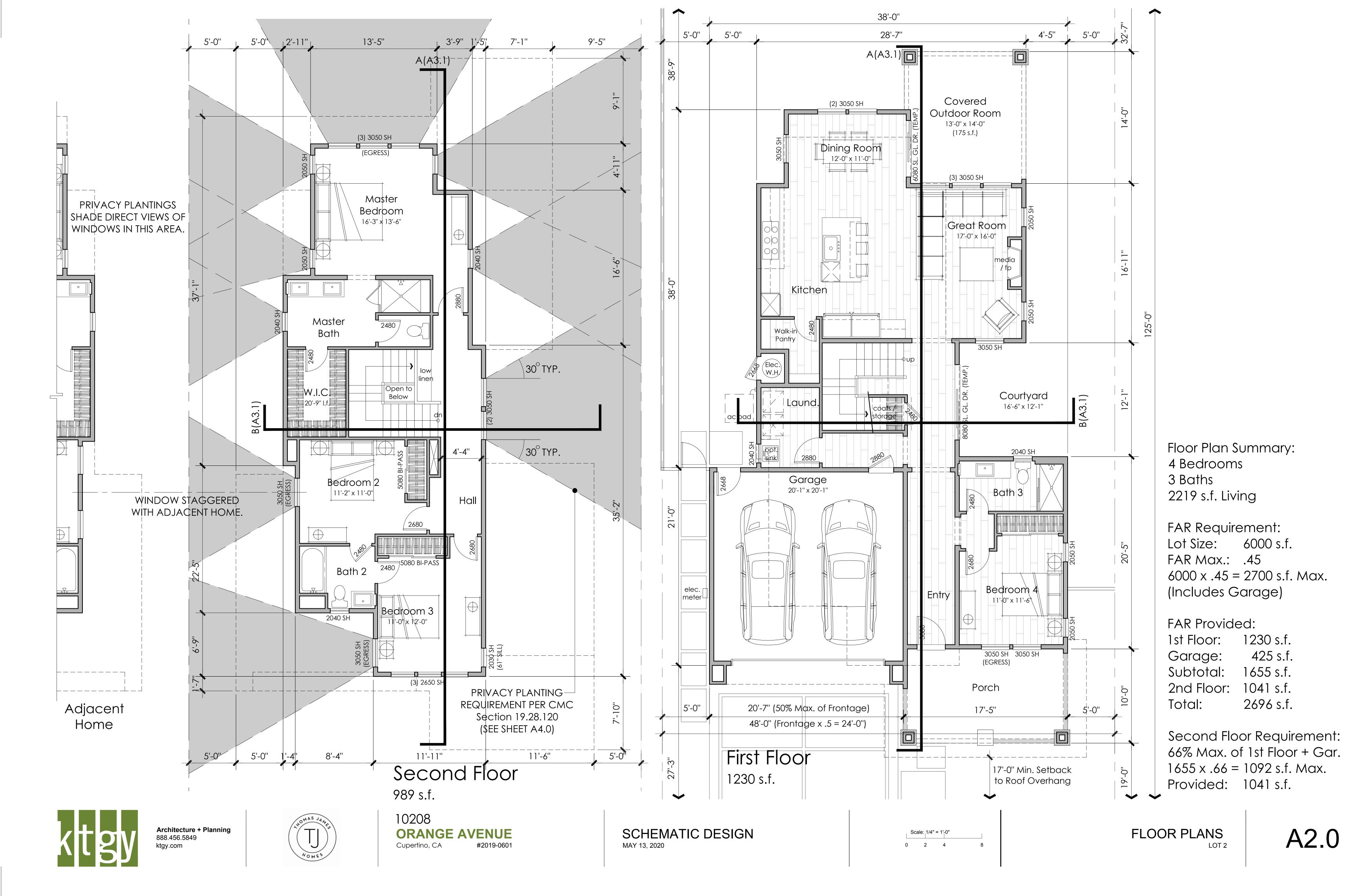


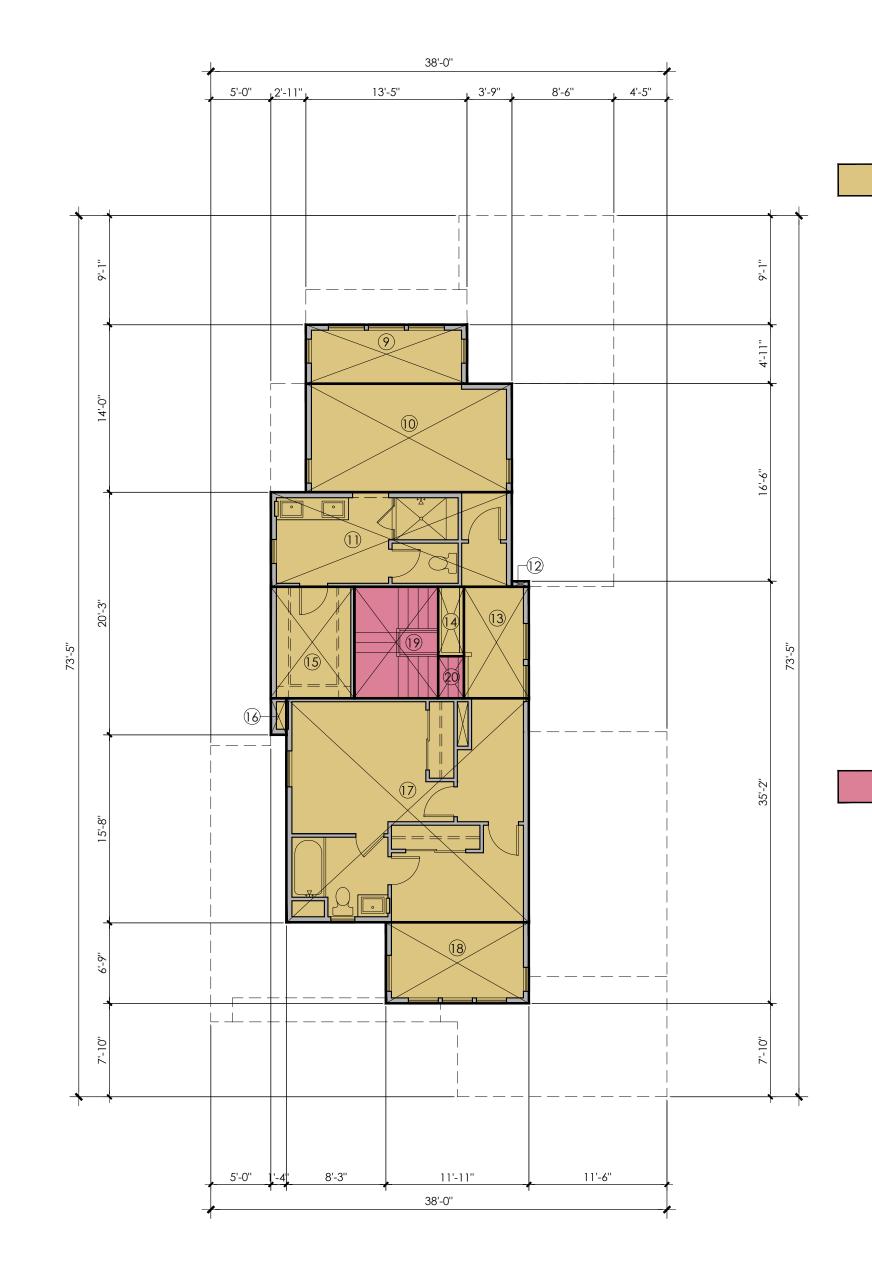












# BLOCK CALCS:

# HOUSE - 2ND FLOOR

9. 13'-5" x 4'-11" = 66.03 SQ. FT. 10. 17'-2" x 9'-0" = 155.22 SQ. FT. 11. 20'-1" x 7'-10" = 158.16 SQ. FT. 12. 1'-5" x 6" 0.65 SQ. FT. 13. 5'-5" x 9'-4" = 50.33 SQ. FT. 14. 2'-2" x 5'-9" = 12.43 SQ. FT. 15. 7'-0" x 9'-4" = 64.75 SQ. FT. 16. 1'-4" x 3'-0" = 3.93 SQ. FT. 17. 20'-2" x 18'-8" = 377.22 SQ. FT. 18. 11'-11" x 6'-9" = 80.44 SQ. FT.

TOTAL = 969.16 SQ. FT.

#### STAIRS

19. 7'-0" x 9'-4" = 64.85 SQ. FT. 20. 2'-2" x 3'-6" = 7.51 SQ. FT.

= 72.36 SQ. FT. TOTAL

2ND FLOOR TOTAL = 1041.52 SQ. FT.

# 8

# BLOCK CALCS:

# HOUSE - 1ST FLOOR

1. 13'-5" x 7'x10" = 105.10 SQ. FT. 2. 28'-7" x 16'-11" = 483.53 SQ. FT. 3. 21'-6" x 13'-8" = 294.73 SQ. FT. 4. 6-0" x 18'-9" = 111.97 SQ. FT. 5. 11'-6" x 20'-5" = 234.79 SQ. FT.

TOTAL = 1230.12 SQ. FT.

# GARAGE

6. 5'-0" x 0'-6" = 2.29 SQ. FT. 7. 20'-6" x 20'-6" = 421.96 SQ. FT. 8. 0'-6" x 1'-9" 0.80 SQ. FT.

TOTAL = 425.05 SQ. FT.

1ST FLOOR TOTAL = 1655.17 SQ. FT.

# Second Floor

MAXIMUM 2ND FLOOR AREA 1655.17 SQ. FT. X .66 PROPOSED 2ND FLOOR AREA 66% OF 1ST FLOOR TOTAL = 1092.41 SQ. FT.

10208

Cupertino, CA

**ORANGE AVENUE** 

#2019-0601

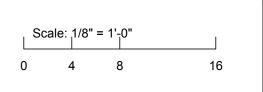
= 1041.52 SQ. FT. (63%)



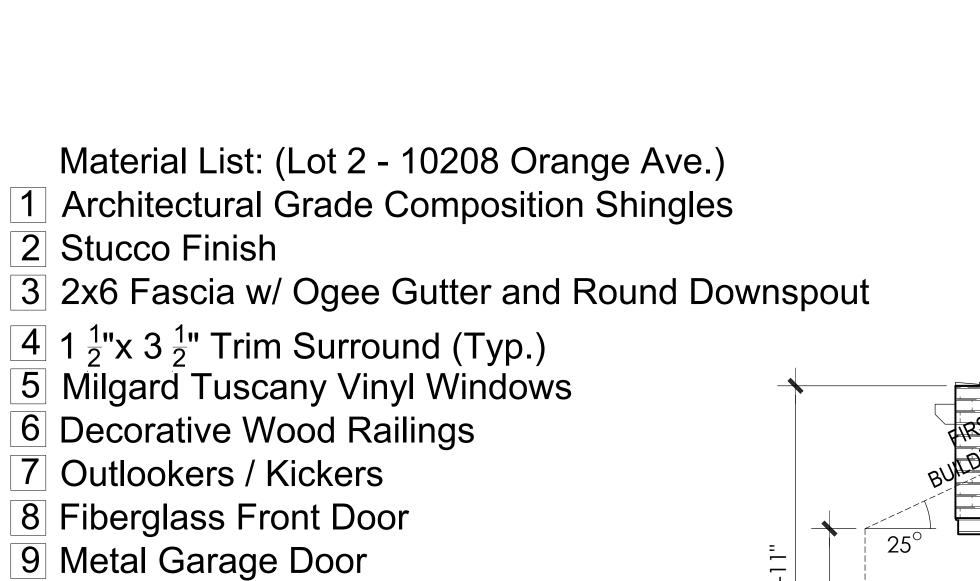
MAXIMUM TOTAL FLOOR AREA PROPOSED TOTAL FLOOR AREA

6,000 LOT x 45% 1,655.17 + 1041.52 = 2,700.00 SQ. FT. = 2,696.69 SQ. FT. (45%)

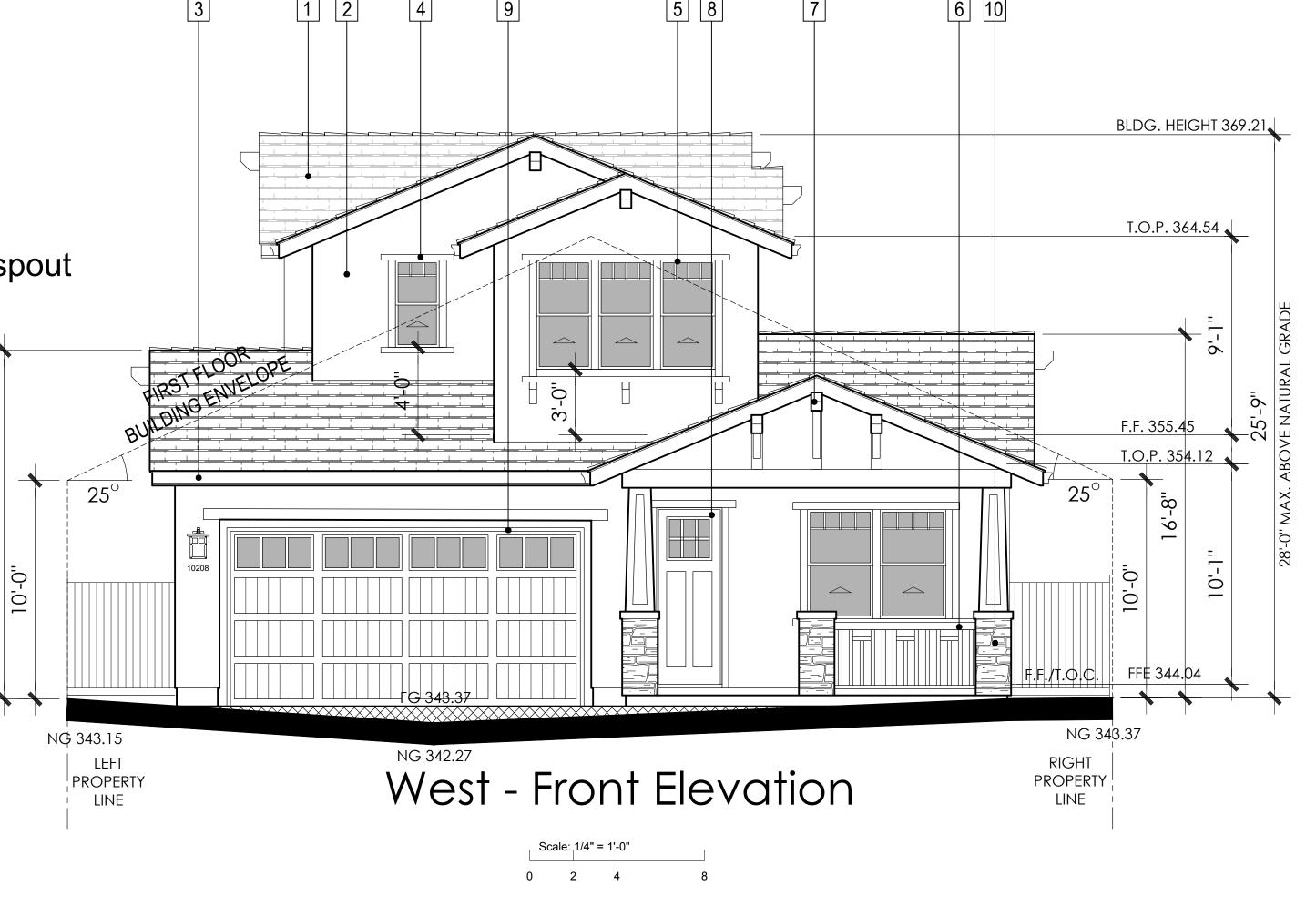


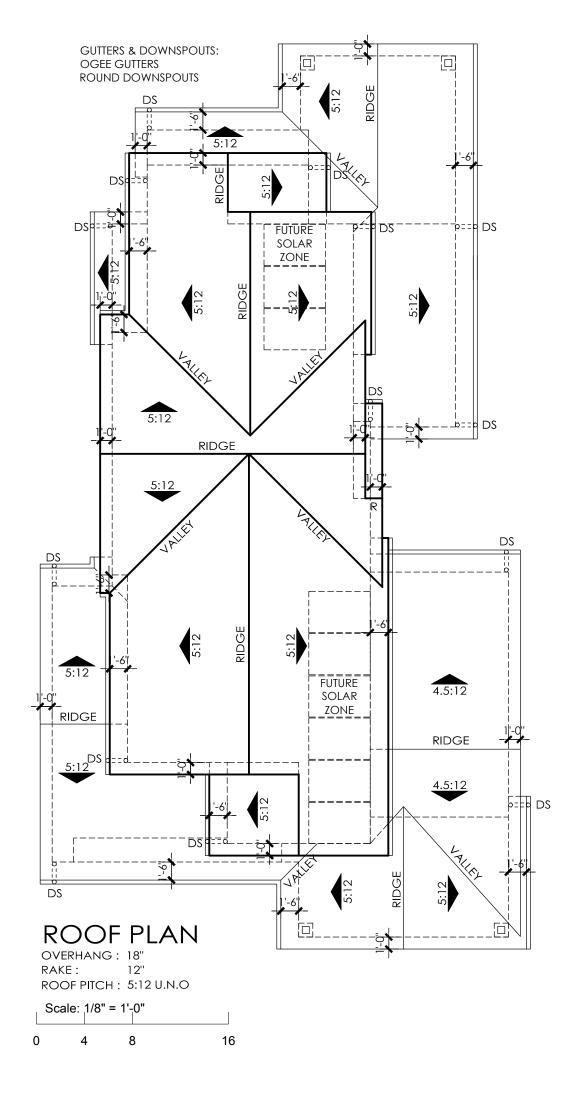


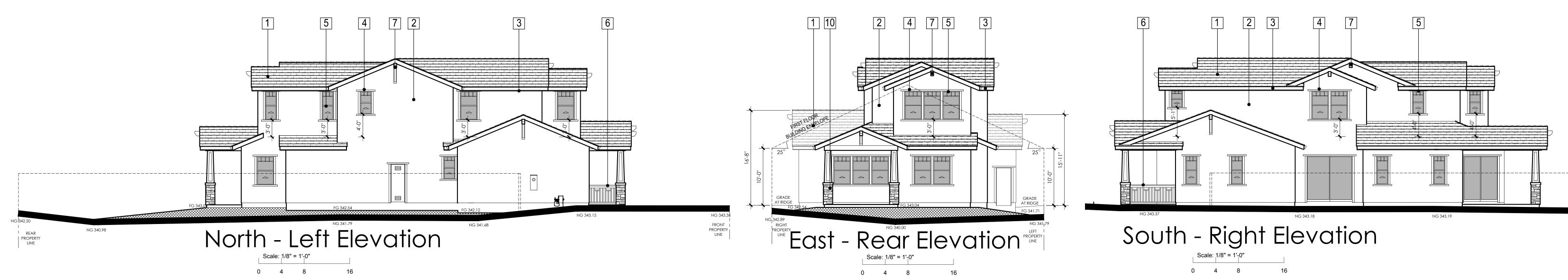




10 Tapered Columns w/ Stone Veneer Base



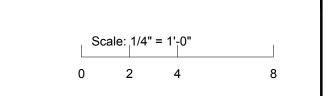


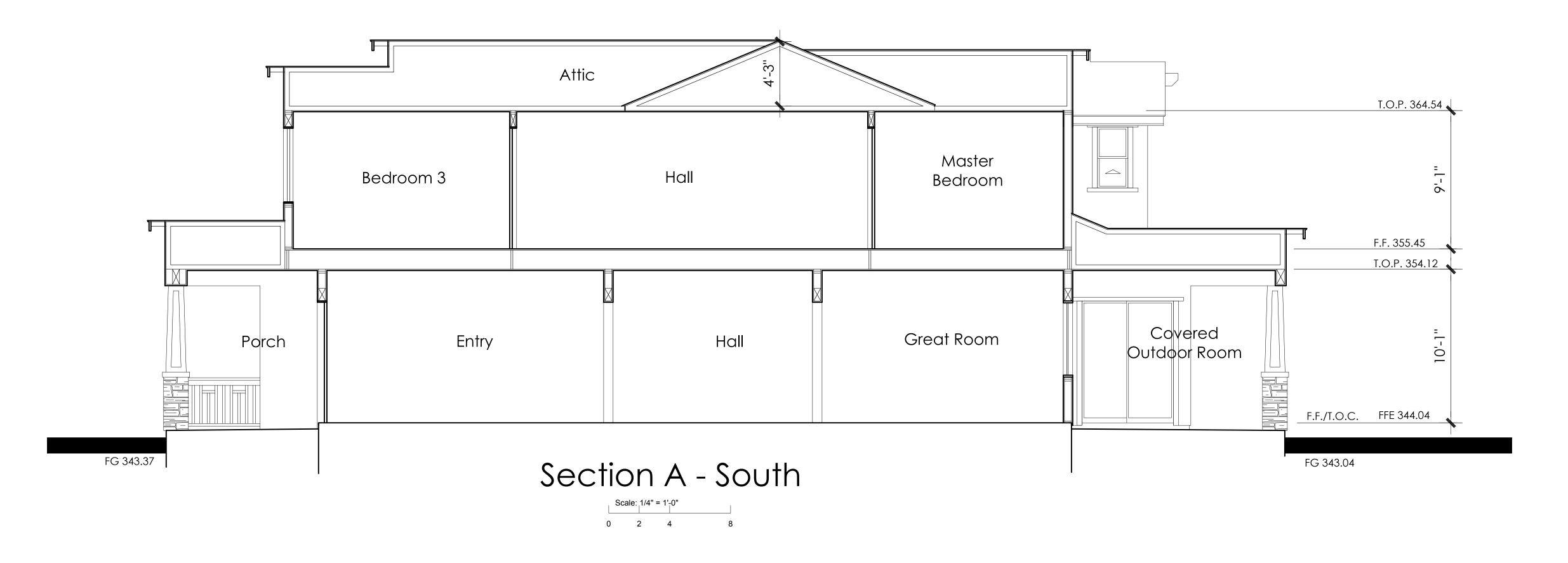


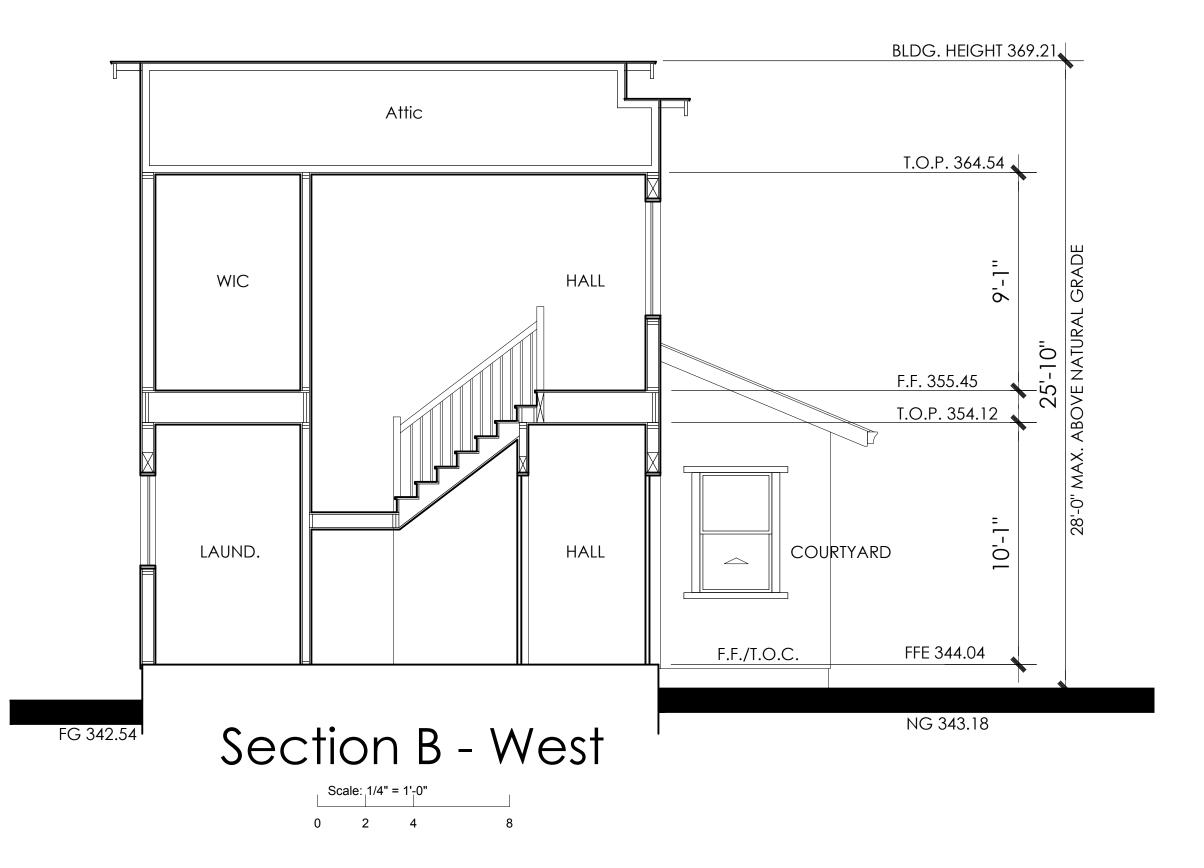


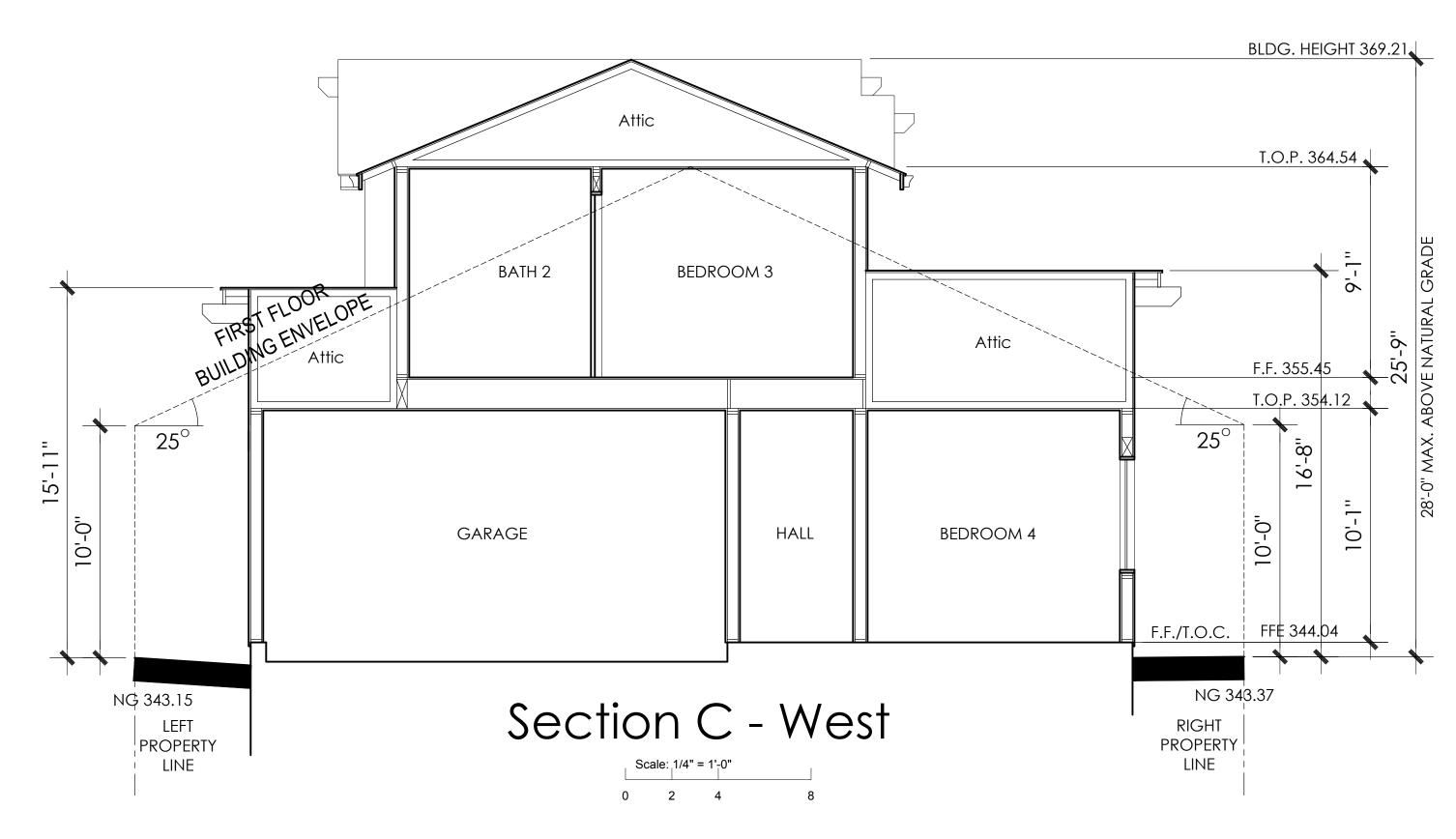










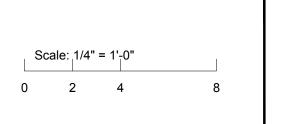


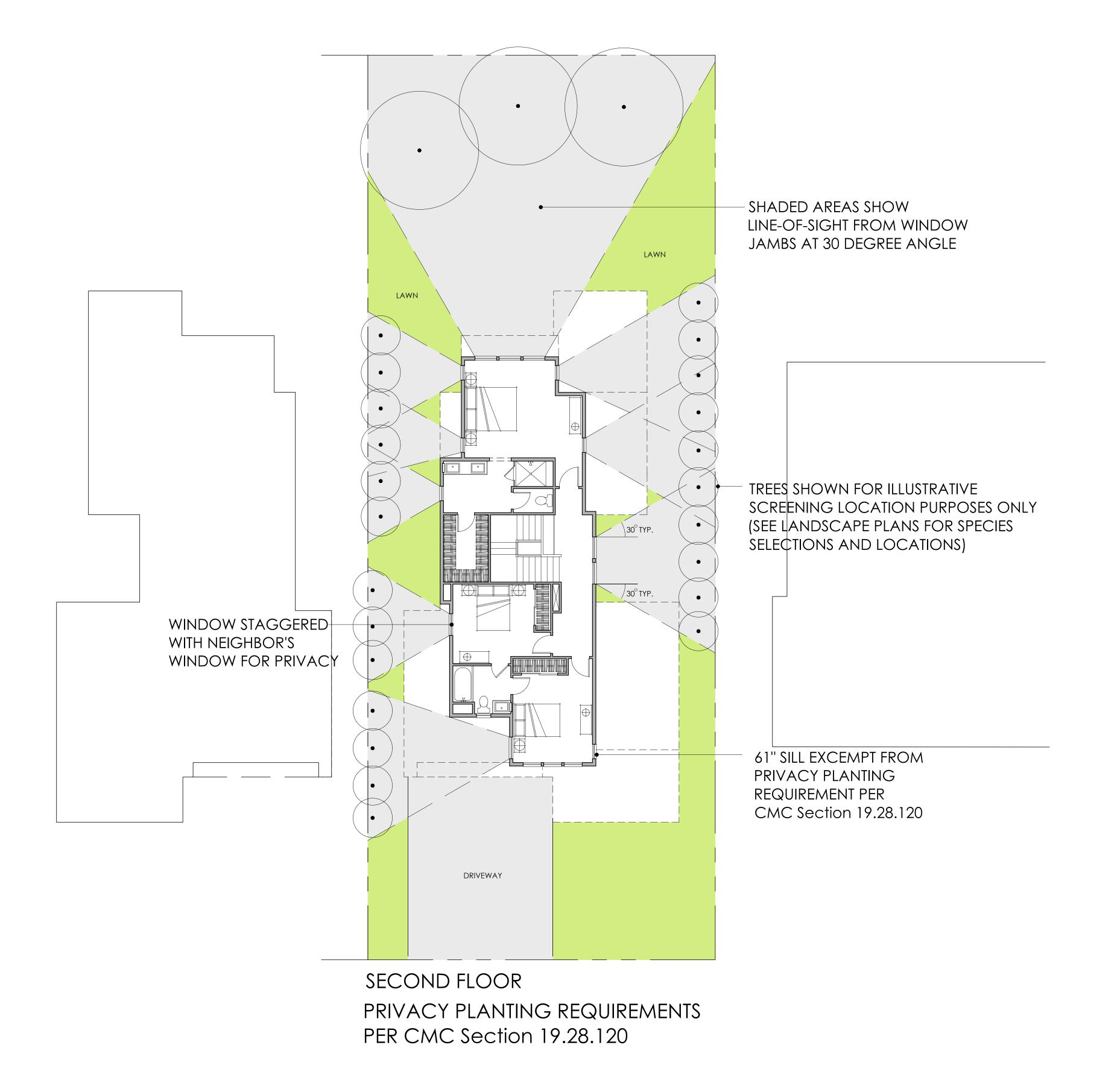








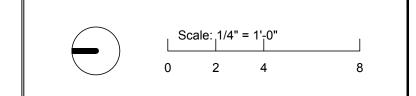




















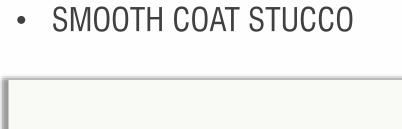




MILGARD TUSCANY VINYL WINDOWS WITH GRIDS



# **ROYCROFT MIST GRAY** SW 2844





- GARAGE DOOR
- FRONT DOOR
- EXTERIOR TRIM
- RAILING



**ELDORADO STONE** BLUFFSTONE – MINERET



CHARCOAL GAF ROOF SHINGLES



AVENUE NIA 95014 10208 ORANGE A CUPERTINO, CALIFORNIA

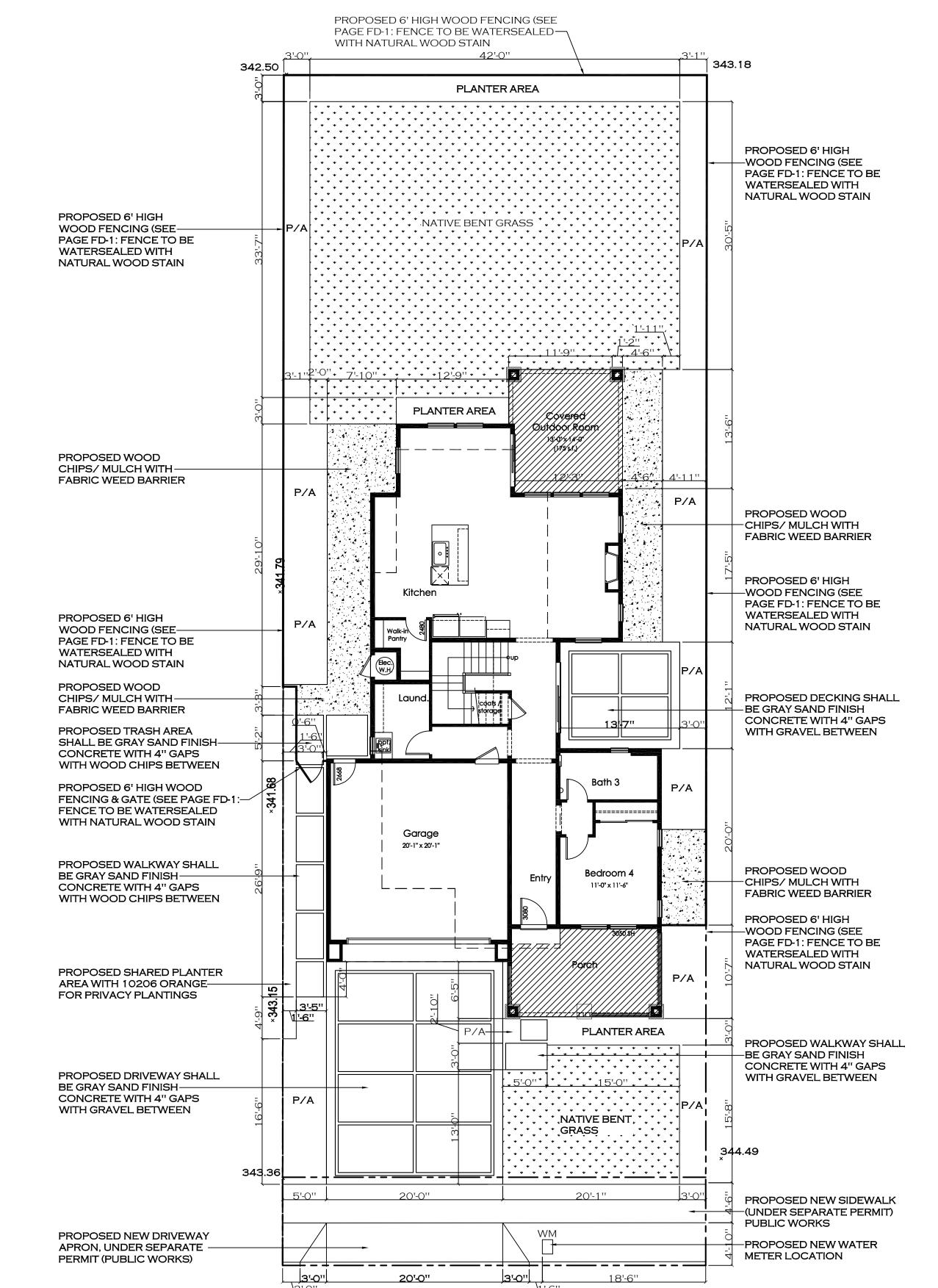
NOTES: DIMENSIONS PROVIDED IN THIS DOCUMENT CONDITIONS THAT DIFFER FROM THE DESIGN PACKAGE AND ARCHITECTURAL PLANS.

DATE: DESIGNER: ARCHITECT: 04.17.20 KRISTIN LASKY KTGY

A5.1

MATERIALS BOARD

**EXTERIOR RENDERINGS** (NOT TO SCALE)



**ORANGE AVENUE** 

NOTE: ALL SIDEWALK, CURB, GUTTER, AND DRIVEWAY APRON WORK SHALL BE TO CITY STANDARD DETAILS. SHOW LIMITS OF WORK FOR BOTH SIDEWALK AND

DISABILITIES ACT (ADA) COMPLIANT DRIVEWAY APPROACH SHALL BE INSTALLED

DRIVEWAY WORK. PER CITY STANDARD DETAILS AN AMERICAN'S WITH

WHEN BOTH THE DRIVEWAY AND DRIVEWAY APPROACH ARE REPLACED.

**SITE CALCULATIONS:** 

TOTAL LOT SQUARE FOOTAGE: 6,000 SQ. FT. RESIDENCE FOOTPRINT: 1,230.12 SQ. FT. GARAGE: 425.05 SQ. FT. COVERED AREA(S): 355.96

TOTAL NEW LANDSCAPED AREA: 2,768 SQ. FT.

PERMEABLE AREA: 1,220.87 SQ. FT COURTYARD DECK (CONC. W/ GAPS): 164 SQ. FT. TRASH AREA W/ WALKWAY (CONC. W/ GAPS): 135 SQ. FT. DRIVEWAY & WALKWAY (CONC. PADS W/ GAPS): 513 SQ. FT. WALK ON BARK/MULCH WOOD CHIPS: 408.87 SQ. FT.

TOTAL IMPERVIOUS SQUARE FOOTAGE: 2,011.13 SQ. FT.

FRONT YARD SITE CALCULATIONS:

TOTAL FRONT YARD SQUARE FOOTAGE: 872 SQ. FT.

TOTAL ALLOWABLE FRONT YARD HARDSCAPE:

TOTAL PROPOSED PERMEABLE HARDSCAPE: 387.56 SQ. FT.

TOTAL PROPOSED LANDSCAPED AREA: 484.44 SQ. FT.

TOTAL PROPOSED TURF: 0 SQ. FT.

EXISTING:

PROPOSED:

TOTAL LOT: 6,000 SQ. FT. TOTAL IMPERVIOUS AREA: 34 % PERCENT TOTAL PERVIOUS: 66 % PERCENT

PROPOSED:

40% OF 872 SQ. FT. = 436 SQ. FT.

SHEET INDEX: L-1: SITE PLAN L-2: PLANTING PLAN

REVISIONS 11.19.19

2.20.20 4.7.20

5.12.20

THESE DI ONLY, AN STRUCTUI ACTING II ARCHITEC AND SITE. DES ACCURACE CLINE ACCURACE



AG CHECKED 8.8.19 SCALE /8"=1'-0" JOB NO.

SHEET

1/8"=1'-0"

5.12.20

REVISIONS

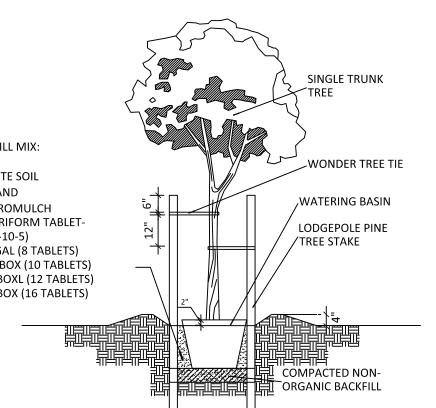
1.19.19

2.20.20

4.7.20

THROUGHOUT PLANTING AREA TO A DEPTH OF 2".

TREES, GUYED FOR MULTI-TRUNK TREES.



1. THE PLANTING PLAN IS DIAGRAMMATIC. ALL PLANT LOCATIONS ARE APPROXIMATE. PLANT SYMBOLS TAKE PRECEDENCE OVER

2. QUANTITITES SHOWN ON THE PLANTING PLAN ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR.

3. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF DISCREPANICES BETWEEN QUANTITIES & SYMBOLS SHOWN.

4. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A SOILS REPORT FROM AN AUTHORIZED TESTING AGENCY. BUTLERS MILL, OR EQUIVALENT, TO THE OWNER OR LA BEFORE BEGINNING WORK.

5. PRIOR TO PLANTING, ALL IRRIGATION SYSTEMS SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE THOROUGHLY SOAKED. ADJUST IRRIGATION SYSTEM, HEADS, SPRAY ANGLES, ETC.

6. ALL AREAS TO BE PLANTED, WHICH HAVE A SLOPE OF LESS THAN 10 % SHALL BE CROSS-RIPPED TO A DEPTH OF 6" AND THE FOLLOWING AMENDMENTS SPREAD EVENLY THOROUGHLY BLENDED IN PER 1,000 SQUARE FEET (QUANTITIES SUBJECT TO CHANGE PER SOILS REPORT). A). 4 CUBIC YARDS NITROGEN FORTIFIED REDWOOD SHAVINGS. B). 100 POUNDS AGRICULTURAL GYPSUM. C). 15 POUNDS SOIL SULFUR. D). 25 POUNDS 16-6-8 SLOW RELEASE FERTILIZER.

7. EACH PLANT SHALL RECEIVE "AGRIFORM" OR EQUIVALENT 21 GRAM PLANT TABLETS AS FOLLOWS: 1 GALLON CONTAINER = 1 21 GRAM. 5 GALLON CONTAINER = 3-21 GRAM. 15 GALLON CONTAINER = 5-21 GRAM. PER 3 INCH BOXED TREE SIZE = 1 21 GRAM. 8. PLAN BACKFILL SHALL BE 50% SITE SOIL, AND 50% NITROGEN FORTIFIED REDWOOD SHAVINGS BY VOLUME, OR APPROVED

9. PLANT PITS SHALL BE TWICE THE SIZE OF THE DESIGNATED NURSERY CONTAINERS.

PLANTING NOTES:

10. PLANT MATERIAL SHALL NOT BE ROOT BOUND. FIVE GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF 6 MONTHS AND A MAXIMUM OF 2 YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH FREE OF DISEASES AND

11. REMOVE NURSERY STAKES ON ALL VINES AND ATTACH TO ADJACENT WALLS OR FENCES WITH NON-METALLIC TIES. REMOVE NURSERY STAKES AND TIES FROM ALL TREES OR NURSERY STOCK. MAINTAIN SIDE GROWTH ON ALL TREES. DOUBLE STAKE ALL 5 AND 15 GALLON, AND 24" BOX TREES. TRIPLE GUY ALL 36" BOX AND LARGER TREES.

12. TREES, SHRUBS AND VINES SHALL NOT BE PLACED WITHIN 12" OF SPRINKLER HEADS.

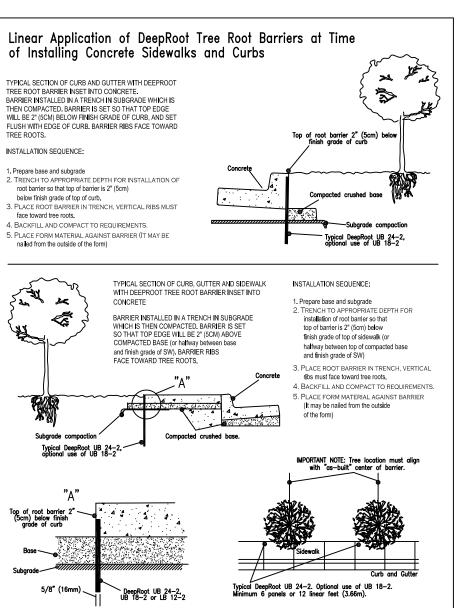
13. SHRUBS SHOWN IN PLANTER AREAS SHALL BE UNDER-PLANTED WITH GROUND COVERS SHOWN BY ADJACENT SYMBOL TO WITHIN 12" OF MAIN PLANT STEM

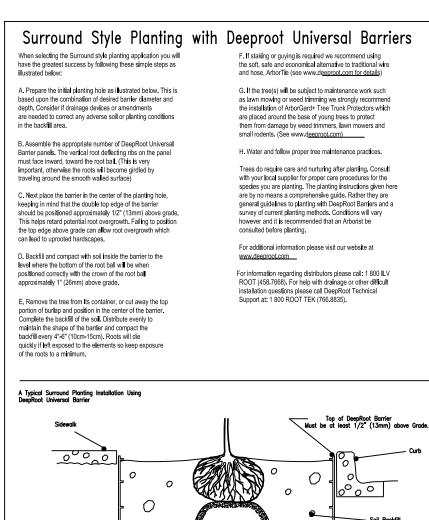
14. THE LANDSCAPE CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH, AND

15. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL DRAINAGE, IRRIGATION, PLANTING AND LOW VOLTAGE LIGHTING SYSTEMS FOR A PERIOD OF 60 CALENDAR DAYS AFTER COMPLETION AND ACCEPTANCE OF WORK. PROVIDE A SEPERATE LANDSCAPE MAINTENANANCE LINE ITEM IN BID.

16. PRIOR TO THE END OF MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER AND LA TO ARRANGE FOR A FINAL WALK THROUGH. THE OWNER MUST ACCEPT ALL MAINTAINED AREAS PRIOR TO THE END OF THE MAINTENANCE

17. ALL POTS: THE CONTRACTOR SHALL DRILL A DRAINAGE HOLE IN THE BOTTOM OF ALL POTS. INSTALL DRIP THROUGH HOLE IN POT. SEAL INSIDE POTS WITH 'EASY SEAL.' PROVIDE 2" LAYER OF 1/2" SIZE GRAVEL IN BOTTOM OF POTS. BACKFILL POTS WITH POT PLANTER MIX TO WITHIN 3" OF RIM OF POT AFTER SETTLING. BACKFILL SHALL BE "KELLOGG SUPPLY INC." POT PLANTER MIX OR EQUIVALENT. ALL POTS SHALL RECEIVE 4-21 GRAM 'AGRIFORM' PLANT TABLETS PER POT. PROVIDE THREE POT SHIMS TRIANGULAR SPACED AROUND SAUCER BASE. OWNER TO REVIEW AND APPROVE POT LAYOUT, COLOR AND FINISH.





2.) ½ SAND

1.)  $\frac{1}{3}$  SITE SOIL

3.)  $\frac{1}{3}$  GROMULCH

(20-10-5)

4.) AGRIFORM TABLET-

15GAL (8 TABLETS)

24"BOX (10 TABLETS

36"BOXL (12 TABLETS)

48"BOX (16 TABLETS)

TREE GUYING

2.) <sup>1</sup>/<sub>2</sub> SAND

3.)  $\frac{1}{3}$  GROMULCH

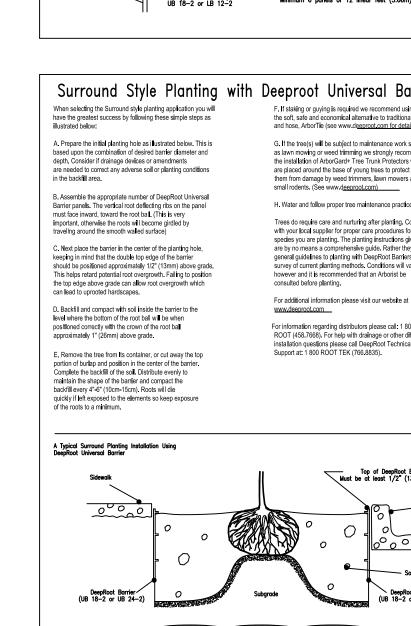
(20-10-5)

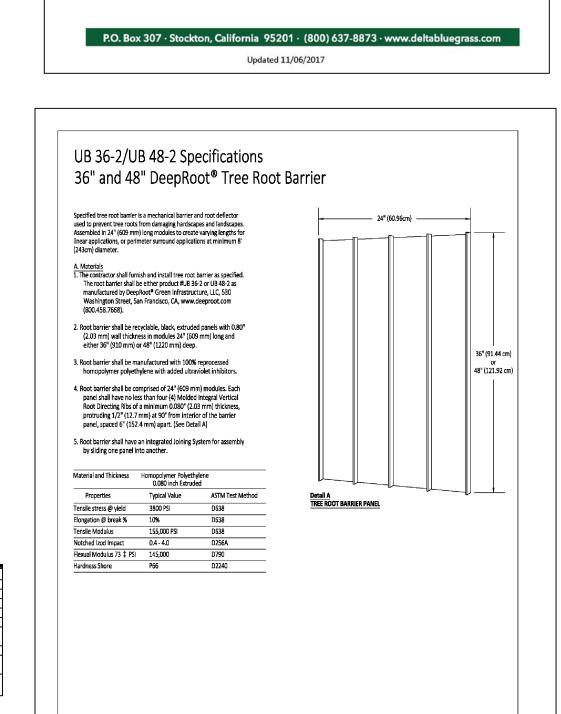
4.) AGRIFORM TABLET

1GAL(2 TABLETS)

5GAL(5 TABI FTS)

15GAL(8 TABLETS)





ORGANIC SOIL AMENDMENT:

ON A DRY WEIGHT BASIS.

SATURATED PASTE EXTRACT

CADMIUM 15 LEAD

CHROMIUM 300 MERCURY

COBALT 50 MOLYBDENUM 20

NICKEL 100

TOLERATE THE SALINITY AND/OR BORON.

1. HUMUS MATERIAL SHALL HAVE AN ACID-SOLUBLE ASH CONTENT OF NO LESS

THAN 6% AND NO MORE THAN 20%. ORGANIC MATTER SHALL BE AT LEAST 50%

3. THE SALT CONTENT SHALL BE LESS THAN 10 MILLIMHO/CM@25°C. ON A

200 SILVER 10

PRODUCERS & INSTALLERS OF PREMIUM PEAT GROWN SOD

California Native Sod

Agrostis Pallens

The industry's 1<sup>st</sup> choice in native sod.

Native Bentgrass delivers excellent durability

Exceptional recovery and a dark green turf mat.

Uniform growth habit with excellent wear recovery due to self-

Medium Leaf Texture

Thrives in full sun & partial shade

Withstands low mowing heights

Extremely drought tolerant

repairing rhizomes

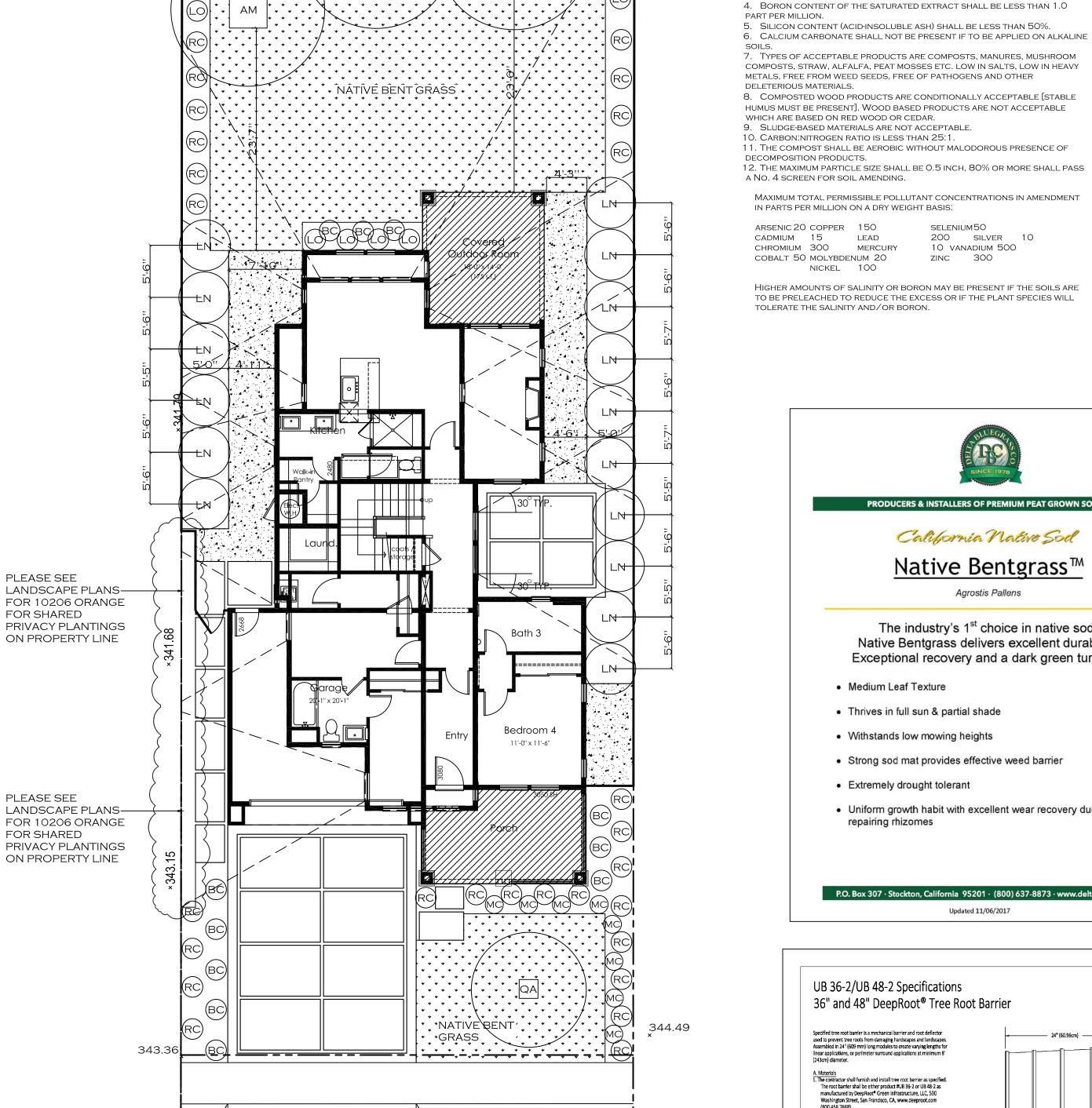
Strong sod mat provides effective weed barrier

10 vanadium 500

zinc 300

HIGHER AMOUNTS OF SALINITY OR BORON MAY BE PRESENT IF THE SOILS ARE TO BE PRELEACHED TO REDUCE THE EXCESS OR IF THE PLANT SPECIES WILL

THE PH OF THE MATERIAL SHALL BE BETWEEN 6 AND 7.5.



**ORANGE AVENUE** 

NOTE: MINIMUM TREE SIZE SHALL BE 24" BOX AND A MINIMUM OF 8' HIGH PLANTED HEIGHT. THE MINIMUM SHRUB SIZE SHALL BE 15 GALLON AND A MINIMUM OF 6' HIGH PLANTED HEIGHT.

DI ANTINO AND TOCCI COEND.

	PLANTING AND TRE BOTANICAL NAME	CE LEGEND.  COMMON NAME	SIZE	QTY	MATURITY HEIGHT	YEARS TO REACH	WUCOLS	SPEC.	NOTES
	OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE DWARF OLIVE	1 GAL	18	4' IN HEIGHT	1-2 YEARS	LOW	SHRUB	2' HIGH AT INSTALL
	ROMNEYA COULTERI 'WHITE CLOUD' QUERCUS AGRIFOLIA	MATILIJA POPPY COAST LIVE OAK (STANDARD)	1 GAL 36" BOX	32 1	6' IN HEIGHT 30'-80' IN HEIGHT	2-3 YEARS 20+ YEARS	VERY LOW VERY LOW	SHRUB TREE	3' HIGH AT INSTALL 10'-12' TALL AT INSTALL, FRONT TREE
	MUHLENBERGIA CAPILLARIS TRICHOSTEMA LANATUM	PURPLE MUHLY GRASS WOOLLY BLUE CURLS	1 GAL 1 GAL	8	2'-3' IN HEIGHT 3'-6' IN HEIGHT	1-2 YEARS 2-3 YEARS	LOW VERY LOW	GRASS SHRUB	8" HIGH AT INSTALL 8" HIGH AT INSTALL
LN	LAURUS NOBILIS	GRECIAN LAUREL	15 GAL	16	15'-40' IN HEIGHT	5+ YEARS	LOW	SHRUB	6' TALL AT INSTALL, PRIVACY
AM	ARBUTUS MARINA (STANDARD)	MARINA STRAWBERRY TREE	36" BOX	3	40' IN HEIGHT	5+ YEARS	LOW	TREE	10'-12' TALL AT INSTALL, REPLACEMENT FOR HERITAGE & PRIVACY
	CDOLUND COVED								
	GROUND COVER								
	NATIVE BENT GRASS: (1,679 SQ. FT.)					LOW	GRASS		

NOTE: MULCH/ WOOD CHIPS (ALL BEDS) MULCH SHALL BE 3" THICK ( NO SOIL SHALL BE VISIBLE IN ANY PLANTER AREA)

NOTE: ONLY APPROVED LOCAL QUALITY SUPPLIERS FOR PLANT SOURCES SHALL BE USED. OBTAIN LIST FROM THOMAS JAMES HOMES

# 10208 ORANGE AVENUE

#### SUITABLE IMPORT TOPSOIL

GENERAL - TOPSOIL SHALL BE FREE OF ROOTS, CLODS, STONES LARGER THAN 1-INCH IN THE GREATEST DIMENSION. OCKETS OF COARSE SAND, NOXIOUS WEEDS, STICKS, LUMBER, BRUSH AND OTHER LITTER. IT SHALL NOT BE INFESTED WITH NEMATODES OR OTHER UNDESIRABLE DISEASE-CAUSING ORGANISMS SUCH AS INSECTS AND PLANT PATHOGENS

TOPSOIL SHALL BE FRIABLE AND HAVE SUFFICIENT STRUCTURE IN ORDER TO GIVE GOOD TILTH AND AERATION TO THE SOIL. GRADATION LIMITS - SOIL SHALL BE A SANDY LOAM. THE DEFINITION OF SOIL TEXTURE SHALL BE THE USDA CLASSIFICATION SCHEME. GRAVEL OVER 2 MILLIMETERS IN DIAMETER SHALL BE LESS THAN 20% BY WEIGHT.

PERMEABILITY RATE - HYDRAULIC CONDUCTIVITY RATE SHALL BE NOT LESS THAN ONE INCH PER HOUR NOR MORE THAN 10 INCHES PER HOUR WHEN TESTED IN ACCORDANCE WITH THE USDA HANDBOOK NUMBER 60, METHOD 34B OR OTHER

FERTILITY - THE RANGE OF THE ESSENTIAL ELEMENTAL CONCENTRATION IN SOIL SHALL BE AS FOLLOWS: AMMONIUM BICARBONATE/DTPA EXTRACTION

PARTS PER MILLION (MG/KILOGRAM DRY WEIGHT BASIS POTASSIUM MANGANESE MAGNESIUM

SOIL MAY NEED TO BE AMENDED AND CONDITIONED TO OPTIMIZE PLANT GROWTH. THE ABOVE LISTED FERTILITY IS FOR SOIL CONCENTRATION OF NUTRIENTS FOR FINAL ACCEPTANCE

AMMONIUM BICARBONATE/DTPA EXTRACTION PARTS PER MILLION (MG/KILOGRAN DRY WEIGHT BASIS **PHOSPHORUS** POTASSIUM 125-220 MANGANESE 0.6-6 COPPER MAGNESIUM SODIUM MOLYBDENUM

ACIDITY-THE SOIL PH RANGE MEASURED IN THE SATURATION EXTRACT (METHOD 21A, USDA HANDBOOK NUMBER 60) SHALL BE 6.5 - 7.9. SALINITY-THE SALINITY RANGE MEASURED IN THE SATURATION EXTRACT (METHOD 3A, USDA HANDBOOK NUMBER 60)

CHLORIDE - THE MAXIMUM CONCENTRATION OF SOLUBLE CHLORIDE IN THE SATURATION EXTRACT (METHOD 3A, USDA HANDBOOK NUMBER 60) SHALL BE 150 MG/L (PARTS PER MILLION).

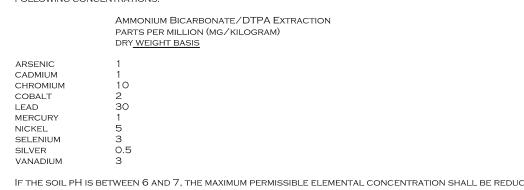
BORON-THE MAXIMUM CONCENTRATION OF SOLUBLE BORON IN THE SATURATION EXTRACT (METHOD 3A, USDA HANDBOOK NUMBER 60) SHALL BE 1.0 MG/L (PARTS PER MILLION).

SODIUM ADSORPTION RATIO (SAR) - THE MAXIMUM SAR SHALL BE 3 MEASURED PER METHOD 20B, USDA HANDBOOK ALUMINUM - AVAILABLE ALUMINUM MEASURED WITH THE AMMONIUM BICARBONATE/DTPA EXTRACTION SHALL BE LESS

SOIL ORGANIC MATTER CONTENT - SUFFICIENT SOIL ORGANIC MATTER SHALL BE PRESENT TO IMPART GOOD PHYSICAL SOIL PROPERTIES BUT NOT BE EXCESSIVE TO CAUSE TOXICITY OR CAUSE EXCESSIVE REDUCTION IN THE VOLUME OF SOIL

DUE TO DECOMPOSITION OF ORGANIC MATTER. THE DESIRABLE RANGE IS 3% TO 6% ON A DRY WEIGHT BASIS. THE CARBON:NITROGEN RATIO SHOULD BE ABOUT 10.  $\textit{CALCIUM CARBONATE CONTENT} \cdot \mathsf{FREE} \ \mathsf{CALCIUM} \ \mathsf{CARBONATE} \ (\mathsf{LIMESTONE}) \ \mathsf{SHALL} \ \mathsf{NOT} \ \mathsf{BE} \ \mathsf{PRESENT} \ \mathsf{FOR} \ \mathsf{ACID-LOVING}$ 

 ${\it Heavy\,Metals}$  - The maximum permissible elemental concentration in the soil shall not exceed the



IF THE SOIL PH IS BETWEEN 6 AND 7, THE MAXIMUM PERMISSIBLE ELEMENTAL CONCENTRATION SHALL BE REDUCED 50%. IF THE SOIL PH IS LESS THAN 6.0. THE MAXIMUM PERMISSIBLE FLEMENTAL CONCENTRATION SHALL BE REDUCED 75%. NO MORE THAN THREE METALS SHALL BE PRESENT AT 50% OR MORE OF THE ABOVE VALUES.

PHYTOTOXIC CONSTITUENT, HERBICIDES, HYDROCARBONS ETC. - GERMINATION AND GROWTH OF MONOCOTS AND DICOTS SHALL NOT BE RESTRICTED MORE THAN 10% COMPARED TO THE REFERENCE SOIL. TOTAL PETROLEUM HYDROCARBONS SHALL NOT EXCEED 50 Mg/kg DRY SOIL MEASURED PER THE MODIFIED EPA METHOD NO. 8015. TOTAL AROMATIC VOLATILE ORGANIC HYDROCARBONS (BENZENE, TOLUENE, XYLENE AND ETHYLBENZENE) SHALL NOT EXCEED 0.5 Mg/kg DRY SOIL MEASURED PER EPA METHODS NO. 8020.



#### ADDITIONAL NOTE

-ALL TREES WITHIN 8' OF HARDSURFACE SHALL HAVE A ROOT BARRIER

1. ALL TURF AREAS TO RECEIVE ROTOTILLING AND SOIL PREPARATION TO A

2. SHRUB AREAS TO RECEIVE SOIL PREPARATION AT LOCATION OF SHRUB ONLY. 3. GROUND COVER AND COLOR AREAS TO RECEIVE SOIL PREPARATION

#### <u>PLANTING</u>

' TURN-BUCKLE TYP

SURVEYORS FLAGGING

TAPE (WHITE)-

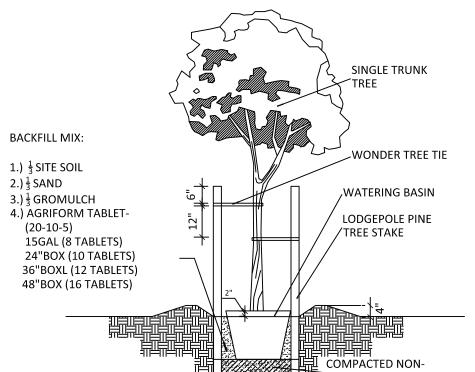
OF CABLE

COMPACTED NON

/TIED AT MIDPOINT

WONDER TREE TIE

2. ALL TREES 24" BOX OR LARGER SHALL BE DOUBLE STAKED FOR SINGLE TRUNK 3. GROUND COVER PLANT MATERIAL SHALL BE TRIANGULARLY SPACED.



48"BOX (16 TABLETS)

TREE STAKING

### bot<sup>°</sup> Semi-Transparent Deck & Siding Stair

through. Will provide long-lasting, vapor- of3to5days.)

 Water-repiellent Deep-penetrating oil

 Fade resistant Lightly pigmented oil stain for increased UV protection and color

Especially effective on rough-sawn surfaces.

Neutral Base may be finted with a maximum of 12

On smooth surfaces approximately 450-650 sq. 300 sq. ft. (19-28 m²) per gallon. Square feet can be calculated by multiplying length and width; e.g., 10° W x 25° L = 250 sq. Gean up carefully with a wet mop or HEPA ft. Requires a 1-coat application.

Approximately 24-48 hours depending on temperature and humidity.

NOTE TO USER The appearance of the finish will vary depending on the porosity and color of the wood surface. To ensure desired appearance and proper drying time, always finish a small test area before proceeding.

Cabot<sup>®</sup> Semi-Transparent Deck and Siding Be sure surface is free of all dirt, mildew stains,

marks. Apply 1 coat only. For wood substrates PRODUCT FEATURES brush or sanding may be required to completely remove all loose wood fibers.

prior to staining should be removed with Cabot® in hib it the growth of mildewon the coating's film.

suitable for use on shingles, shakes and roofs. To remove discoloration caused by extractive instructions. bleeding, use Cabot® Problem-Solver® Wood Brightener, Follow directions on label.

approved respirator to control lead exposure. surfaces. For exterior use only. vacuum. Before you start, find out how to protect yourself and your family by contacting the USEPA/Lead Information Hotline at 1-800-424-LEAD (5323) or visit <u>www.epa.go.wlead</u>.

Stain is a deep-penetrating, linseed oil-based loose wood fibers and other foreign matter. h spray equipment. When spraying, always stain that beautify and protect exterior wood. This order to be effective, a stain must be able to backbrush immediately. To ensure desired lightly pigmented stain enhances the natural penetrate. Surfaces must be sound and absolutely appearance and proper drying time, always finish beauty of the wood by allowing the grain, texture, dry. (Moisture content must be below 15% or a small test area before proceeding. Do not and color variations within the wood to show wood must be exposed to dry weather a minimum overapply. Shake and stir thoroughly before and during use. If project requires more than 1 permeable protection that beautifies and enriches

Prepare previously stained or weathered surfaces

uniformity. Apply to small sections at a time (1exterior wood surfaces. Formulated with non-fade, with Cabot® Problem-Solver® Wood Cleaner, 3 boards); start at one edge and follow earth tone pigments to weather slowly over time.

Wood Brightener or Wood Strippers. On untreated through to the end of the boards to a world lap

with fan width of 8-10". These recommendations

are wood's natural enemies, so minimize exposure. Evaluate finish each spring and maintain as needed. Finish durability depends upon weather, wear and other local conditions, but finish typically lasts 2-5 years on decks and

system causing dizziness, headache or nausea.

ensure fresh air entry during application and dirying. If you experience eige watering, headache.

or dizziness, or if air monitoring demonstrates

vapor mist levels are above applicable limits, wear

an appropriate, properly fitted respirator (NIOSH

approved) during and after application. Follow

use. When sanding, wear a dust mask. Avoid

contact with the eyes and skin. Wash thoroughly

after handling. Gose container after each use. DO

NOT TAKE INTERNALLY, NOTICE: Reports of

commercial painters have associated repeated

and prolonged occupational overexposure to

solvents with permanent brain and nervous

system damage, Intentional misuse by



# ot" Semi-Transparent Deck & Siding Stair

pigments, light fast organic pigments, silicates Vehicle Type: Refined natural linseed oil Sohrent: Aliphatic petroleum distillates Viscosity: 26-56 Units Centinoise Flash Point over 100°F V.O.C. Content < 550 g/L Solids Weight 40% Solide Volume: 32%

Pigment Weight 5.7% Density: 7.4 lbs./gal. Film Thickness: Minimal because Cabot Semi-Tran sparent Stain penetrates deeply in to wood.

Water Repellent Yes Mildew Resistant: Yes

vary by color and batch.

CARR 2000 SCM CARB 2007 SCM OTC/LADCO US National

Neutral Base available in quart, gallon and gallon sizes, read ymixcolors available in gallon.

Neutral Base (306) New Gedar (316) Cordovan Brown (337) Redwood (380)

# Gean brushes and equipment with mineral spirits DANGER! Contains Petroleum Distillates and

or VOC compliant brush cleaner. Dispose of Orystalline Silica. KEEP OUT OF THE REACH empty cans or unused portion in accordance with OF CHLDREN. May affect the brain or nervous local, state and federal regulations. DANGER: Rage, steel wool or waste soaked Causes eye, skin, nose and throat imitation. Use with this product may spontaneously catch only with adequate ventilation. Keep away from fire if improperly discarded. Immediately after heat, sparks and flame. Avoid breathing vapors, use, place rags, steel wool or waste in a spray mist or sanding dust. If painting indoors, sealed, water-filled metal container. Dispose of open windows and doors or use other means to according to local regulations.

If this product does not perform as stated on the label after you apply it according to label directions, Cabot® will either replace this product \*Data reported is typical of the Neutral Base and will or refund its purchase price, at its option. Cabot disclaims all other implied or express warranties.

Cabot will not provide or pay for labor for removal or application of the product. This warranty excludes all incidental or consequential damages. This warranty gives you specific legal rights, and you may have other rights which vary from state

deliberately concentrating and inhaling the vapors may be hamful or fatal. Delayed effect from longterm exposure: Cancer hazard. Contains crystalline silica, which can cause cancer. Risk depends upon duration and level of exposure to dust generated from sanding surfaces or spray mist. WARNING: This product contains a chemical known to the State of California to cause cancer. First Aid: Eye Contact Flush thoroughly with water for at least 15 minutes. If imitation persists, get medical attention.\* If Inhaled: If affected by

> vapor or spray mist, move to fresh air. If breathing difficulty continues, get medical attention.\* If Swallowed: Do not induce vomiting. Get medical attention immediately.\* \* Call poison control center, hospital emergency

room or physician immediately For additional safety and chronic health hazard information, refer to the Material Safety Data Sheet for this product.

EMERGENCY MEDICAL TELEPHONE: 8725 W. Higgins Rd., Chicago, IL 60631 cabotstain.com Revised: 12/16/14

The data on this sheetrepresent typical values. Since application variables are a major factor in product per firmance, this information should serve only as a general guide. CABOT assumes no obligation or liability for use of this information. UNLESS CABOT AGREES OF HERMISSEIN WRITING, CABOT MAKES NO WARRANTIES, BY PRESS OR MPULED, AND DISCLAIMS ALL IMPLIED WARRANTIES OF MERCHANTABILITY OR FIT NESS FOR A PARTICULARUSE OR FREEDOM FROM PATENT. NFRING BREM. CABOT VALL NOT BE LIABLE FOR ANY SPECIAL, INCIDENTAL OR CONSEQUENTIAL DAMAGES, Your only remedy for any defection this production to replacements the defective product or a return of the purchase

Mildew: Any mildew stains present on the surface adjustments are 1000-1500 PSI, 0.013-0.015" tip not caused by the coating, nor do they represent not caused by the coating, nor do they represent coating failure. This product contains agents that specific the state of large surfaces, be sure to back-brush or roll Extractive Bleeding: Extractive bleeding is not immediately after spraying. When using HMLP Exterior wood decks, siding, fences and trim. Also caused by the coating, nor is it a coating failure. spray equipment, see manual for proper set-up

Overapplication of this product may result in a glossy appearance, poor drying or sagging. Do fluid ounces per gallon of compatible universal WARNING! If you scrape, sand or remove old not apply in direct sunlight, to hot surfaces, or paint from any surface, you may release lead onlyon air or surface temperature is below 50 °F dust. LEAD IS TOXIC. EXPOSURE TO LEAD (10 °C) or may fall below 50 °F (10 °C) for 48 DUST CAN CAUSE SERIOUS ILLNESS, SUCH hours after application. Do not apply over wet or AS BRAIN DAMAGE, ESPECIALLY IN damp surfaces or when rain is imminent. Do not ft. (42-60 m²) per gallon. On rough surfaces, 200-ALSO AVOID EXPOSURE. Wear a NIOSH- Do not apply over previously painted or sealed

4-8 years on siding and fences.

# SCALE: 3/4"=1'-0"



1 X 4 TRIM PIECE—

FINISH GRADE (SOIL)-

CONCRETE FOOTING-

GRAVEL BASE-

# bot<sup>°</sup> Semi-Transparent Deck & Siding Stair

• Water-repellent

protection and color

 Deep-penetrating oil Fade resistant . Lightly pigmented oil stain for increased UV

Exterior wood clecks, siding, fences and trim. Also represent coating failure. This product contains suitable for use on shingles, shakes and roofs. agents that inhibit the growth of mildew on the

Especially effective on rough-sawn surfaces. Neutral Base may be tinted with a maximum of 12 WARNING! If you scrape, sand or remove old

colorants. Readly-mixed collors cannot be tinted.

ft. Requires a 1-coat application. Approximately 24 hours depending on

temperature and humidity. The appearance of the finish will vary depending on the porosity and color of the wood surface. To ensure desired appearance and proper drying time, always finish a small test area before

proceeding.

Cabot® Semi-Transparent Deck and Siding Be sure surface is free of all dirt, mildew stains, Stain is a deep-penetrating, linseed oil-based loose wood fibers and other foreign matter. In stain that beautify and protect exterior wood. This order to be effective, a stain must be able to with a natural-bristle brush or professional spray lightly pigmented stain enhances the natural penetrate. Surfaces must be sound and free of equipment. When spraying, always back-brush beauty of the wood by allowing the grain, texture, standing water. Prepare previously stained or immediately. To ensure desired appearance and and color variations within the wood to show weathered surfaces with Cabot® Problem-Solver® proper drying time, always finish a small test area through. Will provide long-lasting, vapor- Wood Cleaner, Wood Brightener or Wood before proceeding. Do not overapply. Shake and permeable protection that beautifies and enriches Strippers. On untreated weathered surfaces, stir thoroughly before and during use. If project exterior wood surfaces. Formulated with non-fade, scrubbing with a stiff bristle brush or sanding may requires more than 1 container, blend all earth tone pigments to weather slowly over time. be required to completely remove all loose wood containers together to ensure uniformity. Apply to

PRODUCT FEATURES Extractive Bleeding: Extractive bleeding is not caused by the coating, nor is it a coating failure. To remove discoloration caused by extractive bleeding, use Cabot® Problem-Solver® Wood Brightener, Follow directions on label.

> Mildew: Any mildeou stains present on the surface prior to application should be removed with Cabot® Problem-Solver® Wood Cleaner, Mildew stains are not caused by the coating, nor do they coating's film.

dust, LEAD IS TOXIC, EXPOSURE TO LEAD CHILDIREN. PREGNANT WOMEN SHOULD length and width; e.g., 10' W x 25' L = 250 sq. yourself and your family by contacting the USEPA/Lead Information Hotline at 1-800-424-LEAD (5323) or visit www.epa.gov/lead.

∕-6'' X 6' X 1'' PLANK (OFF SET/OVERLAPPING)

**WOOD POST** 

-6 X 6 PRESSURE TREATED

one edge and follow through to the end of the boards to avoid lap marks. Apply 1 coat only. For wood substrates only.

Airless Spray: Recommended tip sizes and adjustments are 1000-1500 PSI, 0.013-0.015" tip with fan width of 8-10". These recommendations are a starting point only. Due to variability in pattern and flow before proceeding. If spraying large surfaces, be sure to back-brush or roll immediately after spraying. When using HVLP spray equipment, see manual for proper set-up

fluid ounces per gallon of compatible universal paint from any surface, you may release lead glossy appearance, poor drying or sagging. Do not apply in direct sunlight, to hot surfaces, or DUST CAN CAUSE SERIOUS ILLNESS, SUCH when air or surface temperature is below 50 °F AS BRAIN DAMAGE, ESPECIALLY IN (10 °C) or may fall below 50 °F (10 °C) for 48 hours after application. Do not apply over wet or Approximately 250-350 sq. ft. (23-33 m²) per ALSO AVOID EXPOSURE. Wear a NIOSH-damp surfaces or when rain is imminent. Do not gallon on smooth wood; approximately 100–200 approved respirator to control lead exposure. Gean up carefully with a west mop or HEPA Do not apply over previously painted or sealed Square feet can be calculated by multiplying vacuum. Before you start, find out how to protect surfaces. For exterior use only.

UV rays (sunlight) and moisture (rain/snow/dew) are wood's natural enemies, so minimize exposure. Evaluate finish each spring and maintain as needed. Finish durability depends upon weather, wear and other local conditions, but finish typically lasts 2-5 years on decks and 4-8 years on siding and fences.

# bot` Semi-Transparent Deck & Siding Stai

transfer contents to other containers for storage or REACH OF CHILDREN. May affect the brain or

Vehicle Type: Refined natural linseed oil Solvent: Aliphatic petroleum distillates

Vis cosity: 30-90 Units Centipoise 6 lose: 0−10 Units @ 60° Flash Point N/A V.O.C. Content < 250 g/LSolids Weight: 24% Solids Volume: 21%

Pigment Weight 5.7% Density: 8.7 lbs./gal. Tran sparent Stain penetrates deeply in to wood.

Water Repellent Yes Mildew Resistant: Yes \*Data reported is typical of the Neutral Base and will

Ourrent as of: 1/16/2015 CARB 2000 SCM CARB 2007 SCM OT C/LADCO US National

Cordovan Brown (16337)

Redwood (16380)

New Cedar (16316)

use, place rage, steel wool or waste in a application and drying. If you experience eye sealed, water-filled metal container. Dispose of watering, headache or dizziness, or if air according to local regulations.

-2 X 8 CAP

-1 X 2 TRIM PIECE

∠1 X 4 TRIM PIECE

or application of the product. This warranty excludes all incidental or consequential damages.

Neutral Base available in quart, gallon and 5 gallon sizes, read y mix colors a vailable in gallon.

Clean up with warm, soapy water. Do not freeze. WARNING! Contains Ethylene Glycol Monopropyl Keep container closed when not in use. Do not Ether and Crystalline Silica. KEEP OUT OF THE

disposal. In case of spills, absorb with inert nervous system causing dizziness, headache or material such as sand or kitty litter. Dispose of nausea. Causes eye, skin, nose and throat empty container or unused portion in accordance irritation. May be hammful if absorbed through skin. with local, state and federal regulations.\* Use only with adequate ventilation. Avoid DANGER: Rage, eteel wool or waste soaked breathing vapors, spray mist or sanding dust. If with this product may spontaneously catch painting indoors, open windows and doors or use fire if improperly discarded. Immediately after other means to ensure fresh air entry during

monitoring demonstrates vapor/mist levels are above applicable limits, wear ain appropriate, properly fitted respirator (NIOSH approved) during and after application. Follow respirator If this product does not perform as stated on the manufacturer's directions for respirator use. When label after you apply it according to label sanding, weara dust mask. Avoid contact with the directions, Cabot<sup>o</sup> will either replace this product eyes and skin. Wash thoroughly after handling. or refund its purchase price, at its option. Cabot disclaims all other implied or express warranties. Cabot will not provide or pay for labor for removal

Close container after each use. DO NOT TAKE INTERNALLY, NOTICE: Reports of commercial

permanent brain and nervous system damage. Intentional misuse by deliberately concentrating This warranty gives you specific legal rights, and and inhaling the vapors may be harmful or fatal. you may have other rights which vary from state Delayed effect from long-term exposure: Cancer hazard. Contains crystalline silica, which can cause cancer. Risk of cancer depends on duration and level of exposure to dust from sanding surfaces or spray mist. WARNING: This product contains a chemical known to the State of California to cause cancer. First Aid: Eye Contact: Flush thoroughly with water for at least 15 minutes. I irritation persists, get medical attention.\* If Inhaled: If affected by vapor or spray mist, move to fresh air, I breathing difficulty continues, get medical attention.\* If Swallowed: Do not induce vomiting. Get medical attention immediately\*

> For additional safety and chronic health hazard information, refer to the Material Safety Data Sheet for this product. **EMERGENCY MEDICAL TELEPHONE:** 1-888-345-5732

\* Call poison control center, hospital emergency

room or physician immediately.

8725 W. Higgins Rd., Chicago, IL 60631 800-US-STAIN Revised: 1/16/15 The data on this sheetrepresent typical values. Since application variables are a major factor in product performance, this information should serve only us a general guide. CAROT assumes no obligation or liability for use of this information. UNLESS CARDT AGREES OF HERANSE IN MRT INS., CARDT MAKES NO WARRANT IES, BY PRESS OR MIPLIED, AND DISCLAMS ALL IMPLIED WARRANT IES INCLUDING WARRANT IES OF MERCHANT ABLITY OR FIT NESS FOR A PARTICULARUSE OR FREEDOM FROM PAID OF INFRING BINENT. CARDT WILL NOT BE LIABLE FOR ANY SPECIAL, INCIDENTAL OR CONSEQUENTIAL DAMAGES. Your only remedy for any defection this production the replacement of the defective product, or a refund of the purchase

-2X8CAP

6 X 6 PRESSURE

-TREATED WOOD

POST

1 X 2 TRIM PIECE-

1 X 4 TRIM PIECE

6' X 6" X 1" FENCE-

PLANK (OFF SET/

1 X 4 TRIM PIECE—

FINISH GRADE (SOIL)-

CONCRETE-

GRAVEL BASE-

FOOTING

OVERLAPPING)

Spanish moss

Navajo White

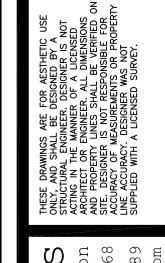
Bluestone

CHECKED 11.12.18

FD-

SHEET

THOMAS JAMES HOMES



REVISIONS

