



ARCHITECTURAL SITE PLAN NOTES:

1. This architectural site plan is not intended as a boundary plan. It is not intended to show the location of any legal boundaries, property lines, easements, utilities, buildings and other items on the project site. The designer or author of this architectural site plan shall not be held liable for any inaccuracies, omissions and/or errors in comparison to any other recorded maps or plans with any government agency.
2. APPROVED: This architectural site plan does not guarantee accurate representation of the project site. The designer or author of this architectural site plan shall not be held liable for any inaccuracies, omissions and/or errors in comparison to any other recorded maps or plans with any government agency.
3. Homeowner and/or his/her authorized agent/representative shall verify the location of all legal boundaries, property lines, setbacks, easements, buildings and other legal requisites of the property prior to start of construction.

4. Homeowner and/or his/her authorized agent/representative shall employ services of a licensed land surveyor or licensed civil engineer to conduct an independent survey of the property in order to accurately verify and document all legal boundaries, property lines, setbacks, easements, buildings and other legal requisites of the property.
5. Dimension, notes and survey information shown on this architectural site plan are to be referenced with plans prepared by the civil engineer or licensed land surveyor of record of the project. If such services are retained by the Homeowner and/or contractor, All dimensions, notes, survey information and other site information shown on plans prepared by the civil engineer or licensed land surveyor of record shall supersede any dimensions and notes shown on this architectural site plan.
6. Should the city determine that this project requires additional information such as site survey, geotechnical report, soils report, environmental assessments or reports and any other reports, research or additional information as determined by the local city planning/building department as required items in order to process the plans, the owner shall employ the services of licensed professionals that can supply such information and services.

FIRE SPRINKLER NOTES:

1. FIRE SPRINKLER SYSTEM IS NOT REQUIRED.

CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:

- 2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
2016 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
2015 INTERNATIONAL PROPERTY MAINTENANCE CODE
2016 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS,
AND ANY ADDITIONAL LOCAL CITY PLANNING AND BUILDING CODE AND REQUIREMENTS.

SHEET INDEX:

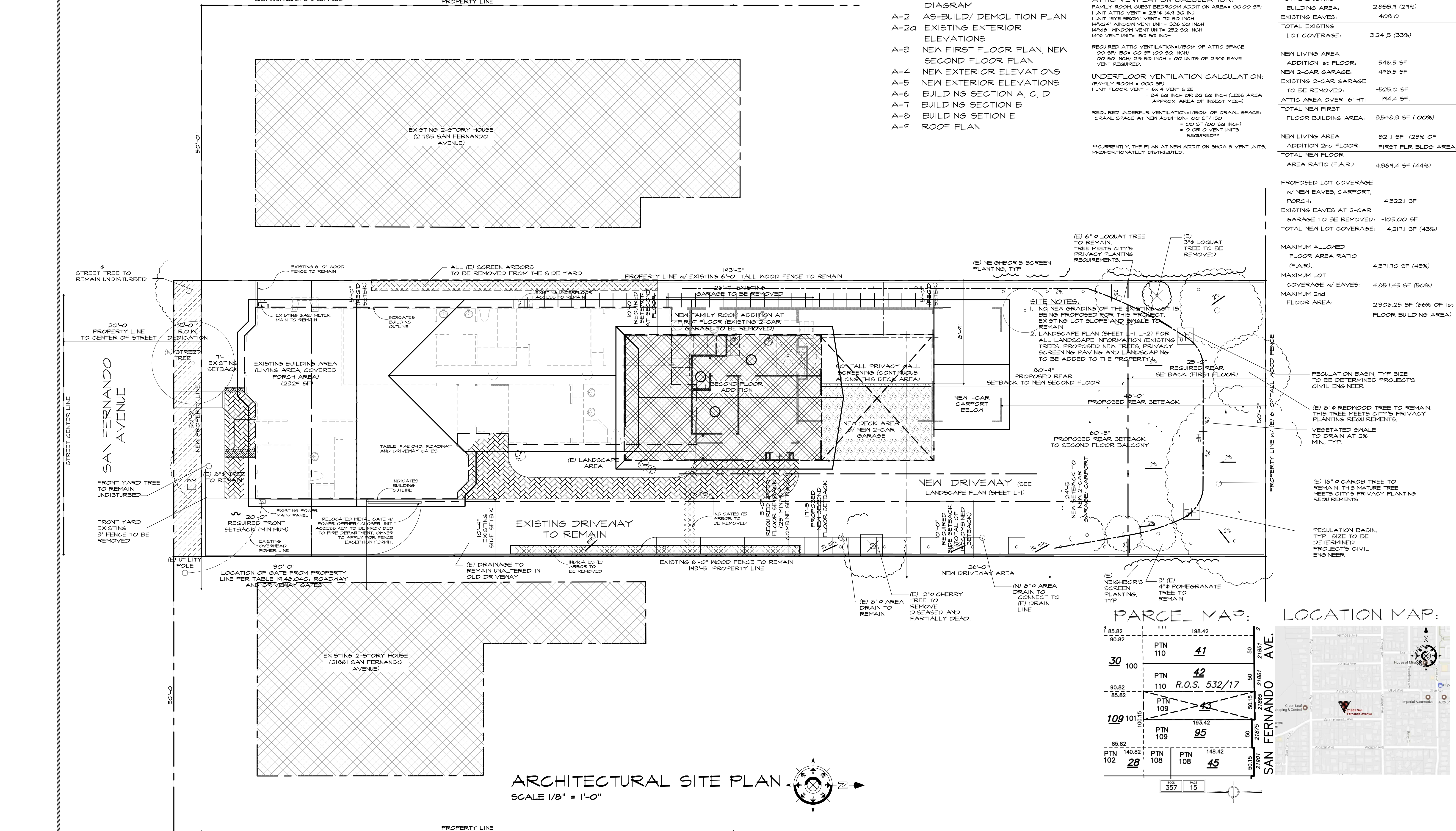
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SCOPE OF WORK:

1. ADDITION AT FIRST FLOOR TO INCLUDE THE FOLLOWING:
a. NEW FAMILY ROOM
b. NEW 2-CAR GARAGE
c. NEW 1-CAR CARPORT SPACE.
2. NEW SECOND FLOOR ADDITION TO INCLUDE:
a. NEW MASTER SUITE W/ MASTER BATHROOM, AND WALK-IN CLOSET.
b. NEW DINING OFFICE.
c. NEW STUDY.
d. NEW DECK.
3. DEMOLISH EXISTING 2-CAR ATTACHED GARAGE.
4. REMODEL EXISTING LAUNDRY ROOM.
5. REPLACE EXISTING TANKED HOT WATER HEATER, AND RELOCATE TO NEW 2-CAR GARAGE.
6. INSTALL NEW F.A.U. TO SERVICE NEW SECOND FLOOR AREA.
7. INSTALL NEW A.C. UNITS (2).
- ATTIC VENTILATION CALCULATION:
FAMILY ROOM + GUEST BEDROOM ADDITION AREA= 00.00 SF
1 UNIT ATTIC VENT = 2.5" (4.1 SQ IN)
1 UNIT EYE BROW VENT = 12 SQ INCH
14"x24" WINDOW VENT UNIT= 336 SQ INCH
14"x18" WINDOW VENT UNIT= 252 SQ INCH
14" VENT UNIT= 150 SQ INCH
REQUIRED ATTIC VENTILATION=1/150th OF ATTIC SPACE:
00 SF/ 150= 00 SF (00 SQ INCH)
00 SQ INCH/ 2.5 SQ INCH = 00 UNITS OF 2.5" Ø EA VE VENT REQUIRED.
- UNDERFLOOR VENTILATION CALCULATION:
(FAMILY ROOM + 000 SF)
1 UNIT FLOOR VENT = 6x14 VENT SIZE
= 84 SQ INCH OR 82 SQ INCH (LESS AREA APPROX. AREA OF INSECT MESH)
REQUIRED UNDERFLR VENTILATION=1/150th OF CRAWL SPACE:
CRAWL SPACE AT NEW ADDITION= 00 SF/ 150 = 00 SF (00 SQ INCH)
= 0 OR 0 VENT UNITS REQUIRED**
- **CURRENTLY, THE PLAN AT NEW ADDITION SHOW 8 VENT UNITS, PROPORTIONATELY DISTRIBUTED.

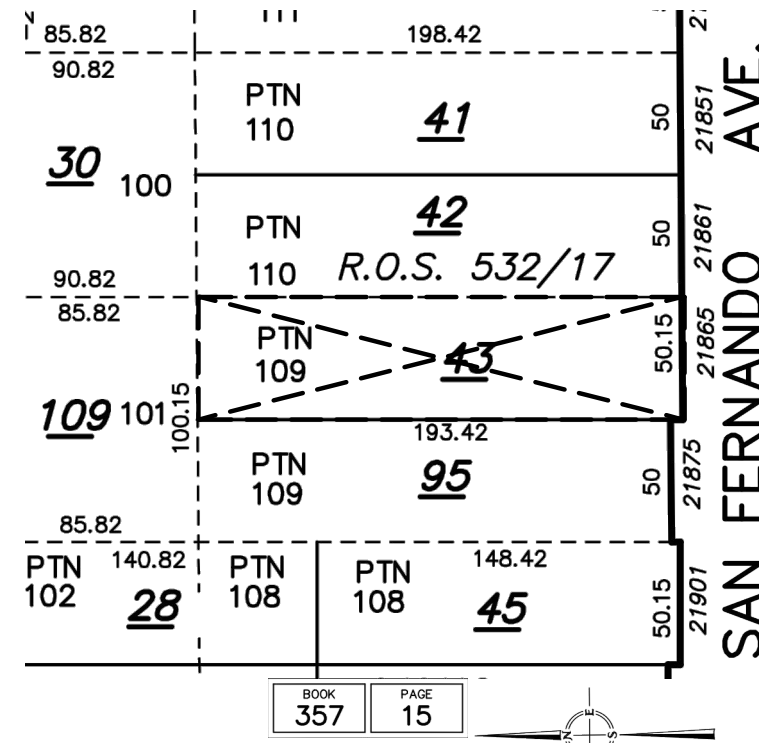
PROJECT DATA:

OWNER:	DAVID and YITING TSAI
ADDRESS:	21865 SAN FERNANDO AVE. CUPERTINO, CA 95014
A.P.N.:	351-15-043
CONSTRUCTION TYPE:	V-B
ZONING DISTRICT:	RI-7.5
DESIGNATED LAND USE:	RES O-4.4
LOT AREA:	9,966.00 SF
LOT AREA AFTER DEDICATION:	9,714.9 SF
EXISTING MAIN FLR LIVING AREA:	2,308.5 SF
EXISTING 2-CAR ATTACHED GARAGE:	525.0 SF
TOTAL EXISTING BUILDING AREA:	2,833.9 (29%)
EXISTING EAVES:	408.0
TOTAL EXISTING LOT COVERAGE:	3,241.5 (33%)
NEW LIVING AREA ADDITION 1st FLOOR:	546.5 SF
NEW 2-CAR GARAGE:	498.5 SF
EXISTING 2-CAR GARAGE TO BE REMOVED:	-525.0 SF
ATTIC AREA OVER 16' HT:	194.4 SF.
TOTAL NEW FIRST FLOOR BUILDING AREA:	3,548.3 SF (100%)
NEW LIVING AREA ADDITION 2nd FLOOR:	821.1 SF (23% OF FIRST FLR BLDG AREA)
TOTAL NEW FLOOR AREA RATIO (F.A.R.):	4,369.4 SF (44%)
PROPOSED LOT COVERAGE w/ NEW EAVES, CARPORT, PORCH:	4,322.1 SF
EXISTING EAVES AT 2-CAR GARAGE TO BE REMOVED:	-105.00 SF
TOTAL NEW LOT COVERAGE:	4,217.1 SF (43%)
MAXIMUM ALLOWED FLOOR AREA RATIO (F.A.R.):	4,371.70 SF (45%)
MAXIMUM LOT COVERAGE w/ EAVES:	4,857.45 SF (50%)
MAXIMUM 2nd FLOOR AREA:	2,306.23 SF (66% OF 1st FLOOR BUILDING AREA)

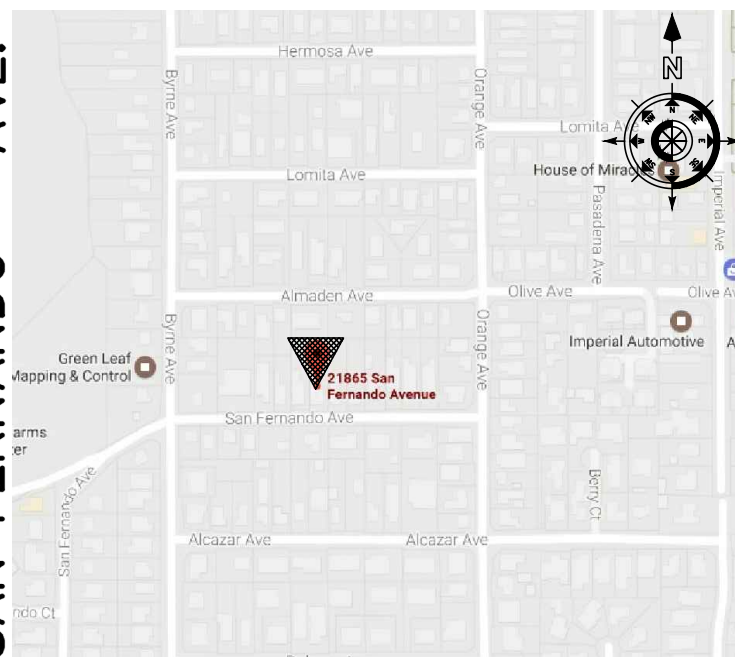


ARCHITECTURAL SITE PLAN
SCALE 1/8" = 1'-0"

PARCEL MAP:



LOCATION MAP:

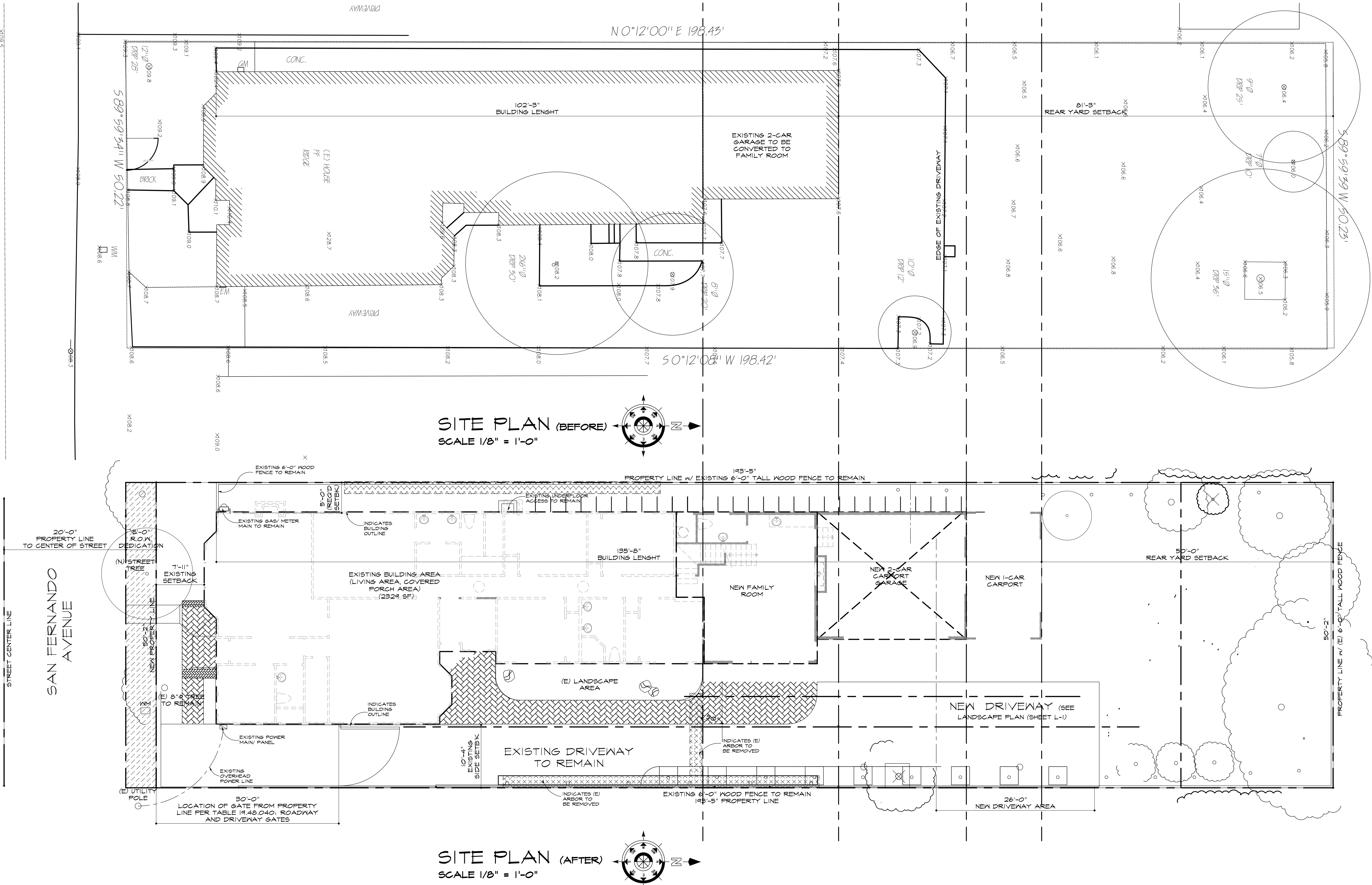


RESIDENTIAL REMODEL and ADDITION for:
MR. and MRS. DAVID and YITING TSAI
21865 SAN FERNANDO AVENUE
CUPERTINO, CA 95014

DATE: 6/20/2019
DRAWN BY: PT Kun
SCALE: AS NOTED

JOB NO.: TSAI
DATE: 6/20/2019
DRAWN BY: PT Kun
SCALE: AS NOTED

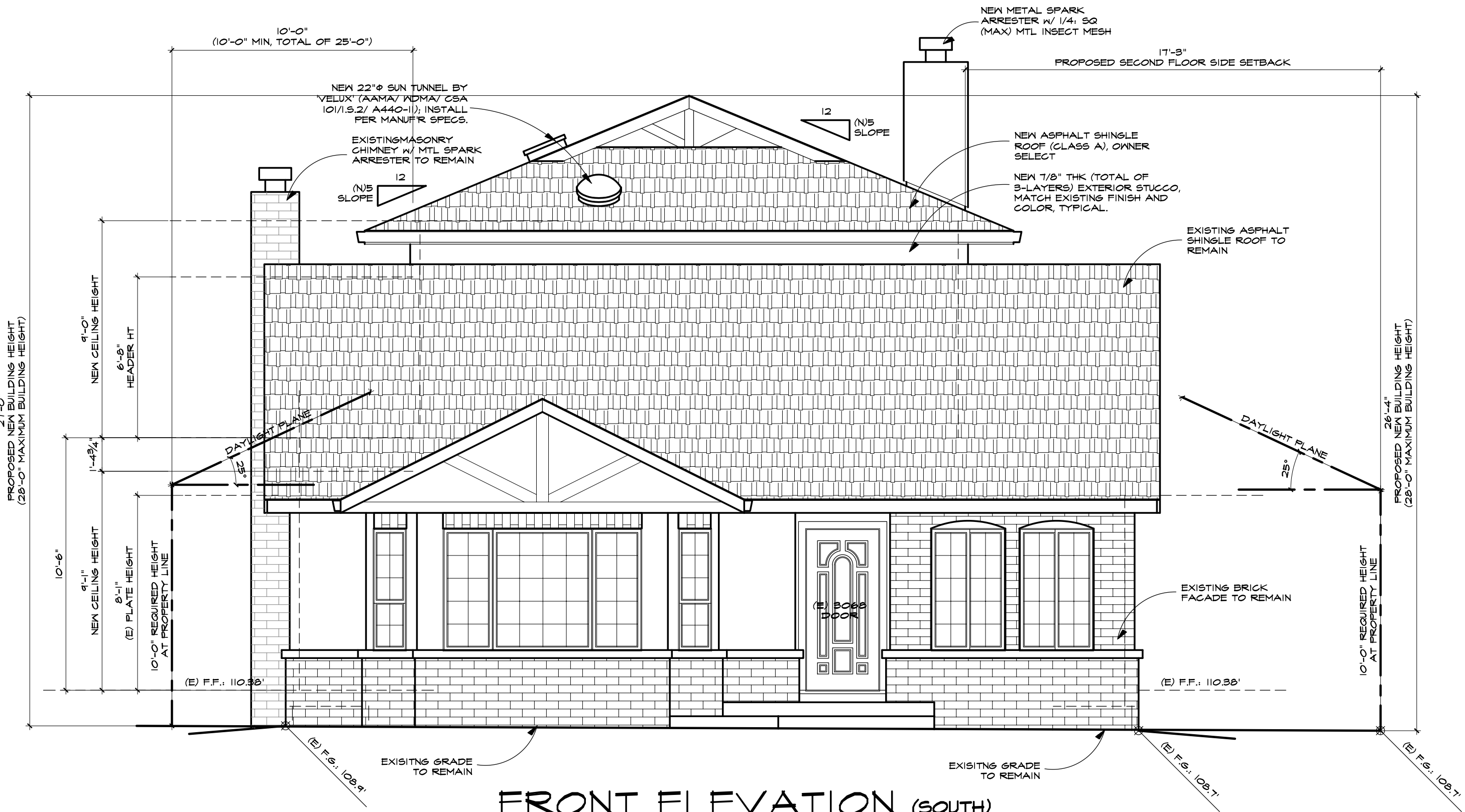
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COLOR BOARD



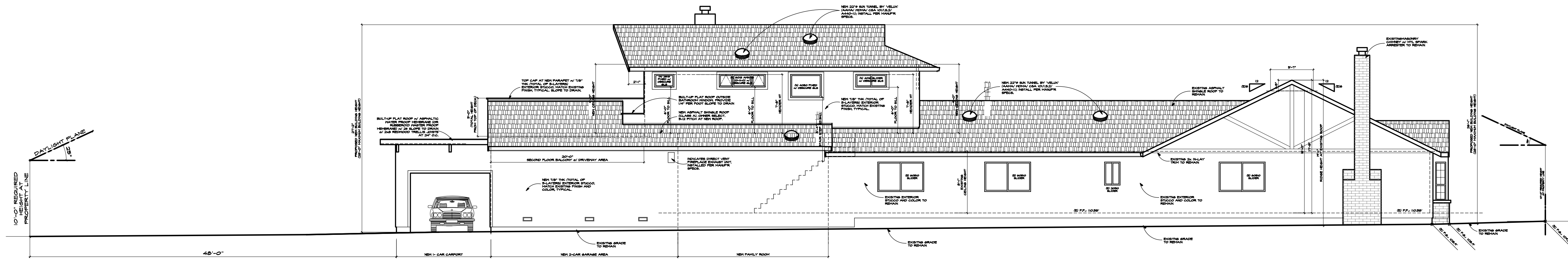
EXISTING FRONT ELEVATION
NO SCALE (COLOR BOARD)



FRONT ELEVATION (SOUTH)
SCALE 1/4" = 1'-0"



STREET SCAPE ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



LEFT SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

REVISIONS

NOTICE

These drawings were prepared by the undersigned architect, engineer, or other professional person, and are submitted to the City of Cupertino for review and approval. The undersigned hereby certifies that the drawings were prepared by the undersigned or under the direct supervision and control of the undersigned, and that the undersigned is a duly licensed professional person in the State of California. The undersigned further certifies that the drawings were prepared in accordance with the requirements of the California Building Code, and that the undersigned is not aware of any violations of the same. The undersigned further certifies that the drawings were prepared in accordance with the requirements of the California Building Code, and that the undersigned is not aware of any violations of the same. The undersigned further certifies that the drawings were prepared in accordance with the requirements of the California Building Code, and that the undersigned is not aware of any violations of the same.

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JOB NO.
TSAI

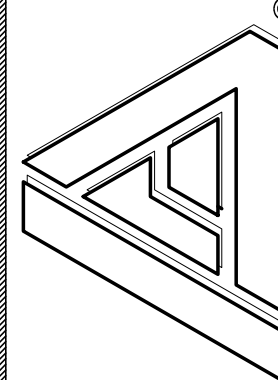
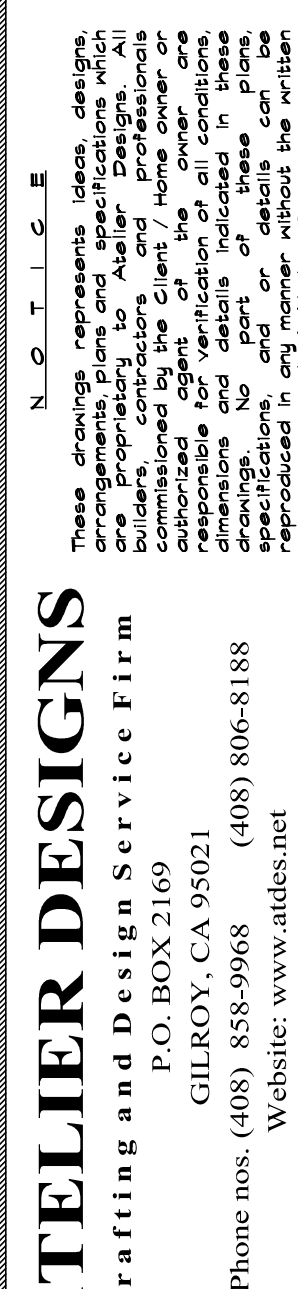
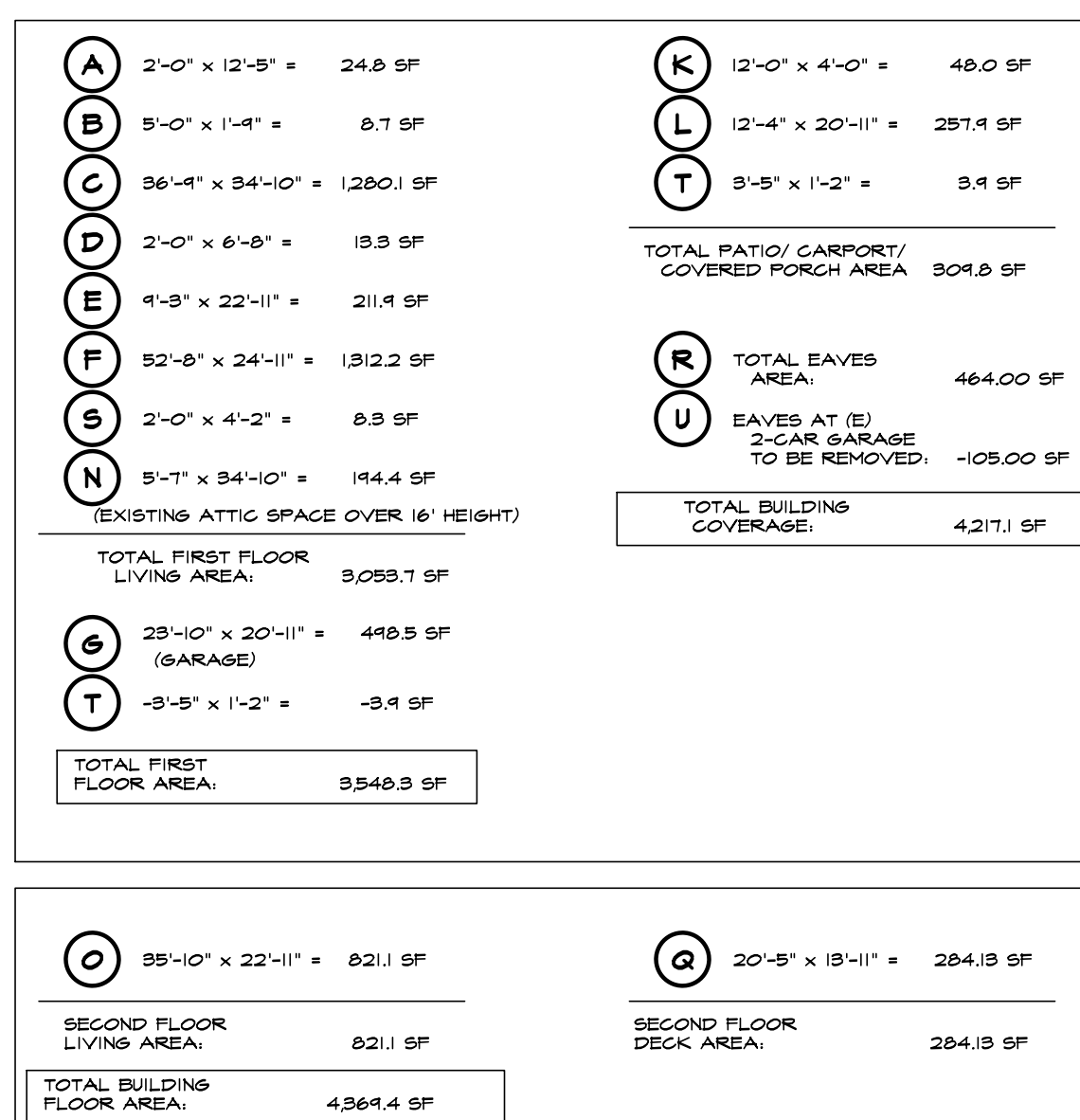
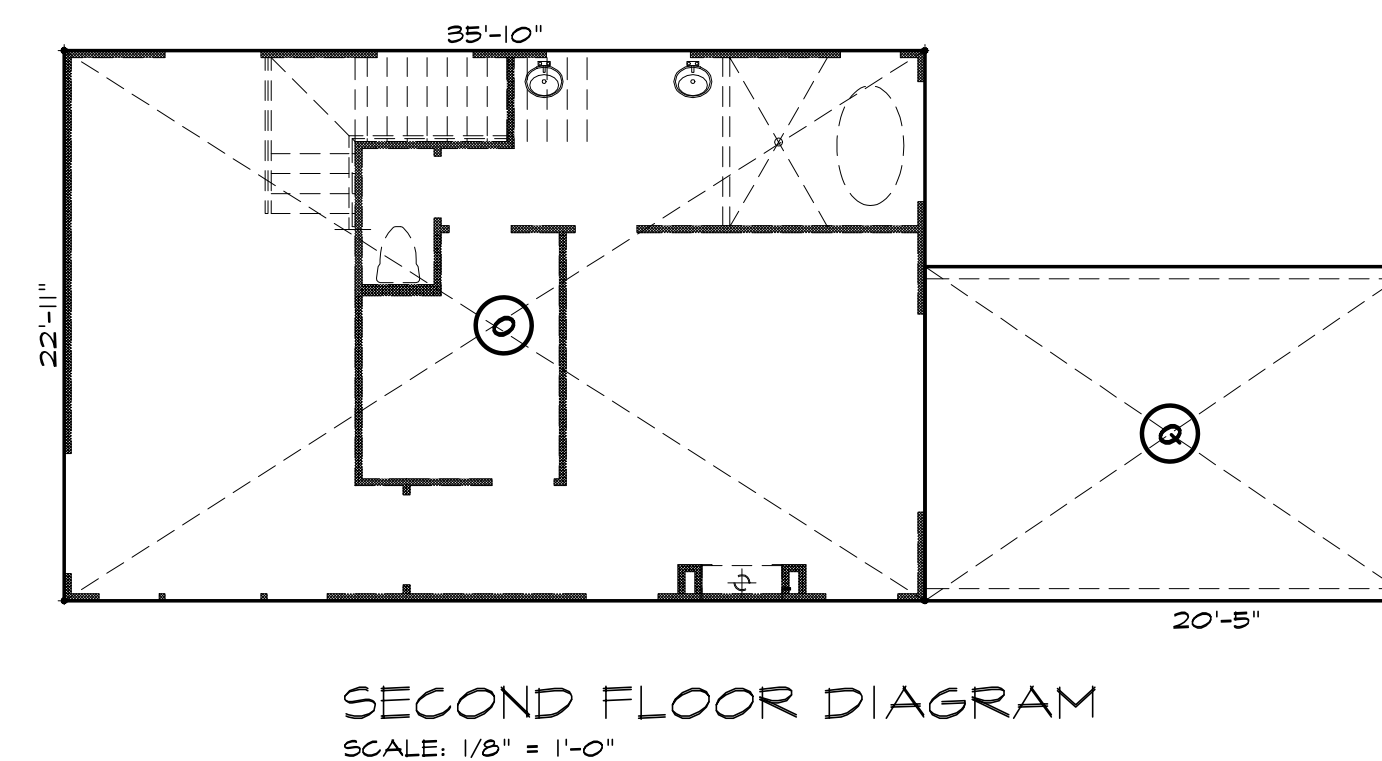
DATE
6/24/2019

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PT KUN

SCALE
AS NOTED

CB

REVISIONS.

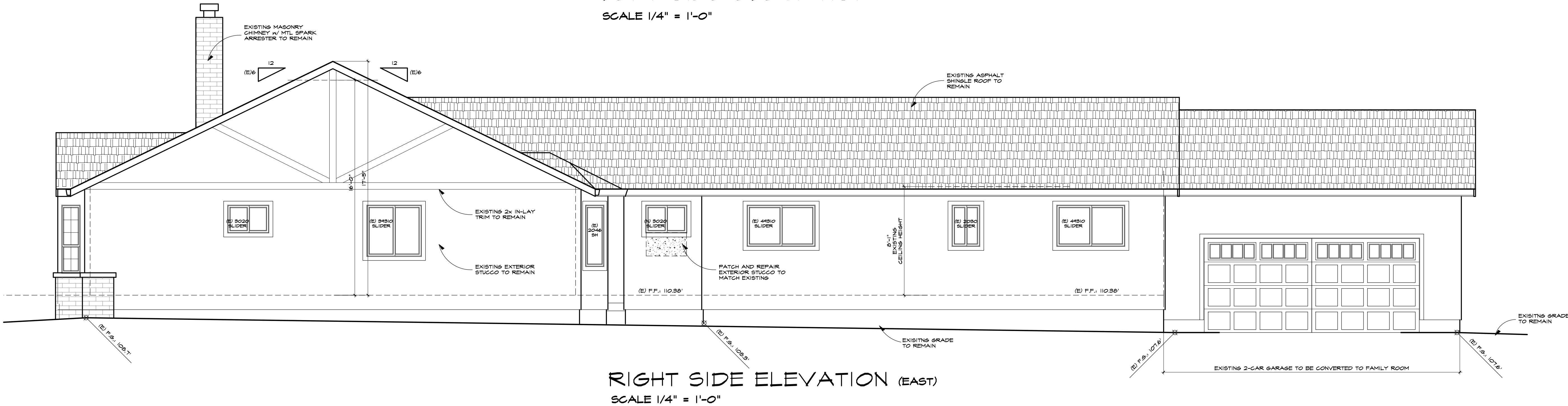
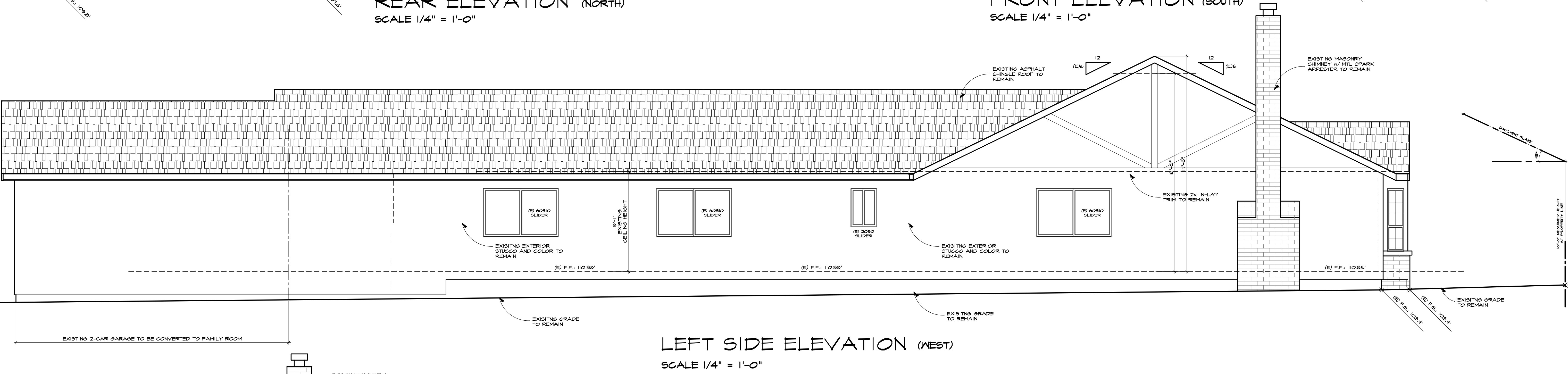
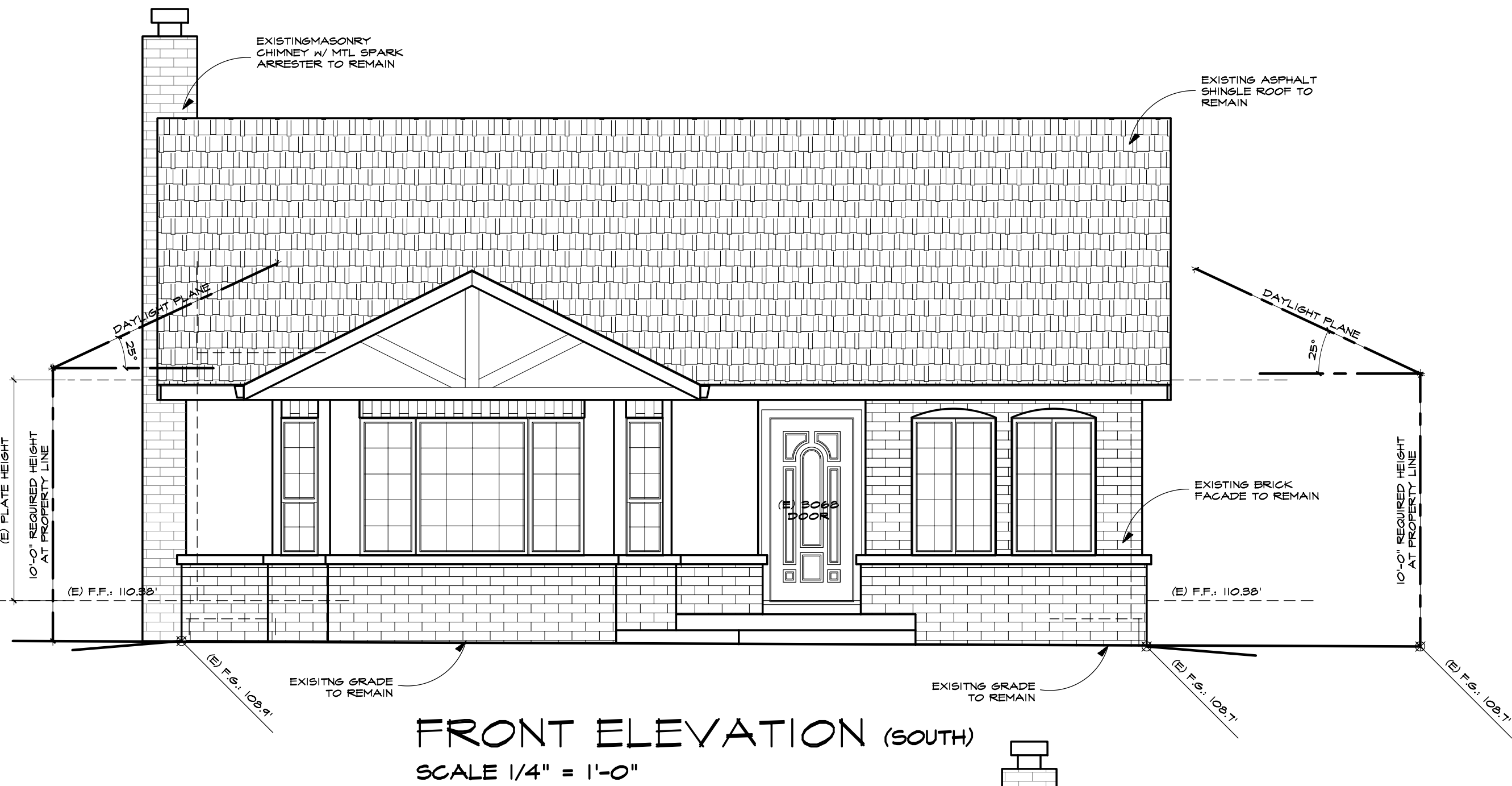


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21865 SAN FERNANDO AVENUE
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JOB NO.	TSAI
DATE:	2/1/2019
DRAWN BY:	FT Kun
SCALE:	AS NOTED

FASD

EXISTING EXTERIOR ELEVATIONS



REVISIONS

NOTICE

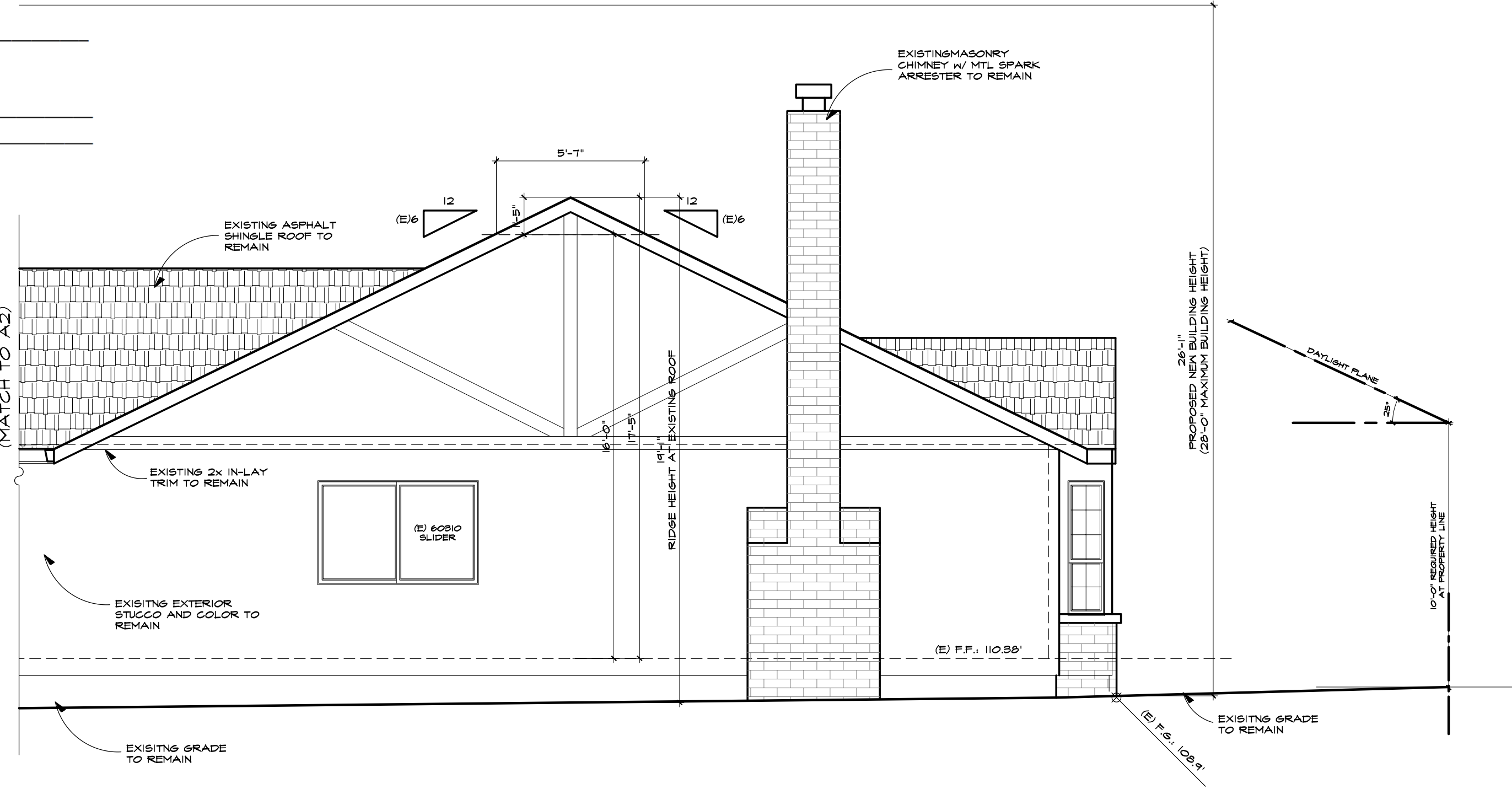
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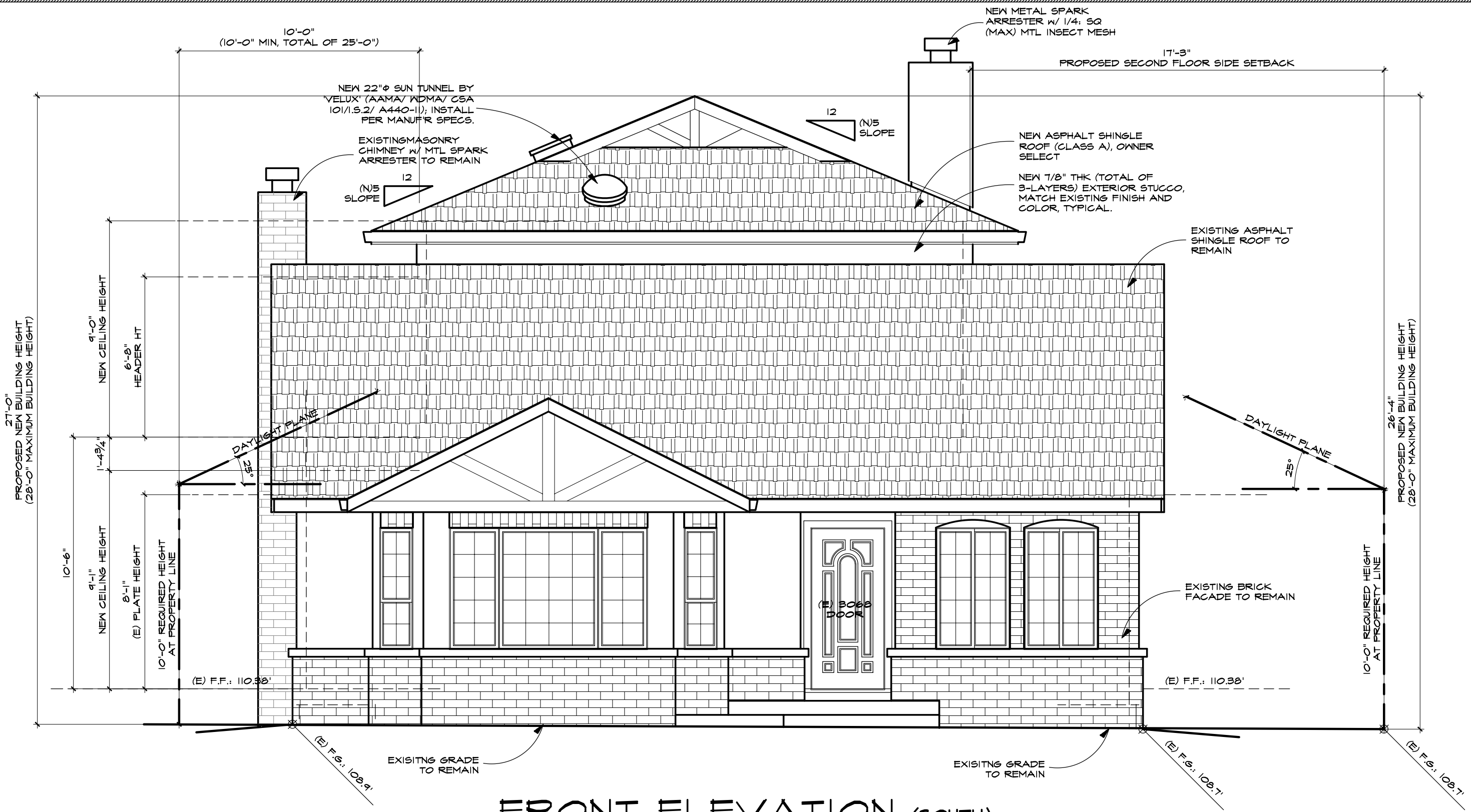
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JOB NO. TS-1
DATE 2/1/2019
DRAWN BY: P.T. KUN
SCALE: AS NOTED

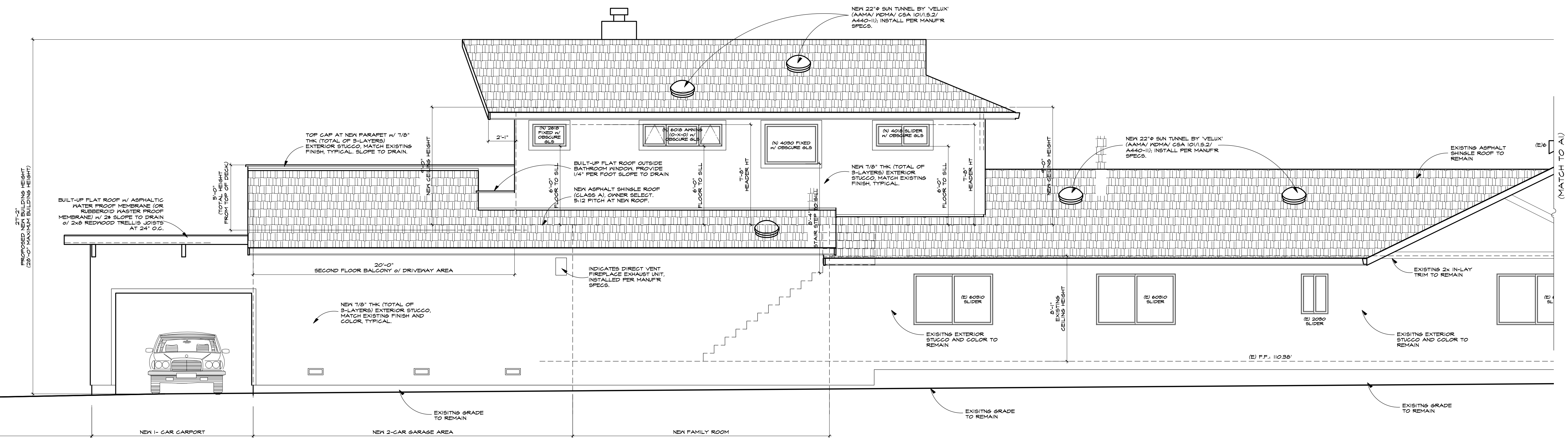
A-20



LEFT SIDE ELEVATION (WEST)
SCALE 1/4" = 1'-0" (MATCH A1)



FRONT ELEVATION (SOUTH)
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION (WEST)
SCALE 1/4" = 1'-0" (MATCH A2)

REVISIONS

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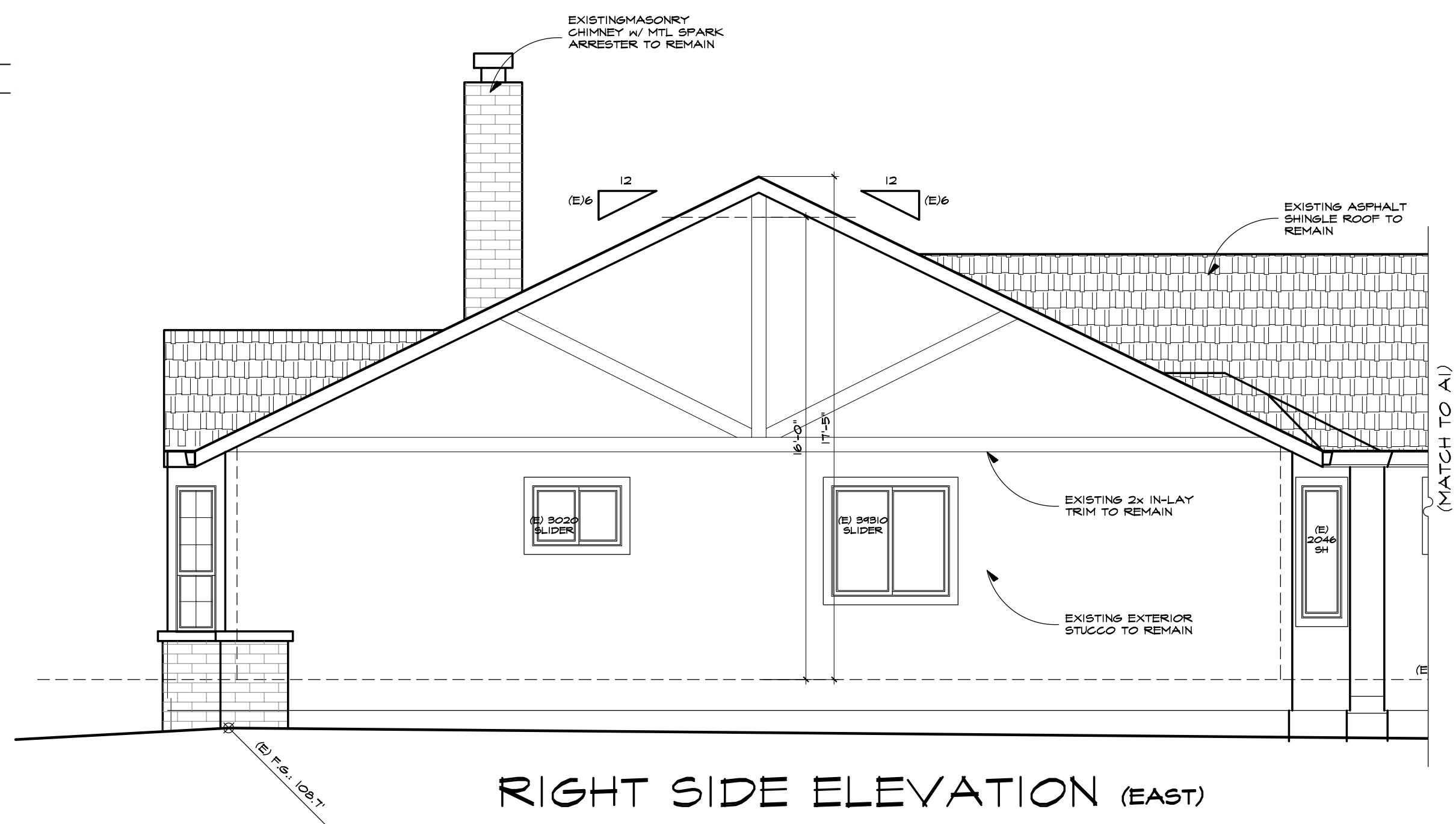
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PT Kun

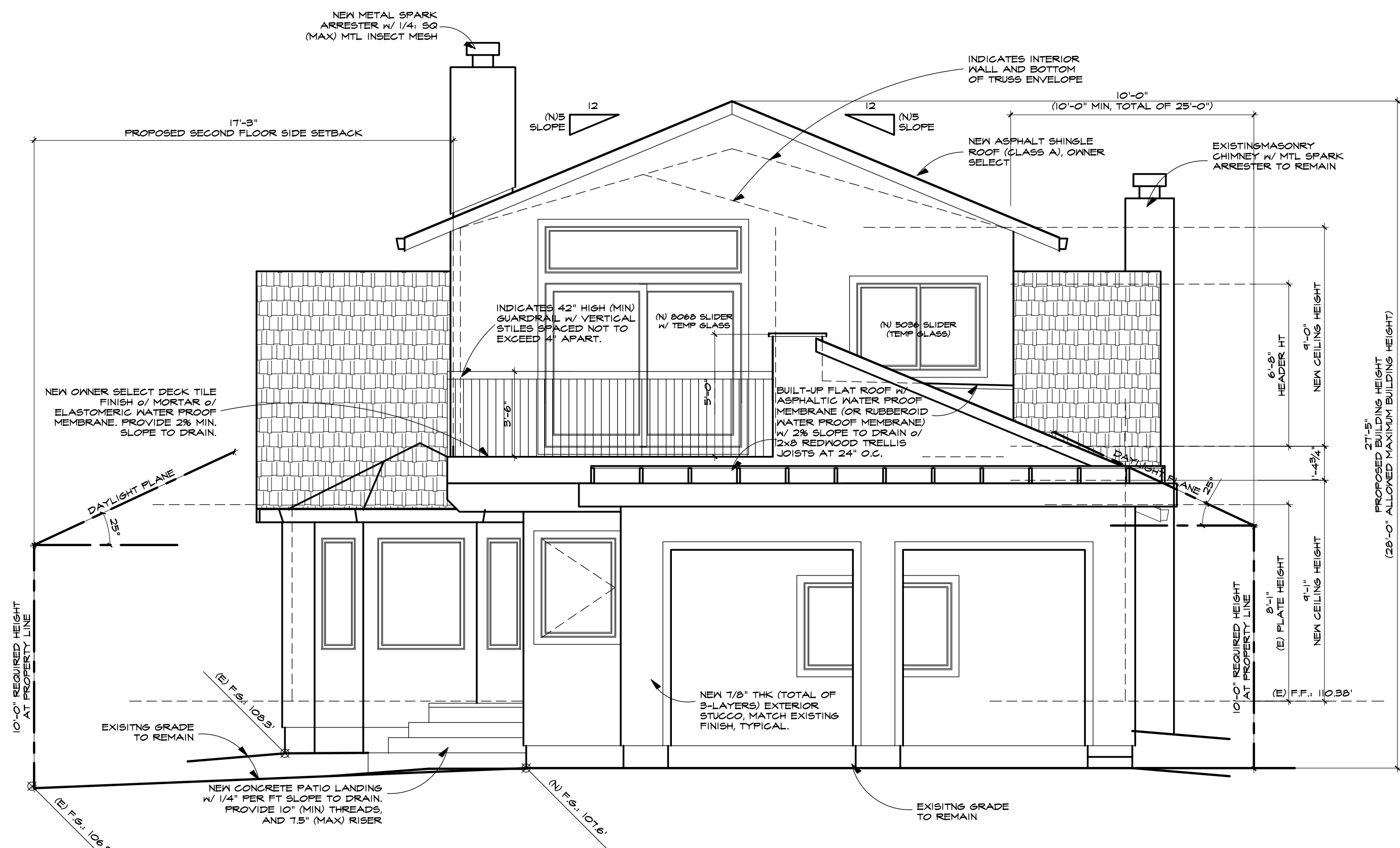
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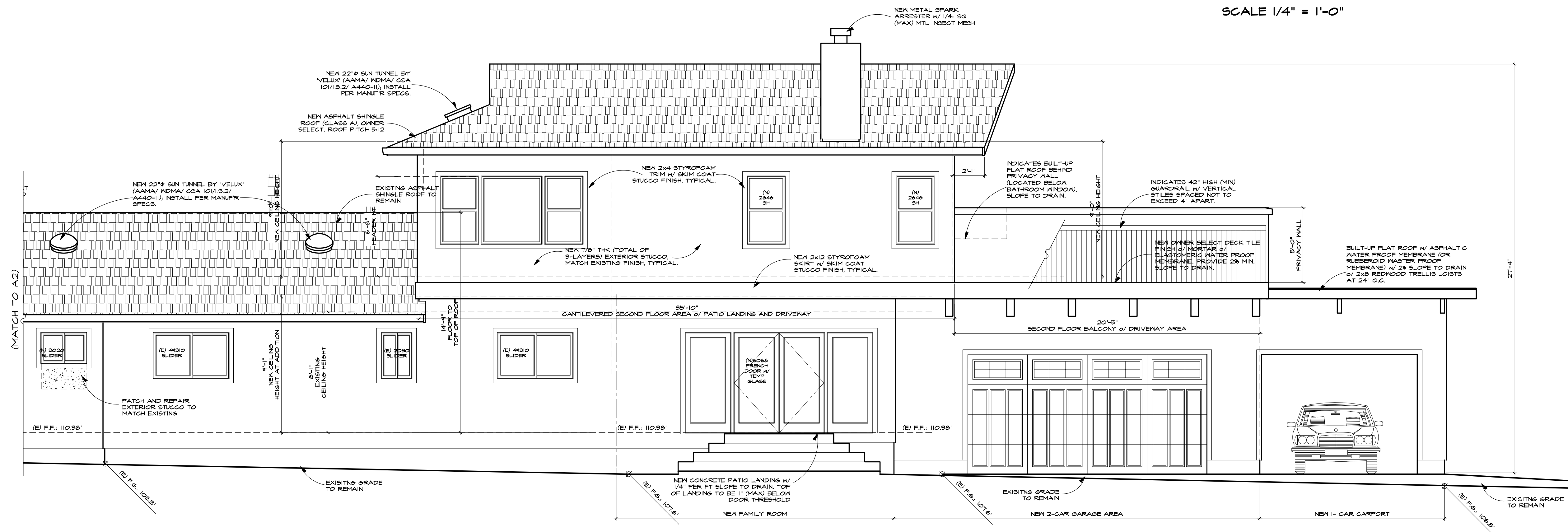
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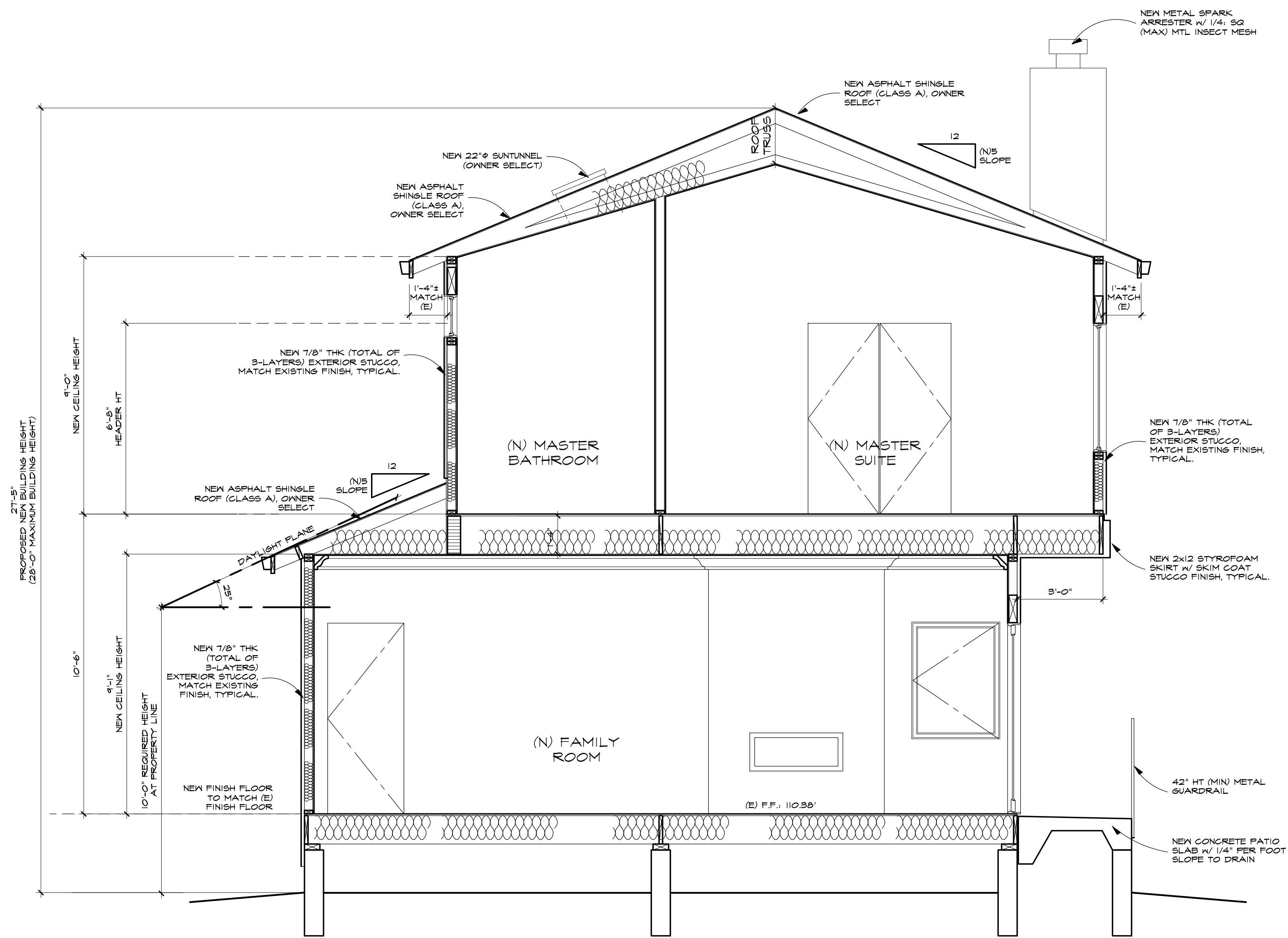
RIGHT SIDE ELEVATION (EAST)
SCALE 1/4" = 1'-0" (MATCH A2)



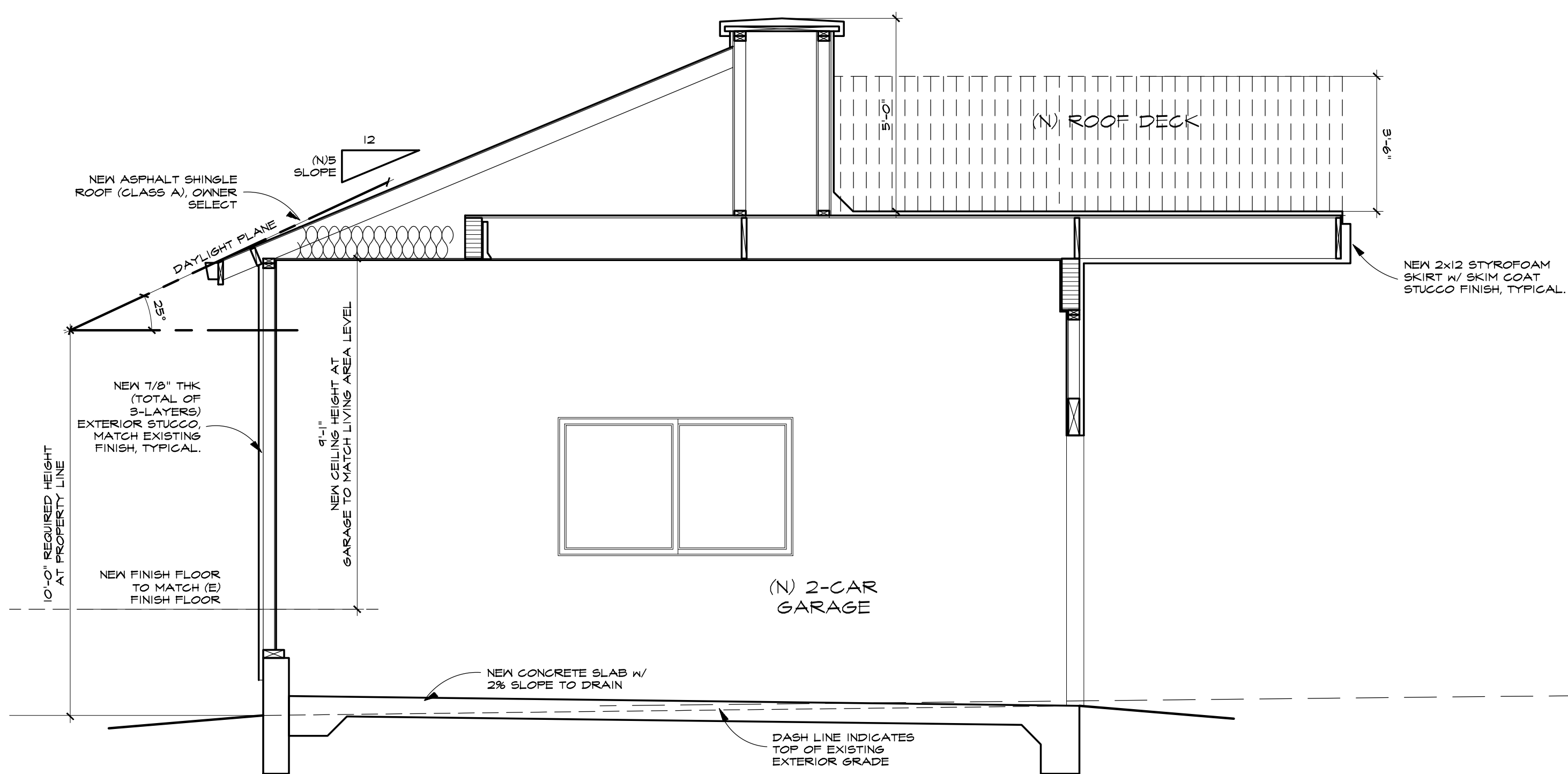
REAR ELEVATION (NORTH)
SCALE 1/4" = 1'-0"



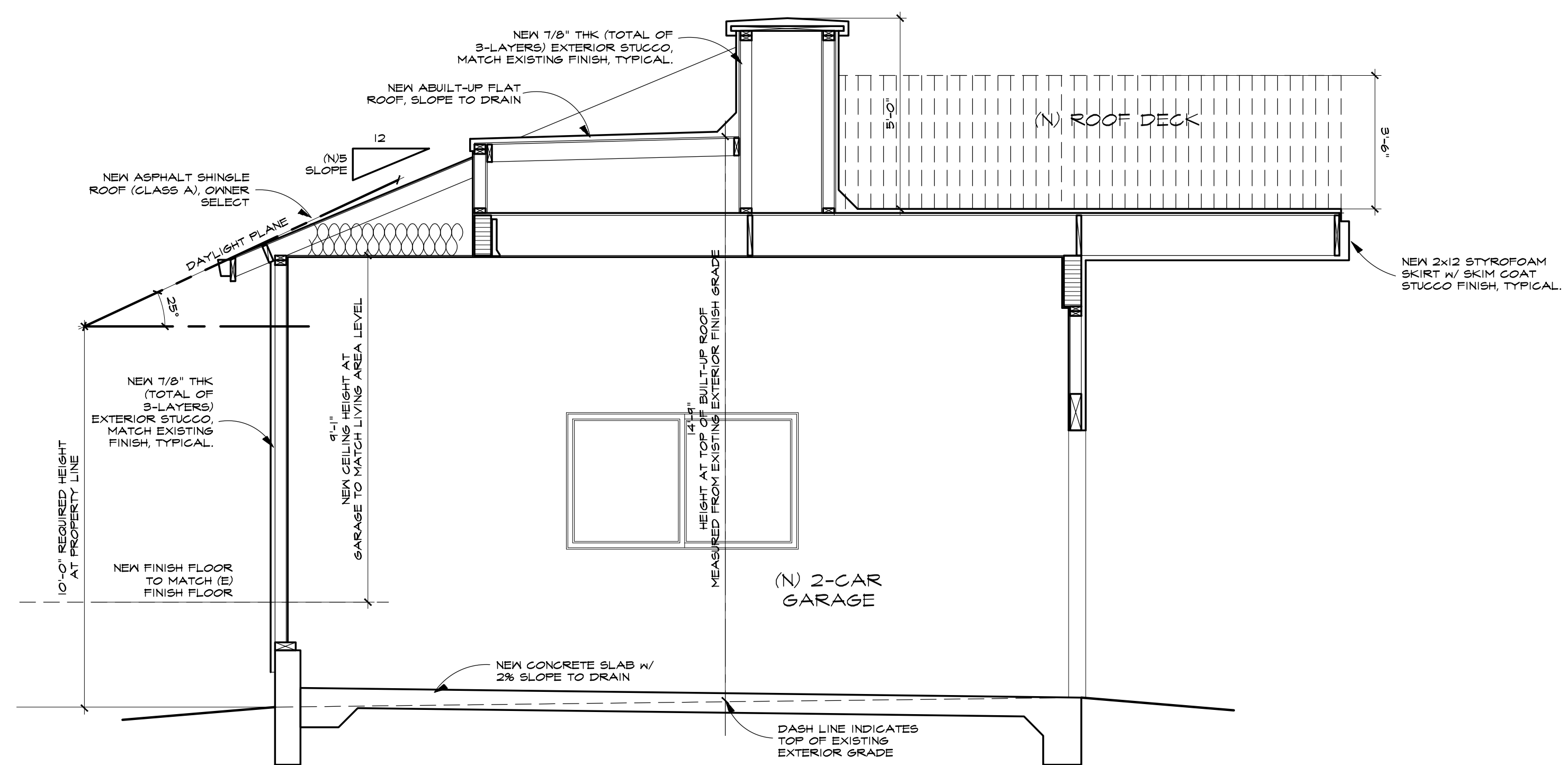
RIGHT SIDE ELEVATION (EAST)
SCALE 1/4" = 1'-0" (MATCH A1)



 BUILDING FRAMING SECTION
SCALE 3/8" = 1'-0"



BUILDING FRAMING SECTION
SCALE 3/8" = 1'-0"

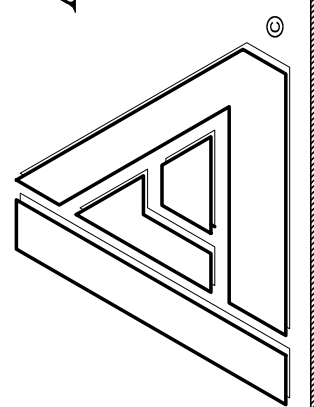


BUILDING FRAMING SECTION
SCALE 3/8" = 1'-0"

REVISIONS.	
	
	
	
	
	
	

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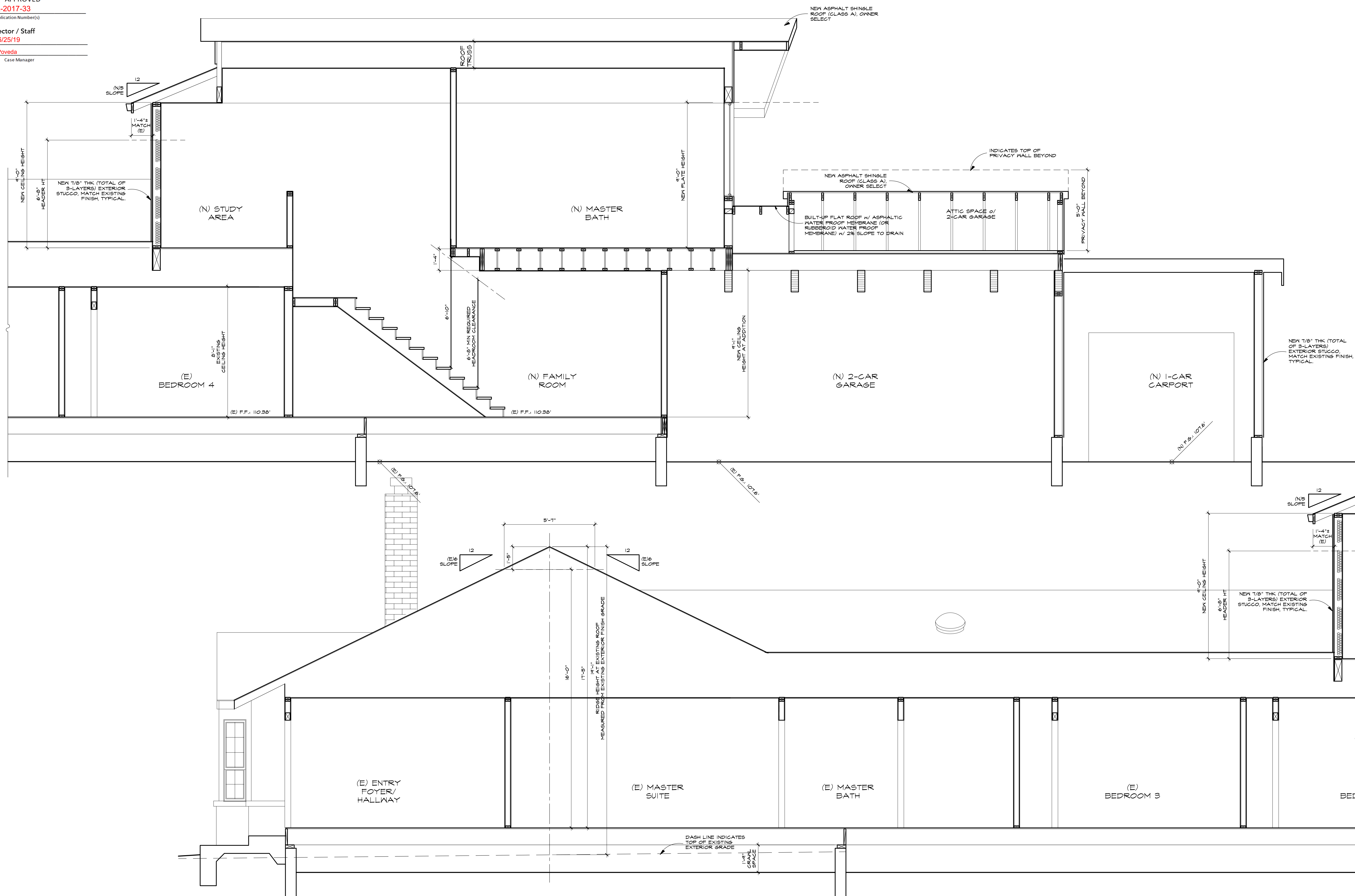
JOB NO.
TSAI

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6/20/2019

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FT Kun

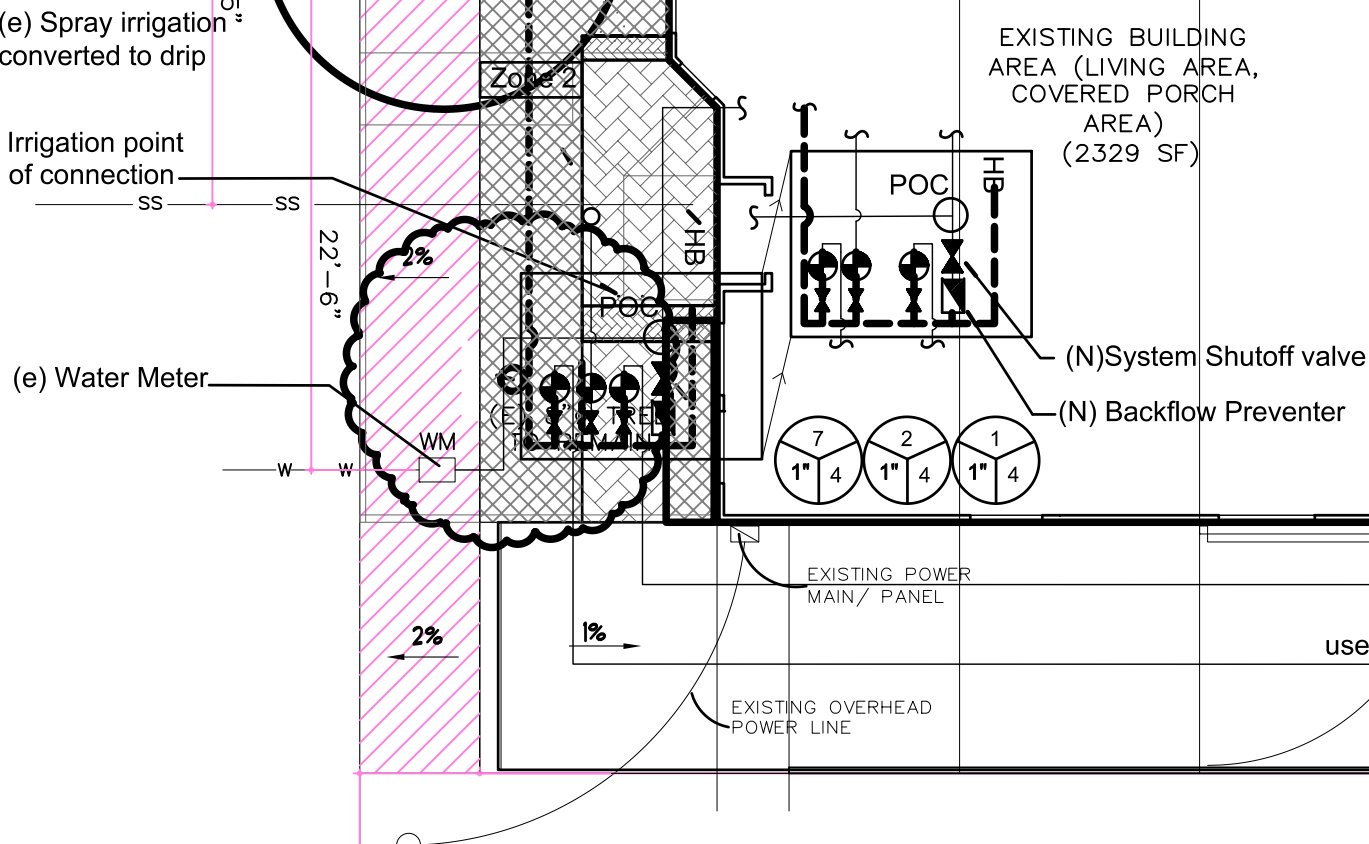
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$$A = C$$



BUILDING FRAMING SECTION
SCALE 3/8" = 1'-0"

SAN FERNANDO AVENUE

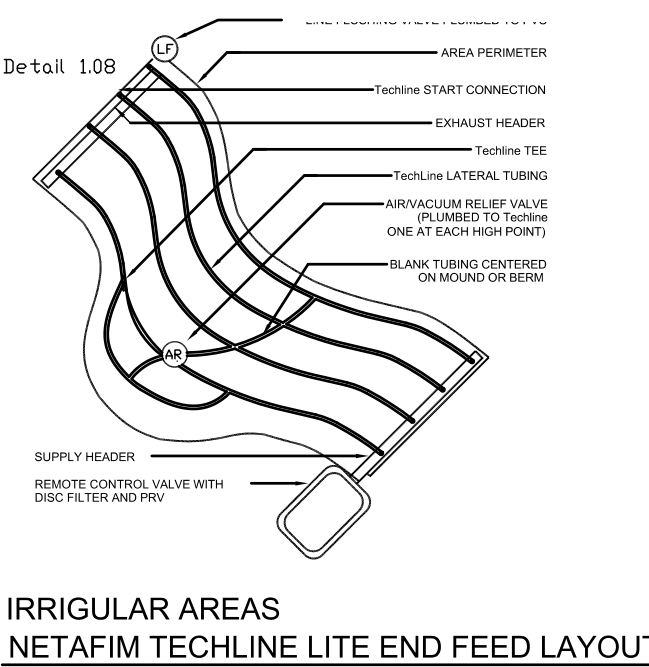
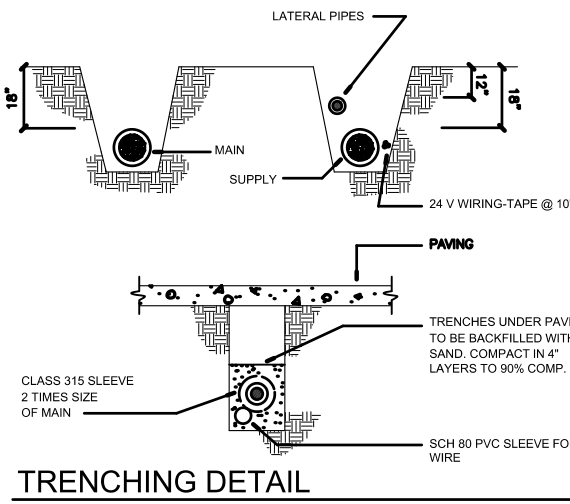


IRRIGATION NOTES

- POINT OF CONNECTION - CONNECT TO NEW HOUSE SUPPLY LINE IN FRONT YARD. THIS IRRIGATION SYSTEM IS DESIGNED TO OPERATE ON A STATIC PRESSURE OF 55 PSI PROVIDED BY THE CITY(45 PSI FOR DRIP WITH PRESSURE REGULATOR)IF A DISCREPANCY EXISTS PLEASE NOTIFY THE LANDSCAPE ARCHITECT.
- LOCATE, DISCONNECT AND CAP OFF IRRIGATION TO BE ABANDONED.
- CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 642-2444 PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF EXISTING AND FUTURE UNDERGROUND SERVICES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGES CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO EXTRA COST TO THE OWNER. CONTACT LANDSCAPE ARCHITECT SHOULD ANY CONFLICTS ARISE.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
- CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH OTHER TRADES. CONTRACTOR TO COORDINATE AND VERIFY ALL SLEEVING, PIPING, ELECTRICAL SUPPLY, POINT OF CONNECTION, ETC.
- THIS IRRIGATION DESIGN IS DIAGRAMMATIC IN NATURE AND DOES NOT REPRESENT AN EXACT LAYOUT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS IN HEAD, VALVE, AND PIPING LAYOUT.
- CONTRACTOR IS RESPONSIBLE FOR COMPLETE AND UNIFORM COVERAGE OF ALL PLANTING AND TURF AREAS. CONTRACTOR TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN OPTIMUM OPERATING PRESSURE OF REACH CIRCUIT. ADJUST SPRAY HEADS AND NOZZLES FOR OPTIMUM COVERAGE WHILE PREVENTING OVER SPRAY ONTO WALKWAYS AND STRUCTURES.
- CONTRACTOR SHALL VERIFY NUMBER OF STATIONS IN CONTROLLER. ANY INADEQUACIES TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- INSTALL NO. 14 UF DIRECT BURIAL IRRIGATION WIRE. USE EPOXY CONNECTORS AND BURY WIRE WITH MAINLINE, BUNDLED AND TAPED TOGETHER EVERY TEN FEET.
- FIELD VERIFY EXACT LOCATION OF CONTROLLER WITH OWNER/LANDSCAPE ARCHITECT. PROGRAMMING OF THE CONTROLLER IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE ENTIRE PROJECT.
- REMOTE CONTROL VALVES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND SHOULD BE INSTALLED IN PLANTING AREAS ONLY.
- WHERE PIPE PASSES UNDER DRIVING SURFACES, PROVIDE PVC SLEEVES AS NOTED ON PLANS. SLEEVE SIZE TO BE MINIMUM OF TWO PIPE SIZES LARGER THAN THE PIPE IT IS INTENDED FOR.
- NO FITTINGS SHALL BE LOCATED UNDER PAVEMENT OR IN SLEEVES.
- INSTALL ELECTRIC ANTI-SIPHON VALVES. DRIP VALVES SHALL INCLUDE PRESSURE REGULATOR AND Y FILTER.
- INSTALL SWING JOINTS FOR ALL SPRAY HEADS.
- ALL EQUIPMENT INSTALLATION SHALL MEET THE REQUIREMENTS OF THESE NOTES AND THE CALIFORNIA LANDSCAPE STANDARDS, PUBLISHED BY THE CLCA (LATEST EDITION).
- INSTALL SCHEDULE 40 LATERALS AND MAINLINES. MAINLINES SHALL BE INSTALLED AT A DEPTH OF 18". LATERALS SHALL BE INSTALLED AT A DEPTH OF 12".
- SPRAYHEADS TO BE RAINBIRD, OR APPROVED EQUAL. LAWN SPRAYS TO HAVE 6" POP-UP. ALL OTHER PLANTING AREAS TO BE IRRIGATED BY A DRIP SYSTEM.
- TEST SYSTEM FOR AT LEAST THREE HOURS BEFORE BACK FILLING, ESPECIALLY THE MAINLINE.
- 3" OF MULCH TO BE PLACED OVER THE ON-SERFACE IRRIGATION TUBING IN ALL PLANTING AREAS AFTER INSTALLATION AND PERFORMANCE OF THE IRRIGATION SYSTEM IS VERIFIED BY OWNER AND CONTRACTOR.
- All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformly low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
- Landscape contractor to install a privately owned meter or submeter for landscape use only (at POC to irrigation).

IRRIGATION HYDRO-ZONE LEGEND

	ZONE 1: SHRUBS, TREES, AND GC - DRIP IRRIGATION	MODERATE WATER USE
	ZONE 2: SHRUBS, TREES, AND GC - DRIP IRRIGATION	LOW WATER USE
	ZONE 3: SHRUBS, TREES, AND GC - DRIP IRRIGATION	LOW WATER USE
	ZONE 4: SHRUBS, TREES, AND GC - DRIP IRRIGATION	LOW WATER USE
	ZONE 5: LAWN - SPRAY IRRIGATION	HIGH WATER USE
	ZONE 6: LAWN - SPRAY IRRIGATION	HIGH WATER USE
	ZONE 7: TREE - BUBBLER	LOW WATER USE



IRRIGATION LEGEND

SYM	MANUFACTURER	MODEL #	DESCRIPTION
	Febco	825Y	1" Backflow preventer
	Rainbird	BLT	1" Gate Valve
	Rainbird	PEB series	Remote control valve
	Netafim	NLC-100S CONVENTIONAL	Wall Mounted
	Netafim	ET MANAGER	With Rain Gauge
	Netafim	HYDROMETER 1-1/2" MNPT	With Submeter
	New City Water meter		
	Sch. 40 pvc mainline (1-1/4")		
	Sch. 40 pvc lateral line		
	Class 315 sleeve - size per plan		
	Hose Bib		
	Irrigation Zone		

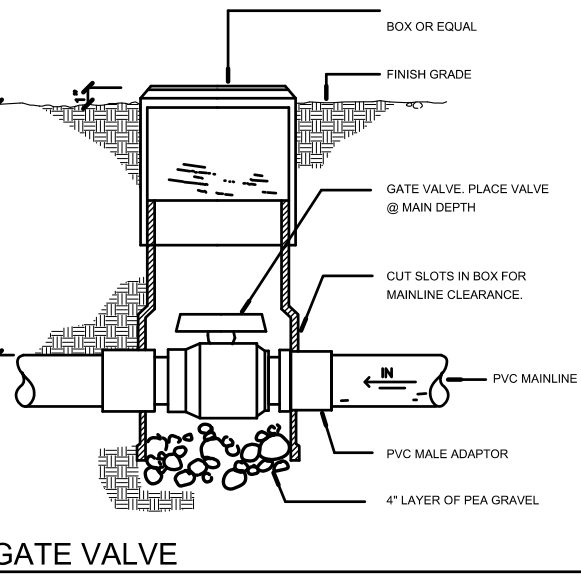
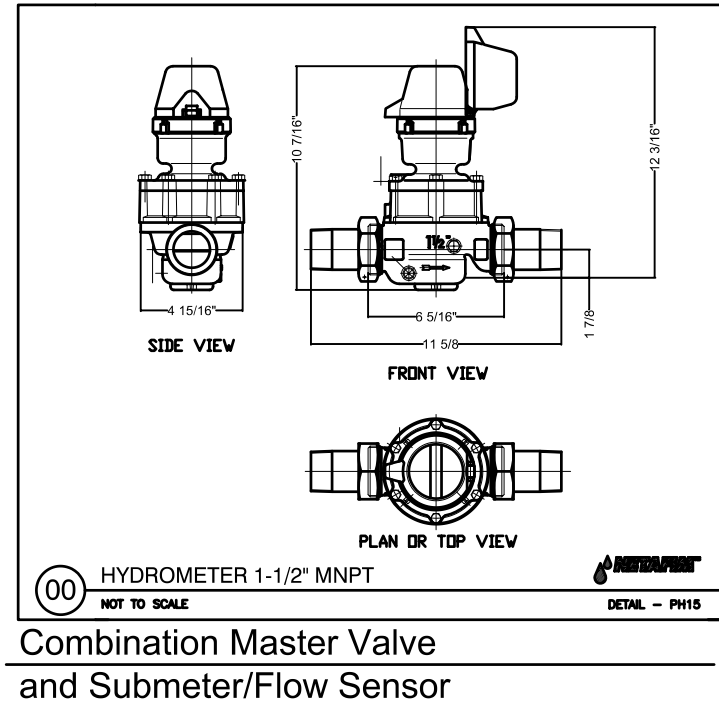
SPRAY PRODUCTS - FOR LAWN - DRIP PRODUCTS - ALL OTHER PLANTING

MANUFACTURER	MODEL #	DESCRIPTION
Rainbird	Rainbird 1806 PRS	8",10",12" & 15", 6" Pop up adjustable lawn spray lawn spray

NOTE: ALL SPRINKLER NOZZLES ARE ADJUSTABLE UNLESS NOTED

Drip Irrigation Valve Assemblies:

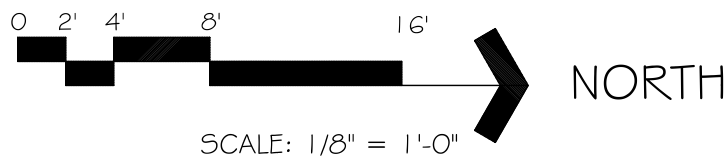
- VALVE/FILTER/PRESSURE REGULATOR MEDIUM FLOW KIT (3.0GPM TO 15.0GPM): XCZ-100-PRF INCLUDES 1" VALVE, 1" RBY FILTER, 45 PSI PRESSURE REGULATOR
- NETAFIM TECHLINE® CV ON-SURFACE LAYOUT
- NETAFIM TECHLINE® CV ON-SURFACE LAYOUT - 12" DRIPPER SPACING, 4 GPH FLOW RATE. THE ROW SPACING TO FLUCTUATE BETWEEN 12" TO 18" AS PER PLANT LAYOUT.
- INSTALL 120 MESH FILTER AS SPECIFIED BY THE MANUFACTURER.
- PROVIDE MANUAL FLUSH VALVES AT END OF DRIP LINE (OPPOSITE SIDE OF VALVE)
- AIR RELIEF VALVE AT THE HIGH POINT OF EACH CIRCUIT.
- REFER TO SHEET L-2 FOR LAYOUT DETAILS



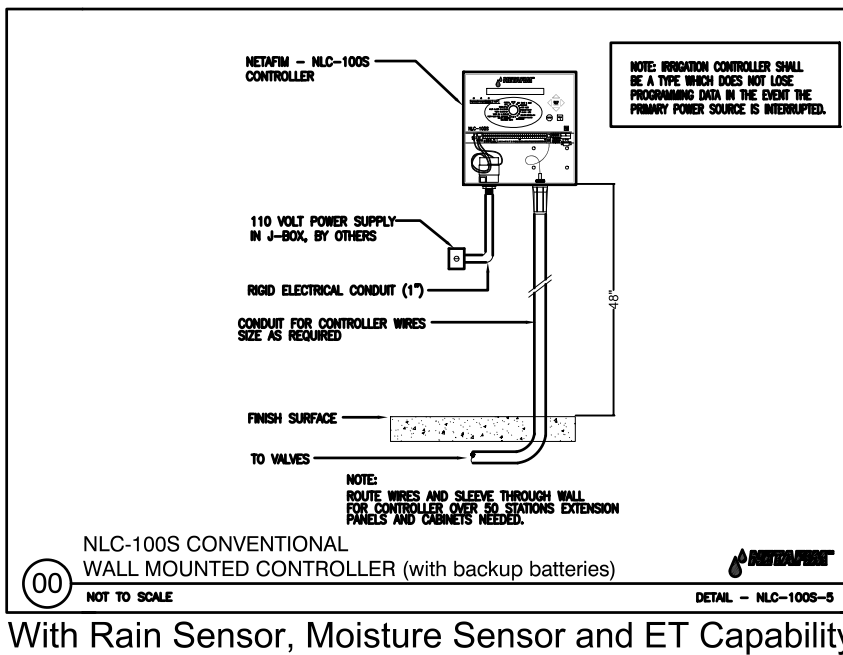
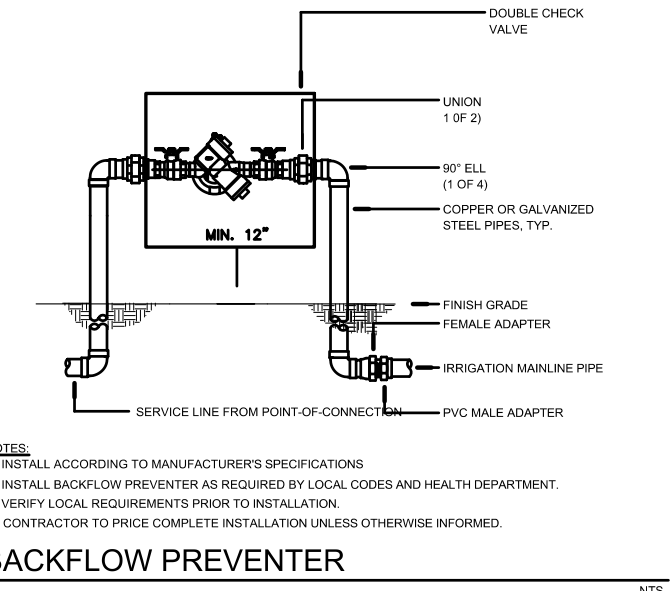
NOTE: REQUIREMENT PRIOR TO FINAL OCCUPANCY

- THE PROPERTY OWNER SHALL RECORD A COVENANT ON THE PROPERTY FOR THE NEW TREES/SHRUBS PLANTED FOR PURPOSE OF REQUIRED REPLACEMENT TREES, PRIVACY PROTECTION, AND REQUIRED FRONT YARD TREE. THE PROPERTY OWNER SHALL CONTACT THE PLANNING DIVISION IN ADVANCE OF THE FINAL TO PREPARE THE AGREEMENT.
- FOLLOWING COMPLETION OF CONSTRUCTION, AN AFFIDAVIT FROM AN ISA-CERTIFIED ARBORIST SHALL BE PROVIDED CONFIRMING THAT THE NEW TREES HAVE BEEN PLANTED PROPERLY AND ACCORDING TO PLAN.
- A PLANNING DIVISION INSPECTION IS REQUIRED TO VERIFY EXTERIOR MATERIALS/FINISHES, TREES, LANDSCAPING, AND SITE WORK.
- A CERTIFIED LANDSCAPE PROFESSIONAL SHALL CONDUCT A LANDSCAPE INSTALLATION AUDIT AFTER THE LANDSCAPING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED PER CHAPTER 14.15 (LANDSCAPE ORDINANCE). THE FINDINGS OF THE ASSESSMENT SHALL BE CONSOLIDATED INTO A LANDSCAPE INSTALLATION REPORT PROVIDED TO THE PLANNING DIVISION.
- THE PROPERTY OWNER SHALL SIGN A LANDSCAPE MAINTENANCE AGREEMENT AND WELO COMPLIANCE CERTIFICATE PER CHAPTER 14.15 (LANDSCAPE ORDINANCE).PREPARED BY THE CITY, AND RECORD IT WITH THE SANTA CLARA CO. RECORDER'S OFFICE. THE PROPERTY OWNER SHALL CONTACT THE PLANNING DIVISION IN ADVANCE OF THE FINAL TO PREPARE THE AGREEMENT.
- A CERTIFIED LANDSCAPE PROFESSIONAL SHALL PROVIDE A LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE PER CHAPTER 14.15 (LANDSCAPE ORDINANCE) TO THE PLANNING DIVISION.

- SITE NOTES:
- NO NEW GRADING OF THE EXISTING LOT IS BEING PROPOSED FOR THIS PROJECT. EXISTING LOT SLOPE AND SWALE TO REMAIN
 - LANDSCAPE PLAN (SHEET L-1, L-2) FOR ALL LANDSCAPE INFORMATION (EXISTING TREES, PROPOSED NEW TREES, PRIVACY SCREENING PAVING AND LANDSCAPING TO BE ADDED TO THE PROPERTY.)



Call Before you Dig!
1-800-227-2600



REVISIONS	BY

AF LANDSCAPE ARCHITECTURE

Sunnyvale, California
(408) 242 - 3054
email:aflandscapearchitecture@gmail.com
www.aflandscape.com

TSAI RESIDENCE
21865 SAN FERNANDO AVE.,
CUPERTINO, CA 95014

PLANNING AND
BUILDING PERMIT
SUBMITTAL
IRRIGATION
HYDROZONE PLAN

DRAWN
AF
CHECKED
AF
DATE
2-14-2019
SCALE
1/8" = 1'-0"
JOB NO.
1817
SHEET

L-2



Community Development Department

Planning Division - Cupertino

Project Name: 21865 San Fernando Ave., Cupertino, CA 95014

APPROVED

R-2017-33

Application Number(s)

Approval Body: Director / Staff

Approval Date: 06/25/19

Signature: Erika Poveda

Case Manager



EXISTING BACKYARD TREES (left to right) THAT MEETS CITY'S PRIVACY PLANTING REQUIREMENTS

Species –Common Name NON-DECIDUOUS SCREEN SHRUBS	Height	Spread	Ø
1. Loquat tree.	12'	10-12'	6"Ø
2. dense branching plum	15'	13-15'	6"Ø
3. Redwood	25'	13-15'	8"Ø
4. Carob tree	25'	25-35'	16"Ø

AFLA

Landscape Architecture

Sunnyvale, CA 94086

408.242 3054

aflandscapearchitecture@gmail.com

www.aflandscape.com



Community Development Department

Planning Division – Cupertino

APPROVED

Case # R-2017-33

Application Number(s)

Alternative Privacy Screening Used

Approval Body: Director / Staff

Project Name: 21865 San Fernando Ave., Cupertino, CA 95014

Approval Date 06/25/19

Signature Chika Povea LIST OF ADDITIONAL PRIVACY SCREENING MATERIAL USED (IN ADDITION TO LANDSCAPE ORDINANCE RECOMMENDATIONS)

Species –Common Name	Height	Spread	Planting Distance- Maximum
NON-DECIDUOUS SCREEN SHRUBS			
Heteromeles arbutifolia - Toyon	10-25'	10-15'	8'
Myrica californica-Wax Myrtle	10-25'	10-15'	8'

The minimum shrub size shall be 15-gallon minimum and a minimum of 6' high planted height.

The provided alternative plant list is consistent with the City's list of privacy screening materials. The new species suggested meet or exceed the City's requirements as stated in the privacy Screening Material Document. The new screen shrubs are planted to fill any gaps between the existing screening trees and shrubs.

Sincerely,

Ashini Fernando
Landscape Architect
Lic# 5272

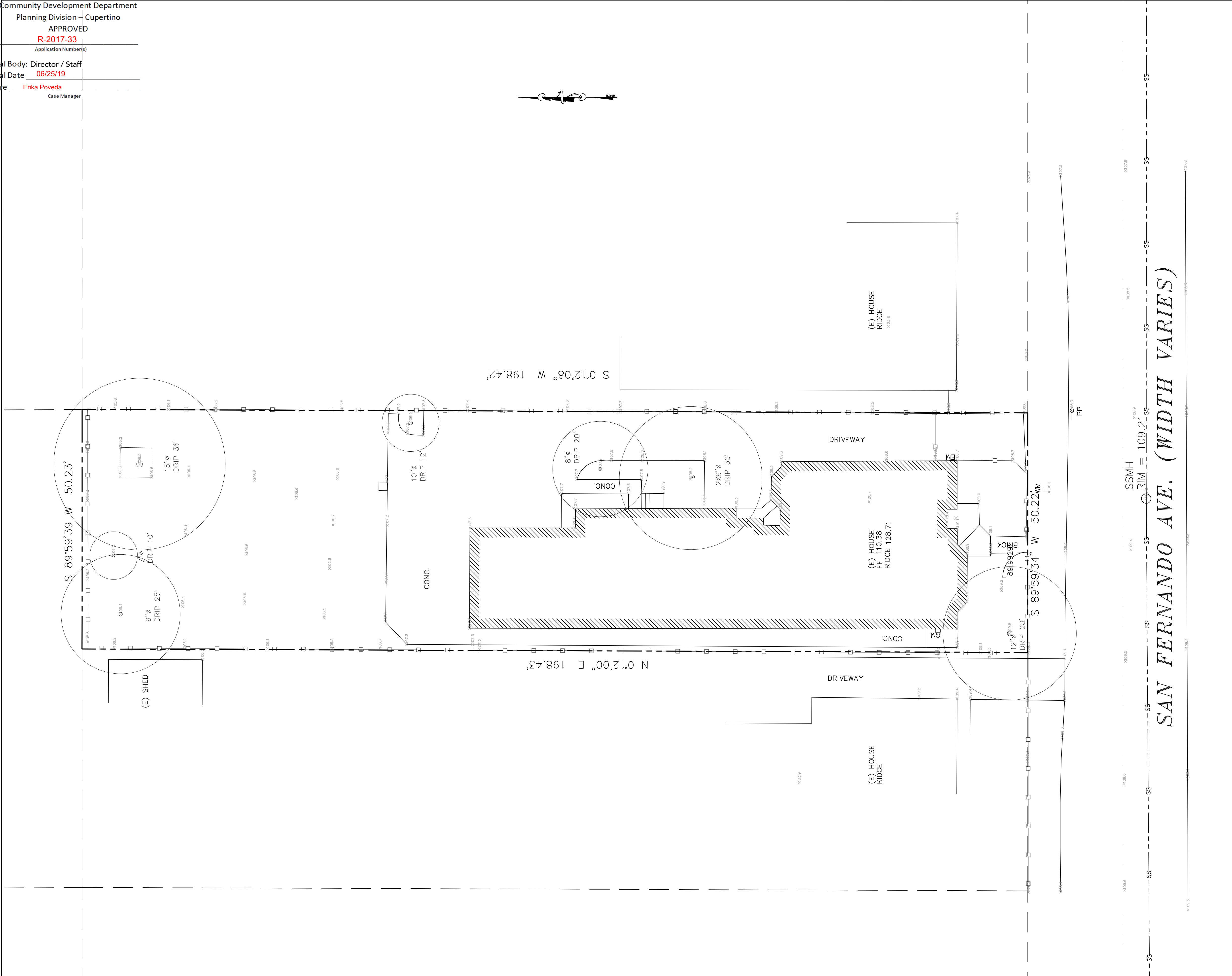
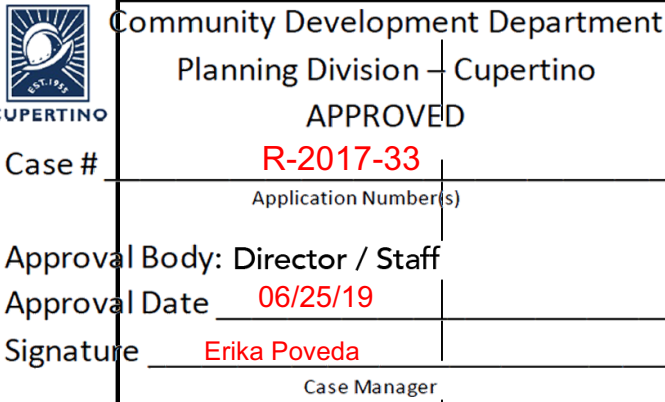
AFLA - Landscape Architecture

phone: 408.242 3054

email: aflandscapearchitecture@gmail.com

AFLA

Landscape Architecture



	PROPERTY LINE	AC	ASPHALT
	EXISTING LOTS	AD	AREA DRAIN
	CENTERLINE	ANC	ANCHOR
	EASEMENT LINE	B/SBL	BUILDING SETBACK LINE
	SS SANITARY SEWER LINE	C&G	CURB AND GUTTER
	SD STORM DRAIN LINE	CB	CATCH BASIN
	OH OVERHEAD POWER LINE	CO	CLEAN OUT
	WOOD FENCE	DW	DRIVEWAY
		EB	ELECTRIC BOX
		EM	ELECTRIC METER
		EP	EDGE OF PAVEMENT
		FH	FIRE HYDRANT
		CA	CUY ANCHOR
		GM	GAS METER
		GV	GAS VALVE
		IV	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
	POWER POLE	P.U.E.	PUBLIC UTILITY EASEMENT
		P	BRICK CONC PILLAR
		PP	POWER POLE
		(R)	RADIAL BEARING
		SL	STREET LIGHT
		SDMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TC D	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VC	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

DISCLAIMER:
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

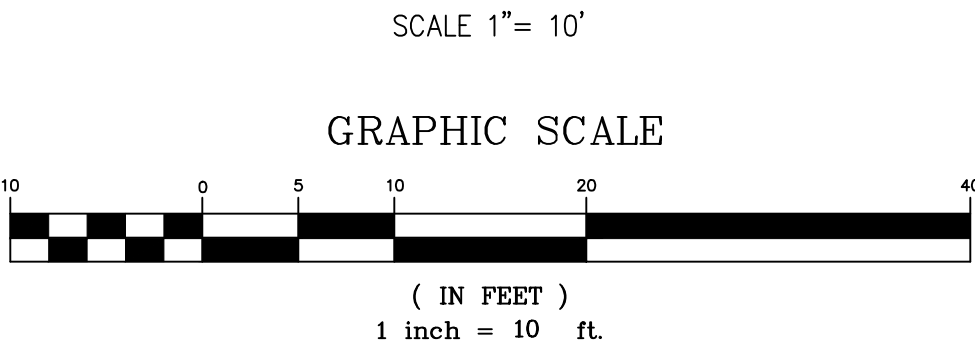
NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
THE BEARING N 01°2'35" E OF CENTERLINE OF ORANGE AVE.
AS SHOWN ON RECORD OF SURVEY MAP, RECORDED IN BOOK 532 OF MAPS, AT PAGE 17, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

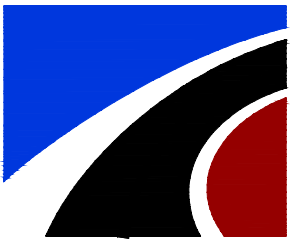
REFERENCED ASSUMED BENCHMARK:
TOP OF SANITARY SEWER MANHOLE LOCATED AT SAN FERNANDO AVE.,
IN FRONT OF PROPERTY EL: 109.21'

NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. THE GROSS AREA OF LAND OF RECORD IS 9,966 SQ. FT. ±.
3. THE MAP WAS BASED ON A GRANT DEED DOC.# 20053885 DATED 11/25/2008 RECORDED IN SANTA CLARA COUNTY.
4. ALL EXISTING BUILDINGS ARE WOOD.
5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.



21865 San Fernando Avenue
Cupertino
APN: 357-15-043



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CIVIL ENGINEERS—LAND SURVEYORS

1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755



BOUNDARY
TOPOGRAPHIC SURVEY MAP

Sheet No: 1-1

◆	REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF CUPERTINO