

GENERAL NOTES

- A VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
- B DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
- C DISCREP-ANCIES MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
- D CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

FIRE DEPT. COMMENTS

- AN AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 EDITION (TO BE A DEFERRED SUBMITTAL)
- THE PROPOSED DRIVEWAY SURFACE SHALL BE ABLE TO SUPPORT AN IMPOSED LOAD OF 75,000 POUNDS
- THE FIRE TRUCK TURNAROUND SHALL BE KEPT CLEAR AT ALL TIMES
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF THE PROJECT & TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR
- NEW BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S17.

PROPERTY DESCRIPTION

OWNER MICHAL & ZURI BARNIV

ADDRESS 21650 RAINBOW COURT
CUPERTINO, CA 95014

PARCEL 366 - 38 - 007

ACREAGE 0.90 acres

ZONING RHS - 21

OCCUPANCY R - 3 / U

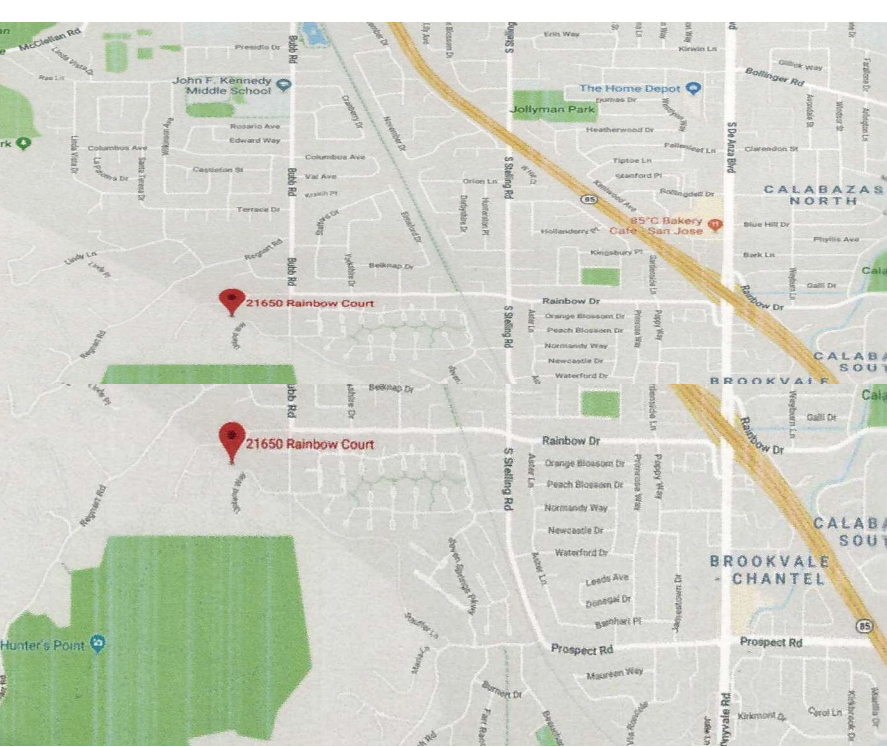
CONSTR. TYPE V - B

PROJECT DESCRIPTION CONSTRUCTION OF A NEW 2-STORY RESIDENCE WITH AN ATTACHED GARAGE

SITE PLAN NOTES

- 1 DRIVEWAY (N) PER PLAN & CIVIL SHEETS
- 2 FLATWORK AS PER PLAN
- 3 GRADING SEE PLANS BY OTHERS
- 4 DRAINAGE SEE PLANS BY OTHERS
- 5 STORM DRAINAGE DOWNSPOUTS CONNECTED TO STORM PIPES
- 6 SEWER LATERAL T.B.D.
- 7 GAS & ELEC SERVICE T.B.D.
- 8 SETBACKS AS PER PLAN
- 9 TREES PROTECT (E) DURING CONSTRUCTION
- 10 FENCES T.B.D.
- 11 LANDSCAPE SEE PLANS BY OTHERS

VICINITY MAP



CONSULTANT DIRECTORY

SURVEYOR GKM ENGINEERING
236 N. SANTA CRUZ BLVD., Ste. 208D
LOS GATOS, CA 95030
(408) 666-6917

SOILS ENGINEER FOUNDATION ENGINEERING CONSULTANTS, INC.
3984 WASHINGTON AVE., #236
FREMONT, CA 94538
(510) 371-5019

CIVIL ENGINEER GREEN CIVIL ENGINEERING
204 E. 2nd AVE., # 820
SAN MATEO, CA 94401
(510) 368-9863

STRUCTURAL ENGINEER T.B.D.

ENERGY CONSULTANT T.B.D.

LANDSCAPE ARCHITECT W. JEFFREY HEID
6179 ONEIDA DR.
SAN JOSE, CA 95123
(408) 691-5207

SHEET INDEX

ARCHITECTURAL SHEETS

A - 1 SITE PLAN & COVER SHEET

A - 1A SITE SECTION A - A & B - B & C - C

A - 1B FLOOR AREA CALCULATIONS

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A - 3 PROPOSED LOWER FLOOR PLAN

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CIVIL SHEETS

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C2 GRADING & DRAINAGE PLAN & DETAILS

C3 DRIVEWAY PROFILE, ISOMETRIC DRAWING & DECTION

LANDSCAPE SHEETS

L1 CONCEPTUAL LANDSCAPE PLAN

L2 CONCEPTUAL LEGEND

1 of 1 TOPOGRAPHIC SURVEY

TABULATIONS

SEE CALCULATIONS ON SHEET A - 1B

COVERAGE & F.A.R.

	SITE PLAN	32,211.12 (Net)	SQ. FT. =	0.776 acres
COV:	ALLOWABLE	-	SQ. FT. =	
	EXISTING	-	SQ. FT. =	
	PROPOSED	-	SQ. FT. =	
FAR:	ALLOWABLE	4,077.00	SQ. FT. =	12.657 %
	EXISTING	-	SQ. FT. =	
	PROPOSED	4,075.62	SQ. FT. =	12.652 %

AVERAGE SLOPE

$(1 - [1.5 \times (0.299782 - 0.1)]) = 0.700327$

MAXIMUM ALLOWABLE FLOOR AREA CALCULATION

$(4,500 + [59.5 \times (32,211.12 - 10,000)]) \times 0.700327 = 4,076.99 \text{ s.f.}$
1,000

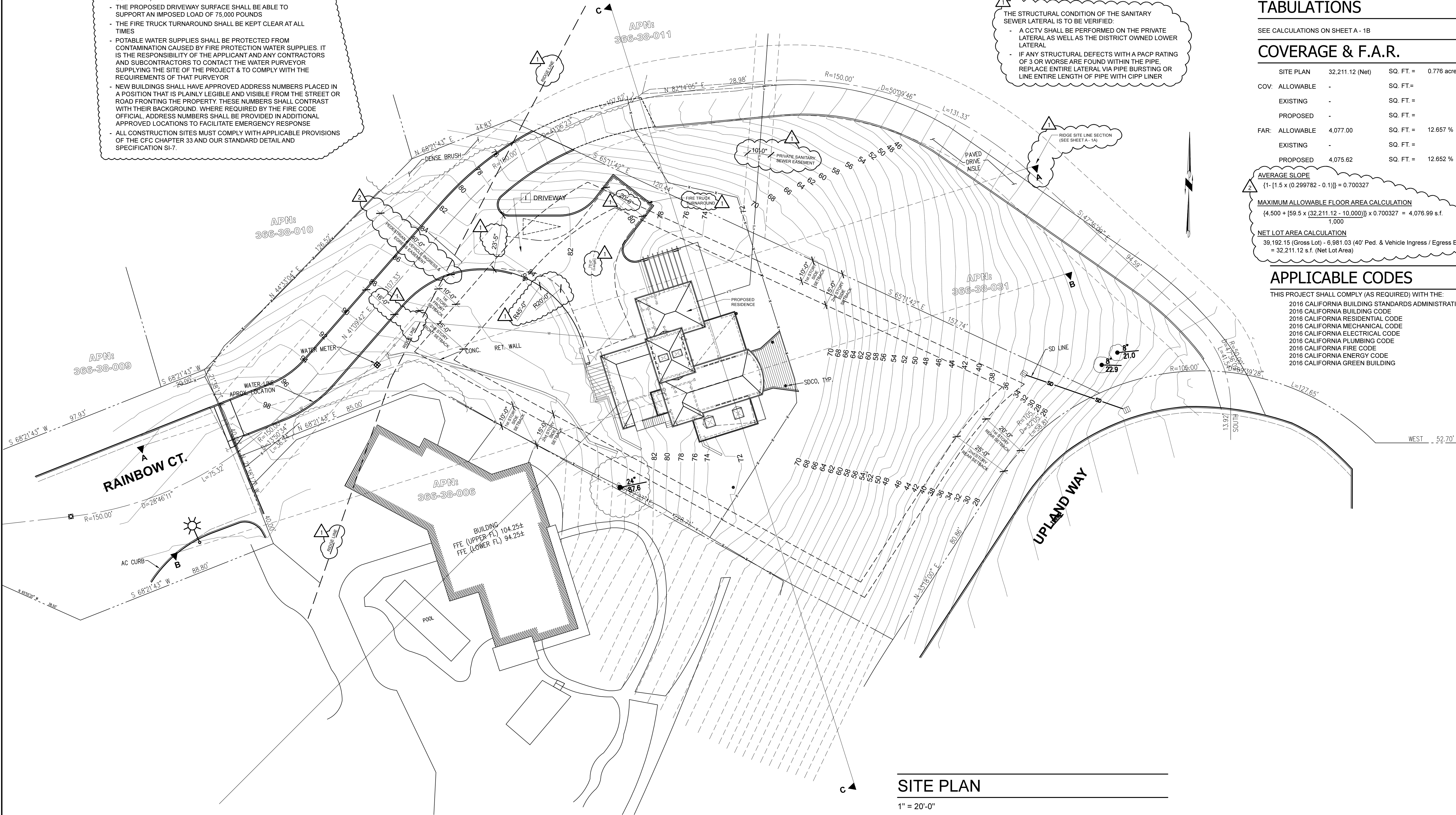
NET LOT AREA CALCULATION

$39,192.15 \text{ (Gross Lot)} - 6,981.03 \text{ (40' Ped. & Vehicle Ingress / Egress Easement)} = 32,211.12 \text{ s.f. (Net Lot Area)}$

APPLICABLE CODES

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:

- 2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING



SITE PLAN

1" = 20'-0"

* NOTE

01-17-19	DESIGN REVIEW COMMENTS
03-26-19	DESIGN REVIEW COMMENTS (ROUND 2)

JOB SITE ADDRESS

21650 RAINBOW COURT
CUPERTINO, CA 95014

CLIENT (JOB No. 21818)

MICHAL & ZURI BARNIV

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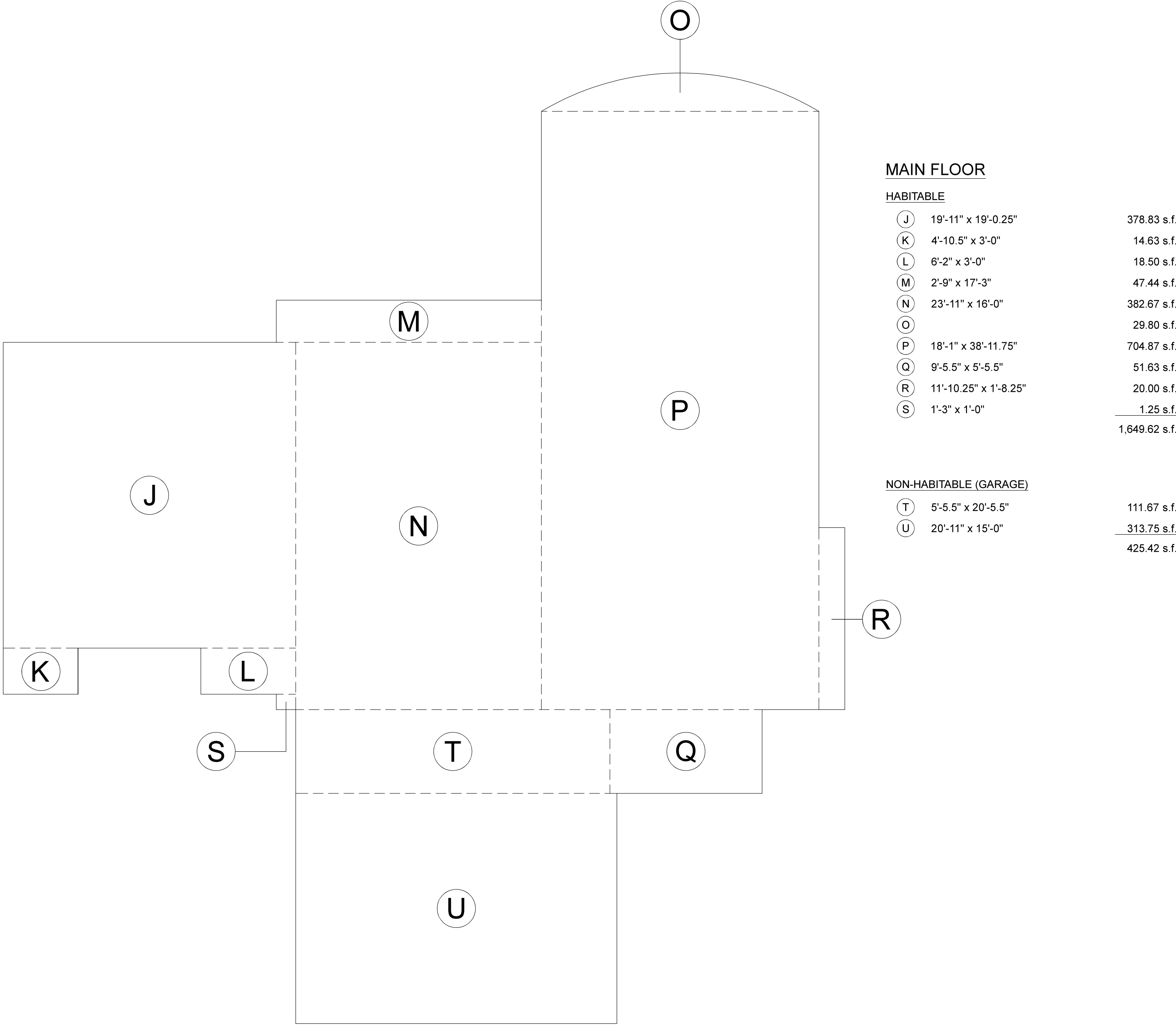
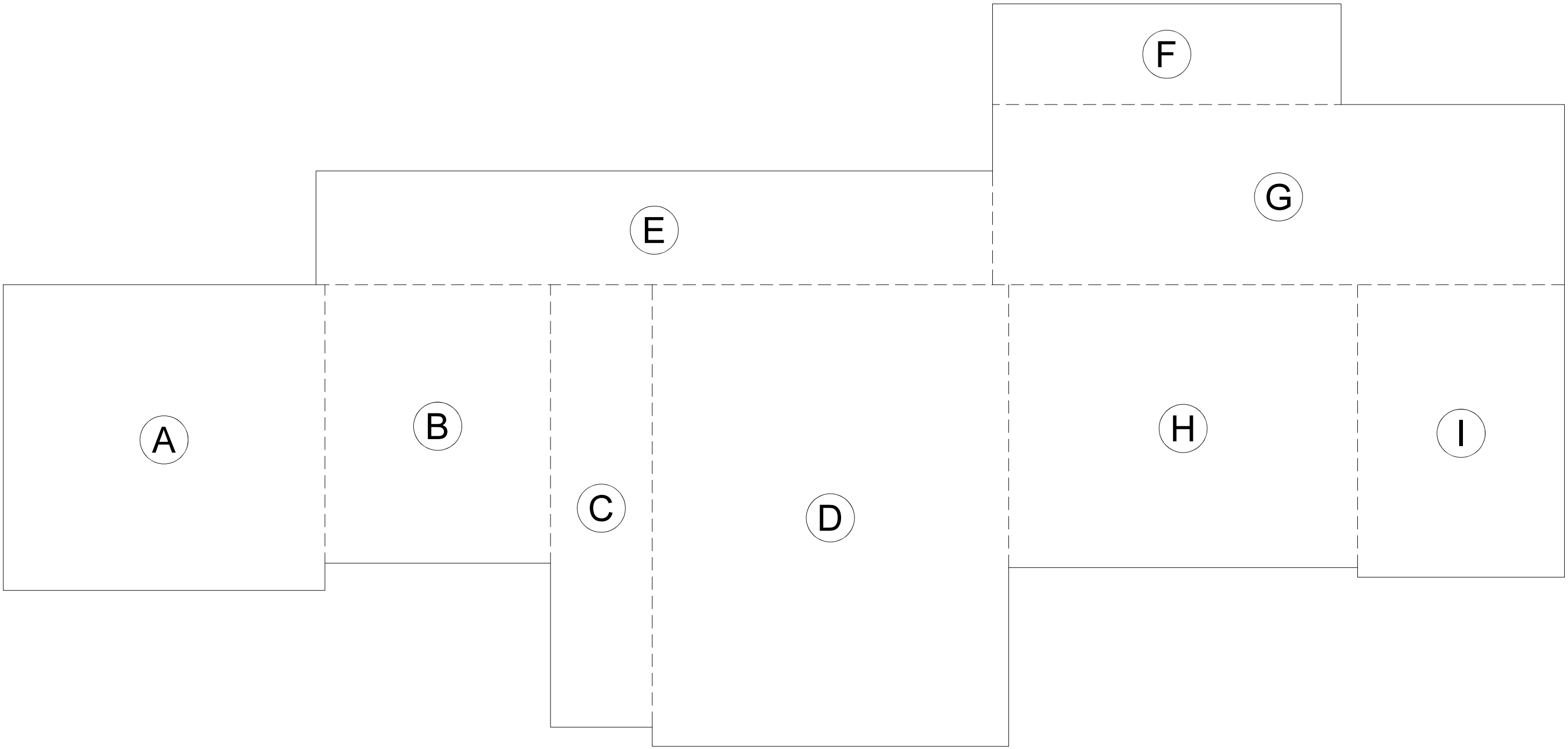
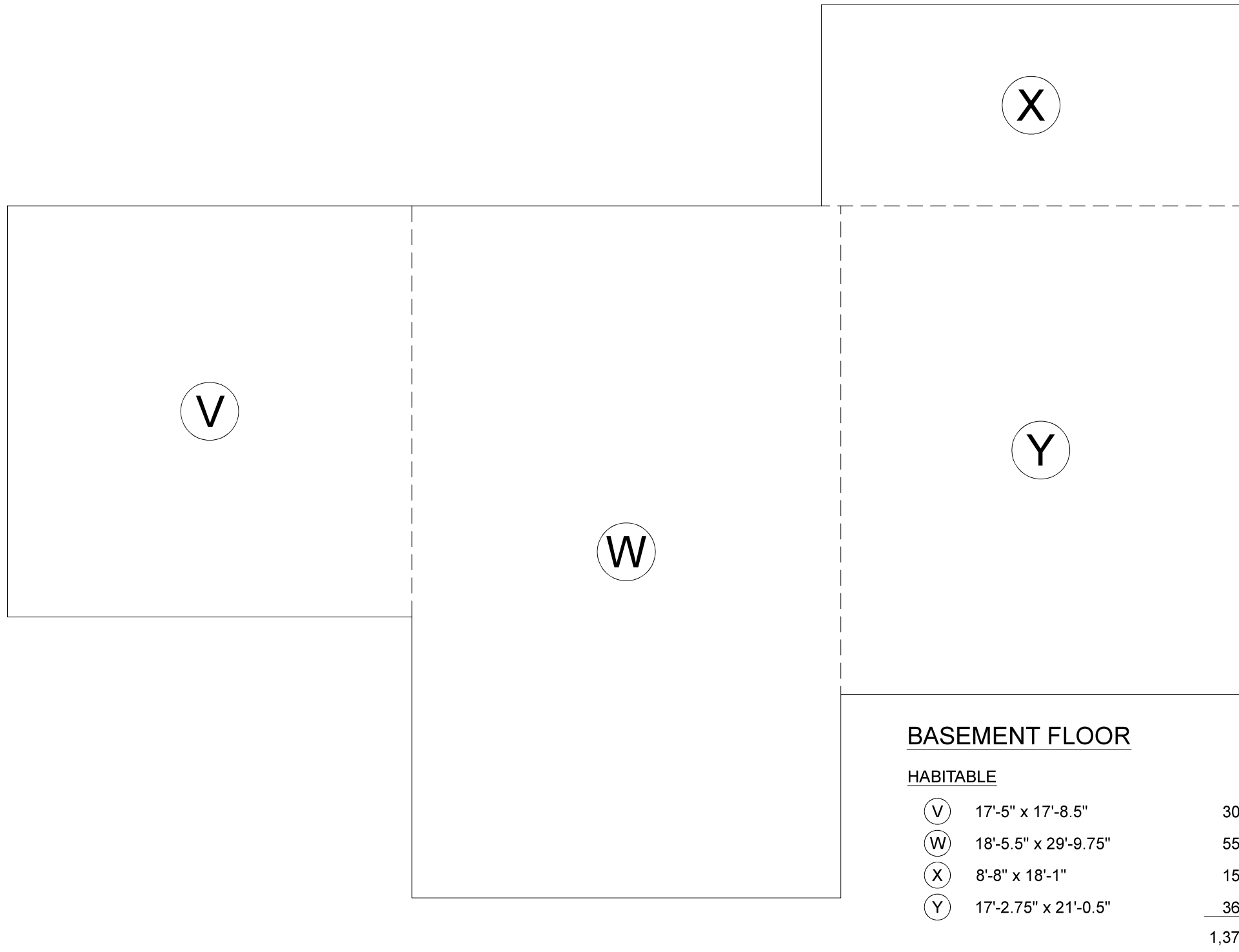
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CHAPMAN
DESIGN
ASSOCIATES

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SHEET

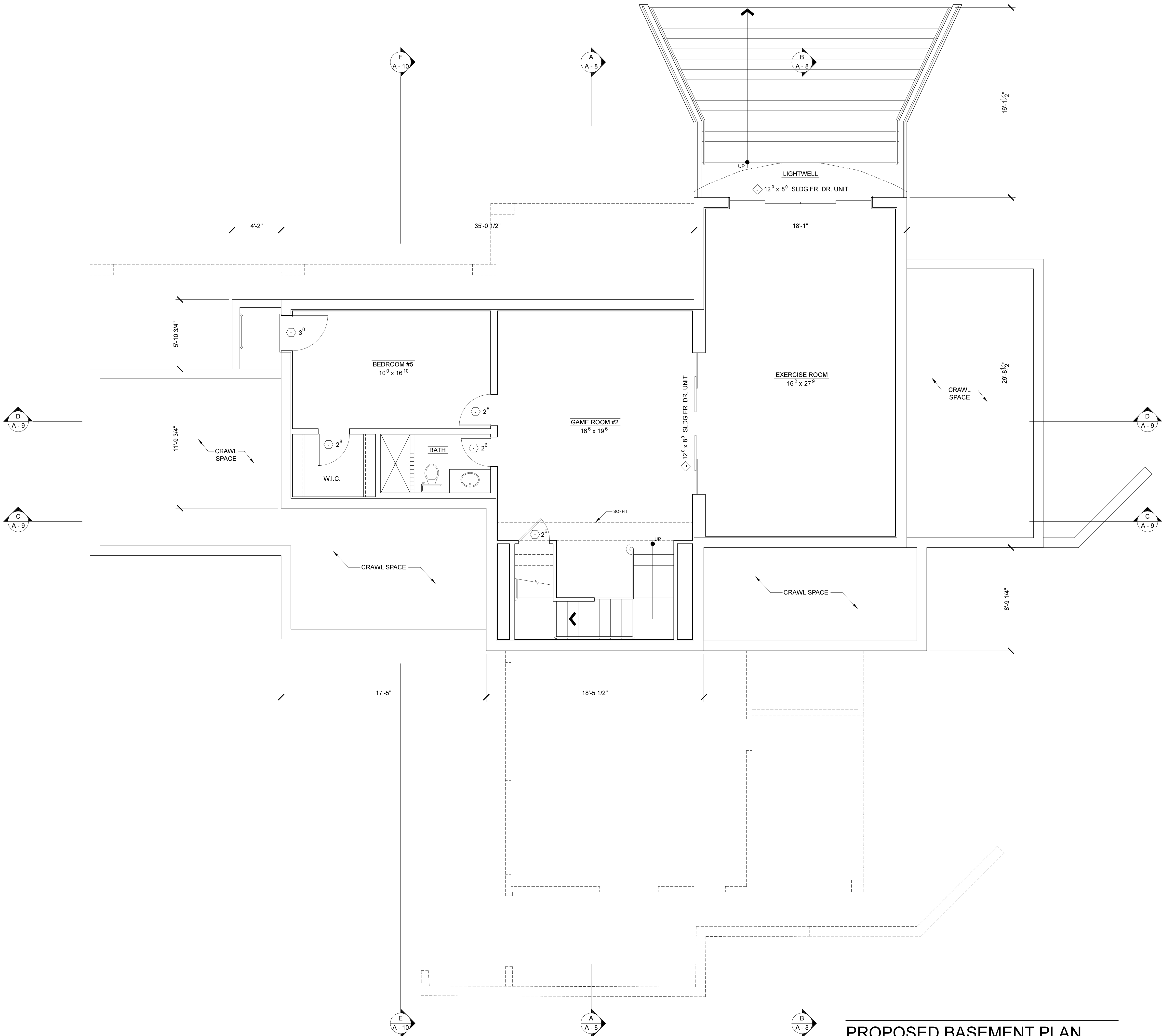
A - 1



FLOOR AREA DIAGRAMS

3/16" = 1'-0"

03-26-19	DESIGN REVIEW COMMENTS (ROUND 2)



PROPOSED BASEMENT PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2016
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.586. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2016. USEABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS.
- IV GUARDRAILS DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2016. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2016. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE DESIGN SHALL CONFORM TO CH. 10 CRC 2016, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2016 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2016
- VIII FIRE BLOCKS PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2016
- IX WATER CLOSETS PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2016 CPC)
- X SHOWERS ALL SHOWERS SHALL CONFORM TO SECTION R307 2016 CRC
- XI WATER ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2016 CPC) SHALL CONFORM TO SEC. 402, 2016 CPC

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- # WINDOW. SEE "WINDOW SCHEDULE" ON SHEET (A -) FOR FURTHER SPECIFICATIONS
- # DOOR. SEE "DOOR SCHEDULE" ON SHEET (A -) FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- R RELOCATED

* NOTE

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21650 RAINBOW COURT
CUPERTINO, CA 95014

CLIENT (JOB No. 21818)

MICHAL & ZURI BARNIV

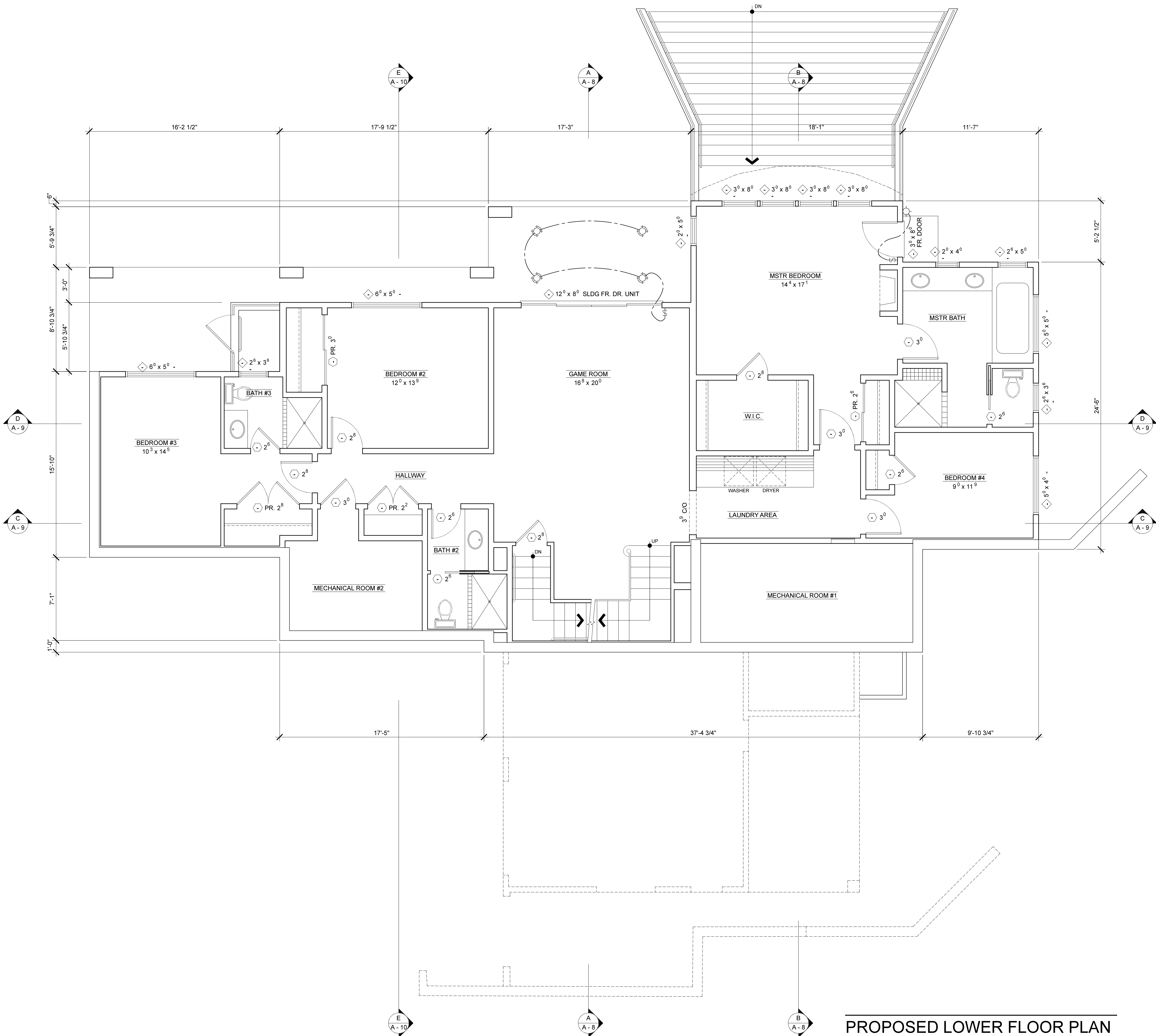
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SHEET

A - 2



PROPOSED LOWER FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

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 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.586. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 5/8" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
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SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

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- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- R RELOCATED

NOTE

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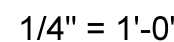
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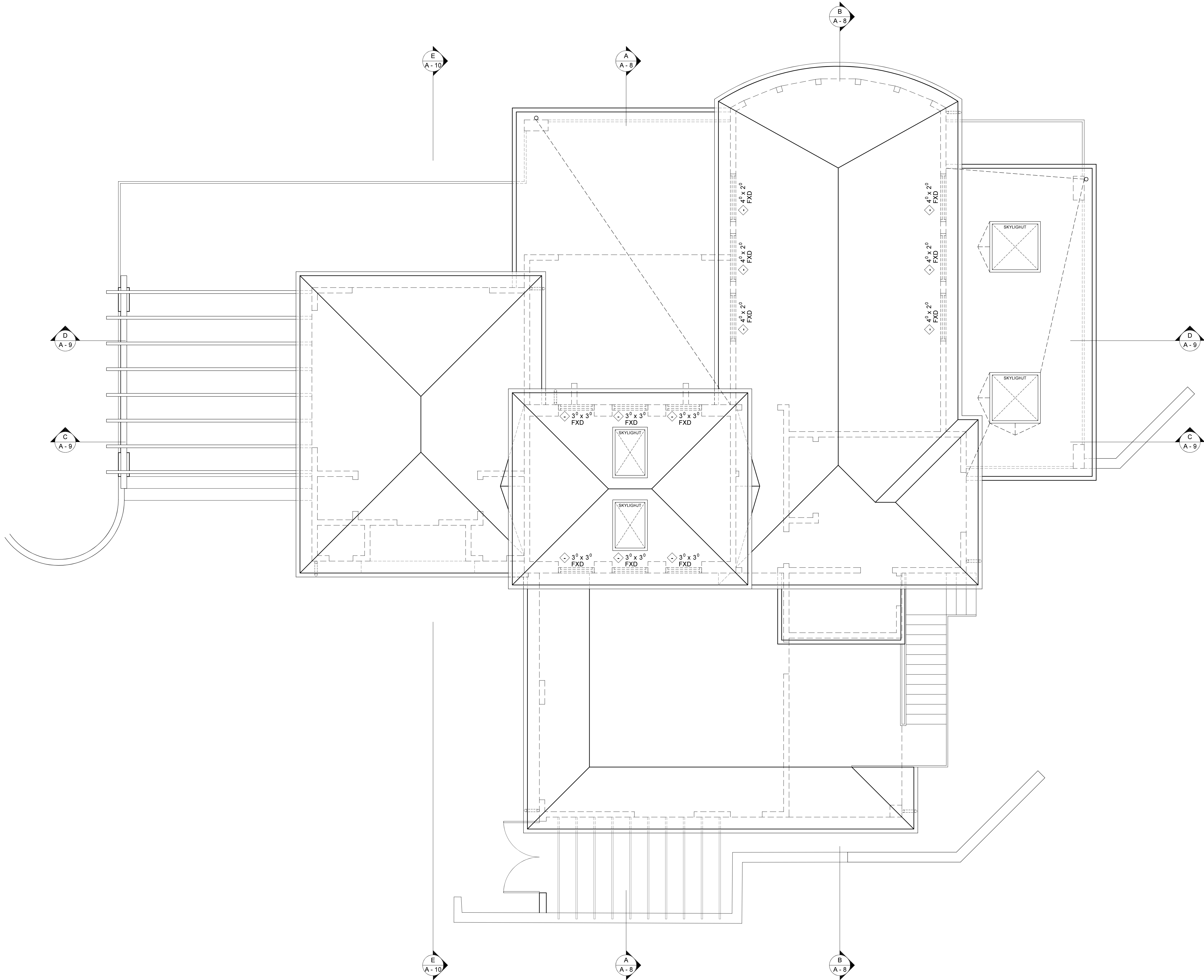
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

SHEET

A - 3



A - 4



ROOF PLAN

1/4" = 1'-0"

GENERAL NOTES

- I ROOF JACKS WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II VALLEY FLASHING 24 GA. G.I. "L" FLASHING @ ALL VALLEYS
- III CRICKET FLASHING 24 GA. G.I. OVER 1/8" D.F. CDX PLYWOOD (OR BETTER) - 3/4" MIN. SLOPE
- IV ATTIC VENTILATION PROVIDE ATTIC VENTILATION AS OUTLINED IN SEC. R806.2, 2016 CRC
- V FIREPLACE & CHIMNEY DESIGN AND CONSTRUCTION TO FOLLOW PARAMETERS AS OUTLINED IN CHAPTER 10 OF THE 2016 CRC

ROOF PLAN NOTES

- 1 ROOFING
- 2 GUTTERS
- 3 DOWN SPOUTS
- 4 SKYLIGHTS

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SHEET

A - 5

GENERAL NOTES

- I STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2016)
- II FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2016. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- III CHIMNEY BRACING AS PER CH. 10 CRC 2016
- IV SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2016
- IV TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2016

EXTERIOR MATERIAL NOTES

- 1 ROOFING LIGHT WEIGHT SPANISH CONCRETE TILE
- 2 GUTTER HALF ROUND, BRONZED ANODIZED
- 3 DOWN SPOUTS ROUND, BRONZE ANODIZED
- 4 SIDING N/A
- 5 TRIM N/A
- 6 STUCCO SAND FINISH
- 7 VENEER THIN SET STONE APPLIED *of* STUCCO SCRATCH COAT
- 8 WINDOWS DUAL GLAZED, ALUMINUM CLAD WOOD CASEMENT
- 9 WINDOW TRIM STUCCO RETURN INTO RECESSED WINDOWS @ FRONT. MFG STUCCO SCREED @ SIDES & REAR
- 10 SKYLIGHTS "WASCO" SKYLIGHTS OR EQUIVALENT (ICC # ESR-3526)
- 11 CHIMNEY N/A

LEGEND

- # WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- # DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS



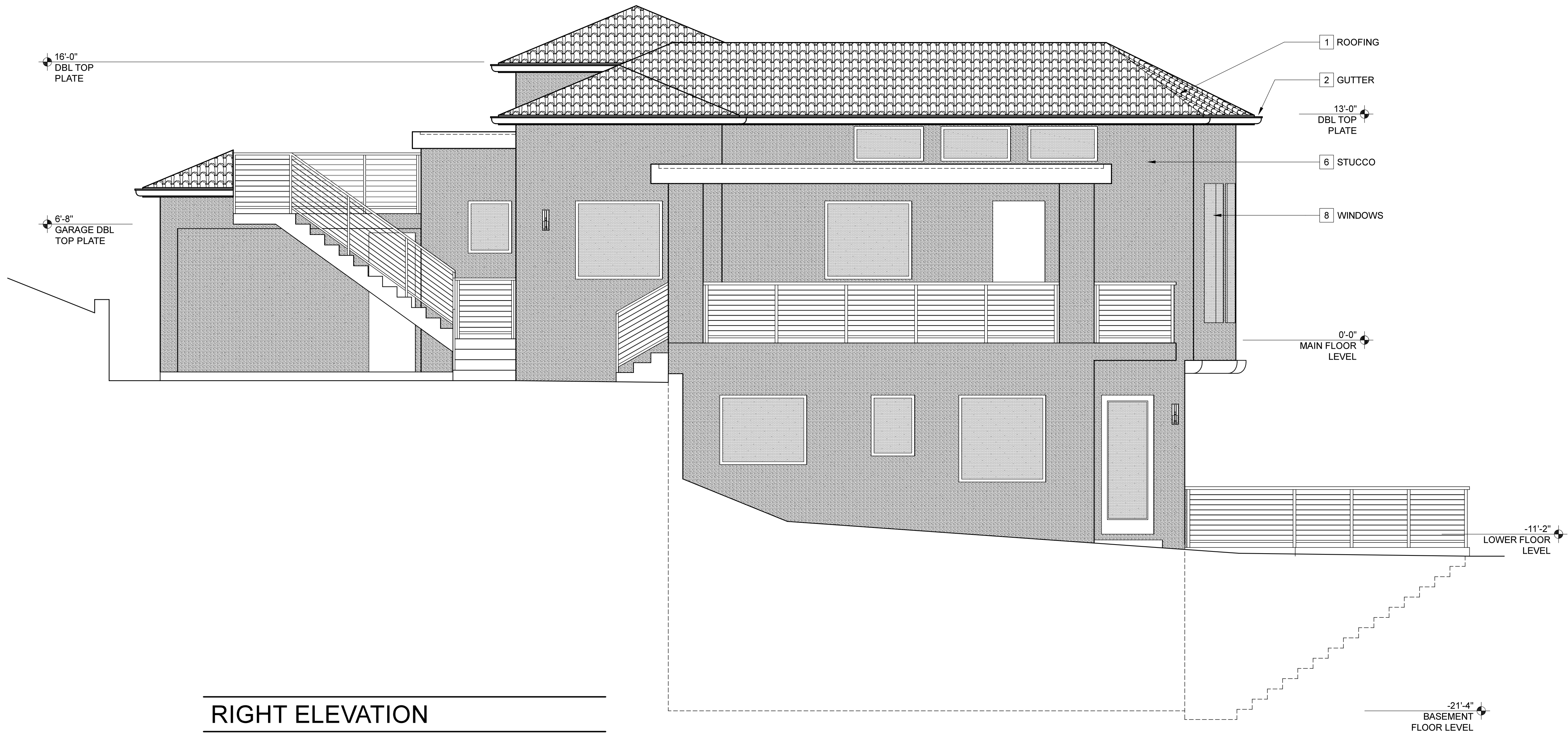
FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

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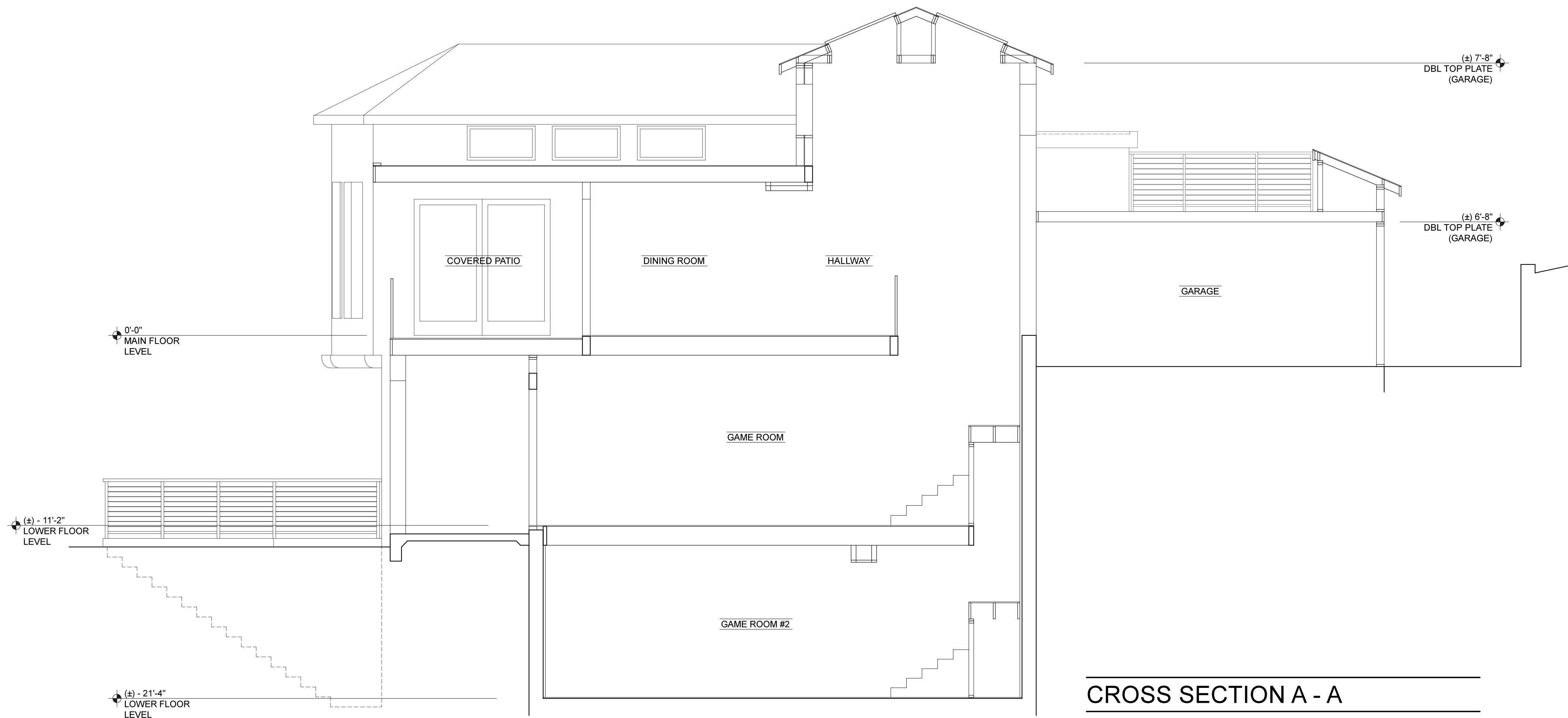
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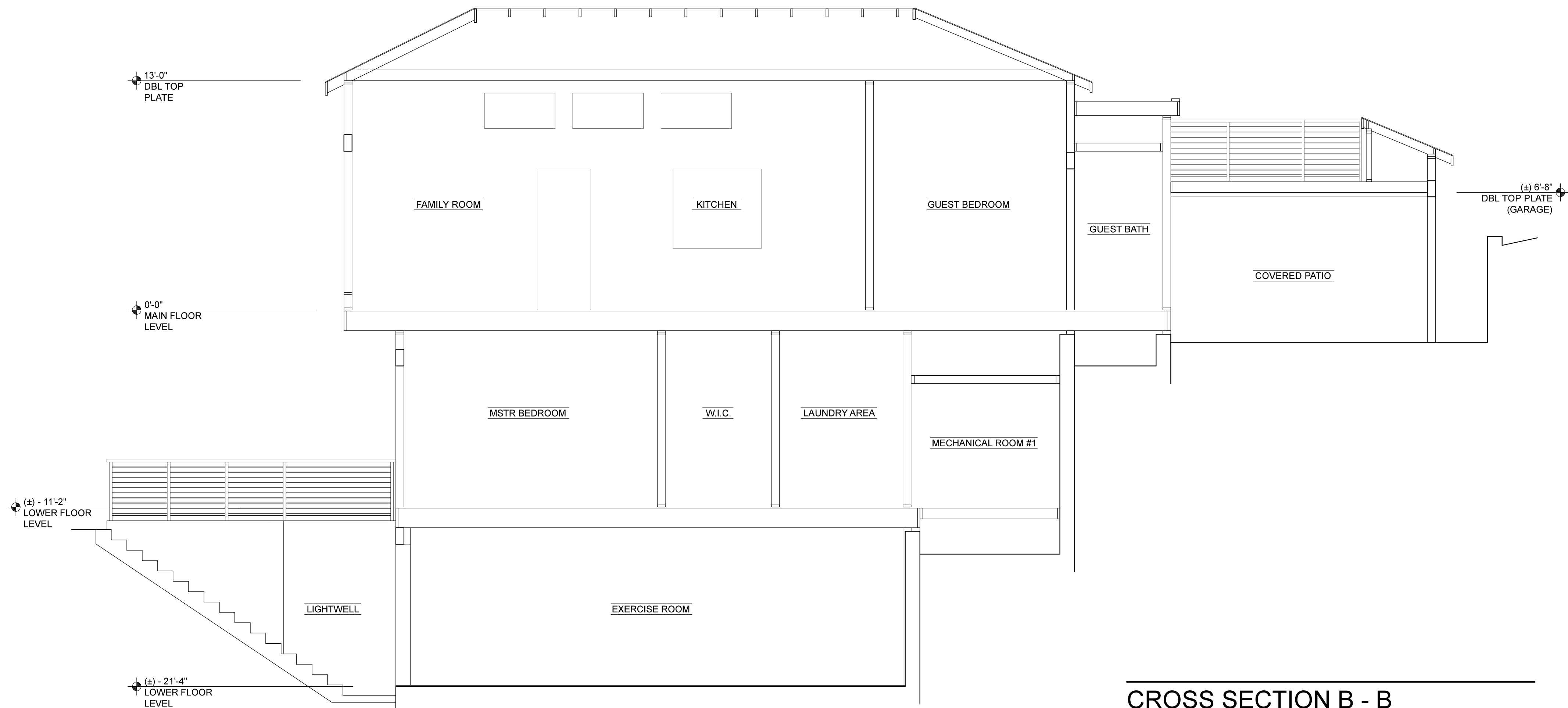
SHEET

A - 7



CROSS SECTION A - A

1/4" = 1'-0"



CROSS SECTION B - B

1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK BOTH SIDES, TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK, TYPICAL U.O.N.

*
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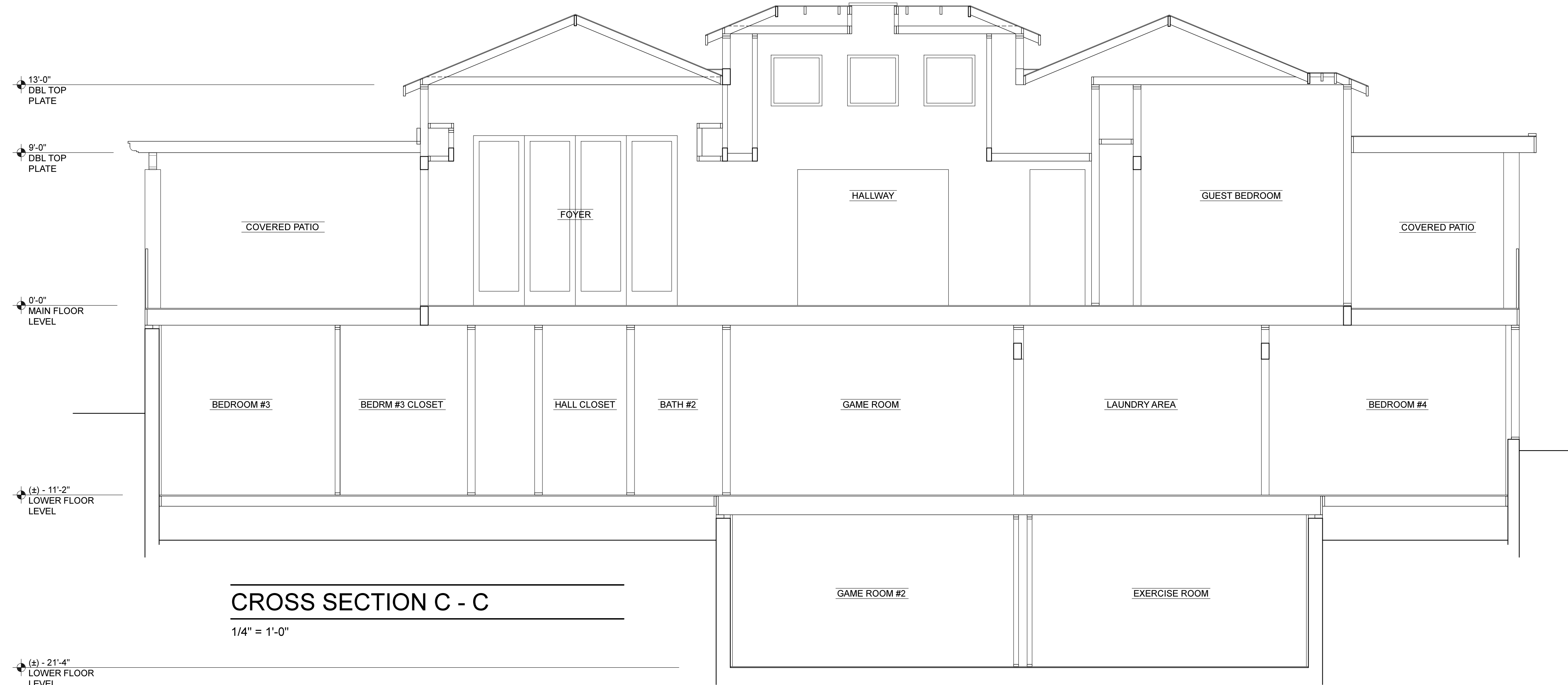
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ASSOCIATES

620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

SHEET

A - 8



CROSS SECTION C - C

1/4" = 1'-0"



CROSS SECTION D - D

1/4" = 1'-0"

SECTION NOTES

- 1 ROOF** ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 2 CEILING @ ATTIC** CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL** EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL** 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK BOTH SIDES, TYPICAL U.O.N.
- 5 FLOOR** FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 FLOOR w/ CEILING** FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK, TYPICAL U.O.N.

NOTE

* THE DRAWING AND THE IDEAS, DESIGNS, PLANS AND SPECIFICATIONS CONTAINED WITHIN ARE THE PROPERTY OF CHAPMAN DESIGN ASSOCIATES AND DEVELOPED FOR THE EXCLUSIVE USE OF THE CLIENT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF CHAPMAN DESIGN ASSOCIATES.

JOB SITE ADDRESS

21650 RAINBOW COURT
CUPERTINO, CA 95014

CLIENT (JOB No. 21818)

MICHAL & ZURI BARNIV

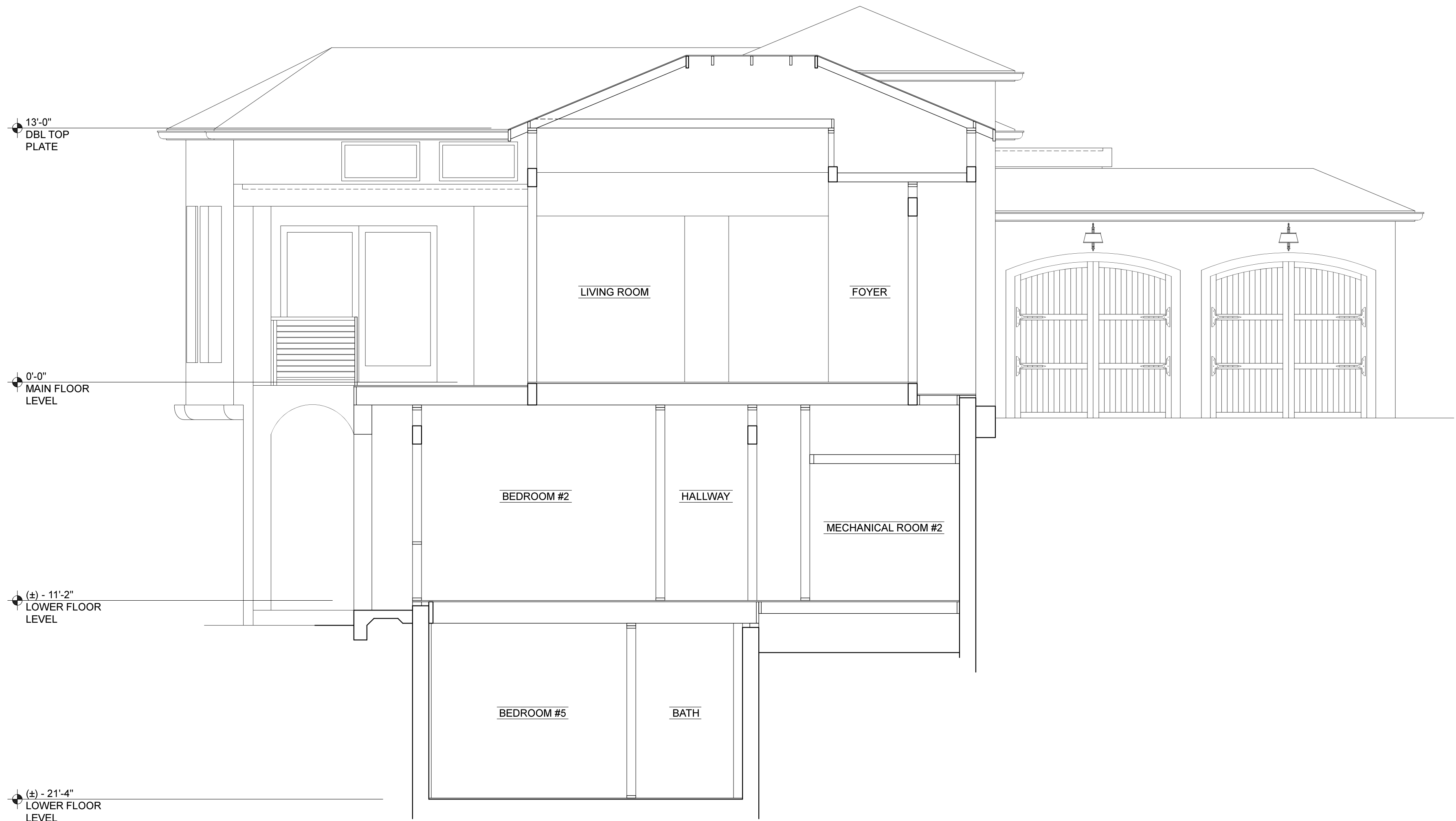
MAILING ADDRESS
10668 CARVER DRIVE, CUPERTINO, CA 95014
PHONE No. (408) 331-9967

CHAPMAN DESIGN ASSOCIATES

620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

SHEET

A - 9



CROSS SECTION E - E

1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
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- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK, TYPICAL U.O.N.

NOTE
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JOB SITE ADDRESS

21650 RAINBOW COURT
CUPERTINO, CA 95014

CLIENT (JOB No. 21818)

MICHAL & ZURI BARNIV

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PHONE No. (408) 331-9967

CHAPMAN
DESIGN
ASSOCIATES

620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

SHEET

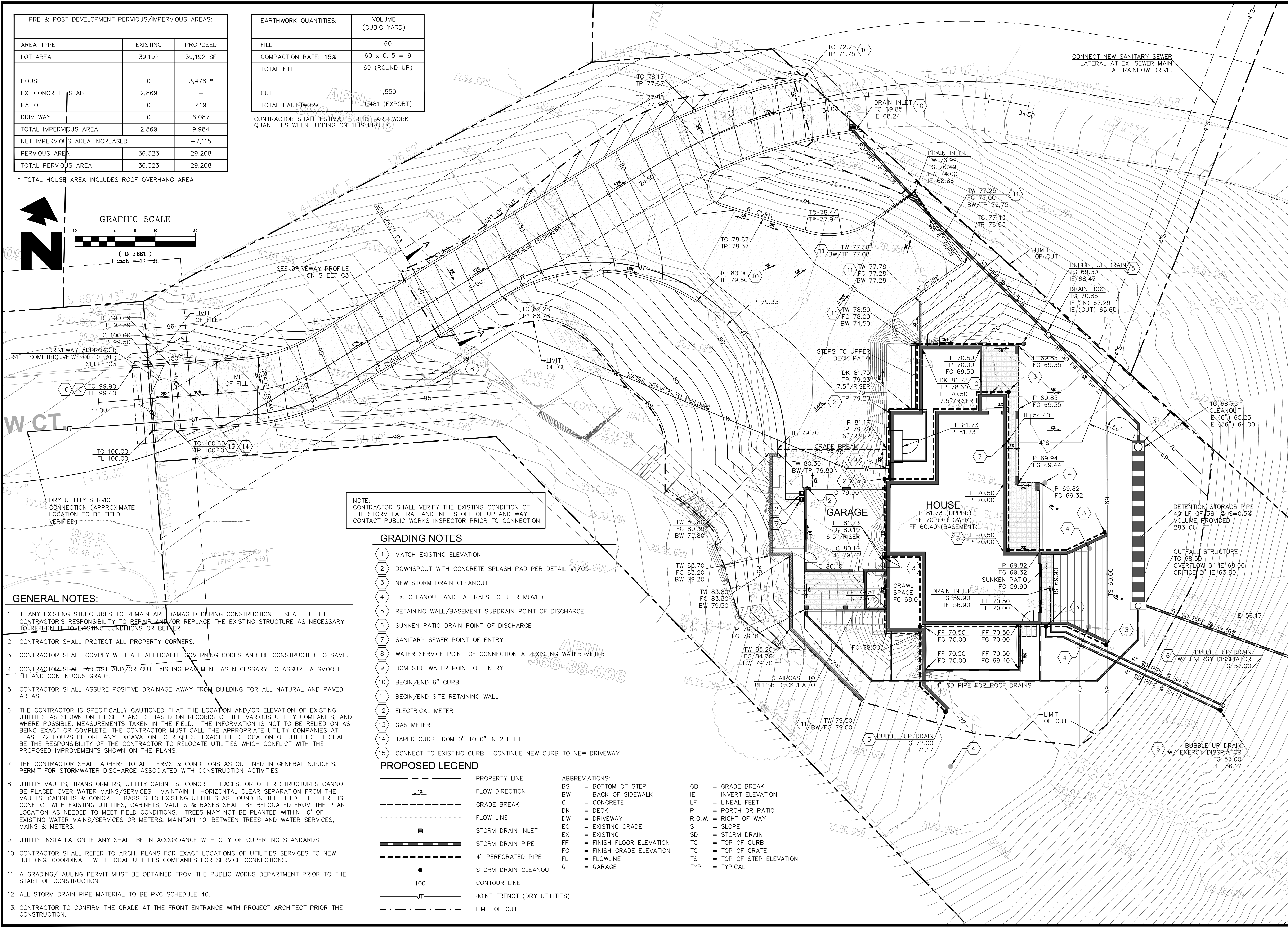
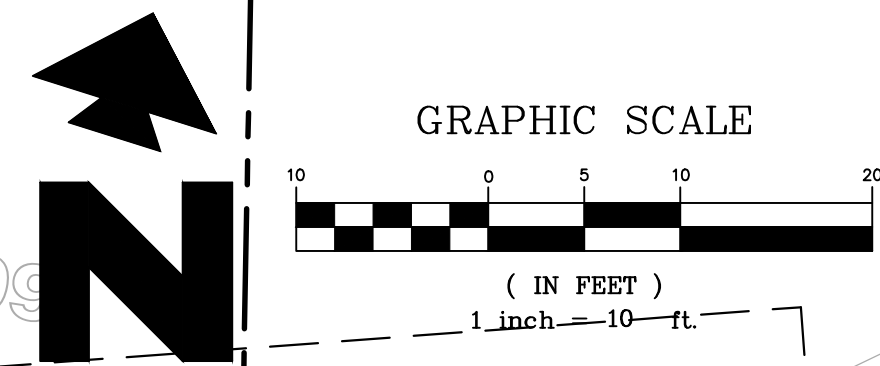
A - 10

PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:		
AREA TYPE	EXISTING	PROPOSED
LOT AREA	39,192	39,192 SF
HOUSE	0	3,478 *
EX. CONCRETE SLAB	2,869	-
PATIO	0	419
DRIVEWAY	0	6,087
TOTAL IMPERVIOUS AREA	2,869	9,984
NET IMPERVIOUS AREA INCREASED		+7,115
PERVIOUS AREA	36,323	29,208
TOTAL PERVIOUS AREA	36,323	29,208

* TOTAL HOUSE AREA INCLUDES ROOF OVERHANG AREA

EARTHWORK QUANTITIES:	VOLUME (CUBIC YARD)
FILL	60
COMPACTION RATE: 15%	60 x 0.15 = 9
TOTAL FILL	69 (ROUND UP)
CUT	1,550
TOTAL EARTHWORK	1,481 (EXPORT)

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT.



NOTE:
CONTRACTOR SHALL VERIFY THE EXISTING CONDITION OF THE STORM LATERAL AND INLETS OFF OF UPLAND WAY. CONTACT PUBLIC WORKS INSPECTOR PRIOR TO CONNECTION.

GRADING NOTES

- 1 MATCH EXISTING ELEVATION.
- 2 DOWNSPOUT WITH CONCRETE SPLASH PAD PER DETAIL #1/C5
- 3 NEW STORM DRAIN CLEANOUT
- 4 EX. CLEANOUT AND LATERALS TO BE REMOVED
- 5 RETAINING WALL/BASEMENT SUBDRAIN POINT OF DISCHARGE
- 6 SUNKEN PATIO DRAIN POINT OF DISCHARGE
- 7 SANITARY SEWER POINT OF ENTRY
- 8 WATER SERVICE POINT OF CONNECTION AT EXISTING WATER METER
- 9 DOMESTIC WATER POINT OF ENTRY
- 10 BEGIN/END 6" CURB
- 11 BEGIN/END SITE RETAINING WALL
- 12 ELECTRICAL METER
- 13 GAS METER
- 14 TAPER CURB FROM 0" TO 6" IN 2 FEET
- 15 CONNECT TO EXISTING CURB, CONTINUE NEW CURB TO NEW DRIVEWAY

PROPOSED LEGEND

	PROPERTY LINE	ABBREVIATIONS:		
	FLOW DIRECTION	BS = BOTTOM OF STEP	GB = GRADE BREAK	
	GRADE BREAK	BW = BACK OF SIDEWALK	IE = INVERT ELEVATION	
	FLOW LINE	C = CONCRETE	LF = LINEAL FEET	
	STORM DRAIN INLET	DK = DECK	P = PORCH OR PATIO	
	STORM DRAIN PIPE	DW = DRIVEWAY	R.O.W. = RIGHT OF WAY	
	4" PERFORATED PIPE	EG = EXISTING GRADE	S = SLOPE	
	STORM DRAIN CLEANOUT	EX = EXISTING	SD = STORM DRAIN	
	CONTOUR LINE	FF = FINISH FLOOR ELEVATION	TC = TOP OF CURB	
	JOINT TRENCH (DRY UTILITIES)	FG = FINISH GRADE ELEVATION	TG = TOP OF GRATE	
	LIMIT OF CUT	FL = FLOWLINE	TS = TOP OF STEP ELEVATION	
		G = GARAGE	TYP = TYPICAL	

GENERAL NOTES:

1. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
2. CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
5. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
9. UTILITY INSTALLATION IF ANY SHALL BE IN ACCORDANCE WITH CITY OF CUPERTINO STANDARDS
10. CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
11. A GRADING/HAULING PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO THE START OF CONSTRUCTION
12. ALL STORM DRAIN PIPE MATERIAL TO BE PVC SCHEDULE 40.
13. CONTRACTOR TO CONFIRM THE GRADE AT THE FRONT ENTRANCE WITH PROJECT ARCHITECT PRIOR THE CONSTRUCTION.

REV. DATE DESCRIPTION

GRADING & DRAINAGE PLAN

21650 RAINBOW COURT

CUPERTINO, CA 95014



SCALE

VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

DATE: 11/20/2018

DESIGNED: HCL

DRAWN: HCL

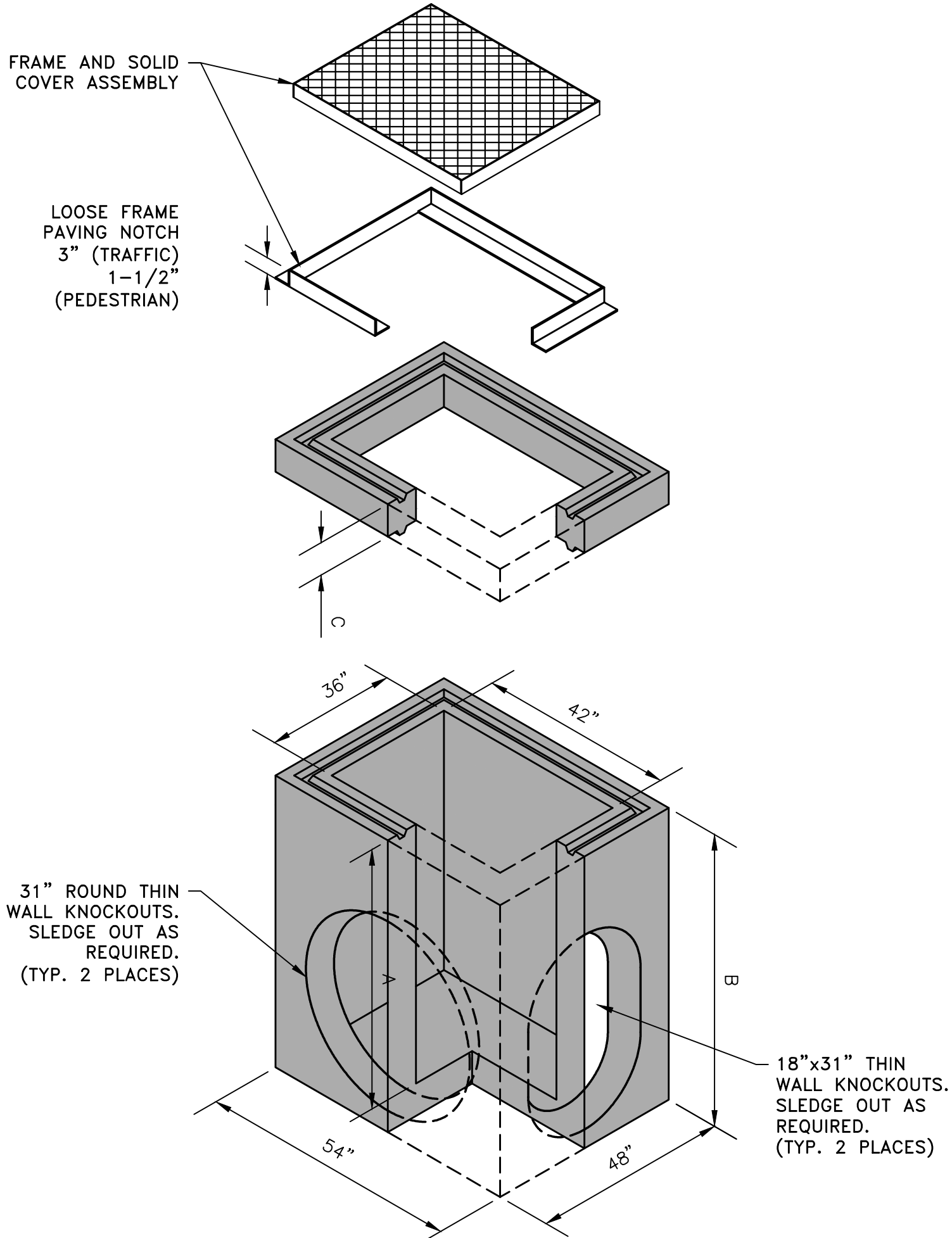
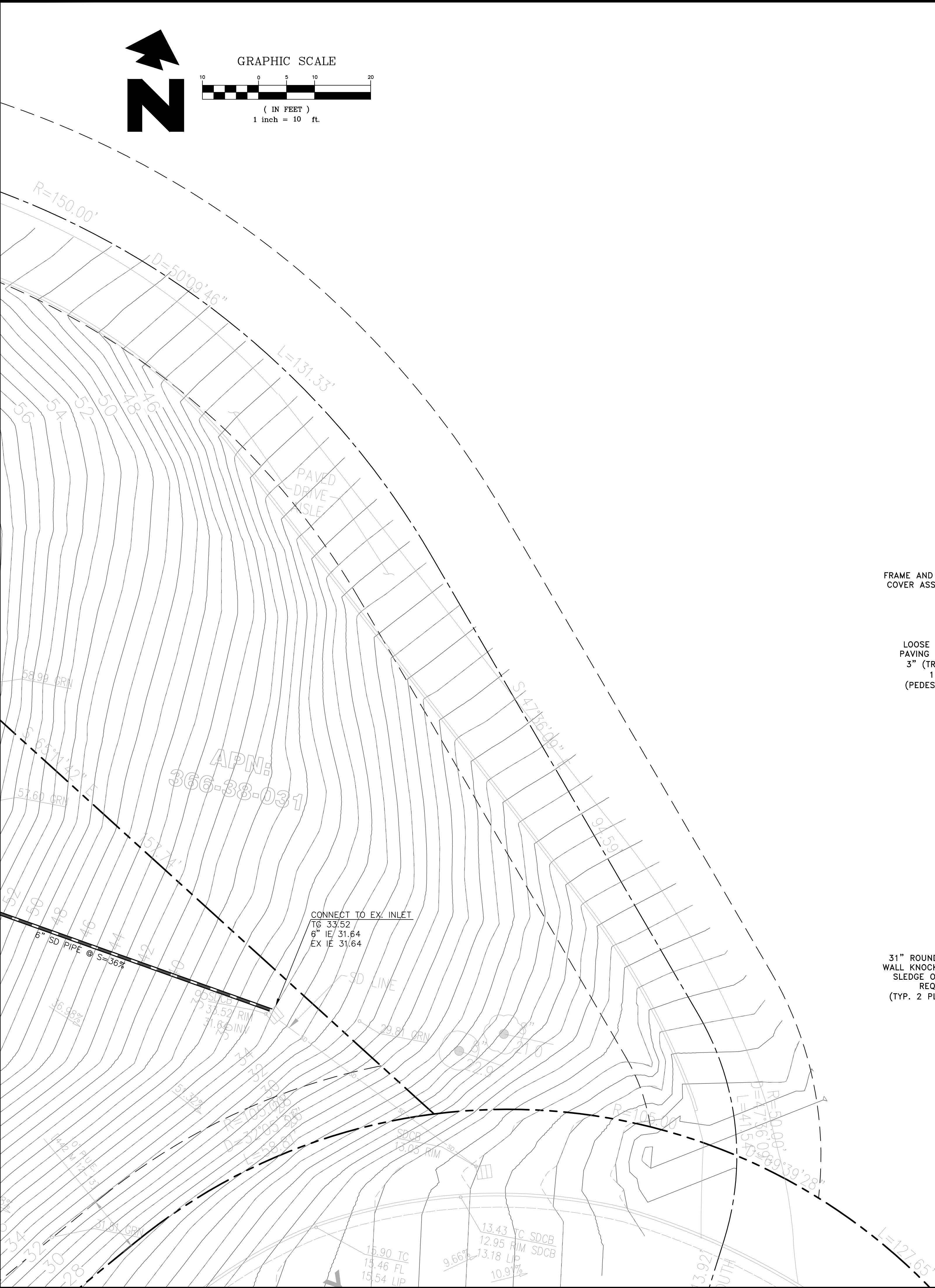
REVIEWED: HCL

JOB NO.: 18201055

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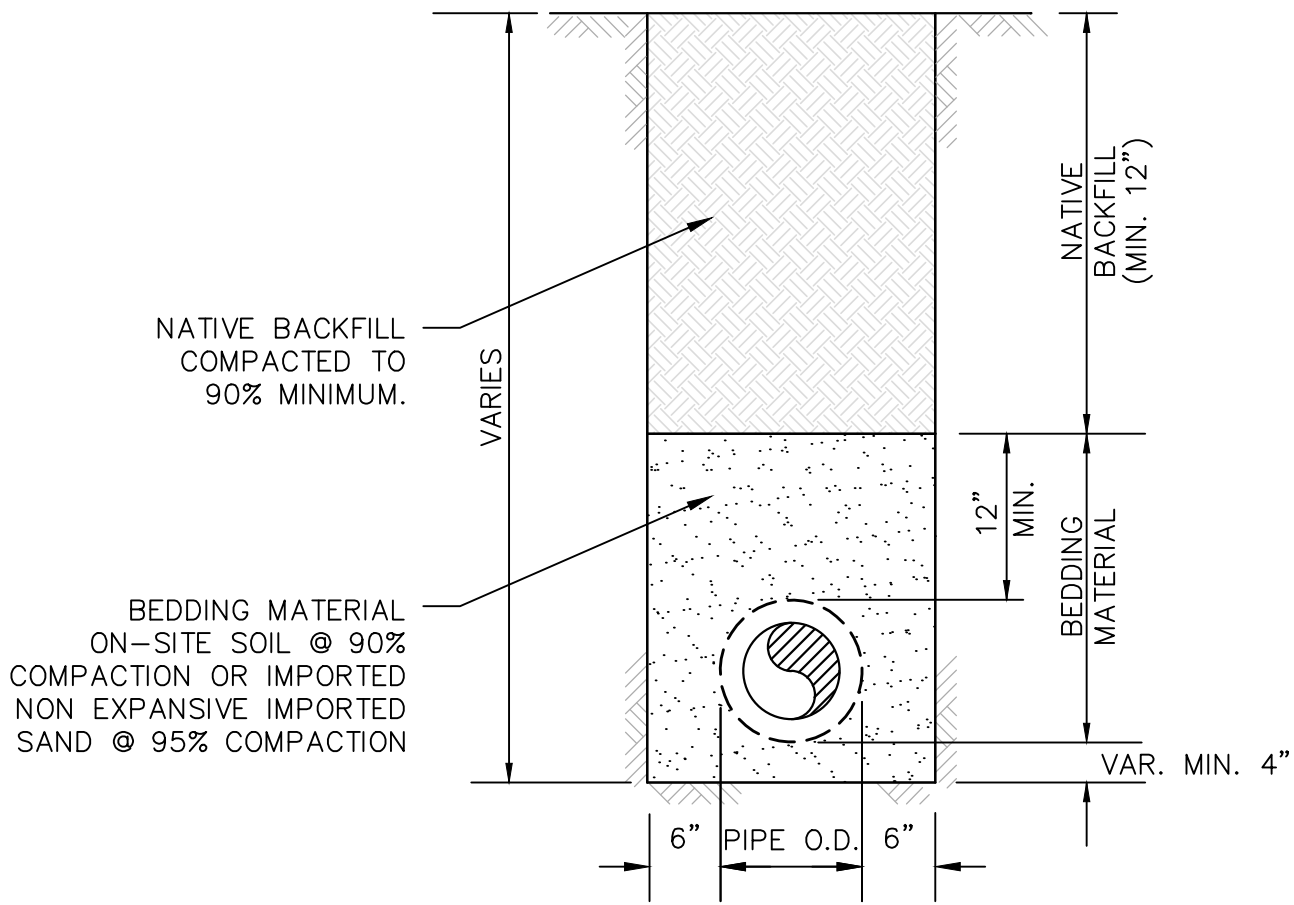
C1

1 OF 3 SHEET



UP TO 6'-0" INSIDE DEPTH			
DROP INLET			
MODEL NO.	A	B	* WEIGHT
DI243636	36"	42"	3028 LBS.
DI243648	48"	54"	3889 LBS.
DI243660	60"	66"	5611 LBS.
DI243672	72"	78"	6472 LBS.

EXTENSION			
MODEL NO.	C	WEIGHT	
RS243606	6"	450	LBS.
RS243612	12"	900	LBS.



NOTE: BEDDING & STRUCTURAL MATERIALS PER GEOTECH RECOMMENDATIONS

UNPAVED TRENCH DETAIL
N.T.S.

STORM DRAIN VOLUME CALCULATION:

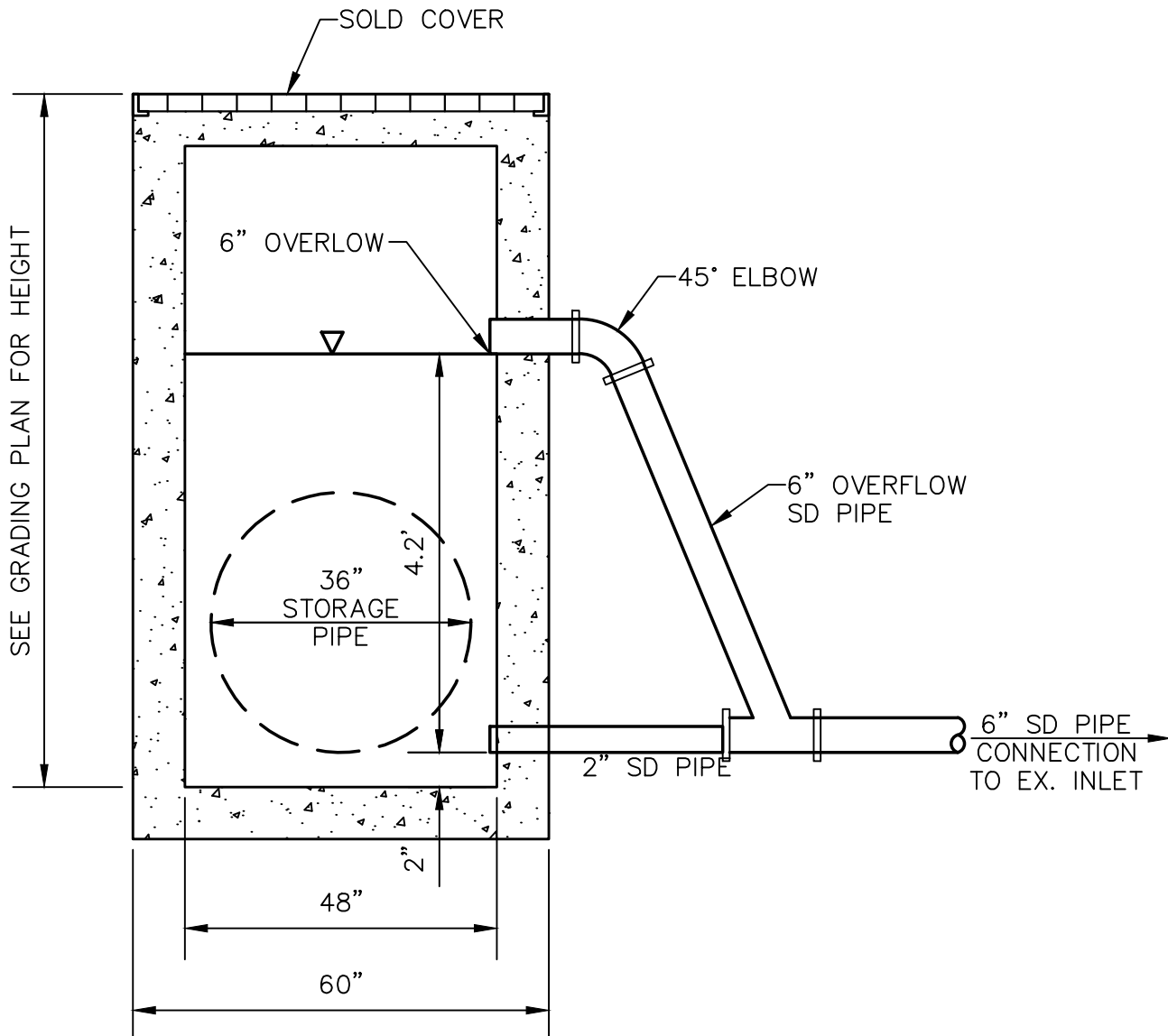
TIME OF CONCENTRATION = 5 MIN
INTENSITY = 10 YEAR = 2.72 IN/HR
IMPERVIOUS AREA INCREASED = 7,115 SF = 0.163 ACRE

PRE-CONDITION
Q=CIA C=0.35
Q=0.30 X 2.72 X 0.163
Q=0.133 CFS

POST-CONDITION
Q=CIA
Q=0.95 X 2.72 X 0.163
Q=0.421 CFS

VOLUME REQUIRED:
V=1.5(Q POST - Q PRE) X 10 MIN
Q=1.5(0.421 - 0.133) X 600
Q=259.20 CF

VOLUME PROVIDED:
V=40 LF X 36"Ø STORAGE PIPE
V=283 CF



OUTFALL STRUCTURE

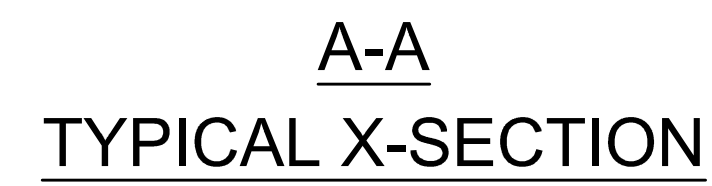
REV.	DATE	DESCRIPTION

GRADING & DRAINAGE PLAN
21650 RAINBOW COURT
CUPERTINO, CA 95014

GREEN
CIVIL ENGINEERING, INC.
INFO@GREEN-CE.COM
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

DATE:	11/20/2018
DESIGNED:	HCL
DRAWN:	HCL
REVIEWED:	HCL
JOB NO.:	18201055



SHEET
C3
3 OF 3 SHEET

C-2235

San Jose, California

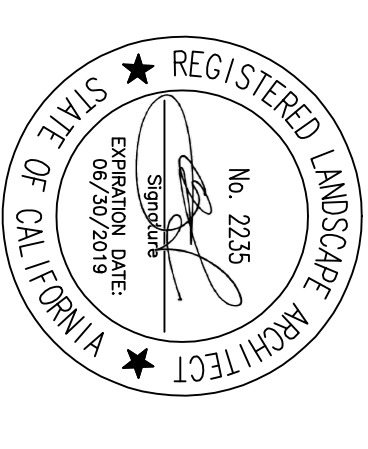
tel 408 691-5207

email wjheldasla@comcast.net

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RECEIVED 2/11/10



DARKIN RESIDENCE

for:

MICHELLE AND ZURI BARNIV
21650 RAINBOW COURT
CUPERTINO, CA. 95014

LANDSCAPE

01/47/10
 Date:

scale: NOTED

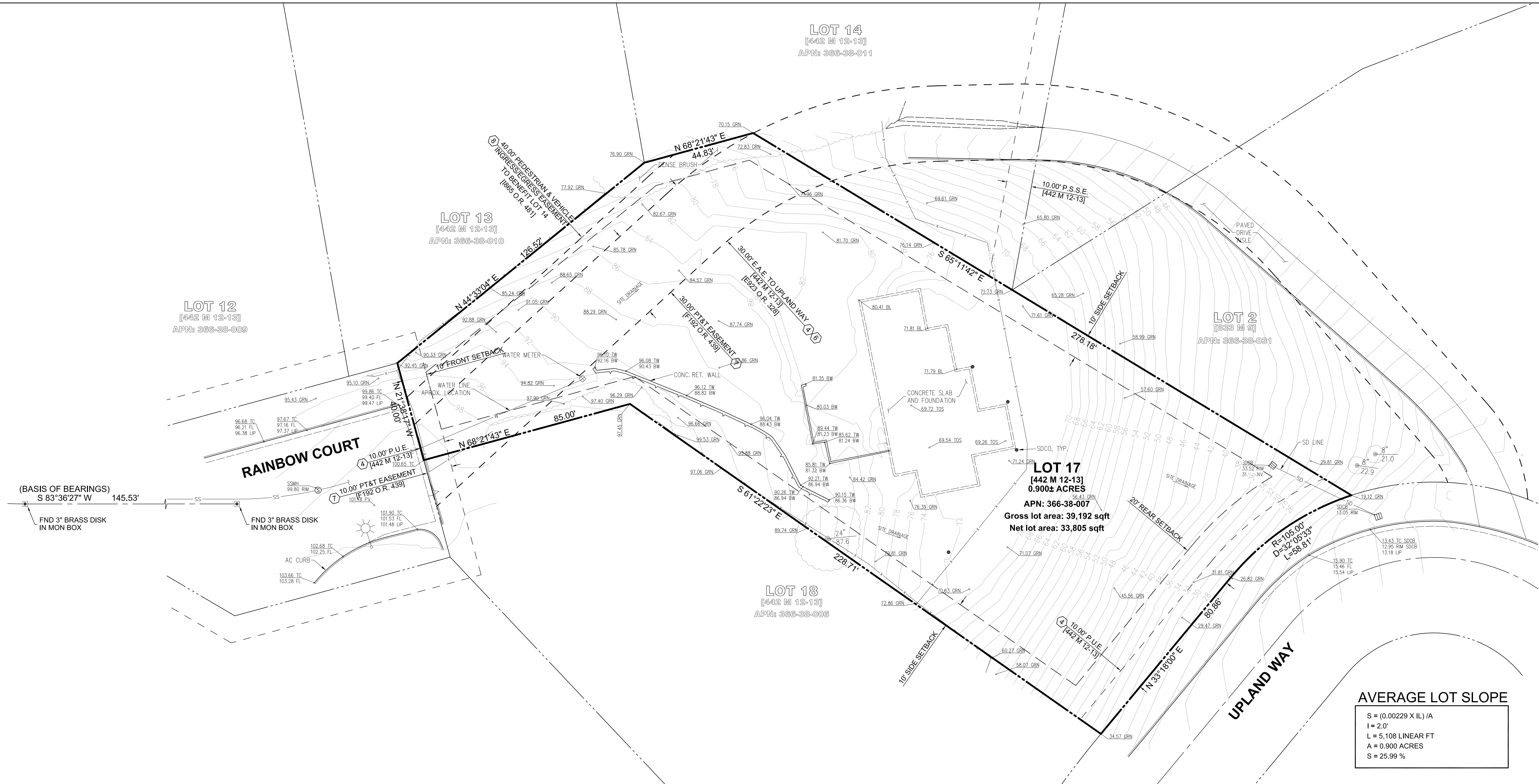
drawn by: WJH

job no. 21885

sheet

7

of 2 sh



NOTES

- All distances shown hereon are in U.S. Survey feet and decimals thereof.
- This survey was prepared from information furnished in a Preliminary Title Report, prepared by Cornerstone Title Company dated August 18, 2017, Order No. WG-3989. No liability is assumed for matters of record not stated in said Preliminary Title Report that may affect the boundary lines, exceptions, or easements affecting the property.
- The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
- A.P.N.: 366-38-007
- Basis of Bearings:
The bearing of South 25°53'05" West taken on the centerline of Rainbow Court as shown on that certain Map of Tract No. filed for record on May 22, 1979 in Book 442 of Maps at Page 12 and 13, Santa Clara County Records was taken as the Basis of all Bearings shown hereon.
- Benchmark:
Temporary Benchmark: "793";
Mag Nail set in the asphalt at the end of Rainbow Court.
Elevation: 100.00 feet Datum: (Assumed Elevation)
- Flood Zone Note:
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060339 216 H, dated May 18, 2009, as being located in Flood Zone "X";

Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas of protected levees from 1% annual chance flood.

Information was obtained from the FEMA website (www.fema.gov) on February 22, 2018.

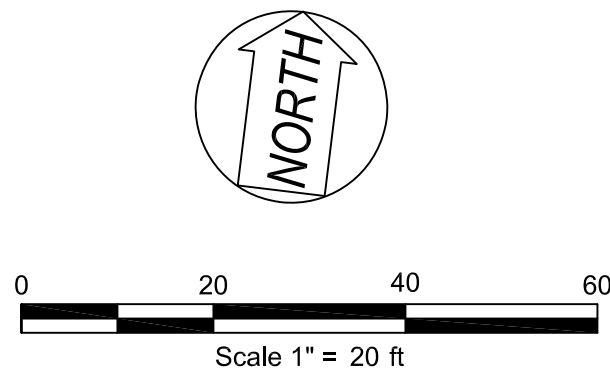
LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
CENTERLINE	---
EASEMENT	---
FOUND MONUMENT AS NOTED	■
LIGHT	⊙
TRANSFORMER	⊠
FIRE HYDRANT	⊕
STORM DRAIN MANHOLE	⊙
SANITARY SEWER MANHOLE	⊙
STREET LIGHT	⊙
CLEAN OUT	⊙
GAS METER	⊙
UTILITY POLE W/ GUY WIRE	⊙
VALVE	⊙
CATCH BASIN / DROP INLET	⊙
WATER METER	⊙
FIRE DEPARTMENT CONNECTION	⊙
BACK FLOW PREVENTER	⊙
POST INDICATOR VALVE	⊙

UTILITY BOX (SIZE VARIES)	□
MONITORING WELL	⊙
SIGN	⊙
TITLE REPORT EXCEPTION NUMBER	①
RECORD INFORMATION W/ REFERENCE	(100.00')KD
TREE W/ SIZE AND ELEVATION	⊙
SPOT ELEVATION	⊙
CONTOUR	---
INDEX CONTOUR	---
CURB	---
CURB & GUTTER	---
CONCRETE	---
FENCE	---
RETAINING WALL	---
EDGE OF PAVEMENT	---
SANITARY SEWER	---
STORM DRAIN	---
WATER	---

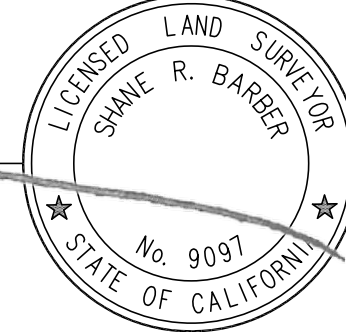
ABBREVIATIONS

AC	ASPHALTIC CONCRETE
BL	BUILDING
BW	BACK OF WALK
E.A.E.	EMERGENCY ACCESS EASEMENT
FL	FLOW LINE
FND	FOUND
GRN	GROUND
INV	INVERT ELEVATION
LIP	LIP OF GUTTER
O.R.	OFFICIAL RECORD
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.S.E.	PRIVATE SANITARY SEWER EASEMENT
PV	PAVEMENT
PT&T	PACIFIC TELEPHONE & TELEGRAPH
PT&T	PACIFIC TELEPHONE & TELEGRAPH
RIM	RIM ELEVATION
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
TC	TOP OF CURB
TOS	TOP OF SLAB
TW	TOP OF WALL
TYP.	TYPICAL



02 JAN 2018
DATE

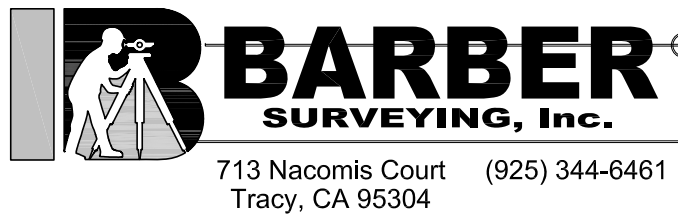
PREPARED BY OR UNDER THE SUPERVISION OF
SHANE R. BARBER, L.S. 9097
shaner@barbersurveying.com



TOPOGRAPHIC & BOUNDARY SURVEY

21650 RAINBOW COURT

APN: 366-38-007



713 Nacomis Court
Tracy, CA 95304

No.	REVISION	BY	Date:
1			JAN. 2018
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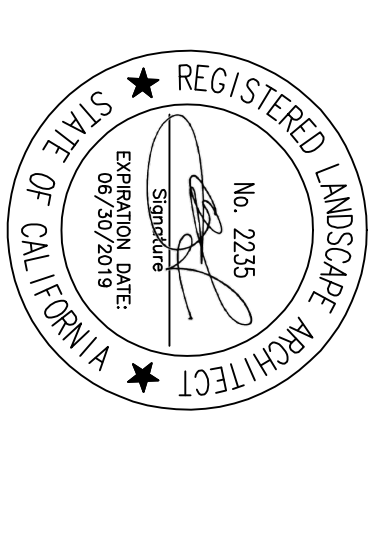
CUPERTINO

CALIFORNIA

Or

1

Sheets



BARNIV RESIDENCE

for:
MICHELLE AND ZURI BARNIV
21650 RAINBOW COURT
CLIFTERNO, CA. 95014

CONCEPTUAL
LEGEND

SCHEMATIC PLANT LIST

Groundcover / Shrub Zone:



Arctostaphylos / Manzanita

Baccharis / Coyote Bush

Carpenteria / Bush Anemone

Ceanothus / California Fuschia

Cistus / Rockrose

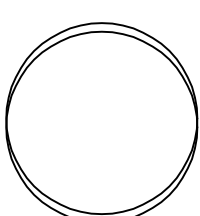
Heteromeles / Toyon

Lavandula / Lavender

Rosmarinus / Rosemary

Salvia / Sage

Tree Candidates



Cercis / Western Redbud

Laurus / Sweet Bay

Pistachia / Chinese Pistache

Proposed planting area is just under 500sf.

Proposed plant candidates are considered low water need and are deer "resistant", but not deer "proof".

Planting areas/ pits are to be thoroughly prepared prior to planting.

3" of ProChip, or equal, earth tone mulch shall be spread within planting area only.



ARCTOSTAPHYLOS BACCHARIS CARPENTERIA CEANOTHUS CISTUS



HETEROMELES LAVANDULA ROSMARINUS SALVIA



CERCIS LAURUS PISTACHIA