

R E S I D E N T I A L R E M O D E L & A D D I T I O N

STEVE DAUBER RESIDENCE

10367 HENY CREEK PLACE, CUPERTINO, CALIFORNIA, 95014

PROJECT DIRECTORY

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STEVE DAUBER HOME OWNER 10367 Heney Creek Place Cupertino, California 95014 PH 408 472 0996 steve@dauber.us	
LEITZINGER & COMPANY DESIGN STUDIO Richard Leitzinger, Principal richardleitzinger@yahoo.com 2040 Main Street, #124, Santa Clara, California 95050 PH 650 576 8445 PH 650 576 8445	CS List of Drawings Cover Sheet, Project Sheet Index A- 1.1 Site Plan, Parcel Map, Aerial Photograph of property A- 1.2 Site Plan, Site Data & Scope of Work A- 2.1 Existing Lower Level Floor Plan A- 2.2 Existing Main Level Floor Plan A- 2.3 Existing Upper Level Floor Plan A- 3.1 Proposed Lower Level Floor Plan A- 3.2 Proposed Main Level Floor Plan A- 3.3 Proposed Upper Level Floor Plan A- 4.1 Existing Roof Plan A- 4.2 Proposed Roof Plan A- 5.1 Proposed Building Sections A- 5.2 Proposed Building Section A- 6.1 Existing & Proposed Exterior Elevations A- 6.2 Existing & Proposed Exterior Elevations A- 6.3 Existing & Proposed Exterior Elevations A- 6.4 Existing & proposed Exterior Elevations A- 7.1 Area Calculation - Lower Level Floor Plan A- 7.2 Area Calculation - Main Level Floor Plan A- 7.3 Area Calculation - Upper Level Floor Plan

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ZONING SUMMARY

This is a summary based upon conversations with Planning and Building officials and review of the zoning ordinances and other governing agencies.

County: Santa Clara
City: Cupertino
Zoning: P(R1 0-2) Planned Development Zone, Chapter 19.80
Very low density: (1/2 acre slope density formula)
Average slope: 28.53 %
Neighborhood : Oak Valley
Assessors parcel number: 342 48 027
Street Address: 10367 Heney Creek Place, Cupertino, CA 95014

EXISTING CONDITIONS:

Description of existing property:

Lot size: 62,726.00 gross sf. or 1.44 acres
Lot Type: Flag Lot - hillside.
Utilities and services: Overhead - none
Underground - electrical/gas/water/waste

Description of existing structures:

Built: 1979 Renovation: 1980
Single Family Residence
2 stories
4 bedrooms
2.5 baths
3,424.00 sf.

pool & spa - spa

Parking: 3 car attached garage

ZONING REQUIREMENTS:

Lot coverage:

45% of net lot area. Refer to Title report for legal description or tentative map.

FAR - Floor Area Ratio:

45% of net lot area. Refer to Title report for legal description or tentative map.

Floors are counted once for each floor. No exception for stairs

Interior stairs count at each floor. Basement stairs do not count.
Interior ceiling exceeding 16' above finish floor count twice towards FAR.

Second story decks (balconies) with open railing and no roof above, do not count towards FAR.

Accessory Buildings: All accessory buildings (non - ADU) on a lot where the cumulative area of structures exceed 500 sf.

Setbacks:

Front:	First story:	20.00'
	Second story:	25.00'
Rear:	First story:	20.00'
	Second story:	25.00'
Interior Sides:	First story:	5.00' - 15.00' sum total
	Second Story:	15.00'

Covered porches may encroach into the front yard setback only: 6' maximum distance and 96 sf. Maximum area.

Building Height:

28.00' maximum two stories height limit.
Measured from grade directly below.

height exceptions: chimneys and weather vanes and cupolas, not exceeding 24 sf. in area. Five additional feet maximum.

Parking:

3 parking spaces actual.
2 uncovered space actual.
2 covered, 2 uncovered required.

Solar Studies:

Not required.

Accessory Dwelling Unit:

ADUs for lots of 20,000 or greater shall have a maximum floor area of 1,000 sf and must be a one story structure. Maximum height limit shall be 21.00'. See setback requirements above.

OTHER NON-ZONING INFORMATION:

Location: Latitude: 37.327424°
37° 19' 38.7264" N
Longitude: -122.070582°
122° 4' 14.0232" W

Elevation:

Above sea level 387.00 ft.

Climate zone:

4

Rainfall: NOAA - Rain Intensity Data:

Rainfall intensity (10yr.)	2.7 in/hr
Rainfall intensity (100yr.)	3.7 in/hr
Drainage Area (10yr.)	450 sf.
Drainage Area (100yr.)	330 sf.

Mean Annual Precipitation:

19 inches

FEMA Flood zone:

A

WUI Urban Wildland Interface:

Zone: 1

I PROPOSED SITE PLAN

SCALE: 1/8"

SPECIFIC SHEET NOTES

Building Structure

- Line of existing Lower Level building structure.
- Line of existing Main Level building structure.
- Line of existing Upper Level building structure.
- Shaded area indicates new area of addition/

Landscape

- Existing trees to remain. No trees are to be removed.
- Existing landscaping to remain.. No proposed alterations to the landscape.
- Existing fence to remain.

Flatwork, Decks and Stairs

- Existing flagstone walkway to remain..
- Existing stair to remain.
- Existing stairs to be removed.
- Existing decking to remain.
- Existing dry stack stone retaining wall to remain.
- Existing driveway to remain.
- Existing hot tub to remain.
- New metal pipe and cable railing .

SITE & FLOOR AREA SUMMARY

Assessor's Parcel Number:	342 48 027
Zoning:	P (R1 0-2)
Lot Gross Area: (1.44 acres)	62,726.00 sf.
Lot Net Area:	15,396.50 sf.

LOT COVERAGE

Maximum Allowable Lot Coverage:	6,928.42 sf.
45% of the net area.	

Existing Lot Coverage:

Existing Building Structure:	2,132.06 sf.
Sub-total:	2,132.06 sf.

Proposed Lot Coverage Additions:

Proposed Building Structure Removed:	(110.84) sf.
Proposed Building Structure Addition:	22.98 sf.
Subtotal:	(87.86) sf.

TOTAL LOT COVERAGE:	2,044.21 sf.
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FLOOR AREA RATIO:

Maximum Allowable Floor Area:	6,928.42 sf.
45% of the net area.	

FLOOR AREA :

Existing Floor Areas:

Existing Lower Floor:	1,291.49 sf.
Existing Main Floor:	1,890.97 sf.
Existing Upper Floor:	1,373.86 sf.
Subtotal:	4,556.32 sf.

Proposed Floor Areas Additions:

Proposed Addition to Lower Floor:	0.00 sf.
Proposed Addition to Main Floor:	76.60 sf.
Proposed Addition to Upper Floor:	0.00 sf.
Subtotal:	76.60 sf.

TOTAL FLOOR AREA: 37.37%	4,632.92 sf.
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SCOPE OF PROPOSED WORK

The scope of proposed work includes, but not limited to the remodel of an existing residence, as follows:

Additions are limited to the Living Room and Dining Room. These areas are under existing roof structures and within the building envelope.

Windows and doors will be altered in order to optimize views to the open spaces and reduce sight lines to neighboring houses.

New interior lighting will replace the some existing light fixtures.

The Master Bathroom will be remodeled. A second bathroom will involve replacement of fixtures, cabinetry and finishes. The interior door of a bedroom will be relocated.

Exterior work includes the removal of the existing wood siding and trim, which is currently in a degraded state and requires replacement.

Removal of trellis type roof features. Removal of covered balcony located at the Living Room. Replacement of gutters and rain water leaders. Alterations to the existing roofing will be kept to a minimum.

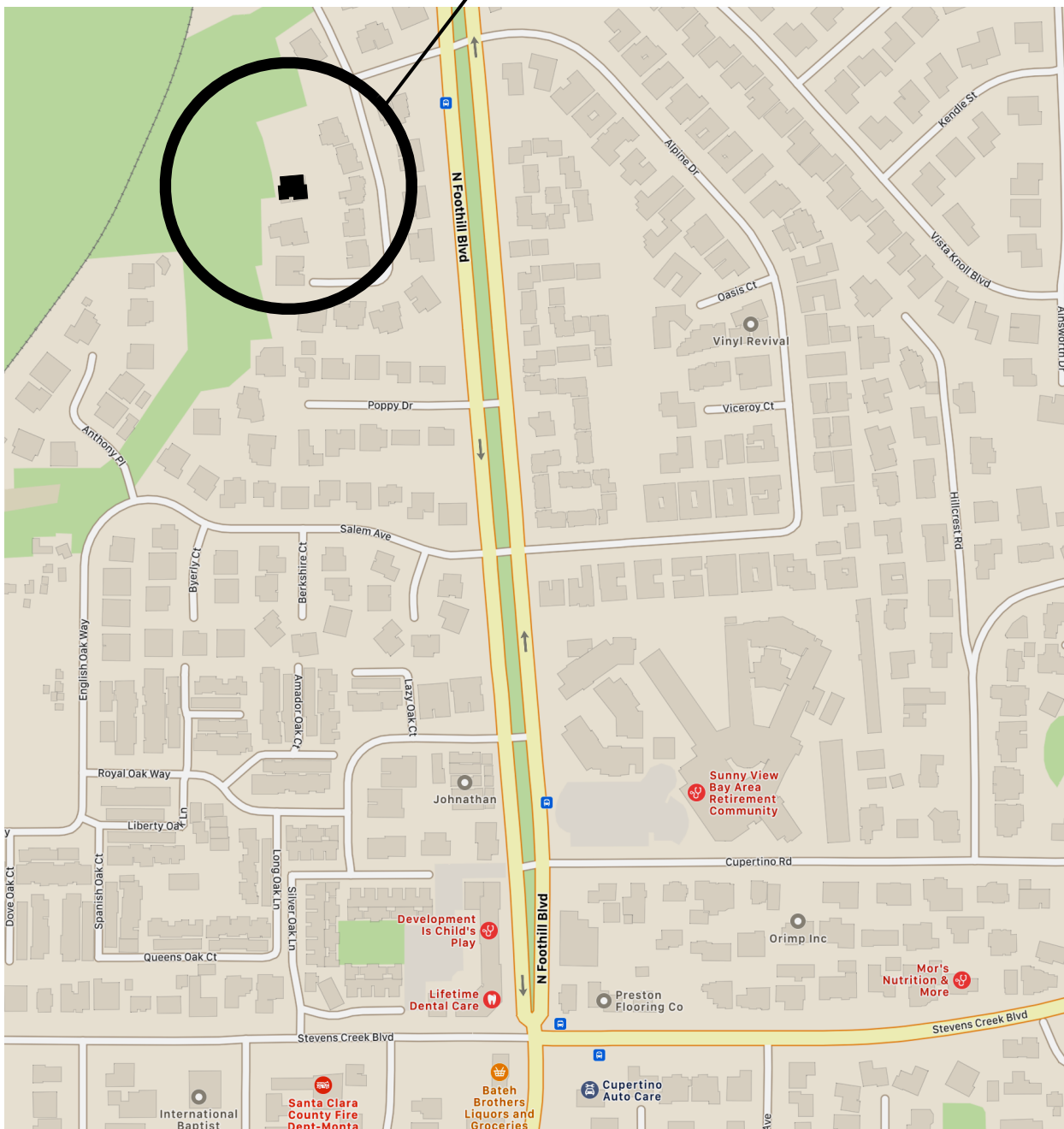
New horizontal siding, natural stone, stucco veneer, and new trim will replace the existing wood siding.

No landscaping or flat work alterations proposed.

No upgrade proposed for utility services.

PROJECT LOCATION MAP

PROJECT LOCATION



STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
SITE PLAN
SPRPOSE



DESIGN STUDIO

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DATE 01.28.2018

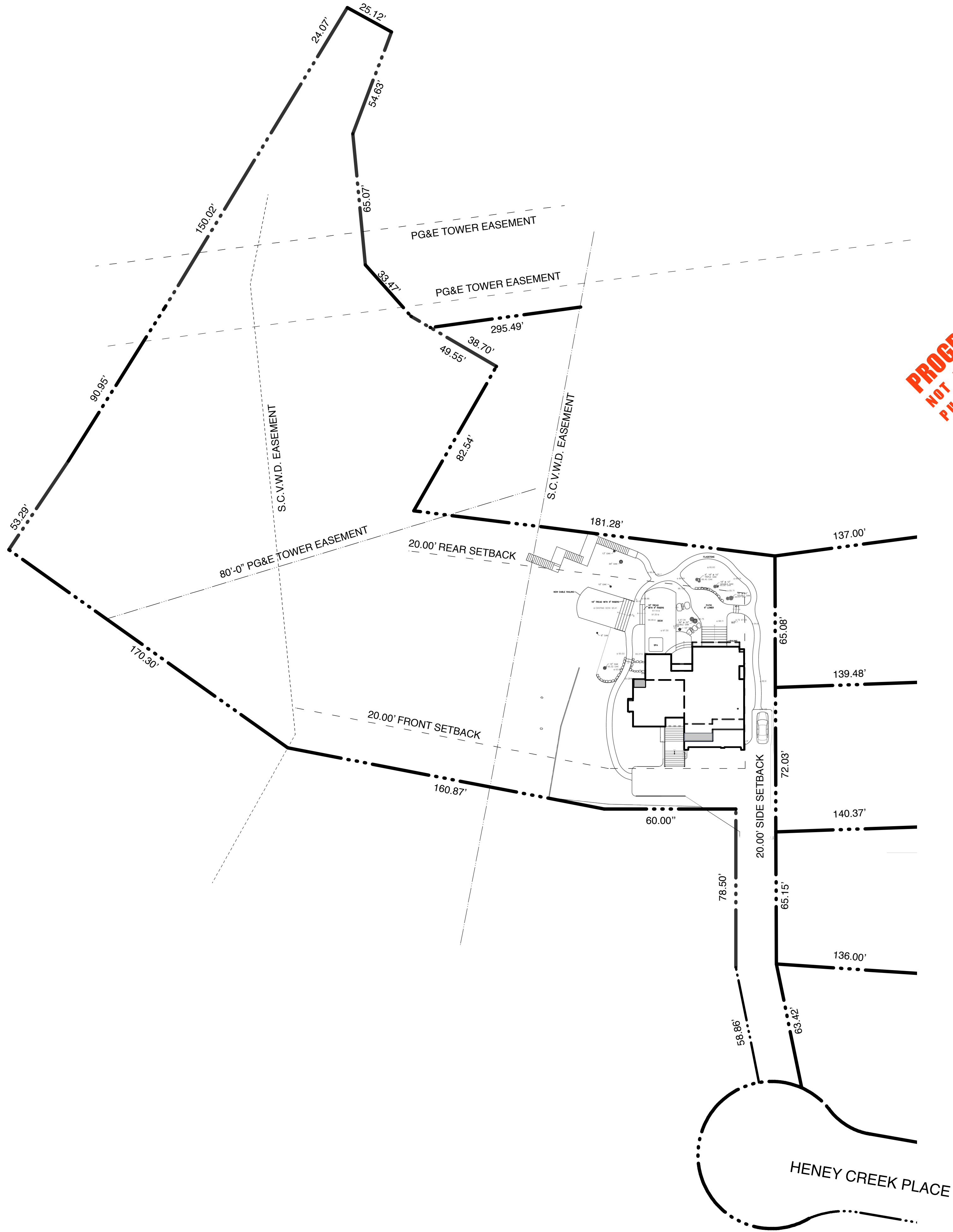
PROJECT 2018.05

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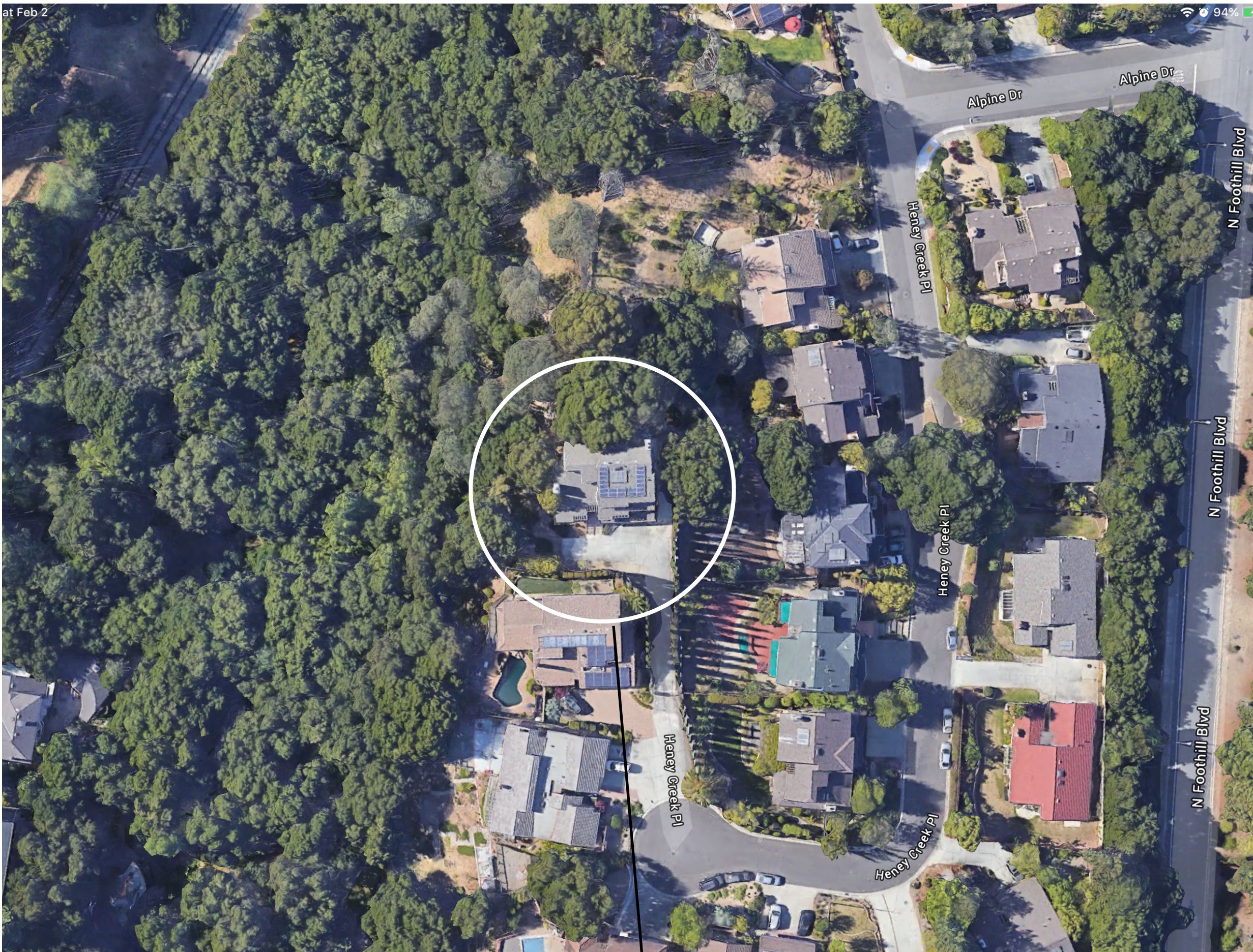
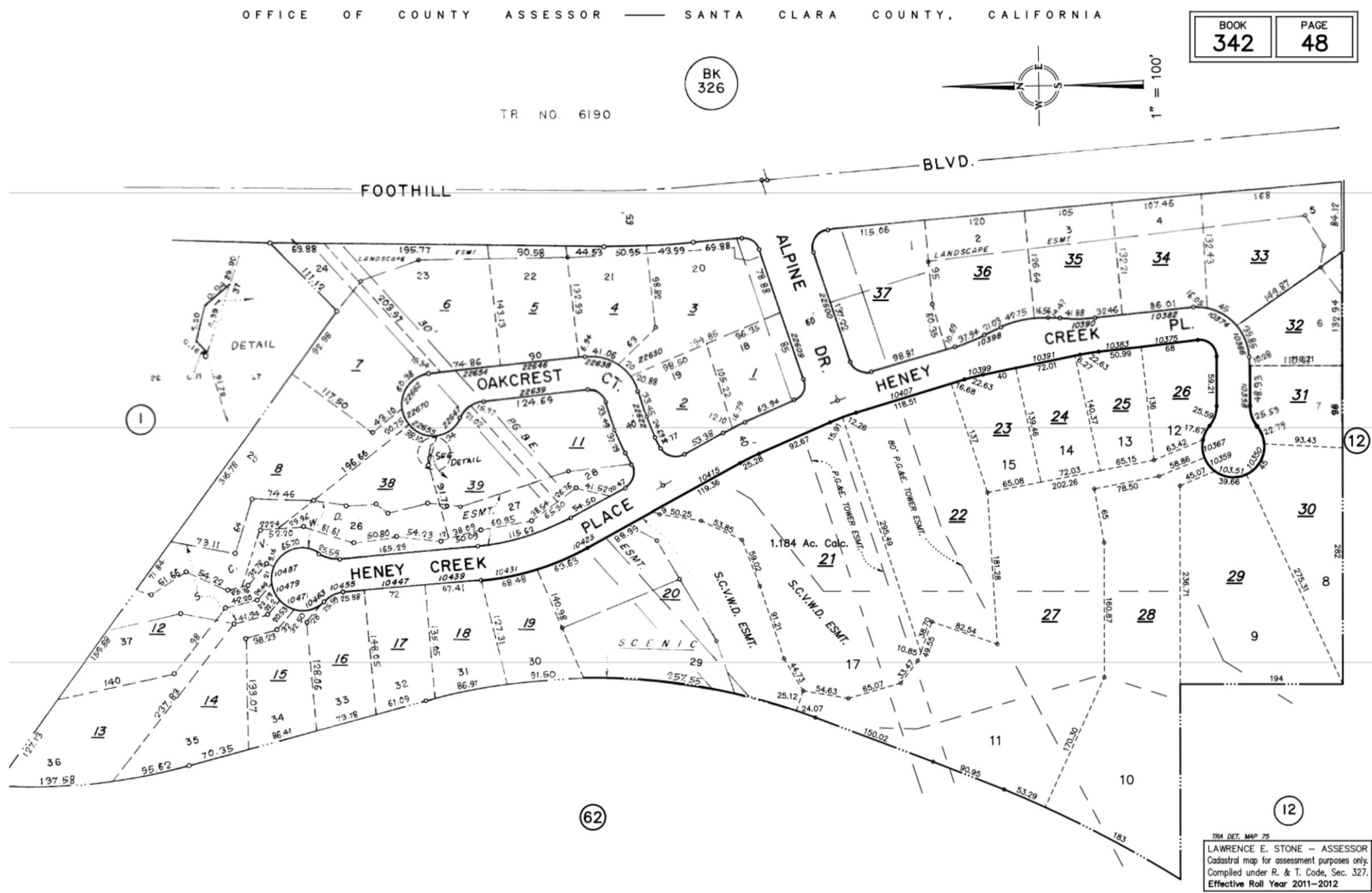
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SCALE 1/8"

A 1.1



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PROJECT LOCATION

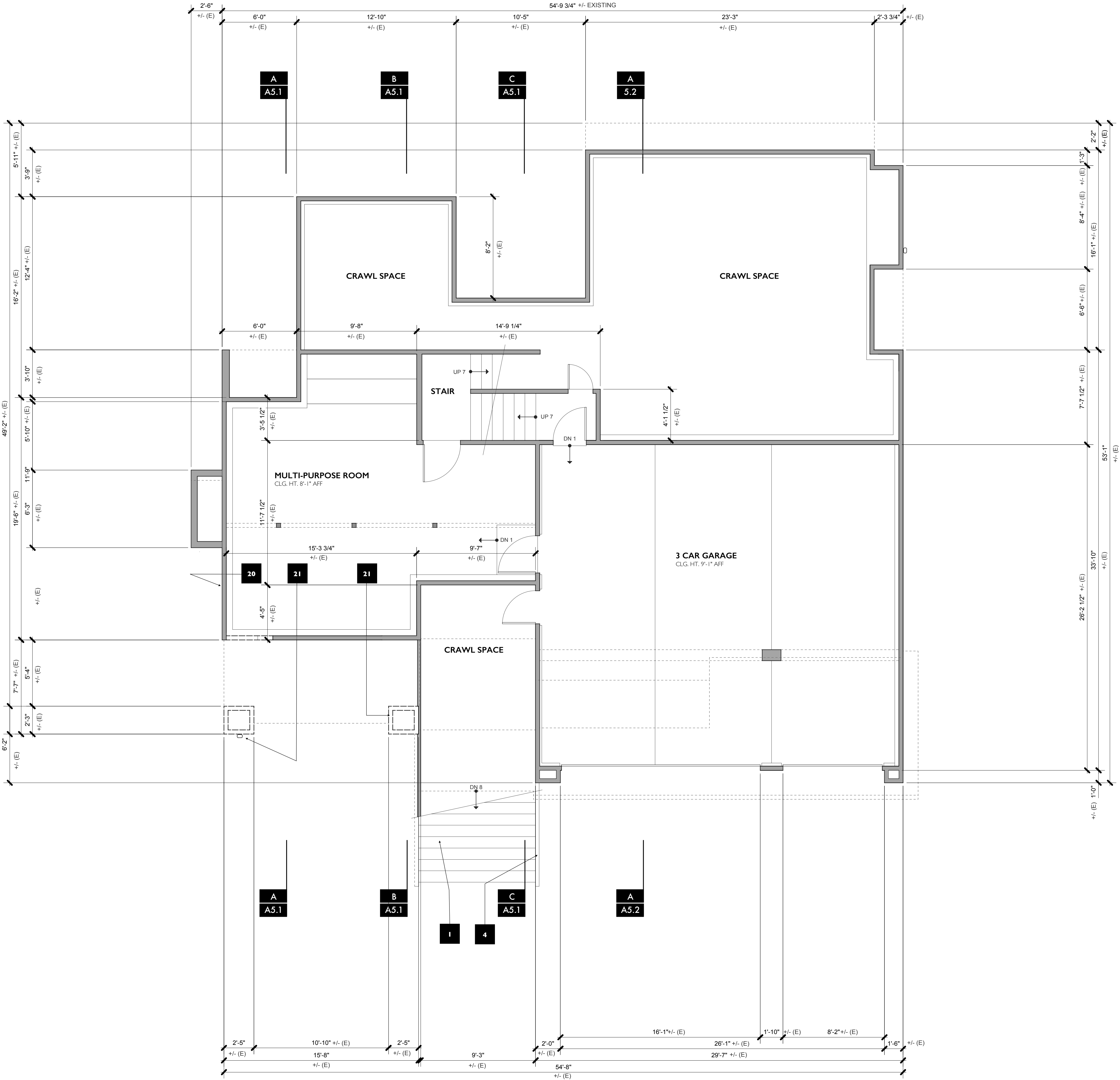
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RESIDENTIAL REMODEL & ADDITION
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DATE	01.28.2018
PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1:30

A 1.2



SPECIFIC SHEET NOTES

Floors

- Existing stairs to remain.
- Stair to be removed.
- Existing step to remain.
- Existing wood railing to be removed.

Walls

- Existing Horizontal siding and trim to be removed.
- Existing front column and balcony to be removed.

Windows and Doors

- Existing windows and doors to be removed.

Gutters & rain water leaders

- Replace existing gutters and rain water leaders.

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GRAPHIC LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED.



SCALE: 1/4"



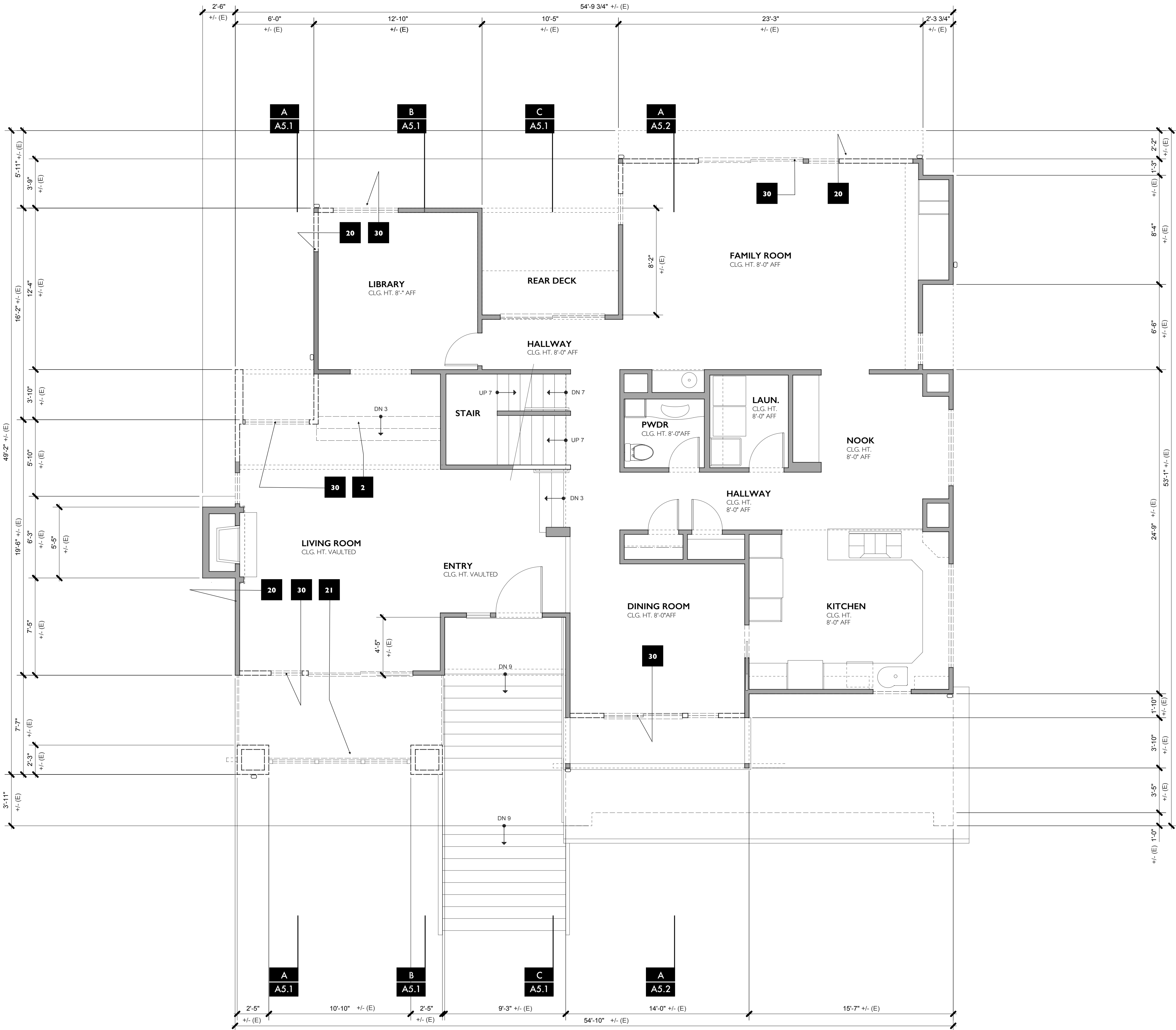
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10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
LOWER LEVEL FLOOR PLAN
EXISTING & DEMOLITION



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PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"



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GRAPHIC LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED.



SCALE: 1/4"



SPECIFIC SHEET NOTES

- Floors**
- Existing stairs to remain.
 - Stair to be removed.
 - Existing step to remain.
 - Existing wood railing to be removed.
- Walls**
- Existing Horizontal siding and trim to be removed.
 - Existing front column and balcony to be removed.
- Windows and Doors**
- Existing windows and doors to be removed.
- Gutters & rain water leaders**
- Replace existing gutters and rain water leaders.

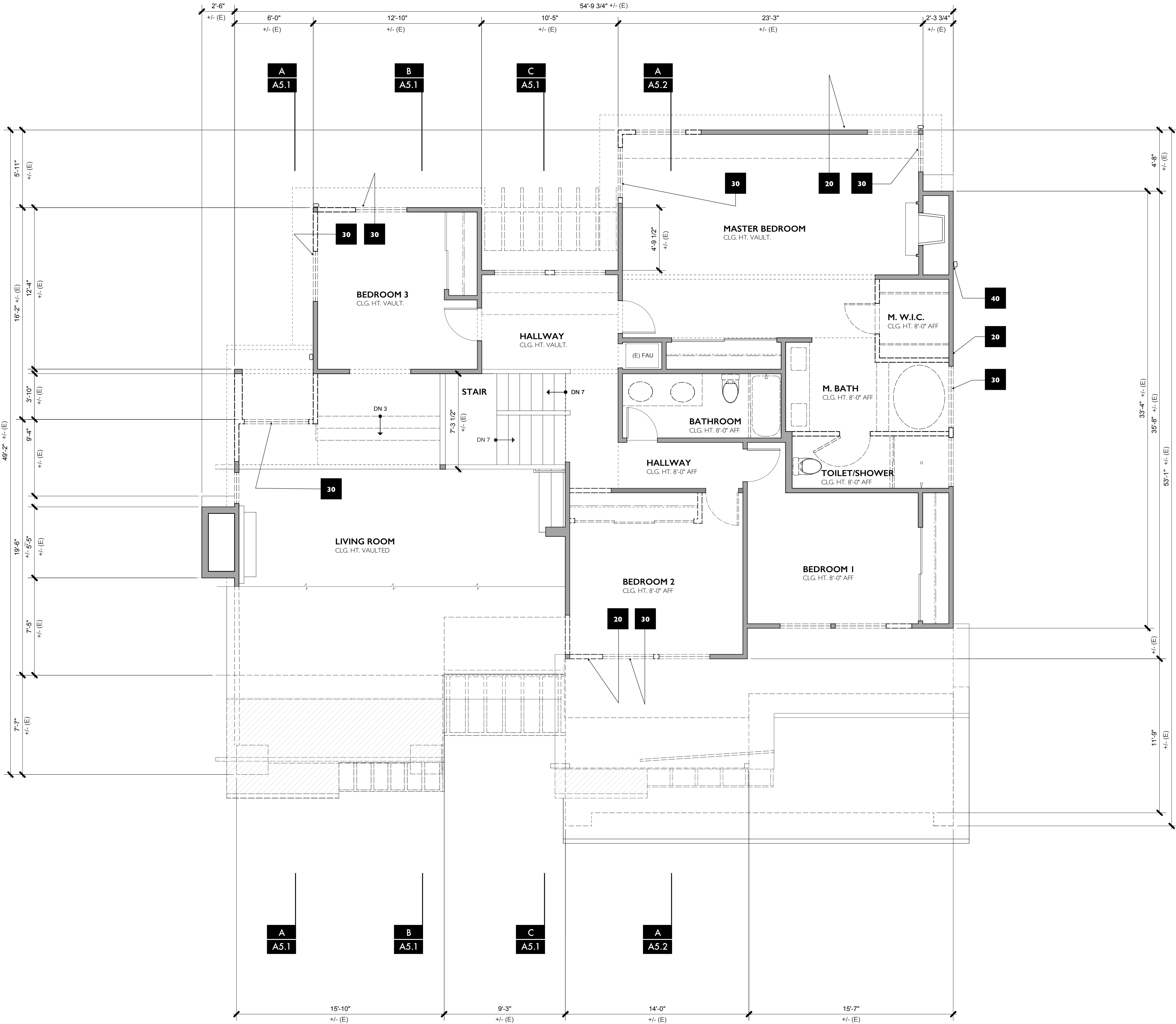
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10367 HENRY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
MAIN LEVEL FLOOR PLAN
EXISTING & DEMOLITION



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DATE	01.28.2018
PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"



SPECIFIC SHEET NOTES

Floors

- 1. Existing stairs to remain.
- 2. Stair to be removed.
- 3. Existing step to remain.
- 4. Existing wood railing to be removed.

Walls

- 20. Existing Horizontal siding and trim to be removed.
- 21. Existing front column and balcony to be removed.

Windows and Doors

- 30. Existing windows and doors to be removed.

Gutters & rain water leaders

- 40. Replace existing gutters and rain water leaders.

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GRAPHIC LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED.



SCALE: 1/4"



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RESIDENTIAL REMODEL & ADDITION
UPPER LEVEL FLOOR PLAN
EXISTING & DEMOLITION

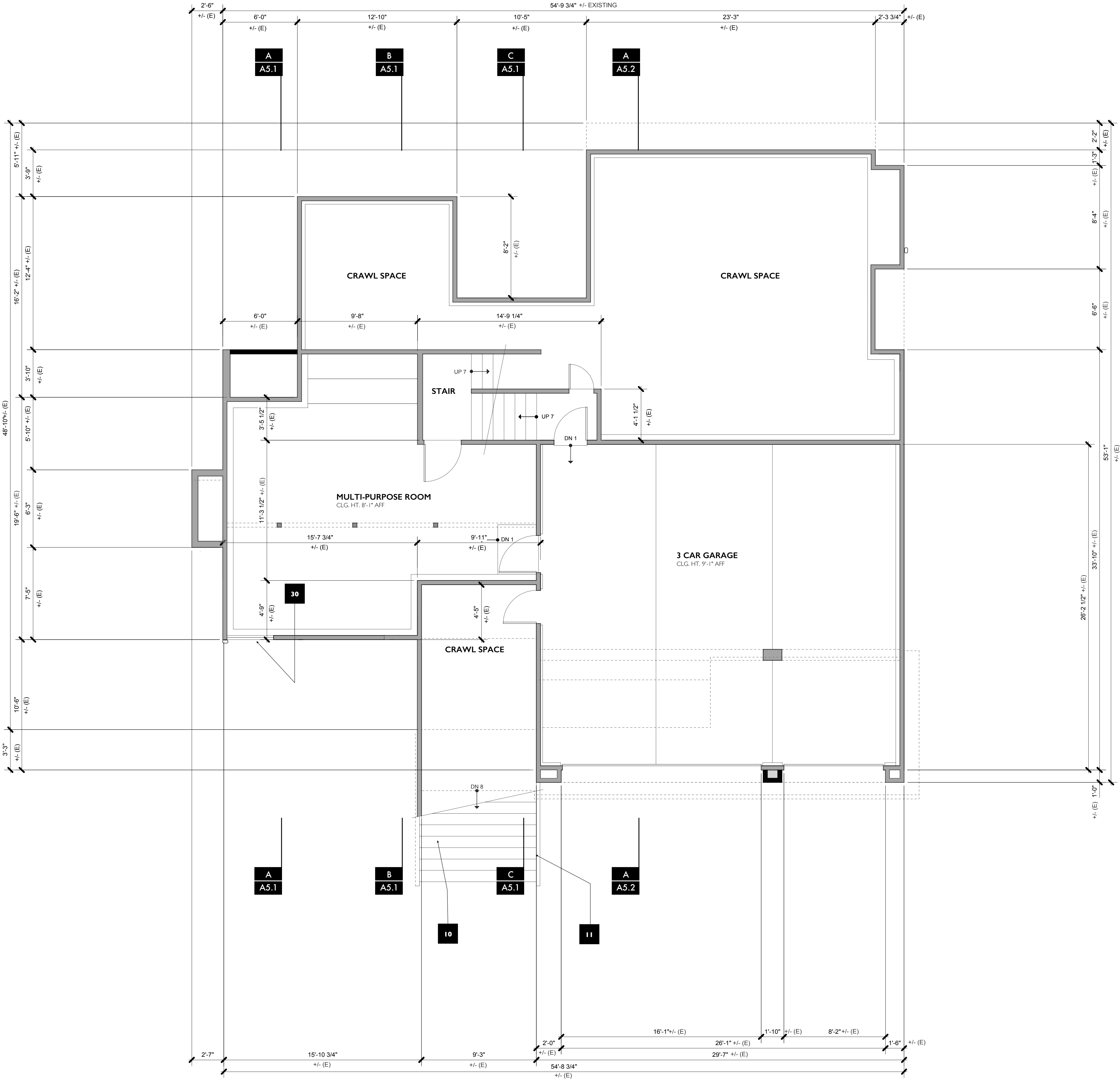


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DATE	01.28.2018
PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"



SPECIFIC SHEET NOTES

Floors

1. New addition.

Landscape

10. Existing step to remain.
11. New metal pipe and cable railing.

Walls

20. New wall.
21. New post.

Windows and Doors

30. New windows and doors.

Gutters & rain water leaders

40. Replace existing gutters and rain water leaders.

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GRAPHIC LEGEND

- EXISTING WALL
NEW WALL.



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DATE	01.28.2018
PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"



GRAPHIC LEGEND

- EXISTING WALL
- NEW WALL



SCALE: 1/4"



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SPECIFIC SHEET NOTES

- Floors**
 - I. New addition.
- Landscape**
 - 10. Existing step to remain.
 - 11. New metal pipe and cable railing.
- Walls**
 - 20. New wall.
 - 21. New post.
- Windows and Doors**
 - 30. New windows and doors.
- Gutters & rain water leaders**
 - 40. Replace existing gutters and rain water leaders.

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RESIDENTIAL REMODEL & ADDITION
MAIN LEVEL FLOOR PLAN
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DATE	01.28.2018
PROJECT	2018.03
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"



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GRAPHIC LEGEND

- EXISTING WALL
- NEW WALL



SCALE: 1 1/4"



SPECIFIC SHEET NOTES

- Floors**
 - 1. New addition.
- Landscape**
 - 10. Existing step to remain.
 - 11. New metal pipe and cable railing.
- Walls**
 - 20. New wall.
 - 21. New post.
- Windows and Doors**
 - 30. New windows and doors.
- Gutters & rain water leaders**
 - 40. Replace existing gutters and rain water leaders.

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RESIDENTIAL REMODEL & ADDITION
UPPER LEVEL FLOOR PLAN



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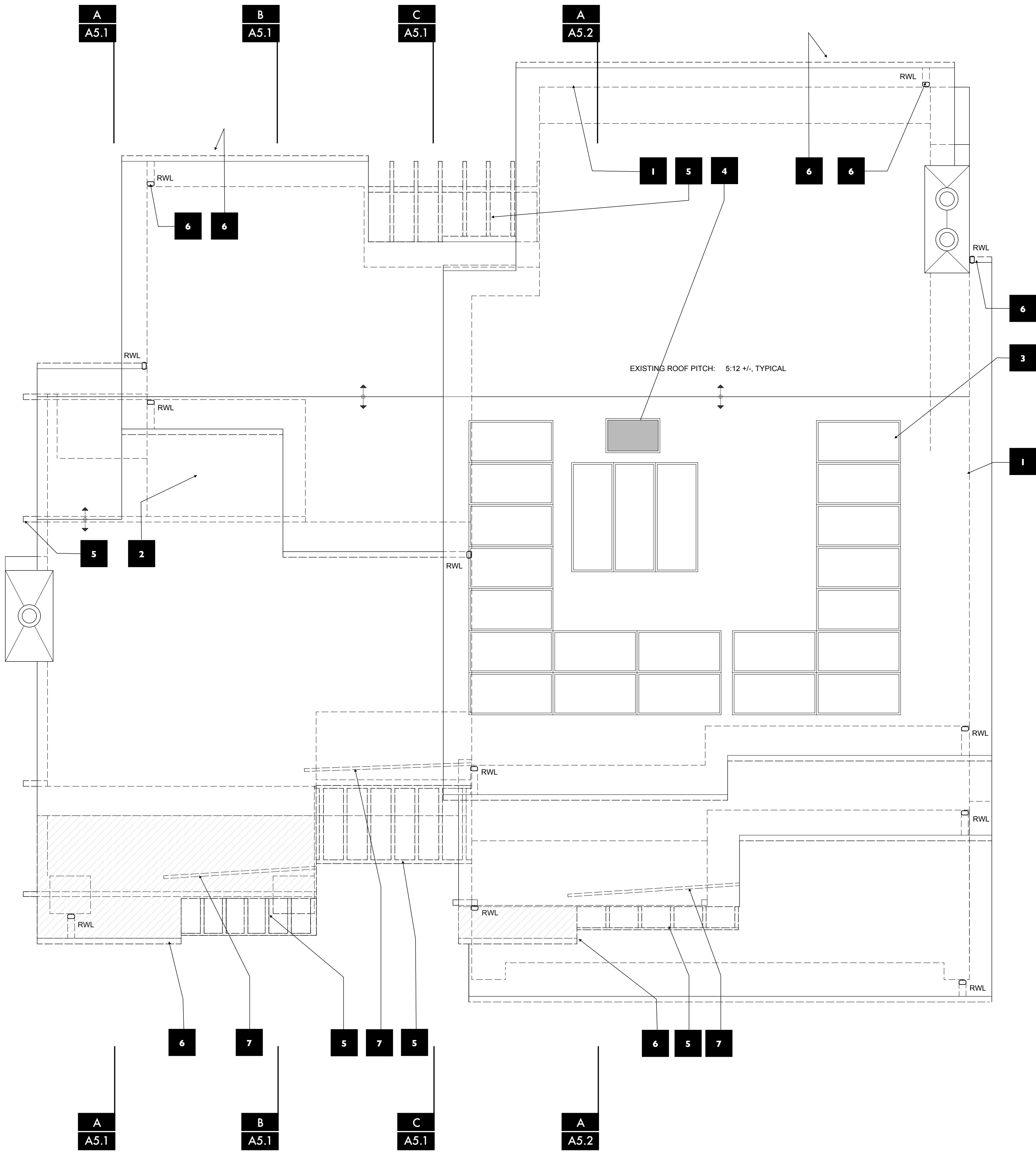
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DATE	01.28.2018
PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"

SPECIFIC SHEET NOTES

Roof Features

1. Dashed lines indicates building structure below..
2. Existing asphalt shingle roof to remain..
3. Existing solar panels to remain.
4. Existing skylight to remain.
5. Existing trellis and extended eaves to be removed.
6. Existing metal gutters and rain water leaders to be replaced.
7. Existing rain water diverter to be removed.
8. New rain water diverter.



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GRAPHIC LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED.



SCALE: 1/4"



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RESIDENTIAL REMODEL & ADDITION
ROOF PLAN
EXISTING & DEMOLITION



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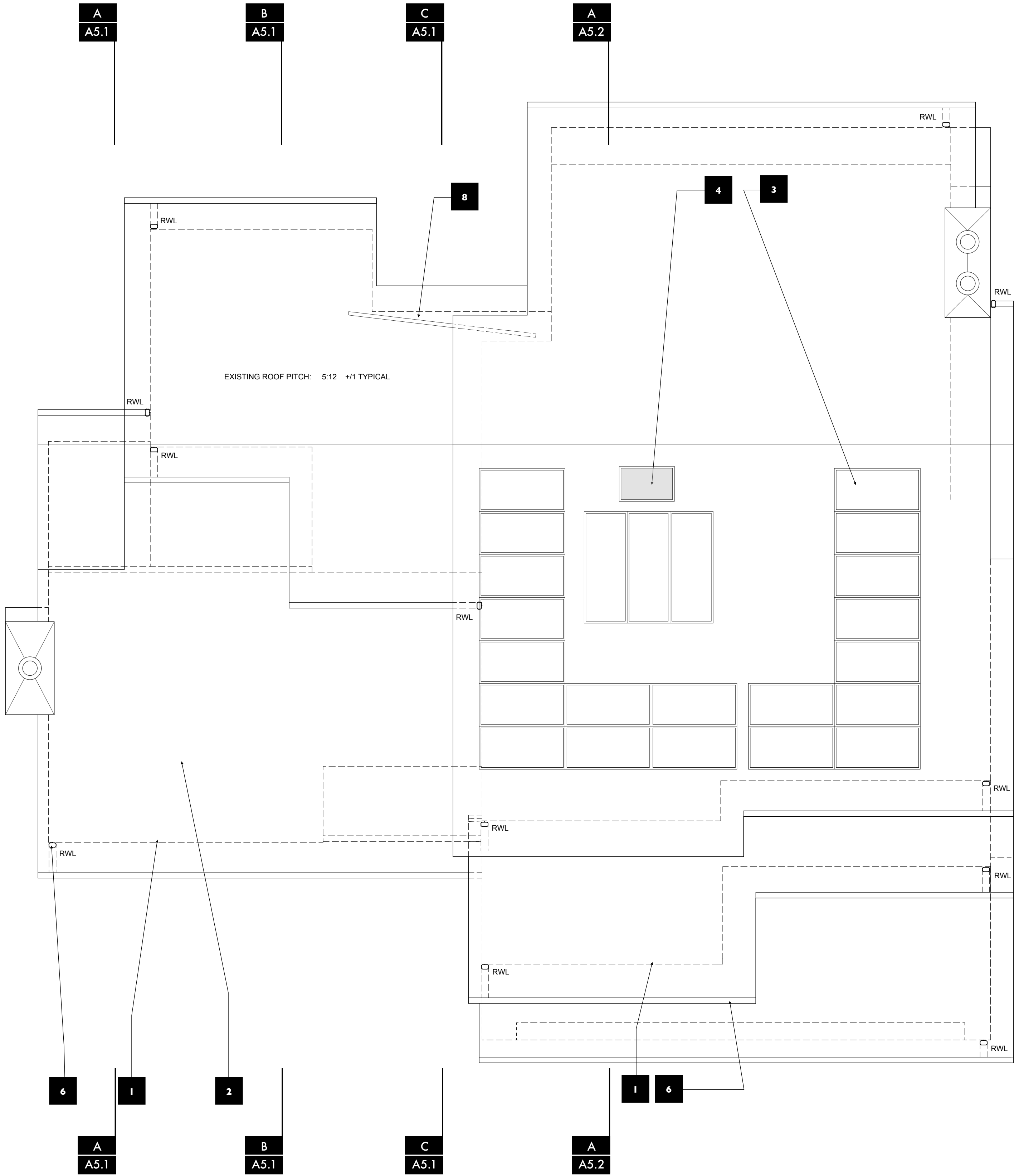
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PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"

A 4.1

SPECIFIC SHEET NOTES

Roof Features

- Dashed lines indicates building structure below..
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GRAPHIC LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED.



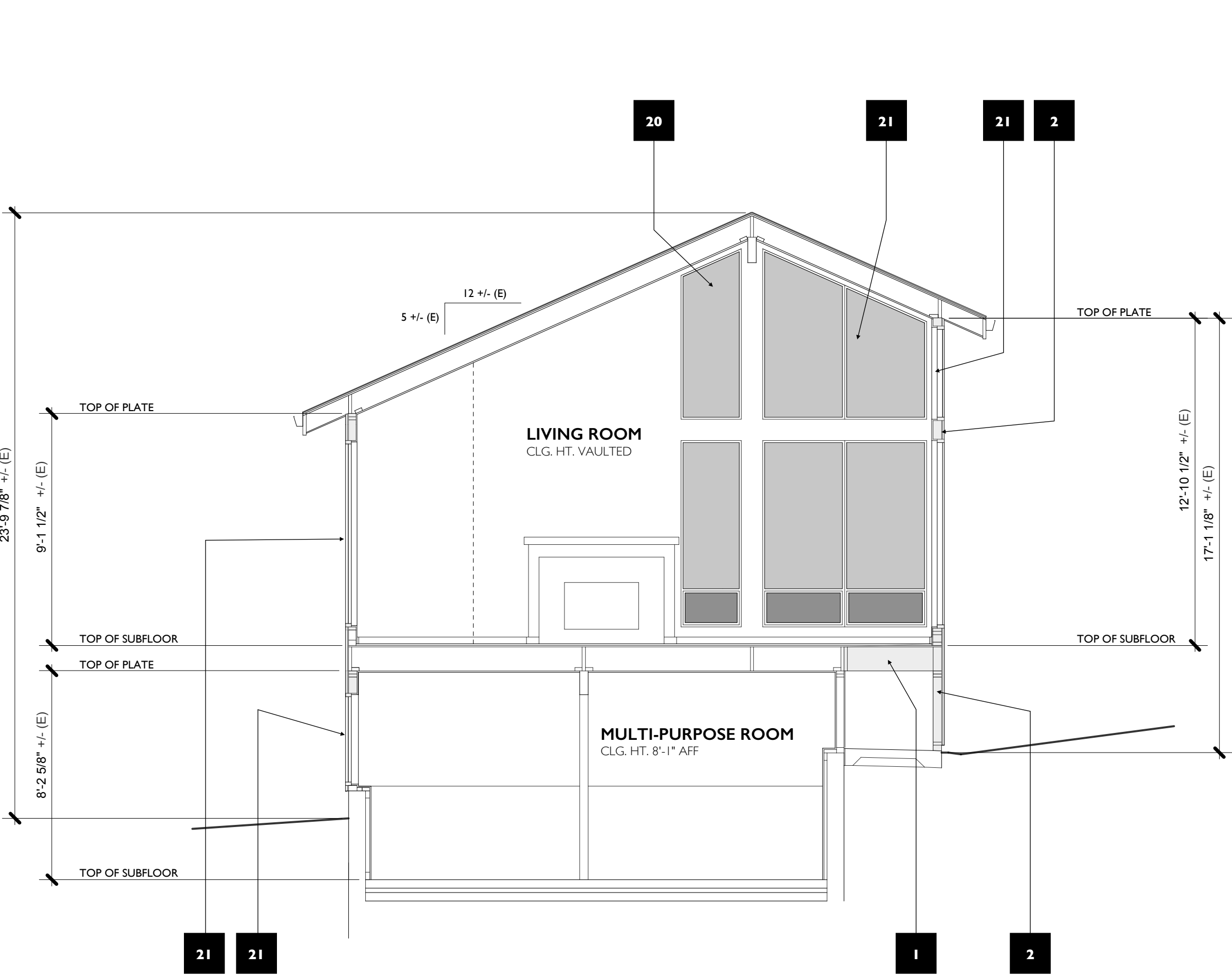
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R O O F P L A N
P O S E D

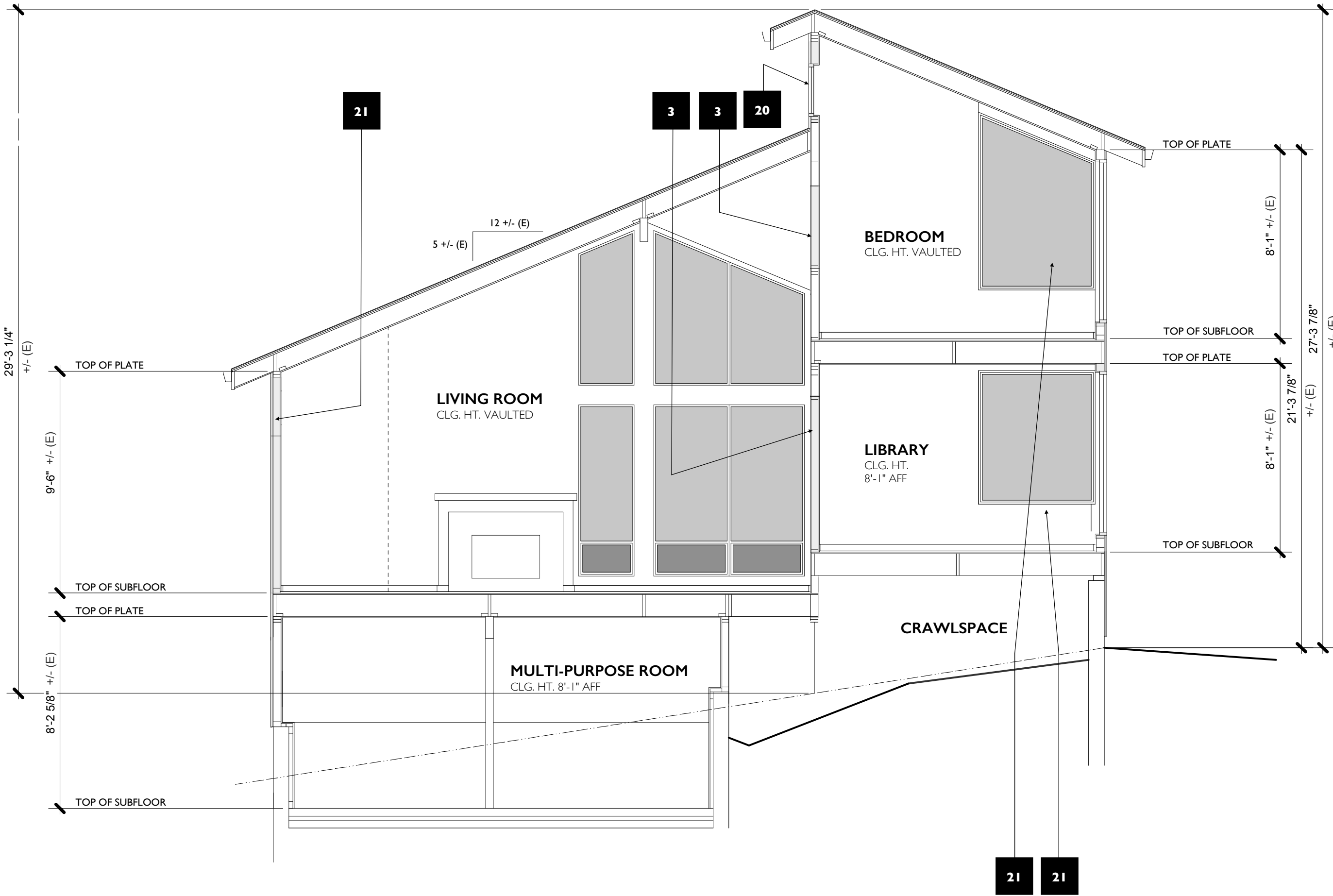
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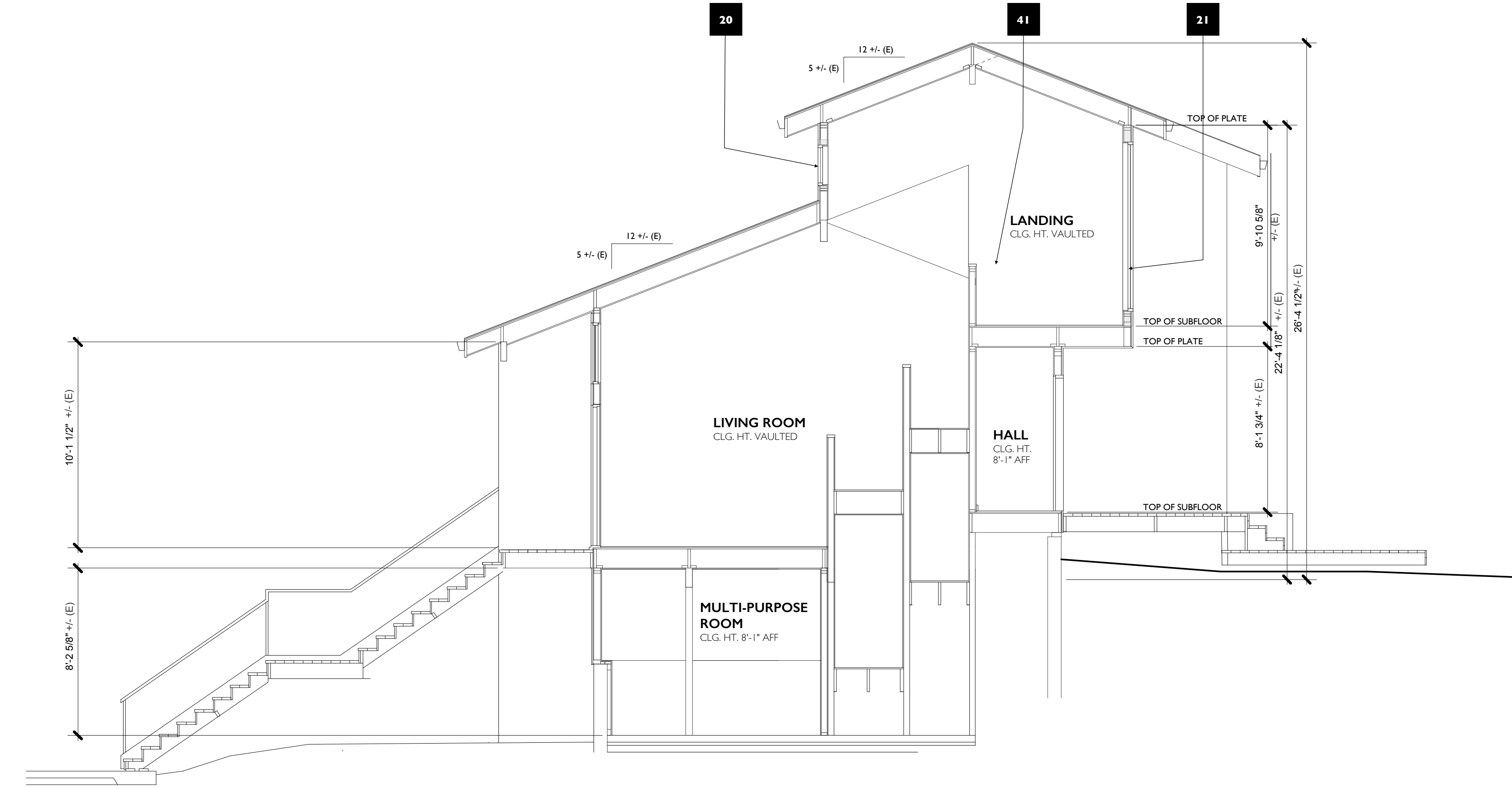
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PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"



A.A BUILDING SECTION SCALE: 1/4"



B.B BUILDING SECTION SCALE: 1/4"



C.C BUILDING SECTION SCALE: 1/4"

SPECIFIC SHEET NOTES

Structures

1. New wood framing.
2. New exterior wall
3. New interior wall.

Flashing, Sheet Metal Trim and Accessories

10. New metal gutters and down spout. Painted

Windows and Doors

20. Replace existing window and doors.
21. New windows and doors.

Cabinetry and Trim

40. Replace existing exterior trim and fascia boards.
41. New cabinet.

STEVE DAUBER RESIDENCE
10367 HENY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
BUILDING SECTIONS
P R O J E C T

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PROJECT 2018.05

DRAWN RAL

REVIEW RAL

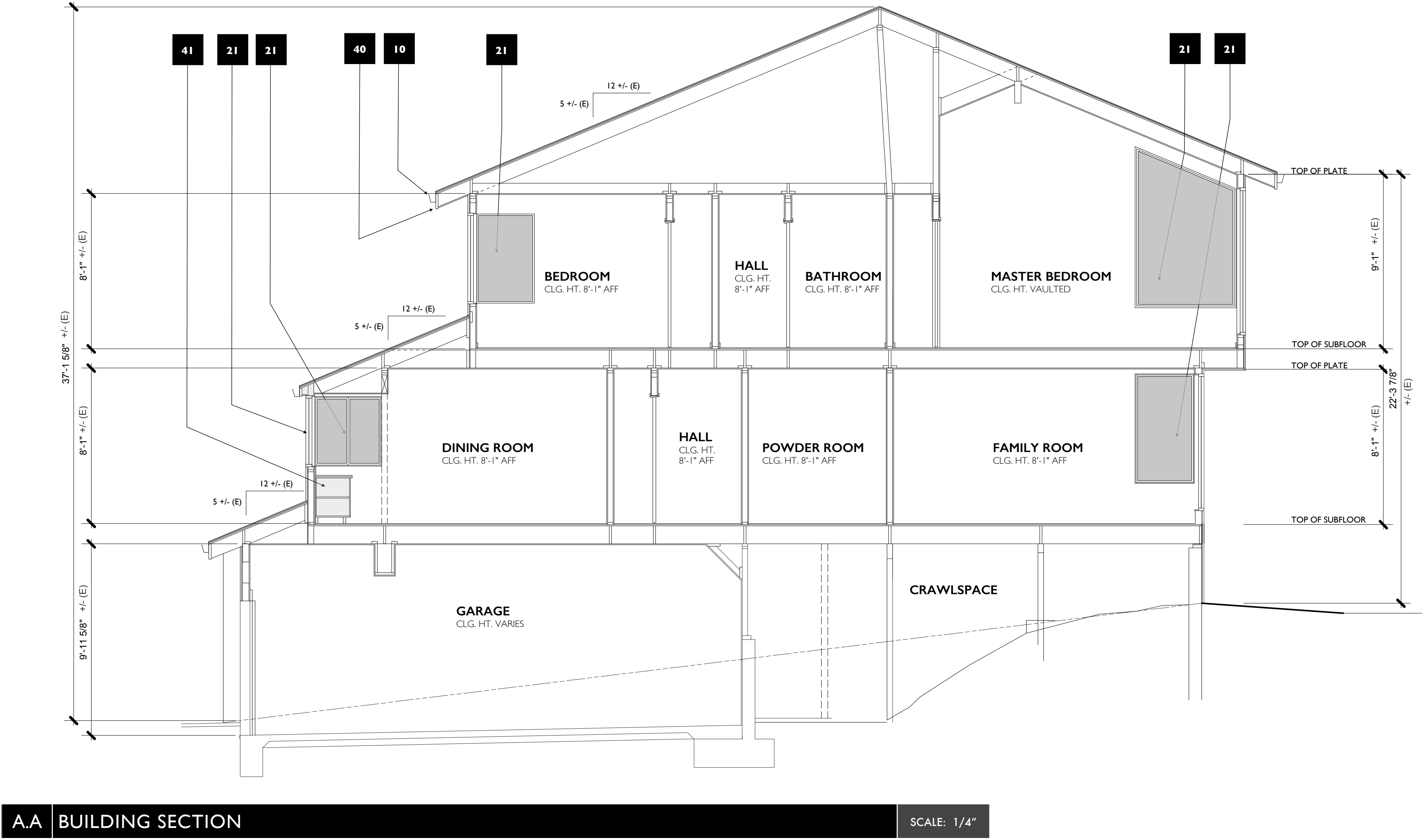
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PUBLISHED: 05.01.2019

SCALE : 1/4"

0 1 2 3 4 5 6 12

A 5.1



SPECIFIC SHEET NOTES

Structures

1. New wood framing.
2. New exterior wall
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RESIDENTIAL REMODEL & ADDITION
BUILDING SECTIONS
P R O J E C T



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PROJECT 2018.05

DRAWN RAL

REVIEW RAL

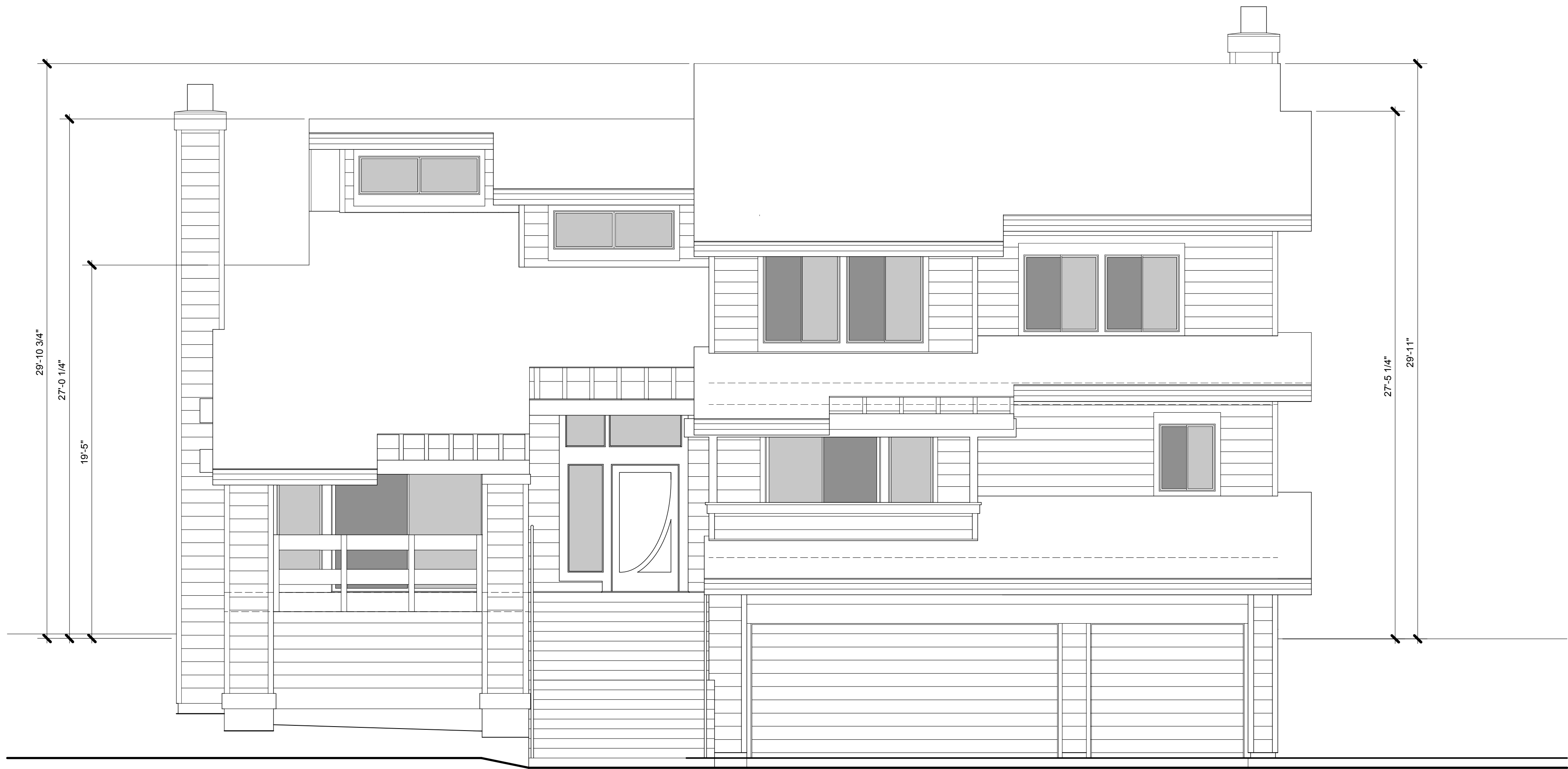
SCALE 1/4"

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SCALE : 1/4"

0 1 2 3 4 5 6 12

A 5.2



NEW EXTERIOR FINISHES

Roofing System and Material

- Existing Laminated asphalt fiberglass roof shingles.

Flashing, Sheet Metal Trim and Accessories

- New metal gutters and down spout. Painted

Walls

- Hardie horizontal siding.
- Conventional three coat stucco exterior wall system.

Windows and Doors

- Metal or composite windows and doors.

Lighting

- Existing wall mounted lighting.

Decorative Entry Door

- Existing custom wood door and stain glass to remain.

Masonry

- Natural stone veneer.
- Cast stone chimney cap and skirt.

Trim

- Hardie Trim.
- Soffit.

Metal

- Existing composite steps to remain.
- Steel cable railing to match existing.

1 EXISTING EXTERIOR ELEVATION - FRONT (Faces neighbor at 10359 Heney Creek)

SCALE: 1/4"



2 PROPOSED EXTERIOR ELEVATION - FRONT (Faces neighbor at 10359 Heney Creek)

SCALE: 1/4"



STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
EXISTING & PROPOSED
EXTERIOR ELEVATIONS

L&C

DESIGN STUDIO

www.landcodesignstudio.com
2040 MAIN STREET, # 124
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richardleitzinger@yahoo.com

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any portion thereof other than the specific
project to which it pertains without the written
consent of the designer.

DATE 01.28.2018

PROJECT 2018.05

DRAWN RAL

REVIEW RAL

SCALE 1/4"

PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05.29.2019

A 6.1

NEW EXTERIOR FINISHES

Roofing System and Material

1. Existing Laminated asphalt fiberglass roof shingles.

Flashing, Sheet Metal Trim and Accessories

20. New metal gutters and down spout. Painted

Walls

30. Hardie horizontal siding.
31. Conventional three coat stucco exterior wall system.

Windows and Doors

40. Metal or composite windows and doors.

Lighting

50. Existing wall mounted lighting.

Decorative Entry Door

60. Existing custom wood door and stain glass to remain.

Masonry

70. Natural stone veneer.
71. Cast stone chimney cap and skirt.

Trim

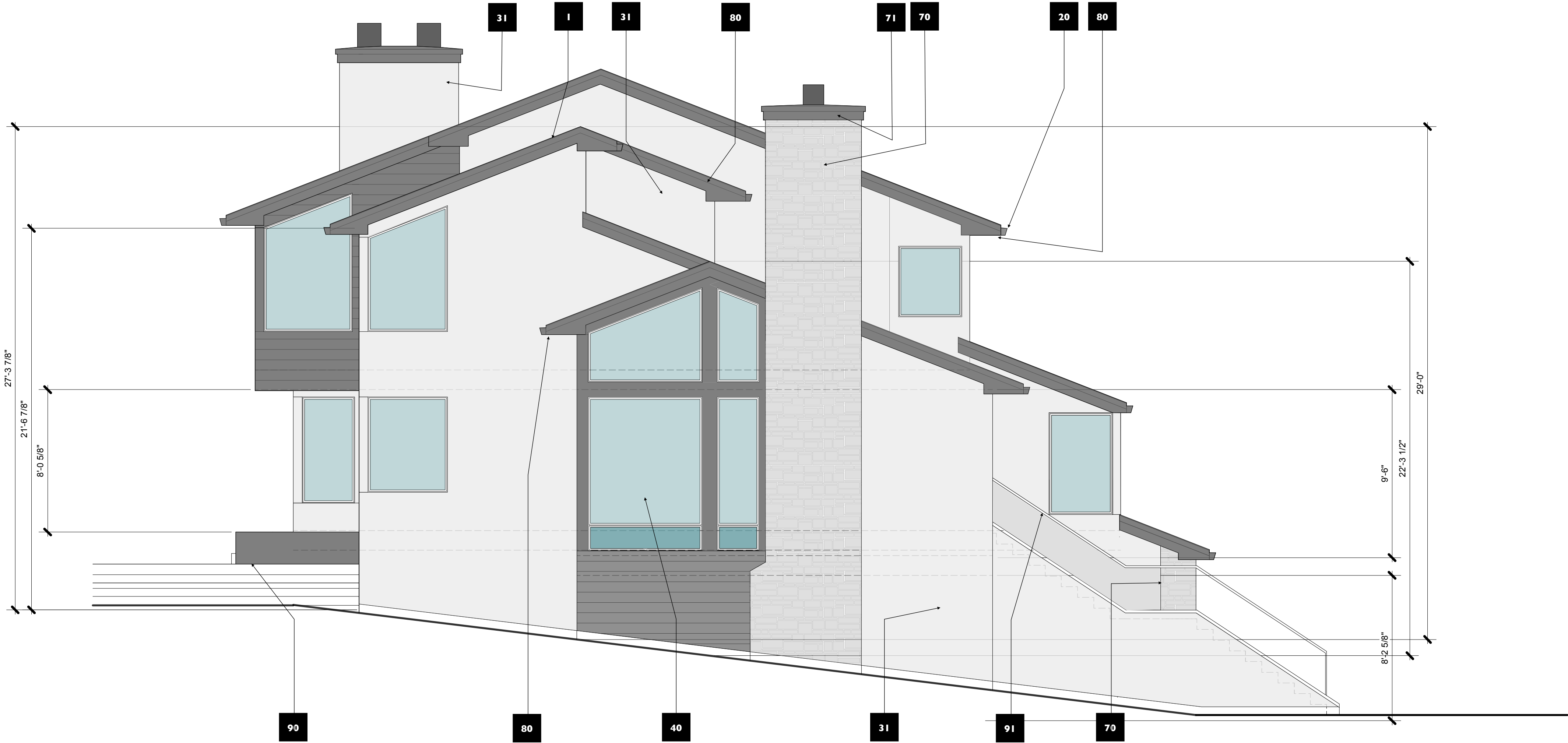
80. Hardie Trim.
81. Soffit

Metal

90. Existing composite steps to remain.
91. Steel cable railing to match existing.



1 EXISTING EXTERIOR ELEVATION - LEFT SIDE (Faces open space) SCALE: 1/4"



2 PROPOSED EXTERIOR ELEVATION - LEFT SIDE (Faces open space) SCALE: 1/4"

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PUBLISHED: 05-29-2019

STEVE DAUBER RESIDENCE
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RESIDENTIAL REMODEL & ADDITION
EXTERIOR ELEVATIONS
EXISTING & PROPOSED



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DATE 01.28.2018

PROJECT 2018.05

DRAWN RAL

REVIEW RAL

SCALE 1/4"

A 6.2

NEW EXTERIOR FINISHES

Roofing System and Material

1. Existing Laminated asphalt fiberglass roof shingles.

Flashing, Sheet Metal Trim and Accessories

20. New metal gutters and down spout. Painted

Walls

30. Hardie horizontal siding.
31. Conventional three coat stucco exterior wall system.

Windows and Doors

40. Metal or composite windows and doors.

Lighting

50. Existing wall mounted lighting.

Decorative Entry Door

60. Existing custom wood door and stain glass to remain.

Masonry

70. Natural stone veneer.
71. Cast stone chimney cap and skirt.

Trim.

80. Hardie Trim.
81. Soffit.

Ornamental Metal Work

90. Existing composite steps to remain.
91. Steel cable railing to match existing.

STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
EXISTING ELEVATIONS
& PROPOSED



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DATE 01.28.2018

PROJECT 2018.05

DRAWN RAL

REVIEW RAL

SCALE 1/4"

A 6.3



1 EXISTING EXTERIOR ELEVATION - REAR ELEVATION (Faces open space) SCALE: 1/4"



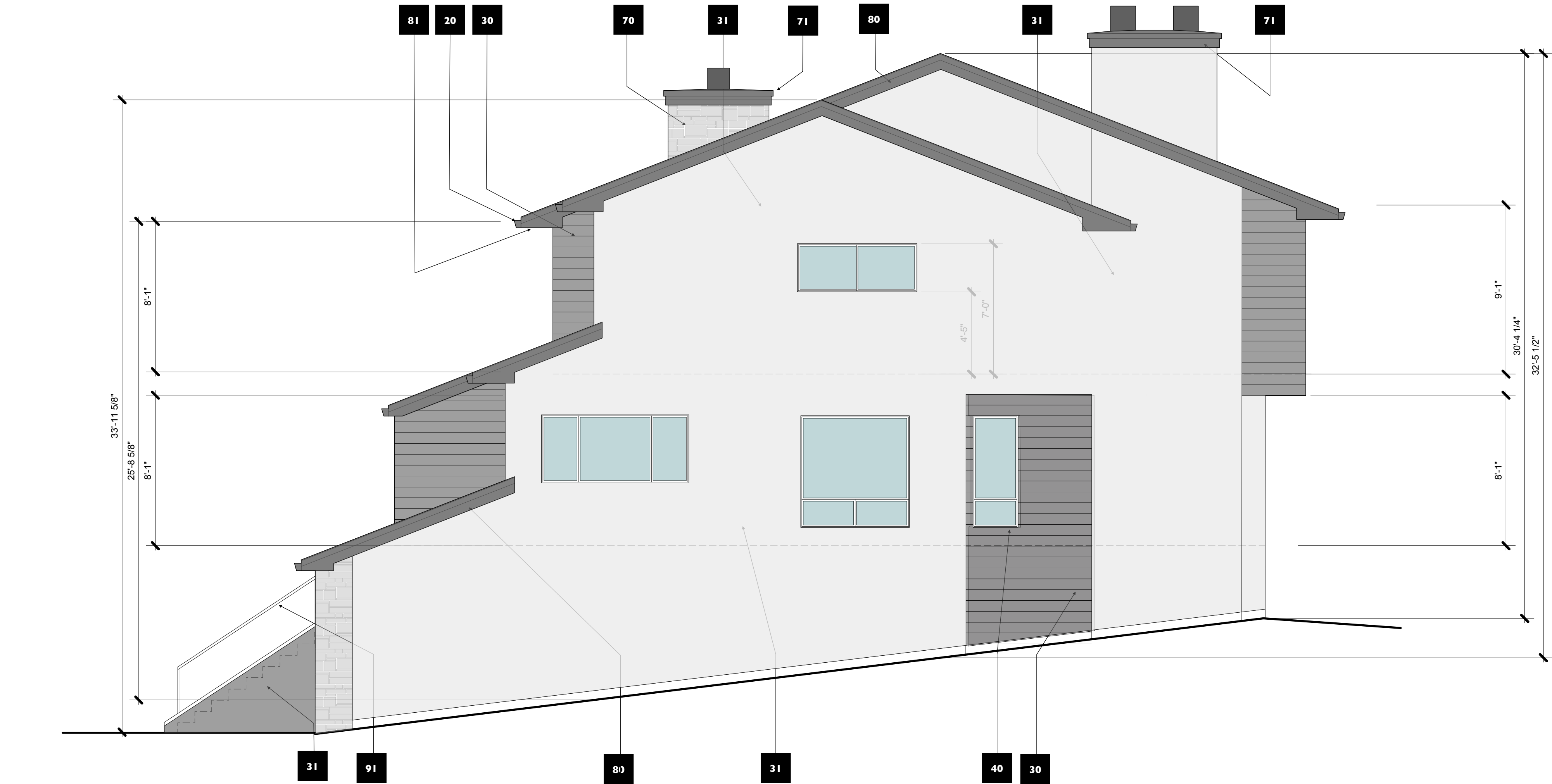
2 PROPOSED EXTERIOR ELEVATION - REAR ELEVATION (Faces open space) SCALE: 1/4"

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PUBLISHED: 05.29.2019





1 | EXISTING EXTERIOR ELEVATION - RIGHT SIDE (Faces neighbors at 10391 and 10399 Heney Creek) SCALE: 1/4"



2 | PROPOSED EXTERIOR ELEVATION - RIGHT SIDE (Faces neighbors at 10391 and 10399 Heney Creek)

SCALE: 1/4" 0 1 2 3 4 5 6 12

NEW EXTERIOR FINISHES

Roofing System and Material

- Existing Laminated asphalt fiberglass roof shingles.

Flashing, Sheet Metal Trim and Accessories

- New metal gutters and down spout. Painted

Walls

- Hardie horizontal siding.
- Conventional three coat stucco exterior wall system.

Windows and Doors

- Metal or composite windows and doors.

Lighting

- Existing wall mounted lighting.

Decorative Entry Door

- Existing custom wood door and stain glass to remain.

Masonry

- Natural stone veneer.
- Cast stone chimney cap and skirt.

Trim.

- Hardie Trim.
- Soffit.

Ornamental Metal Work

- Existing composite steps to remain.
- Steel cable railing to match existing.

STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
EXISTING & PROPOSED
EXTERIOR ELEVATIONS



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DATE 01.28.2018

PROJECT 2018.05

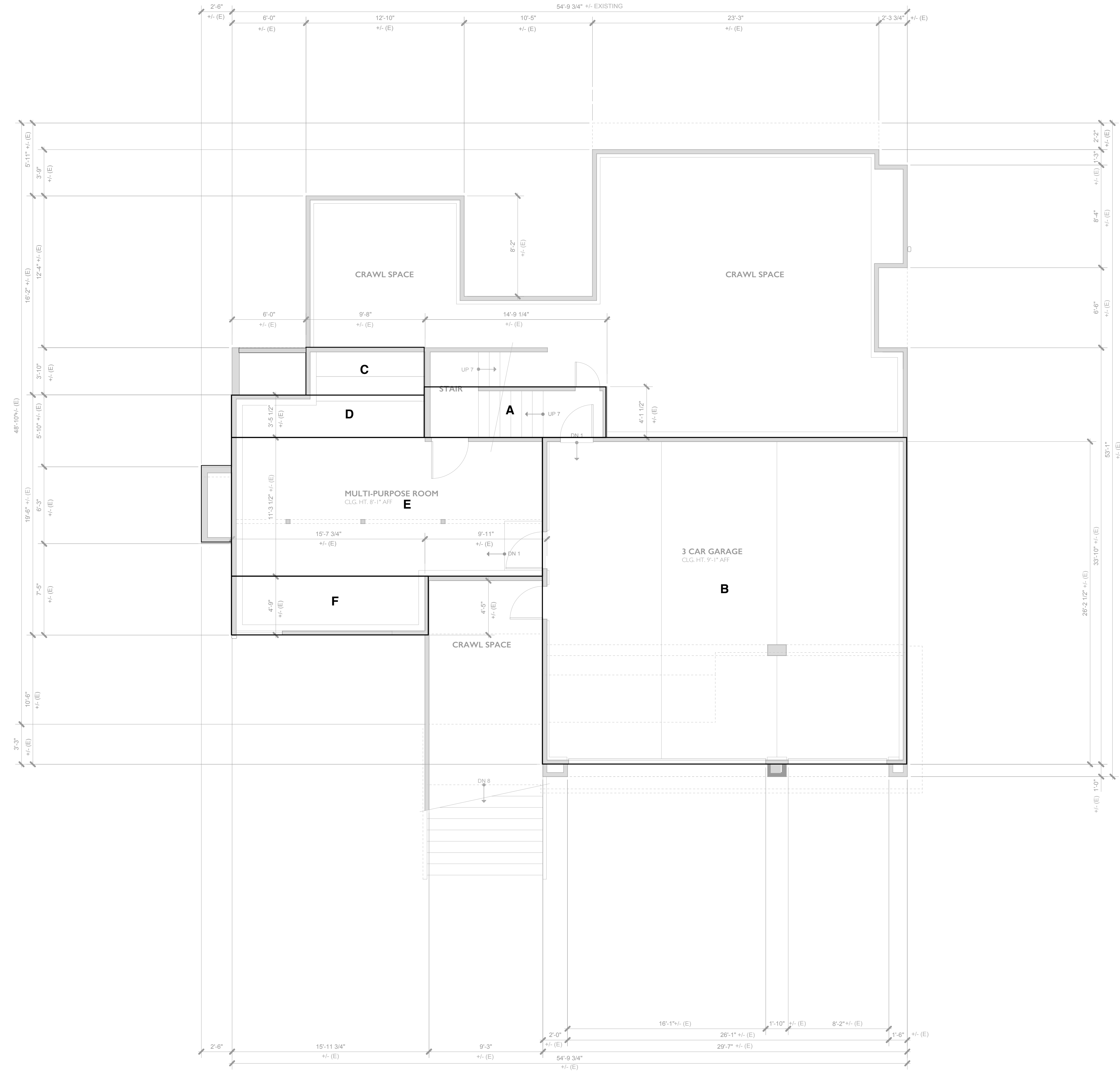
DRAWN RAL

REVIEW RAL

SCALE 1/4"

A 6.4

PROGRESS PRINT
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PUBLISHED: 05.29.2019

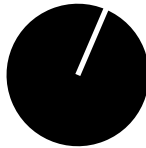


Floor Area Ration Summary						
Existing Lower Level Floor Area						
A	14.77	x	4.13	=	61.00	sf.
B	29.58	x	26.21	=	775.29	sf.
C	9.67	x	3.83	=	37.04	sf.
D	15.67	x	3.45	=	54.06	sf.
E	25.56	x	11.29	=	288.57	sf.
F	15.90	x	4.75	=	75.53	sf.
Subtotal - Existing Floor Area:						1,291.49 sf.
Proposed Lower Level Floor Area						
I	0.00	x	0.00	=	0.00	sf.
Subtotal - Proposed Floor Area:						0.00 sf.
Total Lower Level Floor Area:						1,291.49 sf.

PROGRESS PRINT
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PUBLISHED: 05.29.2019

GRAPHIC LEGEND

- EXISTING WALL
- NEW WALL.



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RESIDENTIAL REMODEL & ADDITION
FAR AREA CALCULATION
LOWER LEVEL FLOOR PLAN

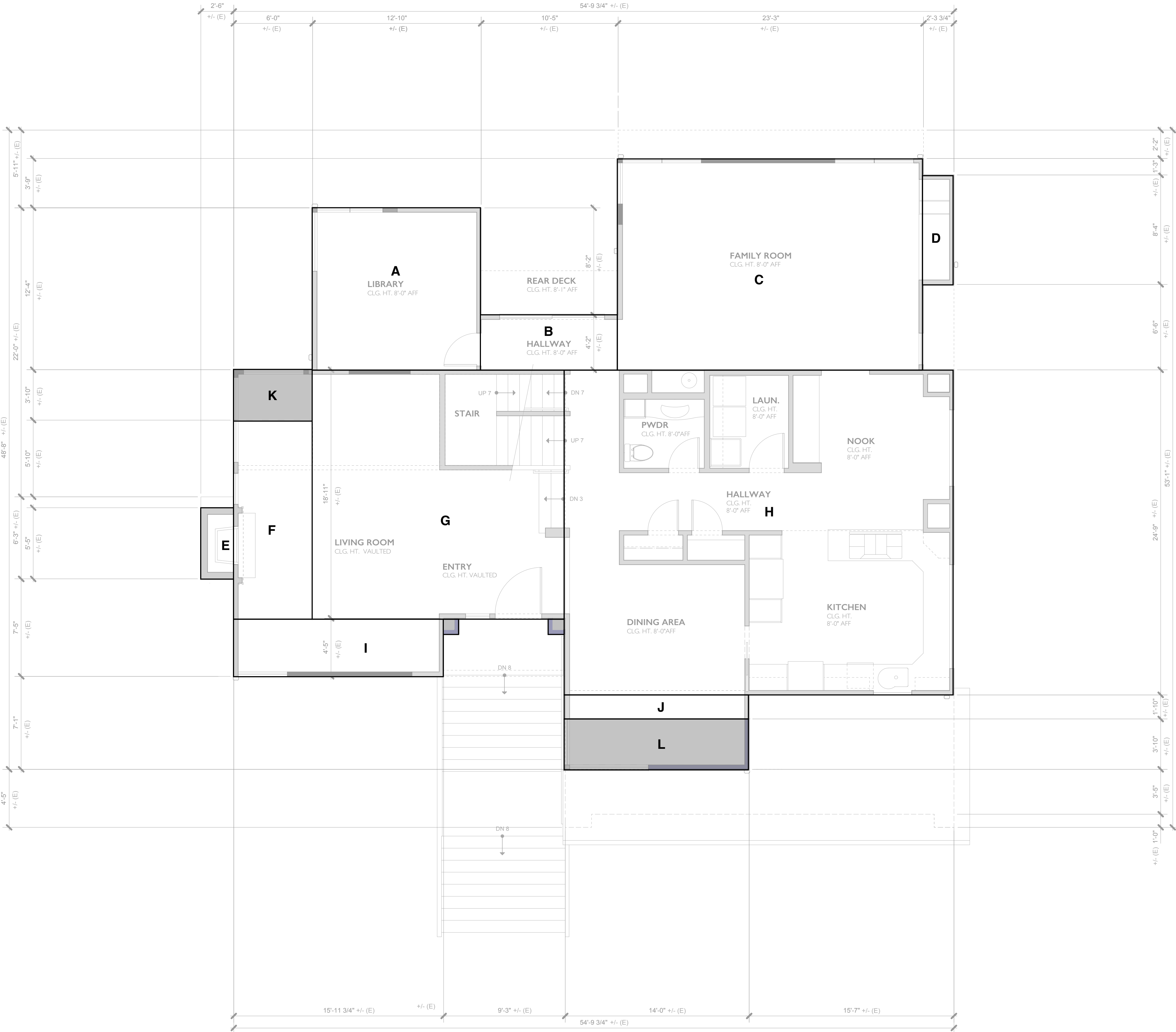


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DATE	01.28.2018
PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"

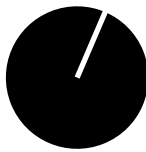
A 7.1



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PUBLISHED: 04.10.2019

GRAPHIC LEGEND

- EXISTING WALL
- NEW WALL



Floor Area Ration Summary					
Existing Main Level Floor Area					
A	12.83	x	12.33	=	158.19 sf.
B	10.42	x	4.17	=	43.45 sf.
C	23.25	x	16.10	=	374.33 sf.
D	2.31	x	8.33	=	19.24 sf.
E	5.41	x	2.42	=	13.09 sf.
F	6.00	x	15.08	=	90.48 sf.
G	19.23	x	18.92	=	363.83 sf.
H	29.58	x	24.75	=	732.11 sf.
I	15.98	x	4.42	=	70.63 sf.
J	14.00	x	1.83	=	25.62 sf.
Subtotal - Existing Floor Area:					1,890.97 sf.
Proposed Main Level Floor Area					
K	6.00	x	3.83	=	22.98 sf.
L	14.00	x	3.83	=	53.62 sf.
Subtotal - Proposed Floor Area:					76.60 sf.
Total Main Level Floor Area:					1,967.57 sf.

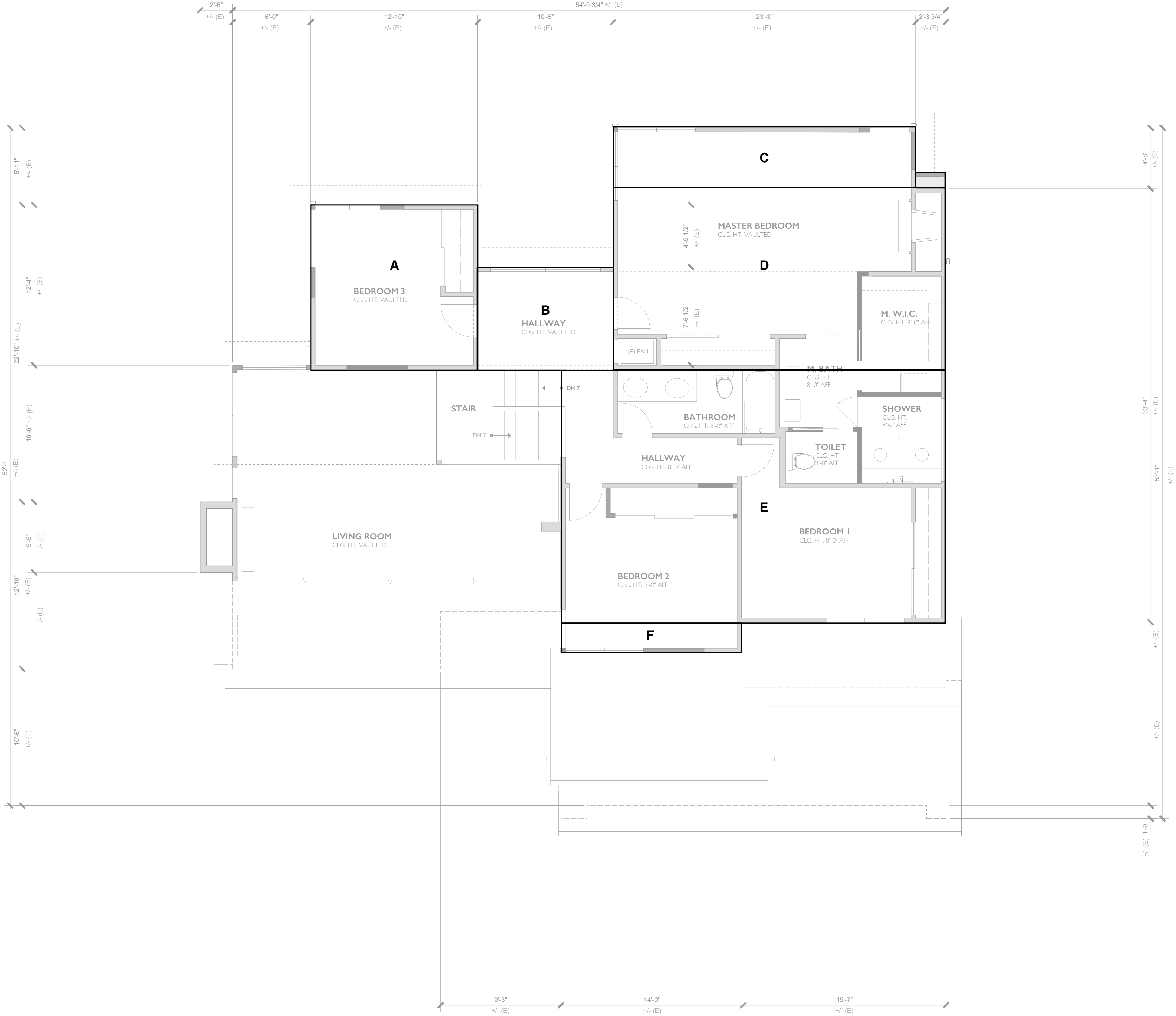
STEVE DAUBER RESIDENCE
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RESIDENTIAL REMODEL & ADDITION
FAR AREA CALCULATION
MAIN LEVEL FLOOR PLAN



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DATE	01.28.2018
PROJECT	2018.03
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"



Floor Area Ration Summary						
Existing Upper Level Floor Area						
A	12.83	x	12.33	=	158.19	sf.
B	10.42	x	7.54	=	78.57	sf.
C	23.25	x	4.67	=	108.58	sf.
D	25.56	x	13.70	=	350.17	sf.
E	29.58	x	21.83	=	645.73	sf.
F	14.00	x	2.33	=	32.62	sf.
Subtotal - Existing Floor Area:					1,373.86	sf.
Proposed Upper Level Floor Area						
	0.00	x	0.00	=	0.00	sf.
Subtotal - Proposed Floor Area:					0.00	sf.
Total Upper Level Floor Area:					1,373.86	sf.

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PUBLISHED: 04.10.2019

GRAPHIC LEGEND

- EXISTING WALL
- NEW WALL



STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
FAR AREA CALCULATION
UPPER LEVEL FLOOR PLAN

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DATE	01.28.2018
PROJECT	2018.05
DRAWN	RAL
REVIEW	RAL
SCALE	1/4"