

**MASTER SIGN PROGRAM
FOR
MCCLELLAN SQUARE SHOPPING CENTER**

LOCATION

NWC South De Anza Boulevard & McClellan Road
10385-10497 South De Anza Boulevard
Cupertino, California
Assessor's Parcel Number (APN): 359-17-019 and 357-17-023

MASTER SIGN PROGRAM

McClellan Square Shopping Center

INTRODUCTION

This Master Sign Program for McClellan Square establishes basic requirements for signage types, quality design and the allowable area for the retail and restaurant buildings located at 10385-10497 South De Anza Boulevard in Cupertino, California. The program also ensures the quality of all new signage is consistent with the design quality and character of the buildings while allowing tenants the flexibility and creativity necessary to meet their needs.

DESIGN CRITERIA

- All signs shall be of a high quality material and design. The signs shall be durable, and resistant to weather and wear.
- All signs shall be architecturally compatible and in harmony with the building with which it is principally associated, by incorporating its colors, materials, shape and design.
- Internally illuminated signs shall not have a directly visible light source.
- The sign's color and illumination shall not produce distraction to motorists or nearby residents.
- Background colors shall be opaque/dense/matte to minimize glare.
- The Centers name and address letters shall project from the face of ground signs.
- Sign copy shall be simple and concise, without excessive description of services or products.
- Wall signs shall be consistently mounted with consistent illumination and projection.

CONDITIONS OF LEASE

In accordance with the specifications contained herein each Tenant is responsible for the design, fabrication, installation, maintenance and cost of electricity for their wall signage.

The Tenant, after approval by the Landlord, shall be responsible for the fabrication and installation of the signage and the designated circuit from the electrical panel to the signage. Special circumstances and penetrations through walls and structures will be addressed on a case-by-case basis.

Within 30 days of termination or conclusion of a lease, the Tenant is responsible for the removal of their signage. The storefront wall or fascia shall be patched and painted and returned to its original condition as it was prior to the installation of the Tenant's signage.

PRELIMINARY SIGNAGE REVIEW

After tenant obtains Landlord preliminary approval, tenant shall complete a preliminary review with the City of Cupertino Planning staff by visiting the Planning Division or sending a request to planning@cupertino.org.

SIGN APPROVAL PROCESS

It is Tenant's sole responsibility before the installation of any signage to submit design drawings of the proposed signage to Landlord for Landlord's review and approval prior to formally submitting to the City of Cupertino for their approval. The use of professional environmental graphic designers and professional signage companies to determine design detailing and sign placement is highly encouraged. Deviations from this program (excepting larger signs and/or additional signs) will only be considered if the overall purpose is to exceed the quality standards set forth herein, and shall be subject to review/approval by the City of Cupertino.

Please refer to Chapter 19.104 of the City of Cupertino Municipal Code for general provisions, definitions, administrative procedures, exempt signs, sign exceptions, compliance and enforcement, and other provisions not specified in this sign program. Where there is a conflict between this document and Chapter 19.104, unless specifically approved in this Sign Program, the regulations in Chapter 19.104 shall apply.

Landlord/Property Manager:	BDC Cupertino L.P. c/o Browman Development Company, Inc. Project Coordinator: (925) 588-2226 1556 Parkside Drive Walnut Creek, CA 94596
City of Cupertino:	City of Cupertino Planning Division: (408) 777-3308; planning@cupertino.org Building Division: (408) 777-3228; building@cupertino.org City Hall 10300 Torre Avenue Cupertino, CA 95014

REVISIONS TO THIS PROGRAM

Change in use of tenants may require revisions to this program. Proposals for new permanent sign locations not shown on the sign program or modifications to the existing sign program standards shall require City review through a sign program modification and, at the discretion of the Director of Community Development, an additional discretionary permit.

Requests for changes of face to signs shown on the sign program, including, but not limited to, letter style, letter size, color, background, or message shall be consistent with the approved sign program.

No additional illuminated signs will be allowed unless a future sign program modification is approved.

Minor modifications to this sign program shall be reviewed and approved by the City of Cupertino staff or Director of Community Development prior to sign permit issuance.

Existing signs, with the exception of those to be removed, shall remain. All new tenants, whether in the areas of new construction or in an existing building requesting any changes of face/new sign installation, shall conform to the program.

INSTALLATION

- All signage shall be constructed and installed at Tenant's expense.
- Tenants shall be responsible for the installation and maintenance of their signage.
- The Tenant's Signage Contractor shall be licensed by the State of California, and shall carry workman's compensation and public liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signage.
- Tenant's Signage Contractor shall repair any damage caused by his or her work. Damage to structure that is not repaired by the Contractor shall become the Tenant's responsibility to correct.
- Signage not installed and operable in accordance with previously approved plans shall be corrected by the Tenant upon request of Landlord. If not corrected within 30 days, signage may be corrected by Landlord at Tenant's expense.

GENERAL CONSTRUCTION SPECIFICATIONS

- Signage must be constructed and installed to meet all applicable codes and City of Cupertino requirements.
- Notwithstanding the following signage Guidelines, tenants may utilize standard corporate logos and/or prototypical signage graphics, subject to the approval of Landlord and the City of Cupertino.
- All electrical signage shall bear the Underwriters Laboratories (UL) label of approval.
- Every part of the light source of any illuminated sign shall be concealed from view from vehicular traffic and the light shall be visible only from a reflecting or diffusing surface.

- All supporting structures and background materials shall be opaque and non-reflective.
- All exterior signage shall be secured by concealed fasteners or, if exposed, fasteners of steel with dark bronze finish. All raceways, transformers, electrode boxes, switches, wiring, conduit and access hatches shall be concealed.
- All penetrations of the building structure required for signage installation shall be neatly sealed and watertight. Color and finish of attachments and sealants shall match adjacent exterior finishes.
- Surfaces of all signage are intended to be flat without bulges, oil-canning or other deformities. Any welded seams on signage faces should be finished smooth.

GENERAL LIGHTING GUIDELINES

- External spot lighting shall be placed so that the light source is screened from direct view.
- Individually illuminated channel letters are permitted but no visible external raceways are permitted.
- All exterior lighting shall be placed in a manner so that the light source will not be seen from 100 feet or greater off the site.
- No internally illuminated signs facing a residential district are permitted within 100 feet of residential districts.
- All lights shall be integral to signs or shall be spots or goosenecks aimed at signs. No up lighting is allowed.
- The color and thickness of the sign panels as well as the brightness of the bulbs used to illuminate the sign shall be designed in such a manner as to avoid excessive illumination and glare.
- Illuminated signs which are not a necessary part of the security lighting system for a business shall be turned off at the latter of: i) 11:00 pm, or ii) within two hours after the business is closed.

PROHIBITED SIGNS

- Cabinet and/or internally illuminated box signs
- Advertising statuary
- Animated and/or inflatable signs
- Audible signs

- Roof signs
- Traffic conflict signs (signs which because of color, wording, design, location or illumination resemble or conflict with any traffic-control device or with the safe and efficient flow of traffic)
- Vehicle signs
- Flashing, moving or scintillating light bulbs or effects
- Neon signs
- Window signage, other than permanent window graphics permitted elsewhere in these Guidelines
- Signage employing luminous painted paper or cardboard signage
- Paper, stickers or decals hung around or behind storefront glazing
- Vacuum formed plastic lettering
- A-frame 'sandwich' signs or other portable signs
- Signage employing exposed raceways, ballast boxes or transformers
- Except as allowed elsewhere in these Guidelines, tenants shall not place any signage on the rear of the building except for service, receiving and exit door identification signage including receiving hours permitted. Letter height for these signs shall be limited to 6" in height. Total signage area shall be limited to 2 square feet.

GUIDELINES BY SIGNAGE TYPE

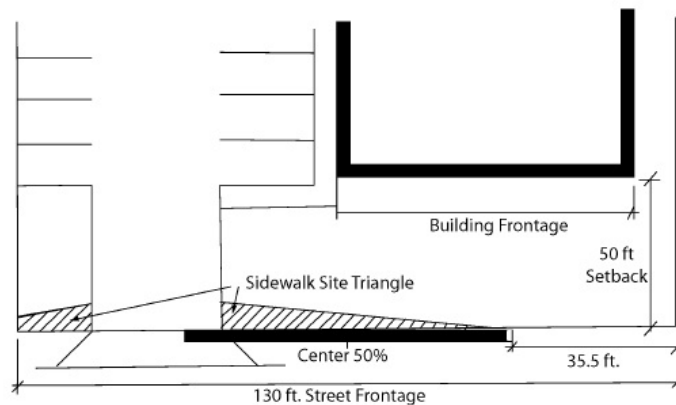
1. Monument Signs (see Exhibits D-1 and D-2)
 - a. South De Anza Boulevard – Existing Monument Sign (the “De Anza Sign”):
The existing De Anza Sign was refurbished as shown in the attached Exhibit D-1 & will be repainted to match the shopping center color scheme.
 - b. McClellan Road – Existing Monument Sign (the “McClellan Sign”):
The existing sign on McClellan Road is shown in the location on the attached Exhibit A, as further described in the attached Exhibit D-2 & will be repainted to match the shopping center color scheme.
 - c. 10495 South De Anza Boulevard – New Monument Sign (the “10495 South De Anza Sign”):
This center will be allowed a new monument sign to match the McClellan Sign, in the location shown on the attached Exhibit A, as further described in the attached Exhibit D-3.
 - d. Tenant Monument Signs - Existing (i.e. Chipotle Sign) will continue to be allowed.

SIZE, CONTENT, AND LOCATION

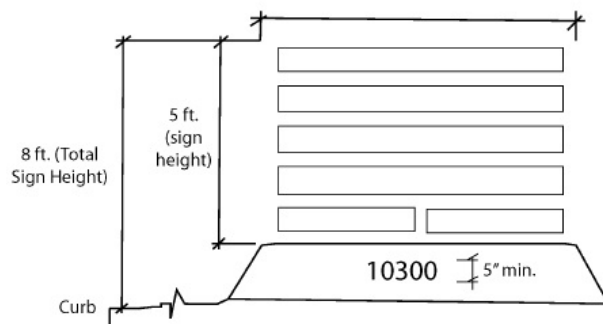
In addition, all new ground-mounted signs shall be subject to the following:

- Limited to 8 feet high, measured from sidewalk grade.
- Sign area is limited to 1 square foot per 4 linear feet of street frontage, with a maximum area of 100 square feet. In the case of double-faced signs, the area of the larger face of the sign equals the total sign area.
- There may be a maximum number of 8 tenants on a sign.
- Street address numbers or range numbers for businesses shall be clearly identified in numbers not less than 5 inches in height.
- The "McClellan Square" name shall be shown on the sign
- No portion of any sign over three feet in height shall be located within a corner triangle or sidewalk site triangle as illustrated below.
- No portion of any ground sign shall be located closer than one foot from the public right-of-way.

APPENDIX A: EXAMPLE OF HOW TO FIGURE SIZE AND LOCATION OF GROUND SIGNS



1 Ground Sign Allowed: 130 ft
Maximum Sign Area: 32.5 sq. ft. ($130 \text{ ft}/4 = 32.5$)
Sign Location: Center 50% begins at 32.5 ft. from side property lines.



Sign Area: $5 \times 6.5 = 32.5 \text{ sq. ft.}$
Sign Area equals height of sign face times length of sign face. (excluding base)
Overall height of sign is measured from the closest curb.

2. Wall Signs (See Exhibit B)

Primary Wall Signs (identified on Exhibit A and shown below in red) – The primary wall sign area is defined as the frontage of the tenant space above their front door or main customer service entrance. Tenants shall be allowed one (1) building-mounted primary commercial sign. See Tenant Sign Matrix (Exhibit C-1) for further detail on the allowable sign area and size. NOTE: Wall signs shall not project above the roof or top of the parapet, unless it is an integral part of the face of an architectural projection.

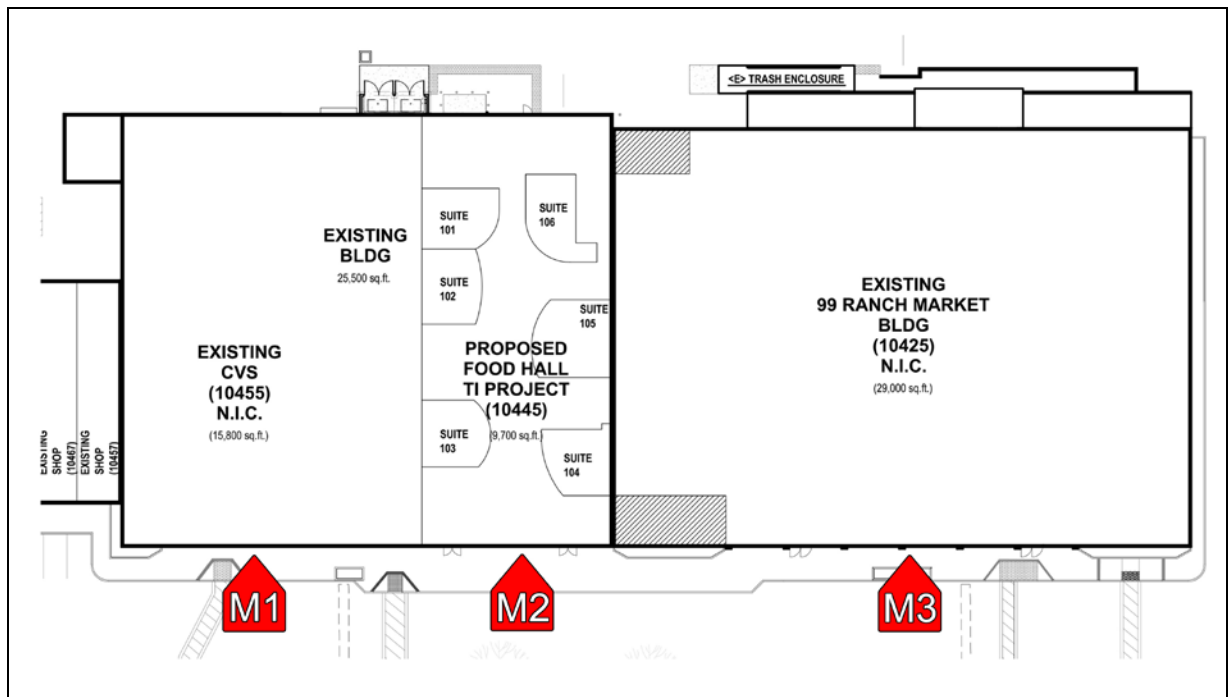
Secondary Wall Signs (identified on Exhibit A and shown below in blue)—The secondary wall sign area shall be defined as the rear or side of the tenant space not directly facing a residential neighborhood. Tenants meeting the criteria listed in the Tenant Sign Matrix (Exhibit C-1) shall be allowed one (1) secondary wall sign.

- a. Major Tenants – Defined as tenants with greater than (>)9,000 SF of lease space. Major Tenants are subject to the guidelines listed in the Tenant Sign Matrix (Exhibit C-1).

M1 – CVS (Exhibit B-1)

M2 – Food Hall (Exhibit B-1)

M3 – 99 Ranch Market (Exhibit B-2)



- b. Shop and Pad Tenants – Defined as tenants as tenants with less than (<)9,000 SF of lease space. Shop Tenants are subject to the guidelines listed in the Tenant Sign Matrix (Exhibit C-1).

Shop Tenants (Exhibit B-3 & Exhibit C)

S1 – 10497 S De Anza Boulevard

S2 – 10487 S De Anza Boulevard

S3 – 10477-B S De Anza Boulevard

S4 – 10477 S De Anza Boulevard

S5 – 10475 S De Anza Boulevard

S6 – 10467 S De Anza Boulevard

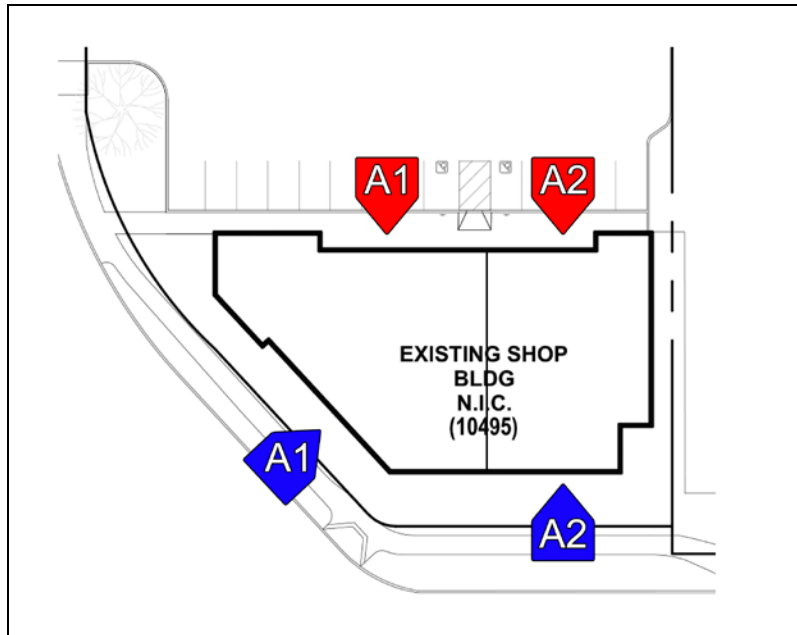
S7 – 10457 S De Anza Boulevard



Pad A Tenants – 10495 S De Anza Boulevard (Exhibit B-5 & Exhibit C)

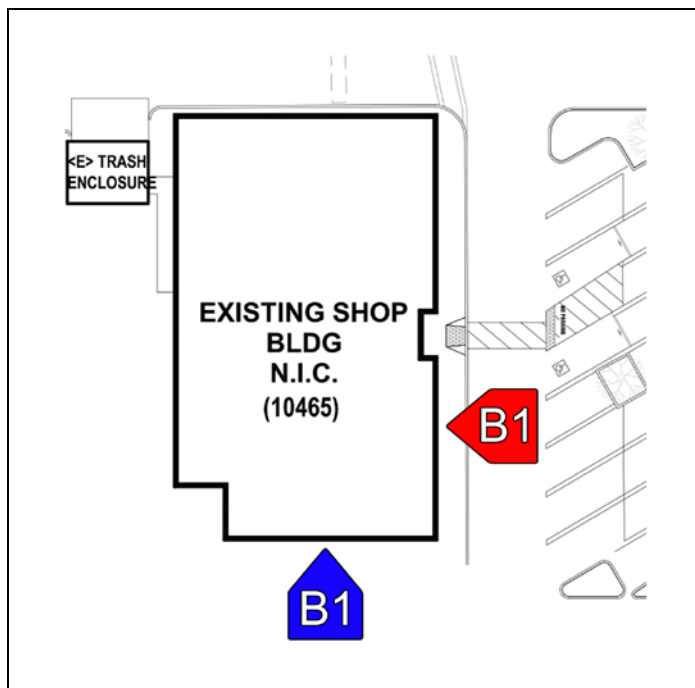
A1 – 10495 S De Anza Boulevard

A2 – 10495 S De Anza Boulevard



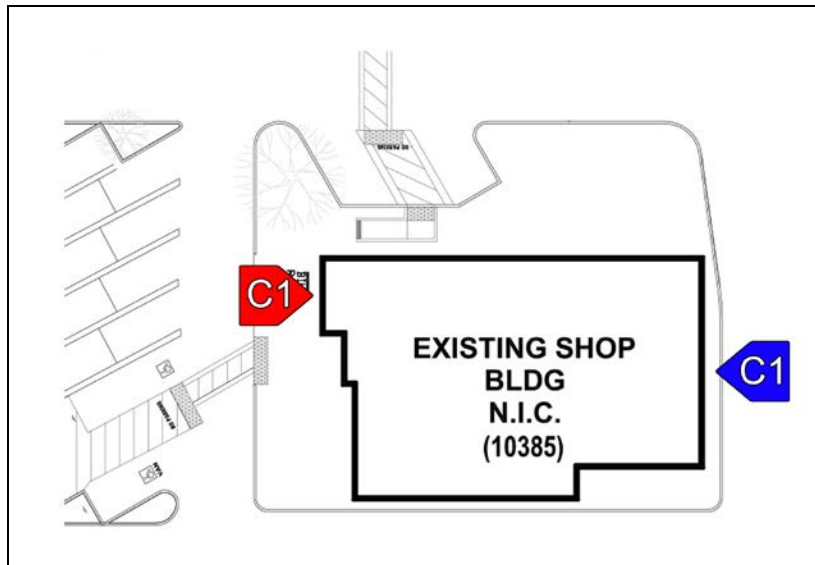
Pad B Tenants – 10465 S De Anza Boulevard (Exhibit B-6 & Exhibit C)

B1 – 10465 S De Anza Boulevard



Pad C Tenants – 10385 S De Anza Boulevard (Exhibit C)

C1 – 10385 S De Anza Boulevard



3. Pedestrian/Blade Signs

In addition to wall signs, all tenants are allowed in one pedestrian/blade sign that shall conform to the following:

- a. Tenants shall be allowed one pedestrian oriented sign projecting perpendicular above the storefront and supported by a decorative bracket for each frontage.
- b. The pedestrian sign shall be no larger than 2 feet tall by 2.5 feet wide.
- c. The bottom of the pedestrian signs shall be located a minimum of 8 feet above the sidewalk, and rigidly supported.
- d. Pedestrian/blade signs shall be constructed with quality of wall signage and specs. Luminescent, fluorescent, or neon are not allowed.

4. Window Signs

- a. Tenants shall be allowed one window sign, up to 25% of the total window area. Window sign area is considered part of the total allowable primary sign area. The window sign area shall not exceed ½ square foot per 1 lineal foot of frontage.
- b. The maximum letter height for window signs is 12 inches.

5. Sidewalk Restaurant Signs

- a. Restaurant tenants are allowed signage on sidewalk café umbrella(s) in addition to the primary signage area.
- b. The total signage on an umbrella shall not exceed 10% of the umbrella area. Maximum letter height is 6 inches and the business logo shall not exceed 1 square foot, either painted or embroidered onto the umbrella area.

TEMPORARY SIGNS

All temporary signs must apply for and receive temporary sign permits with the City of Cupertino Planning Division.

Tenants are allowed temporary or promotional signage to convey information announcing retail sales events, seasonal/stock promotions and community activities, or a condition of short and limited duration. Temporary signs may be displayed for a period no greater than fifteen (15) days. A minimum waiting period of thirty (30) consecutive calendar days is required prior to displaying a temporary sign and subject to Landlord approval.

A temporary window sign that extends from one panel of glass to another to convey a single message shall be allowed as long as it does not exceed the maximum allowable sign area for all temporary promotional signs.

Temporary and promotional window signage shall be compatible with glass dimensions and window mullion locations. Temporary signs shall not exceed 4 square feet per side, with a maximum height of 3 feet.

Temporary sign content shall be consistent with tenant's overall graphics and identity package. Colors and materials shall be subject to approval by the City of Cupertino and Landlord.

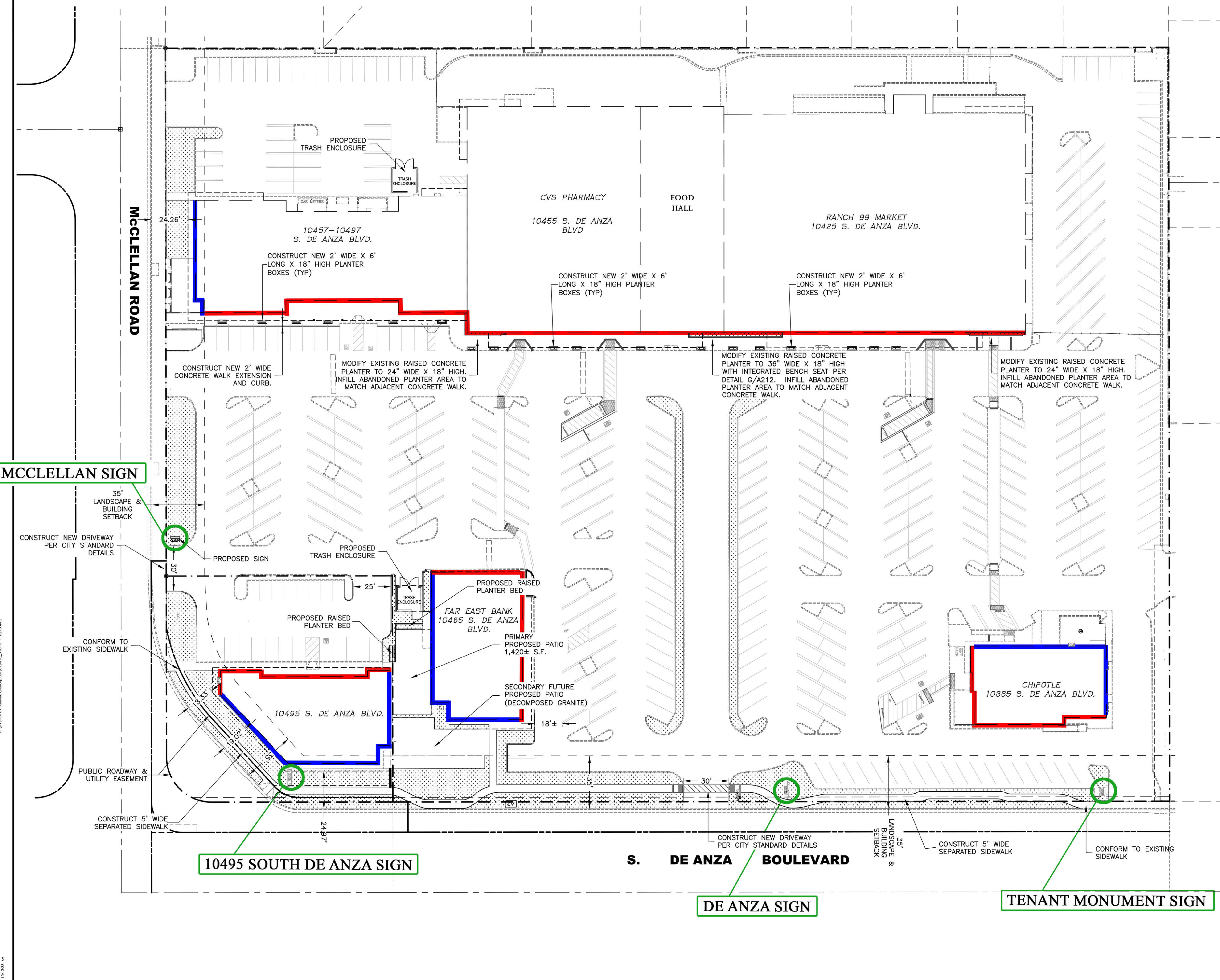
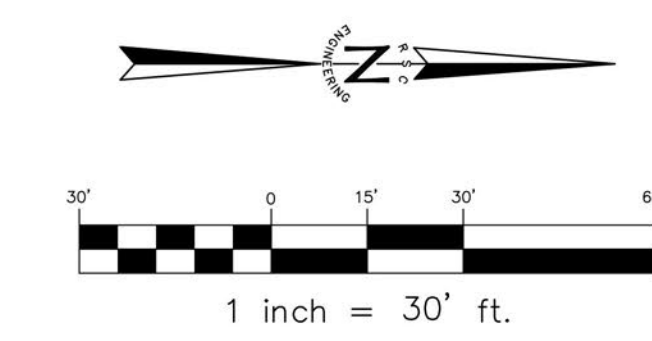
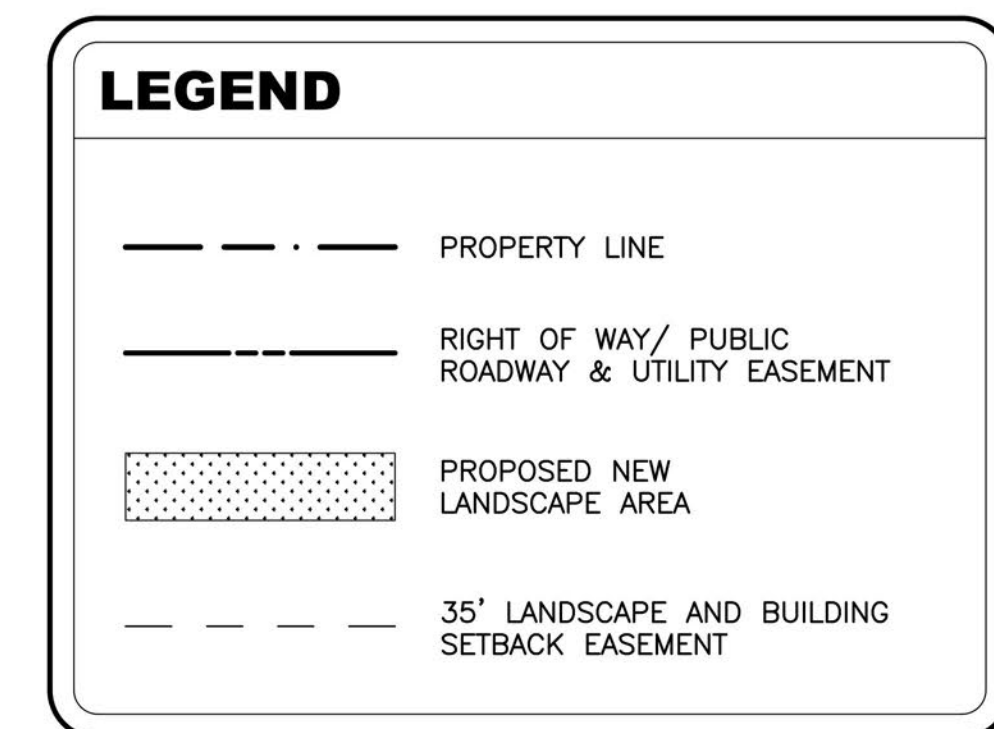
Temporary signs are generally constructed of plastic, cloth, canvas and other weatherproof, lightweight materials, and must be consistent with overall tenant graphics package. Colors and materials shall be subject to approval by the City of Cupertino and Landlord. Signs shall not be illuminated, luminescent, fluorescent, or neon.

MISCELLANEOUS TENANT IDENTIFICATION SIGNAGE

In addition to other signage allowed, all tenants shall be allowed to provide all required address, entry, exit and disabled accessibility signage required by code and local ordinances. Miscellaneous tenant identification signage may consist of required suite or street address in, open/closed signage, entry and exit signage, hours of operations signage, credit card usage and disabled accessibility signage.

Quantity of the miscellaneous tenant identification signage shall be limited to signage as required by code and local ordinances.

Miscellaneous non-advertising tenant identification signage (i.e. address/suite information) shall be applied to inside surface or storefront glass using a standard color to be determined (neon is not permitted).



FUTURE CHANGES TO CRITERIA

This sign criteria may be amended or changed in order to accommodate the requirements of the City or other governing bodies with regard to the final approval of the uniform sign program for the Shopping Center. If any such changes are required, this criteria will be amended to incorporate the required changes and Tenant agrees to abide by the new or amended requirements of the sign criteria.

EXHIBITS

EXHIBIT A	Site Plan
EXHIBIT B-1	CVS and Food Hall Elevations
EXHIBIT B-2	99 Ranch Market Elevations
EXHIBIT B-3	Shops 1 Elevations
EXHIBIT B-4	10465 Elevations
EXHIBIT B-5	10495 Elevations
EXHIBIT C-1	Tenant Sign Matrix
EXHIBIT C-2	Shops Tenants Sign Details
EXHIBIT D-1	Monument Sign on South De Anza Boulevard
EXHIBIT D-2	Monument Sign on McClellan Road
EXHIBIT D-3	Proposed Monument Sign at 10495 South De Anza Boulevard Pad Building



ILLUMINATED CHANNEL LETTERS
ON FRAMEWORK SUSPENDED
FROM CANOPY / OR HANGING
FROM IPE CANOPY





East Elevation ~ 99 Ranch Market

1/8" = 10'

ILLUMINATED CHANNEL LETTERS
ON FRAMEWORK SUSPENDED
FROM CANOPY / OR HANGING
FROM IPE CANOPY





South Elevation

1/8" = 1' 0"



East Elevation

1/8" = 1' 0"



East Elevation

1/8"= 1' 0"



North Elevation

1/8"= 1' 0"



South Elevation

1/8"= 1' 0"



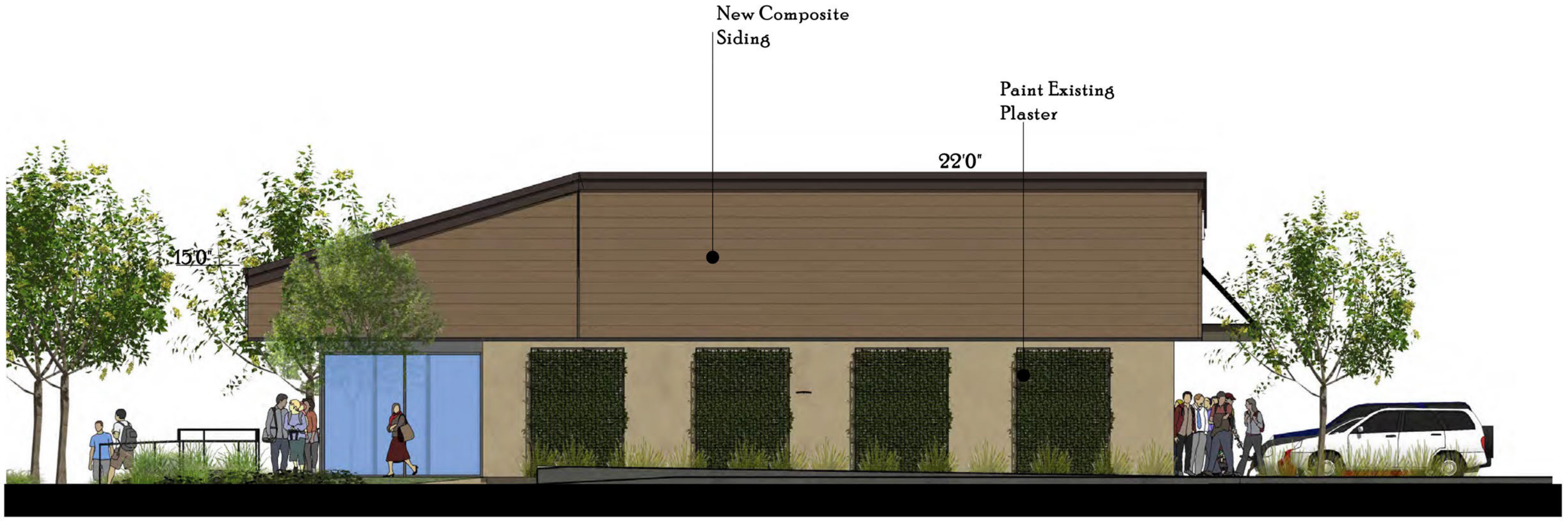
West Elevation

1/8"= 1' 0"



East Elevation

1/8"= 1' 0"



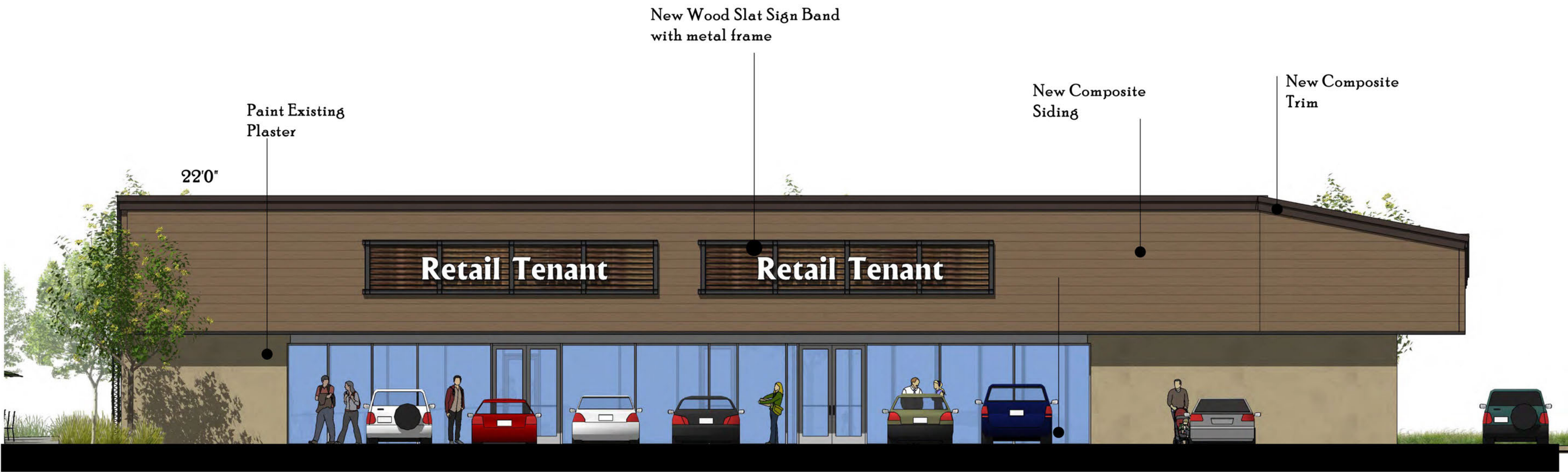
North Elevation

1/8"= 1' 0"



South Elevation

1/8"= 1' 0"



West Elevation

1/8"= 1' 0"

MAJOR TENANTS

Tenant	Number	Size (Allowed Area and Length)	Location
<p>Major Tenants -Defined as tenants with greater than (>)9,000 SF of lease space.</p>	<ul style="list-style-type: none"> • One primary wall sign per business with exterior frontage • One secondary wall sign for: <ul style="list-style-type: none"> - Businesses with rear walls facing either parking lots or streets - Businesses with side walls facing either parking lots or streets - In no case shall a secondary wall sign directly face a residential building within 100' of the sign • Major Tenants with only one frontage shall be allowed a secondary wall sign provided the combined square footage of the primary wall sign and secondary wall sign do not exceed 200 s.f. • The Food Hall space shall be allowed tenant marquee signage as shown on Exhibit B-2 to highlight each of the individual tenants within the Food Hall. 	<ul style="list-style-type: none"> • 1 s.f. per linear ft of store frontage on which sign is located. • 70% of store frontage maximum • Length = total combined length of each row of sign copy • Minimum area = 20 s.f. • Maximum overall sign height: <ul style="list-style-type: none"> - Primary Wall Sign: 6' Max - Secondary Wall Sign: 4' Max 	<ul style="list-style-type: none"> • No more than one wall sign per frontage, except as otherwise provided for in these Guidelines • Shall not project above the roof or top of parapet, unless it is an integral part of the face of an architectural projection. • No projecting wall sign shall extend into a public right-of-way more than twelve inches. Any projecting sign shall have a vertical clearance of at least fifteen feet above a private or public vehicular roadway, alley, driveway or parking area, and at least eight feet above a sidewalk, pedestrian mall or landscaped area.

EXHIBIT C-1 TENANT SIGN MATRIX

SHOP AND PAD TENANTS

Tenant	Number	Size (Allowed Area and Length)	Location
<p>Shop and Pad Tenants -Defined as tenants with less than (<)9,000 SF of lease space.</p>	<ul style="list-style-type: none"> • One primary wall sign per business with exterior frontage • One secondary wall sign for: <ul style="list-style-type: none"> - Businesses with rear walls facing either parking lots or streets - Businesses with side walls facing either parking lots or streets - In no case shall a secondary wall sign directly face a residential building within 100' of the sign 	<ul style="list-style-type: none"> • 1 s.f. per linear ft of store frontage on which sign is located • 70% of store frontage maximum • Length = total combined length of each row of sign copy • Minimum area = 20 s.f. • Maximum area = 200 s.f. • Maximum overall sign height: <ul style="list-style-type: none"> - Primary Wall Sign: 4' Max - Secondary Wall Sign: 3' Max - Side Wall Sign: 3' Max 	<ul style="list-style-type: none"> • No more than one wall sign per frontage • Shall not project above the roof or top of parapet, unless it is an integral part of the face of an architectural projection • No projecting wall sign shall extend into a public right-of-way more than eighteen inches. Any projecting sign shall have a vertical clearance of at least fifteen feet above a private or public vehicular roadway, alley, driveway or parking area, and at least eight feet above a sidewalk, pedestrian mall or landscaped area

EXHIBIT C-1 TENANT SIGN TABLE

BROWMAN DEV.
McCLELLAN SQUARE
10455 DE ANZA BLVD.
CUPERTINO, CA

36"
Tenant

36"
**TENANT
STACKED**

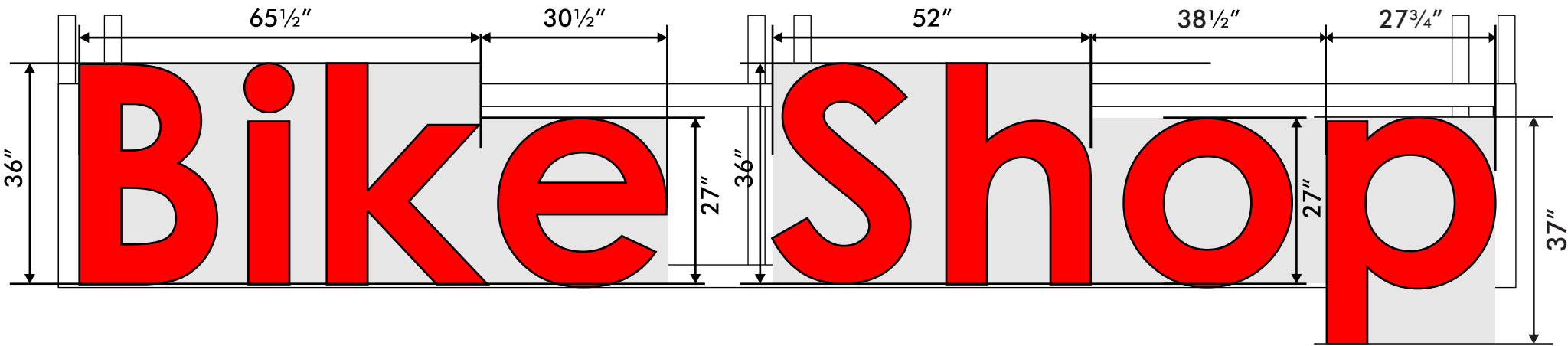
IN-LINE & PAD TENANTS

Maximum letter height: 36"

Maximum overall height (including logos, initial or concluding caps, stacked copy, but not including ascenders & descenders of lettering): 36"

Maximum length: 70% of frontage

SCALE 1/2" = 1' - 0"



SAMPLE SQUARE FOOTAGE CALCULATION

36" x 65 1/2" = 16.37sf ("Bik")

27" x 30 1/2" = 5.71sf ("e")

36" x 52" = 13.00sf ("Sh")

27" x 38 1/2" = 7.22sf ("o")

37" x 27 3/4" = 7.12sf ("p")

TOTAL SQUARE FEET: 49.42sf



6221 Enterprise Drive Diamond Springs, CA 95619
Phone 916 933-3765 • 530 622-1420 • Fax 530 622-9367

SALESPERSON
ILLUSTRATION
LOCATION
DATE
REVISED
Keith Wills
Perry Wilson
Cupertino, CA
05/10/13
06/04/13
10/10/13
10/16/13
10/18/13
10/21/13
11/18/13
03/04/14
05/07/14

CUSTOMER APPROVAL _____ DATE _____

COLORS ON THIS PRINTOUT MAY VARY SLIGHTLY FROM FINAL MATERIALS COLORS. APPROVAL OF THIS ILLUSTRATION INCLUDES APPROVAL OF THE FINAL MATERIALS COLORS AS DESCRIBED IN THE WRITTEN CALLOUT. WRITTEN DIMENSIONS ON THIS ILLUSTRATION HAVE PRECEDENCE OVER SCALED DIMENSIONS. ILLUSTRATIONS SHOWING BUILDING ELEVATIONS ARE CONCEPTUAL AND TO APPROXIMATE SCALE ONLY. THEY ARE NOT TO BE CONSIDERED AN EXACT IMAGE OF HOW THE FINISHED SIGN WILL APPEAR.

LANDLORD APPROVAL _____ DATE _____

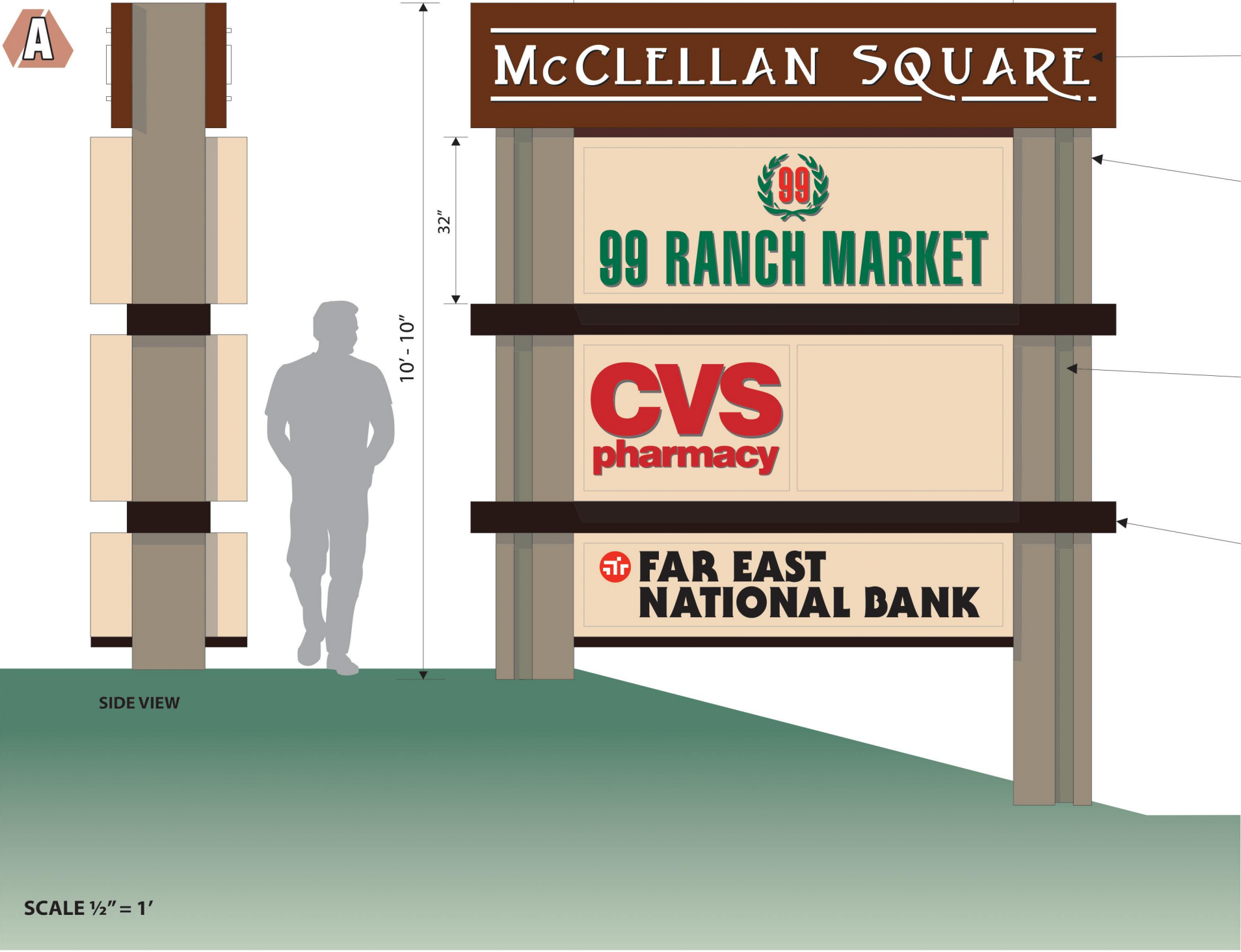
SALESPERSON SIGNOFF _____ DATE _____

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BROWMAN DEV.
McCLELLAN SQUARE
10455 DE ANZA BLVD.
CUPERTINO, CA

EXISTING
EAST SIGN



No Change to Cap

Dunn Edwards
DEC750 Bison Beige
(COLUMNS)

Dunn Edwards
DET510 Gunsmoke
(REVEAL)

Dark Bronze
(HORIZONTAL TRIM)



REPAINT AS SHOWN



SALESPERSON Keith Wills
ILLUSTRATION Perry Wilson
LOCATION Cupertino, CA
DATE 12/27/16
REVISED



EXHIBIT D-1
MONUMENT SIGN ON SOUTH DE ANZA BOULEVARD

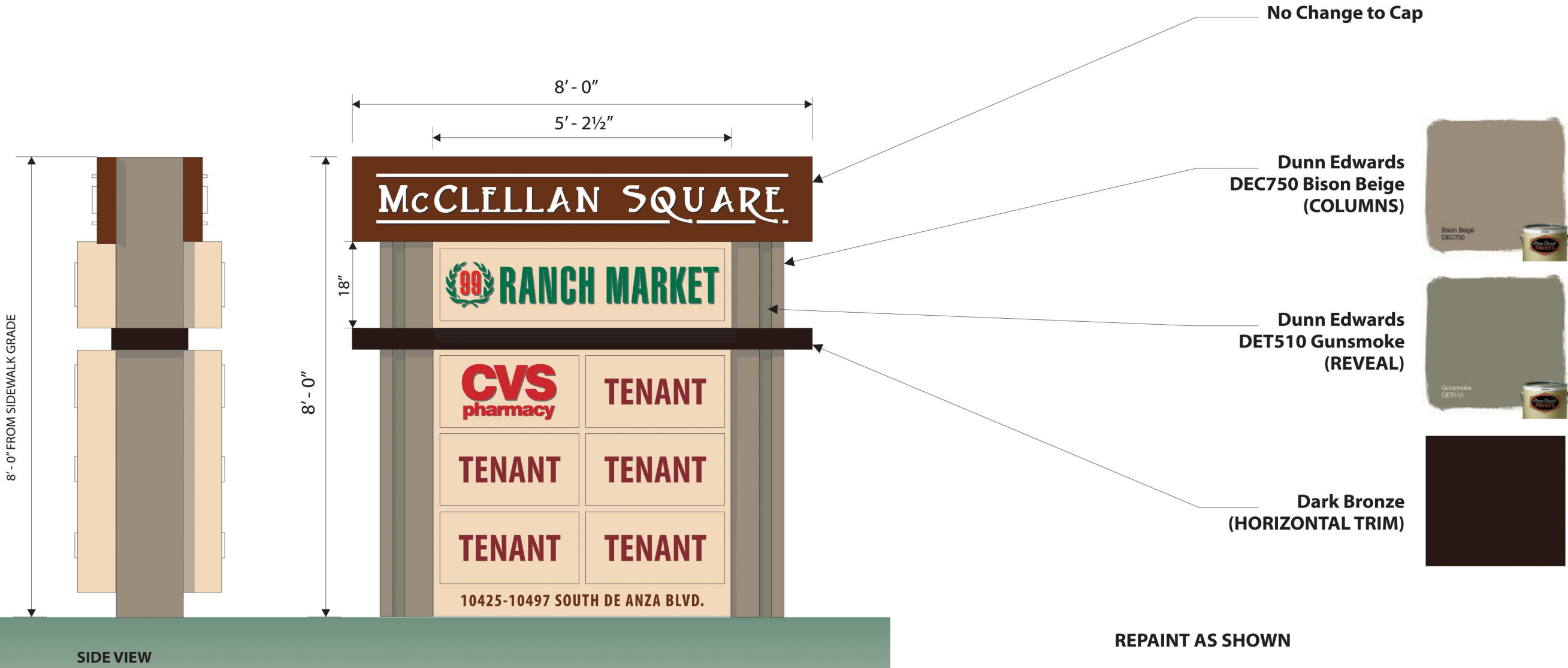
6221 ENTERPRISE DRIVE, DIAMOND SPRINGS, CA 95619

Phone 916.933-3765 • 530.622-1420 Fax 530.622-9367
E-Mail design@westernsign.com Website www.westernsign.com

BROWMAN DEV.
McCLELLAN SQUARE
10455 DE ANZA BLVD.
CUPERTINO, CA



EXISTING
SOUTH SIGN



SCALE 1/2" = 1'



**WESTERN
SIGN COMPANY**
SINCE 1959

6221 ENTERPRISE DRIVE, DIAMOND SPRINGS, CA 95619

Phone 916.933-3765 • 530.622-1420 Fax 530.622-9367
E-Mail design@westernsign.com Website www.westernsign.com

SALESPERSON Keith Wills
ILLUSTRATION Perry Wilson
LOCATION Cupertino, CA
DATE 12/27/16
REVISED

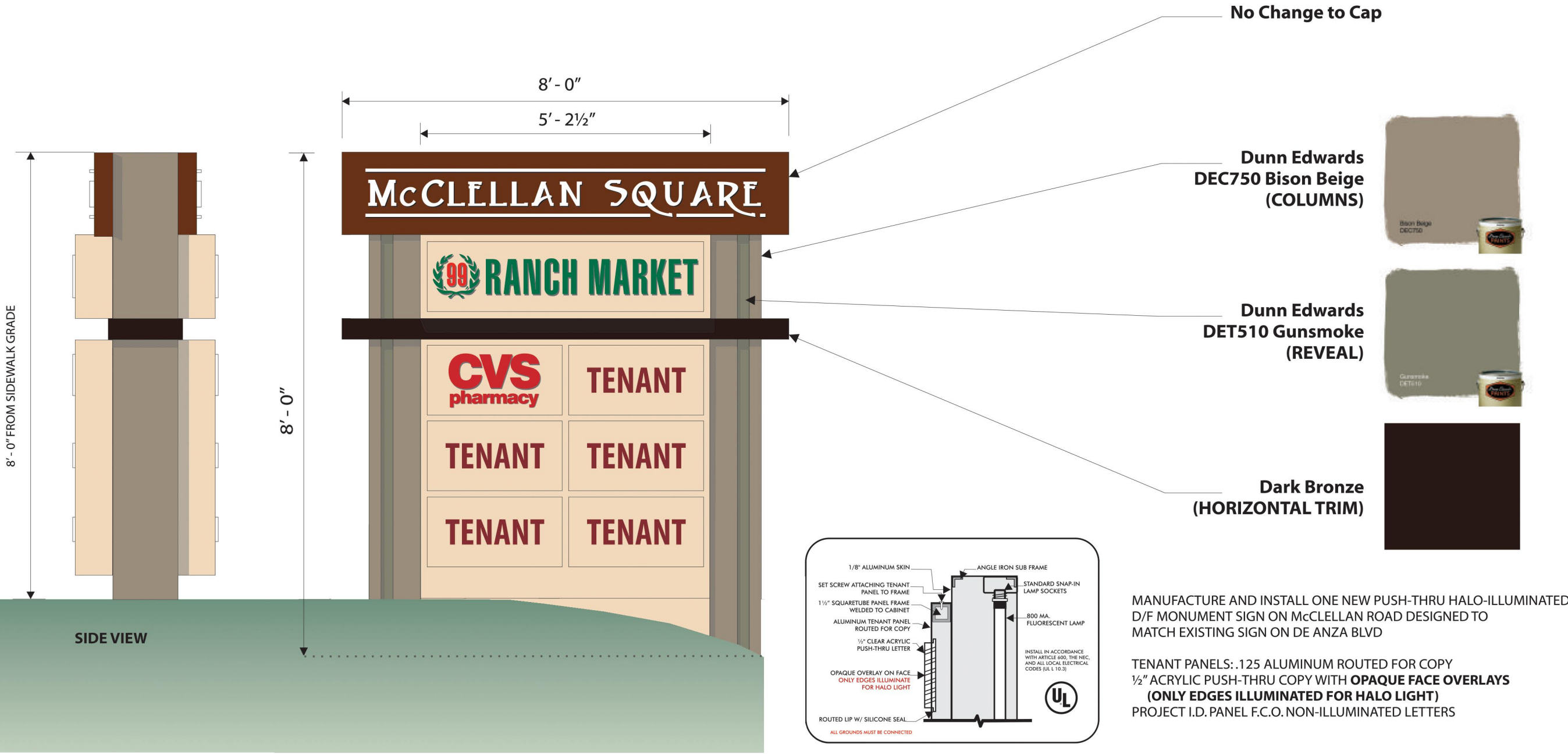
EXHIBIT D-2
MONUMENT SIGN ON MCCLELLAN ROAD



BROWMAN DEV.
McCLELLAN SQUARE
10455 DE ANZA BLVD.
CUPERTINO, CA



NEW
"10495" SIGN



6221 ENTERPRISE DRIVE, DIAMOND SPRINGS, CA 95619

Phone 916.933-3765 • 530.622-1420 Fax 530.622-9367
E-Mail design@westernsign.com Website www.westernsign.com

SALESPERSON Keith Wills
ILLUSTRATION Perry Wilson
LOCATION Cupertino, CA
DATE 12/27/16
REVISED

EXHIBIT D-3
PROPOSED MONUMENT SIGN AT
10495 SOUTH DE ANZA BOULEVARD

