
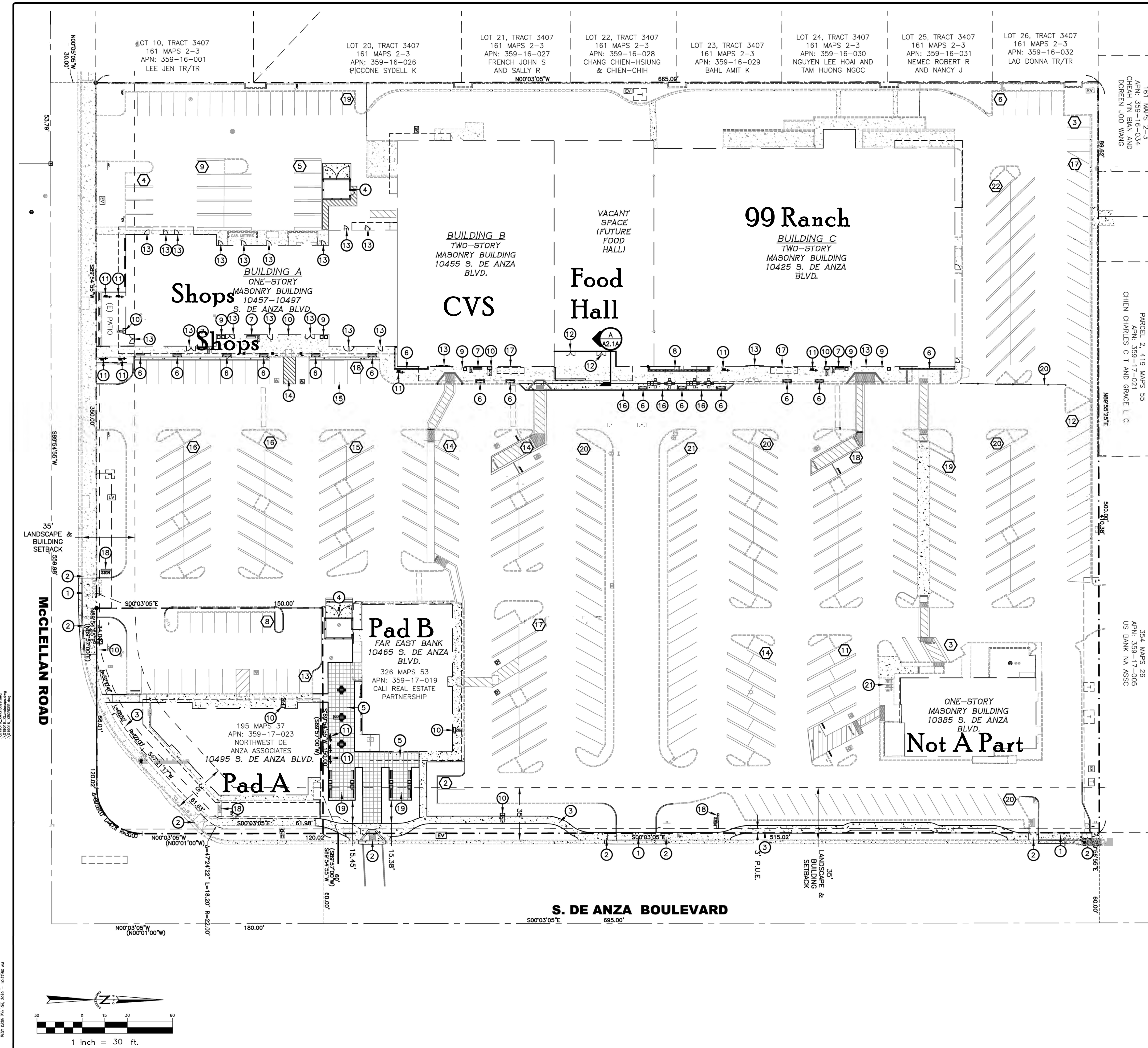




McClellan Square

10425 South De Anza Blvd Cupertino

Vicinity Map		APN# 359-017-019		Project Description		Project Team		Sheet Index			
		<div>Site</div> <div></div>		The proposed design renovates the existing facade with new illuminated signage on a wood slat and metal frame background, as well as new colors for the entire center, new composition shingle roof and new composite siding at certain locations, green screens and planters.		Developer Browman Development Company 156 Parkside Drive Walnut Creek, California 94596 925.588.2219		<div><div>Architectural</div><div>A0 Cover Sheet PH1 Existing Photos P1 Rendering P2 Rendering P3 Rendering C1 Site Plan CIA Parking Analysis A21 Elevations A21A Food Hall Entry A21B Ex. Elevations A22 Elevations A22B Ex. Elevations A23 Elevations A23B Ex. Elevations A24 Elevations A24B Ex. Elevations A3 Refuse Enclosure CB Color/Materials</div></div>			
				A new Food Hall is proposed, with new storefront and decorative art mural, with a new seating area with enclosure.		Architect Johnson Lyman Architects 1375 Locust St., #202 Walnut Creek, CA 94596 925.930.9690 925.930.9039 fax		<div><div>Landscape</div><div>L01 Notes L11 Hardscape Plan A L12 Hardscape Plan B L13 Hardscape Plan C L14 Hardscape Plan D L21 Irrigation Plan A L22 Irrigation Plan B L23 Irrigation Plan C L24 Irrigation Plan D L25 Water Calcs L31 Planting Plan A L32 Planting Plan B L33 Planting Plan C L34 Planting Plan D</div></div>			
				A new plaza is proposed between the two existing pads, and new landscaping is proposed throughout.		Civil RSC Engineering, Inc. Roger Wilson 2250 Douglas Blvd, #150 Roseville, CA 95661 916.788.2884		<div><div>Civil</div><div>C10 Note Sheet C20 Demolition Plan C21 Demolition Plan C30 Site Plan C31 Site Plan C40 Grading Plan C41 Grading Plan C50 Storm Drain C60 Erosion Control Plan C61 Erosion Control Details C70 Detail Sheet</div></div>			
				Parking Summary							
				Existing Parking = 397 cars							
				Proposed Parking = 396 cars							



- KEYNOTES**
- 1 RECONSTRUCT DRIVEWAY
 - 2 NEW ADA RAMP
 - 3 NEW SIDEWALK
 - 4 NEW TRASH ENCLOSURE
 - 5 NEW PLAZA AREA WITH TABLES AND CHAIRS
 - 6 NEW RAISED CONCRETE PLANTER BOX
 - 7 NEW BENCH
 - 8 NEW RAISED CONCRETE PLANTER BOX WITH SEATING
 - 9 NEW POTTED PLANTERS
 - 10 NEW WASTE TRIO RECEPTACLE
 - 11 NEW BIKE RACKS (10 RACKS/2 STALLS PER RACK)
 - 12 NEW DOOR
 - 13 EXISTING DOOR (TO REMAIN)
 - 14 RESTRIPE ADA UNLOADING AREA TO BE 8' WIDE AND RESTRIPE ADA STALL
 - 15 RESTRIPE PARKING STALLS (5 TOTAL)
 - 16 NEW RAILING AT BACK OF CURB
 - 17 PROPOSED SHOPPING CART CORRALS
 - 18 EXISTING MONUMENT SIGN
 - 19 NEW PLAZA AREA WITH BENCHES
 - 20 PROPOSED SLIDING GATE AND FENCE
 - 21 EXISTING BIKE STALLS (5 TOTAL)

Parking Stall & Bike Rack Data					
SUITE	TENANT	Use	SQ FT	AUTO PARKING REQ'D	BIKE STALLS REQ'D
10425	99 Ranch Market	General - 1/250 SF (Auto) General - 1/5,000 SF (Bike)	29,000	116	6
10455	CVS/Pharmacy	General - 1/250 SF (Auto) General - 1/5,000 SF (Bike)	15,600	62	3
10445	99 Ranch Market Place (125/4 + 10 employees) Food Hall	Restaurant without separate bar - 1/4 seats + 1/employee Restaurant - 1/2,000 SF (Bike)	10,000	41	5
10465	Far East Bank	General - 1/250 SF General - 1/5,000 SF (Bike)	5760	23	1
10385	Chipotle Mexican Grill (101 Seats - 12 Employees)	Restaurant w/o separate bar - 1/4 seats + 1/employee Restaurant - 1/2,000 SF (Bike)	4,000	37	2
10457	Hong Yun Art	General - 1/250 SF General - 1/5,000 SF (Bike) <i>Specialized Schools 1 per 5 students</i>	1773	7	0
10467	De Anza Pure Water	General - 1/250 SF General - 1/5,000 SF (Bike)	450	2	0
10475	Blue Sea Wellness	General - 1/250 SF General - 1/5,000 SF (Bike)	1,252	5	0
10477-A	Royal Cuisine (26 Seats - 4 Employees)	Restaurant without separate bar - 1/4 seats + 1/employee Restaurant - 1/2,000 SF (Bike)	1,583	11	1
10477-B	Fluff & Fold Laundromat	General - 1/250 SF General - 1/5,000 SF (Bike)	1,391	6	0
10493	Dental	Medical - 1/175 SF General - 1/5,000 SF (Bike) <i>Medical Office 1/1,250 SF (Bike)</i>	1,500	9	0
10497	Bull BBQ (123 Seats - 5 Employees)	Restaurant without separate bar - 1/4 seats + 1/employee Restaurant - 1/2,000 SF (Bike)	4,421	36	2
10495	Easterly Hunan (54 Seats - 3 Employees)	Restaurant without separate bar - 1/4 seats + 1/employee Restaurant - 1/2,000 SF (Bike)	2,524	17	1
10495	Flex College Prep (6 employees, 5 Schools - 1/4 students + 1/1 staff students)	1/4 seats + 1/employee which ever is more restrictive Schools - 1 per 5 Students	2,955	12	1
Total			82,209	383	28
			<i>General Commercial 53, 453 SF/5,000 = 10.6 Specialized School 25 students/5 students = 5 Restaurants 22,528 SF/2,000 = 11.2 Medical Office 1,500 SF/1,250 = 1.2 Required Bike Parking: 28</i>		
			Existing Parking Stalls 397 Proposed Parking Stalls 396 Total Bike Stalls Required 24 Existing Bike Stalls at Chipotle - 5 New Bike Stalls Required - 19 New Bike Stalls Proposed - 28		

Outdoor Seating				
SUITE	TENANT	SQ FT	MAX ALLOWABLE OUTDOOR SEATS	TOTAL OUTDOOR SEATS PROVIDED
10445	99 Ranch Market Place (125/4)	10,000	25	14
10385	Chipotle Mexican Grill (101 Seats)	4,000	20	12
10477-A	Royal Cuisine (26 Seats)	1,583	5	
10497	Bull BBQ (123 Seats)	4,421	25	
10495	Easterly Hunan (54 Seats)	2,524	11	11

BROWMAN DEVELOPMENT COMPANY, INC.

REV	DATE	DESCRIPTION

REGISTERED PROFESSIONAL ENGINEER
No. 29033
Mar. 31, 2019
CIVIL
STATE OF CALIFORNIA

RSC ENGINEERING
2250 Douglas Blvd., Suite 150
Roseville, CA 95661
Ph: 916.788.2884 Fax: 916.788.4408

PROJECT NO: 019-016
DRAWN BY: RSC Engr
CHECKED BY: R. CHAVEZ
DESIGNED BY: RSC Eng

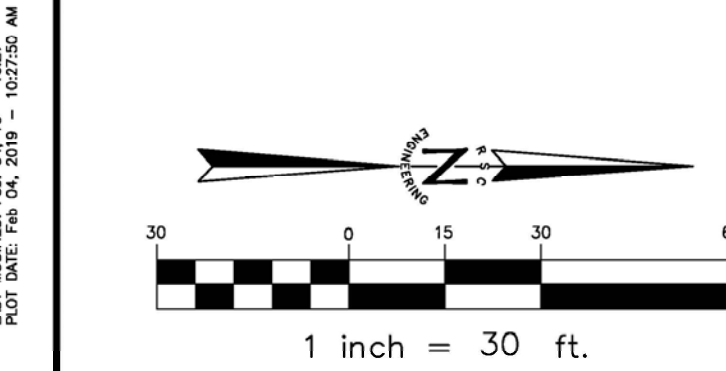
EXTERIOR ALTERATIONS FOR McCLELLAN SQUARE

10425, 10445, 10455, 10457, 10465, 10467, 10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

SHEET TITLE
SITE PLAN
SUBMITTAL NO. 2

SHEET NO.
C1
OF 11

DATE: FEBRUARY 4, 2019





East Elevation ~ CVS & Food Hall

1/8" = 10'



East Elevation ~ 99 Ranch Market

1/8" = 10'



East Elevation~ Overall



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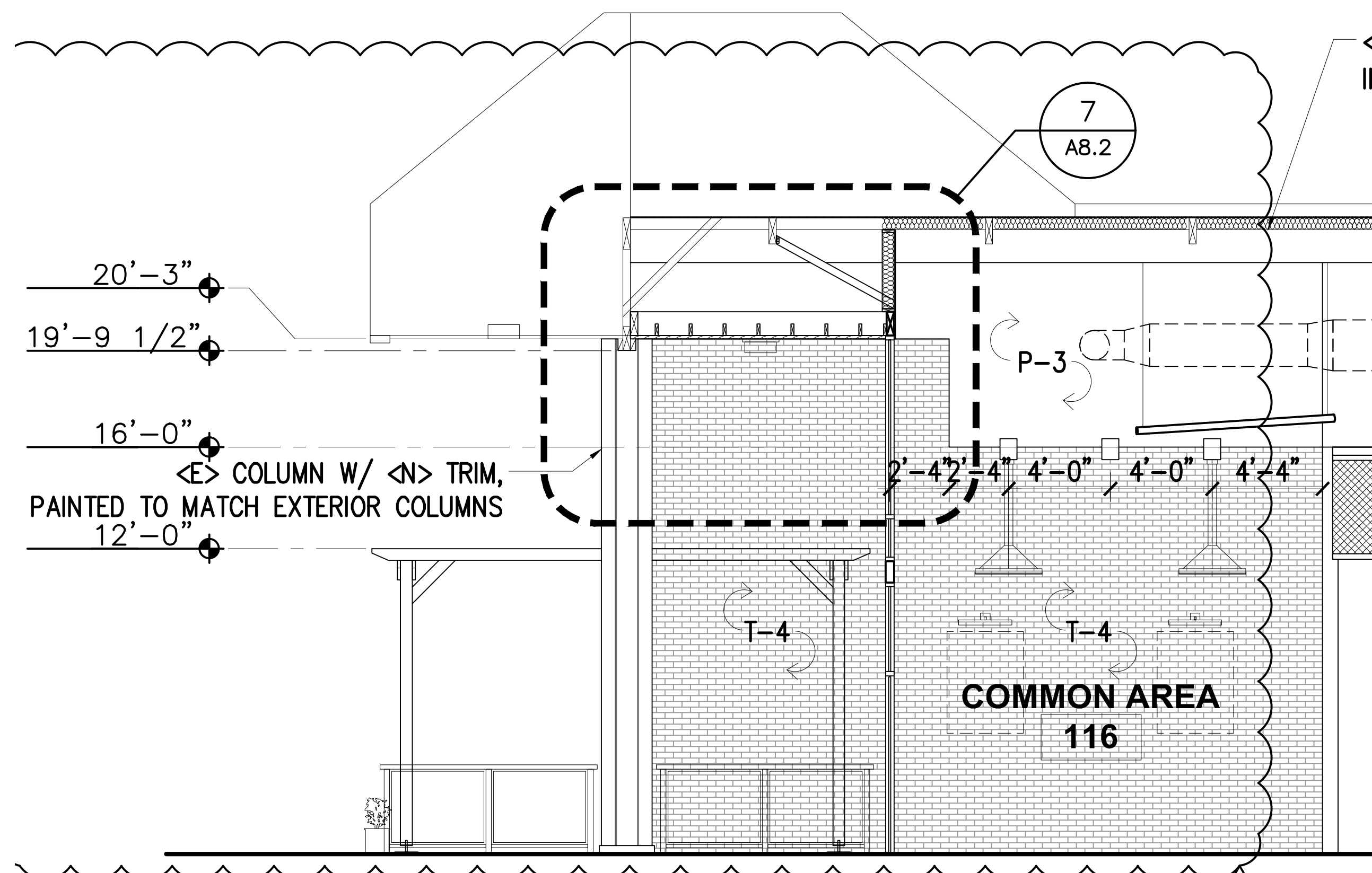
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McClellan Square

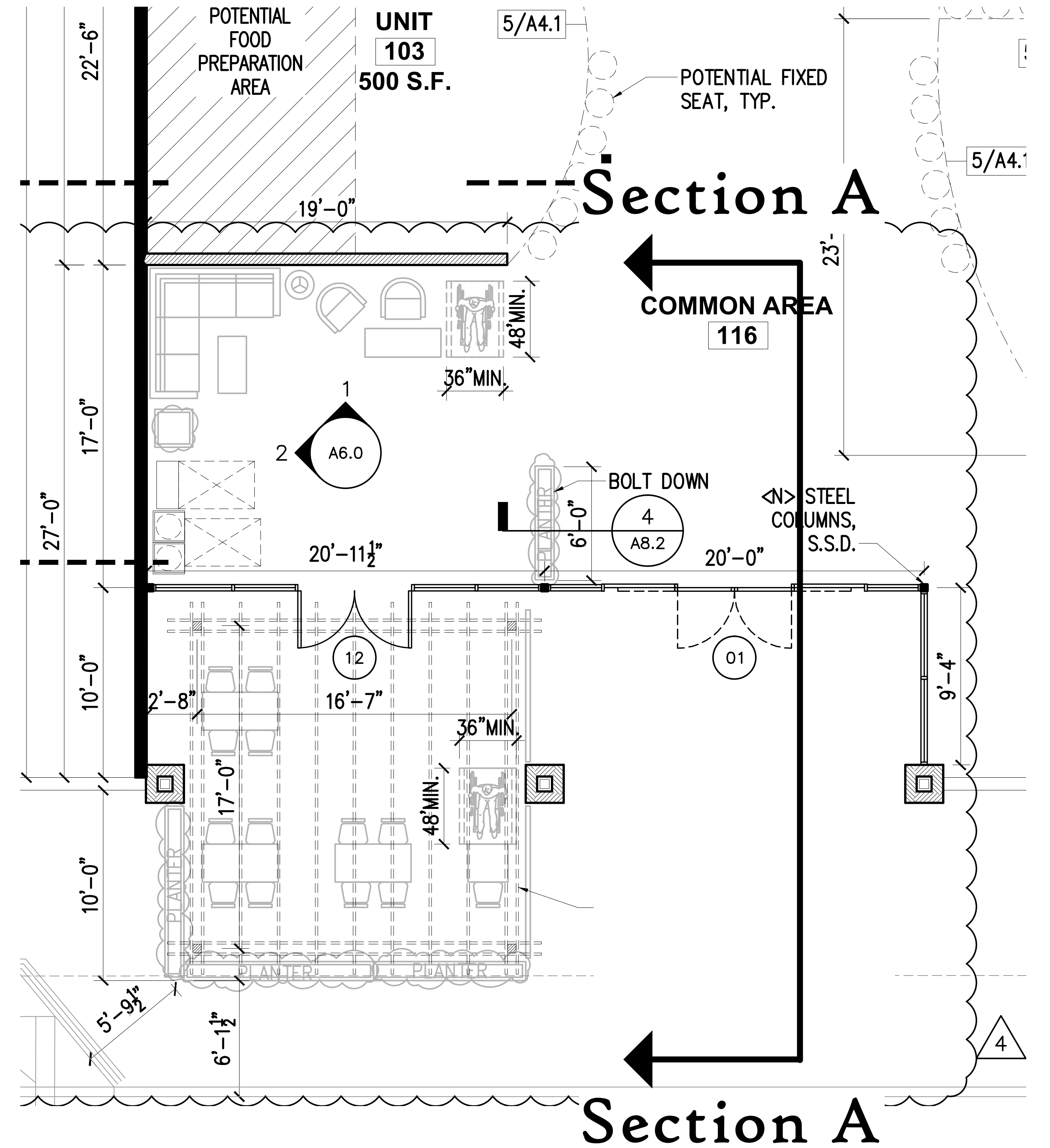
Proposed
Majors Elevations

A2.1
2.4.19



Section A - Food Hall

1/4" = 1'0"



Plan - Food Hall Entry

1/4" = 1'0"



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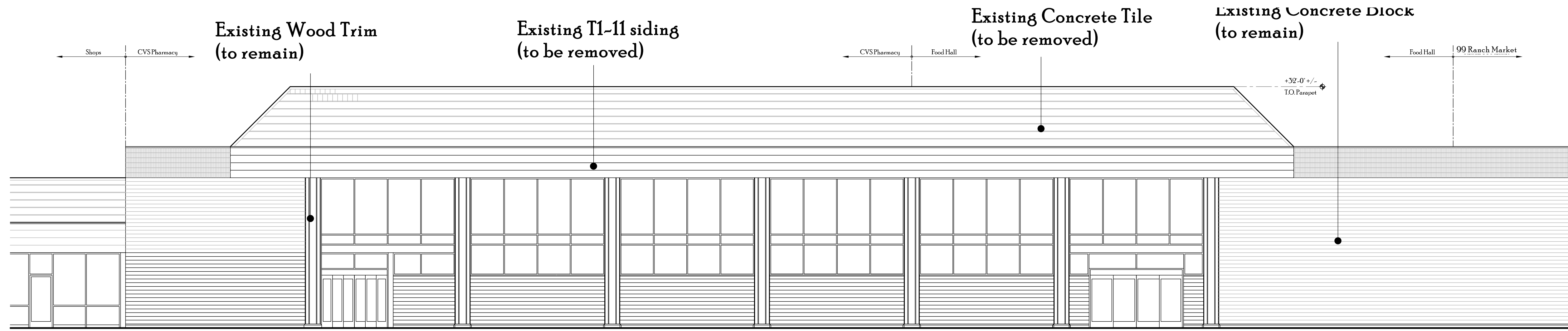


BROWNMAN DEVELOPMENT COMPANY, INC.

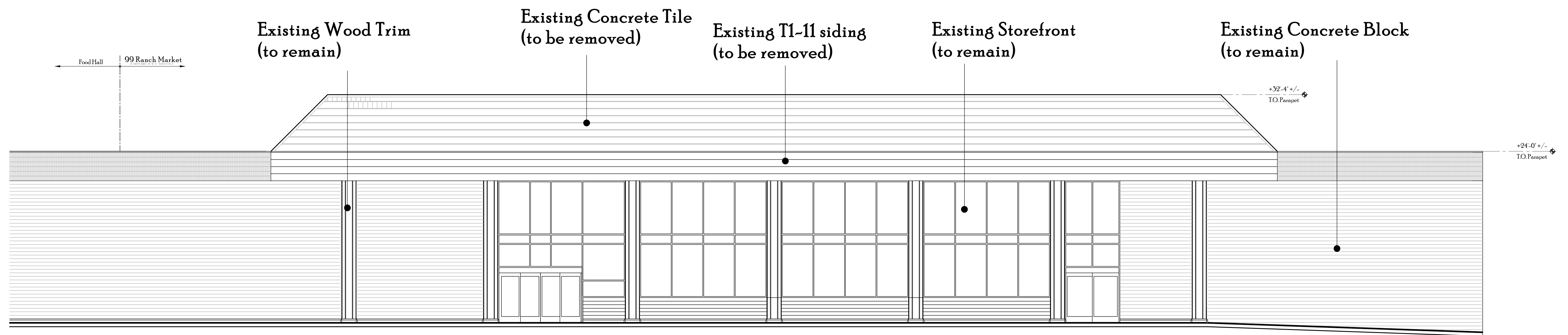
McClellan Square

Food Hall Entry

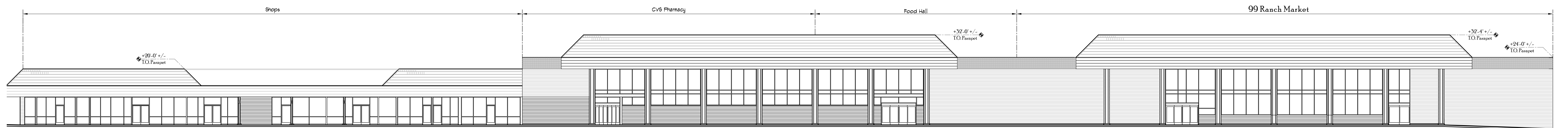
A2.1A
2.4.19



Existing East Elevation - CVS / Pharmacy & Food Hall
1/8" = 1'-0"



Existing East Elevation - 99 Ranch Market
1/8" = 1'-0"



Existing East Elevation - Overall
3/16" = 1'-0"



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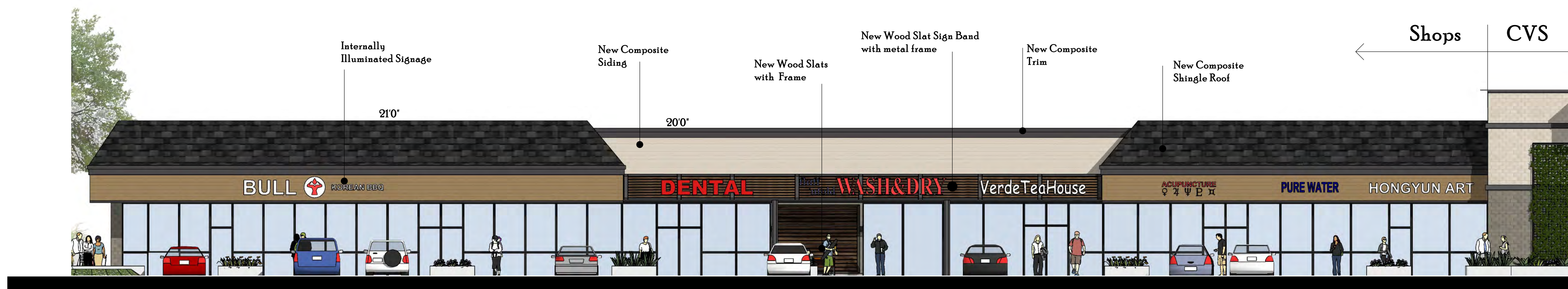
Existing
Majors Elevations

A2.1B
2.4.19



South Elevation

1/8" = 1' 0"



East Elevation

1/8" = 1' 0"



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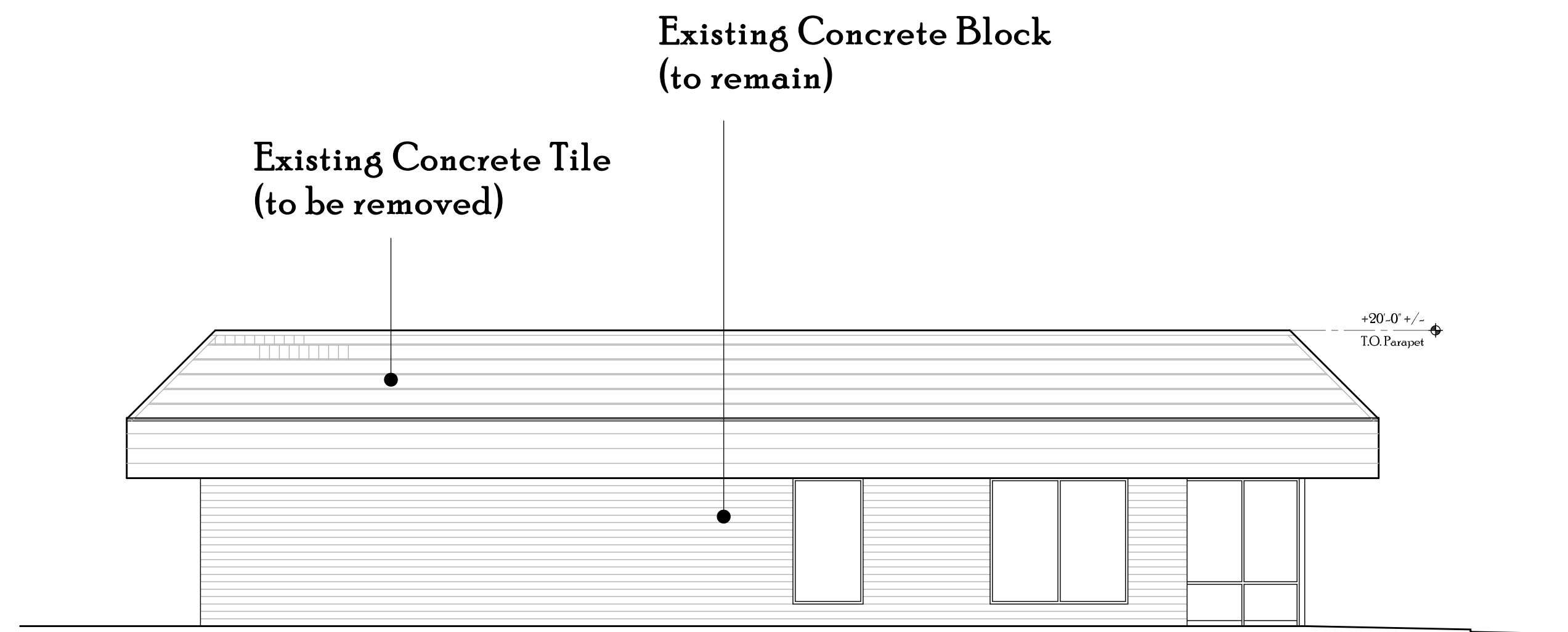
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McClellan Square

Proposed
Shops Elevations

A2.2
2.4.19



Existing South Elevation - Shops

1/8" = 1'-0"



Existing East Elevation - Shops

1/8" = 1'-0"



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McClellan Square

Existing
Shops Elevations

A2.2B
2.4.19



East Elevation

1/8" = 1' 0"



North Elevation

1/8" = 1' 0"



South Elevation

1/8" = 1' 0"



West Elevation

1/8" = 1' 0"



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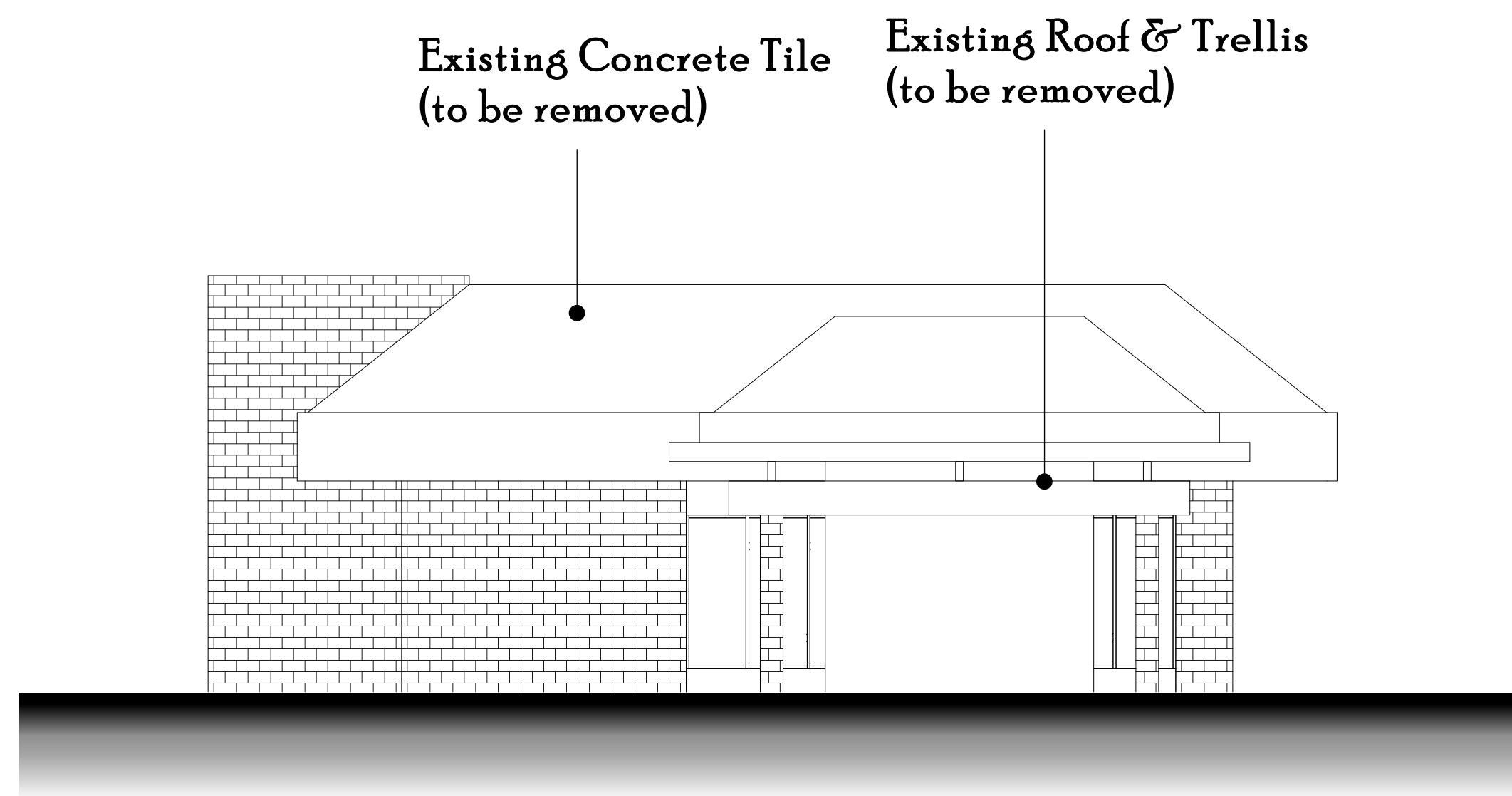


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McClellan Square

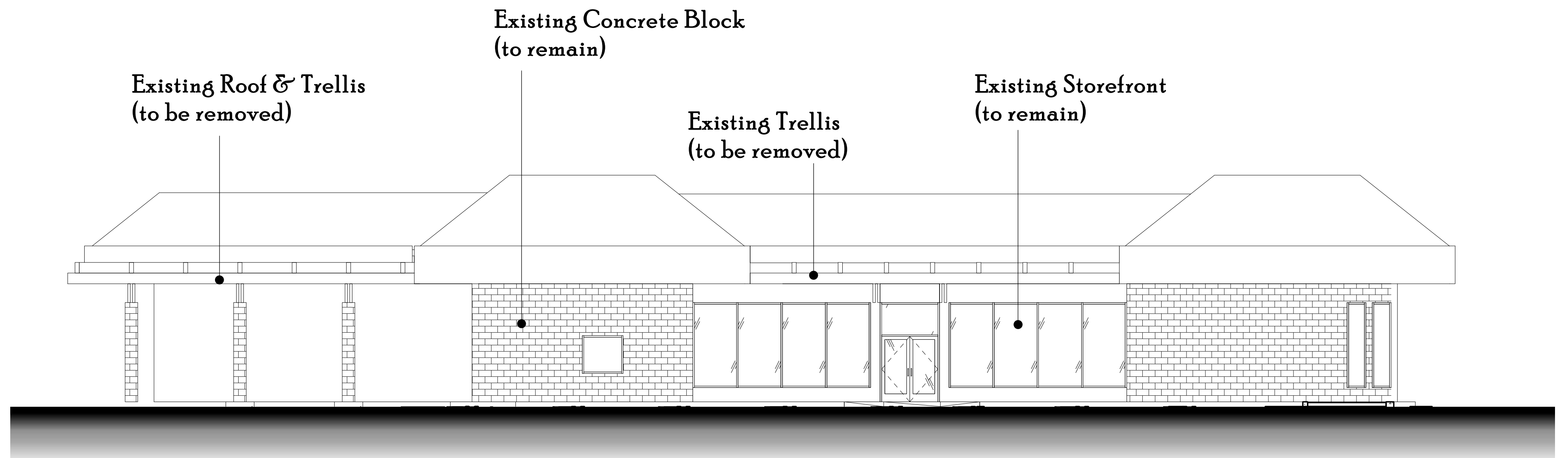
Proposed
Bank Elevations

A2.3
2.4.19



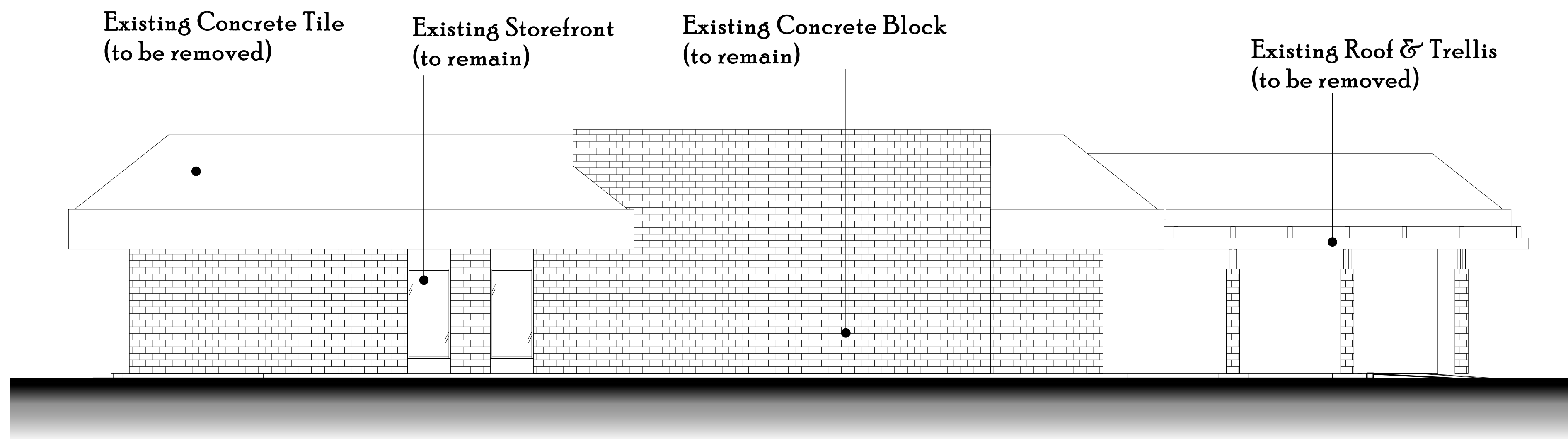
Existing East Elevation ~ Bank

1/8" = 1'-0"



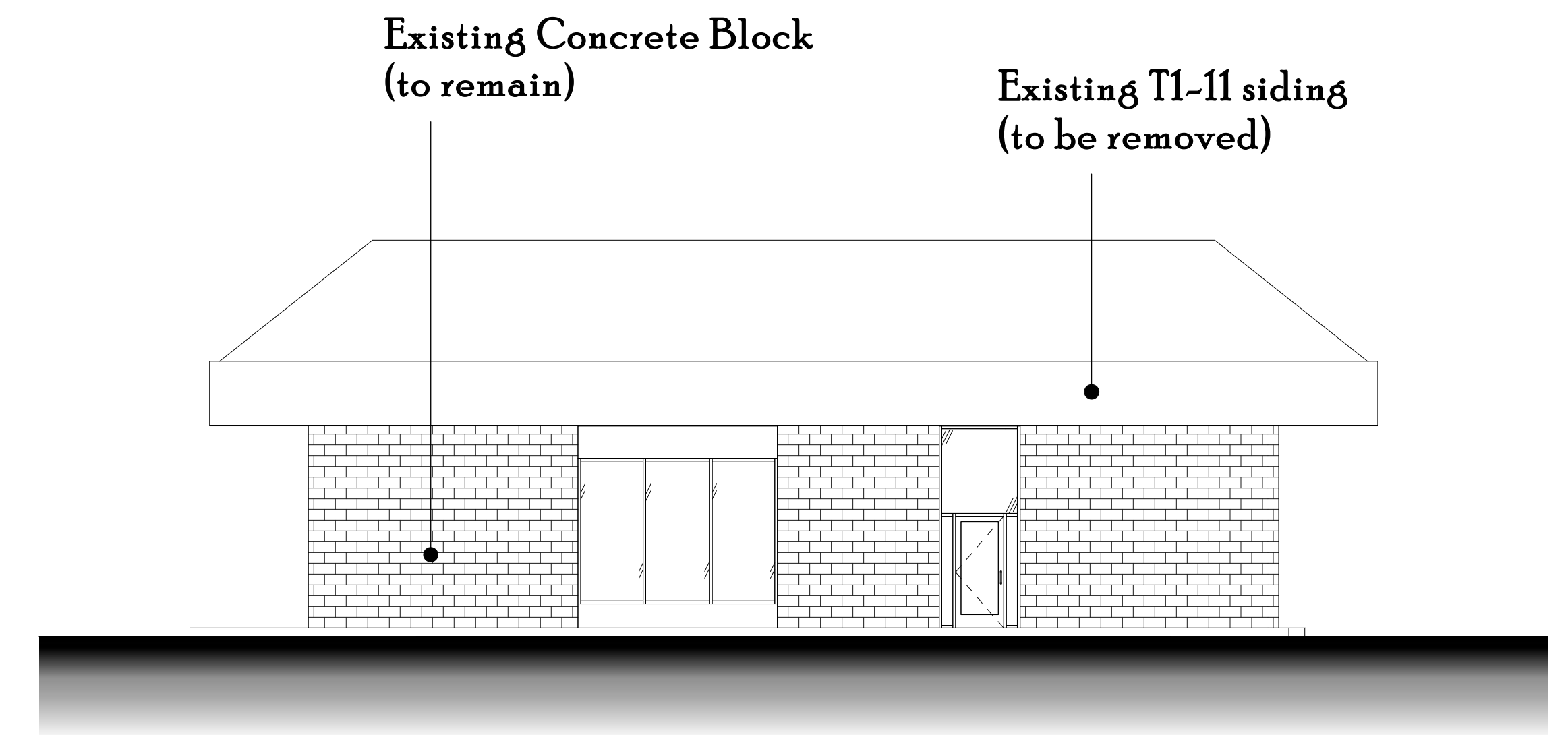
Existing North Elevation ~ Bank

1/8" = 1'-0"



Existing South Elevation ~ Bank

1/8" = 1'-0"



Existing West Elevation ~ Bank

1/8" = 1'-0"



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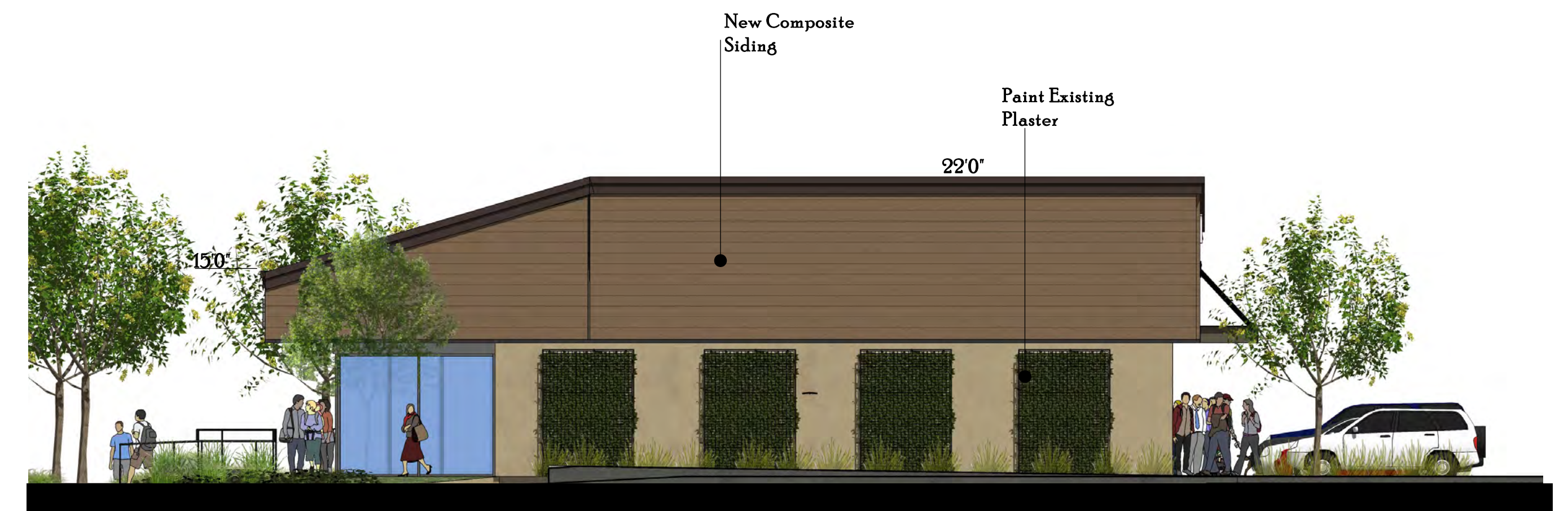
Existing
Bank Elevations

A2.3B
2.4.19



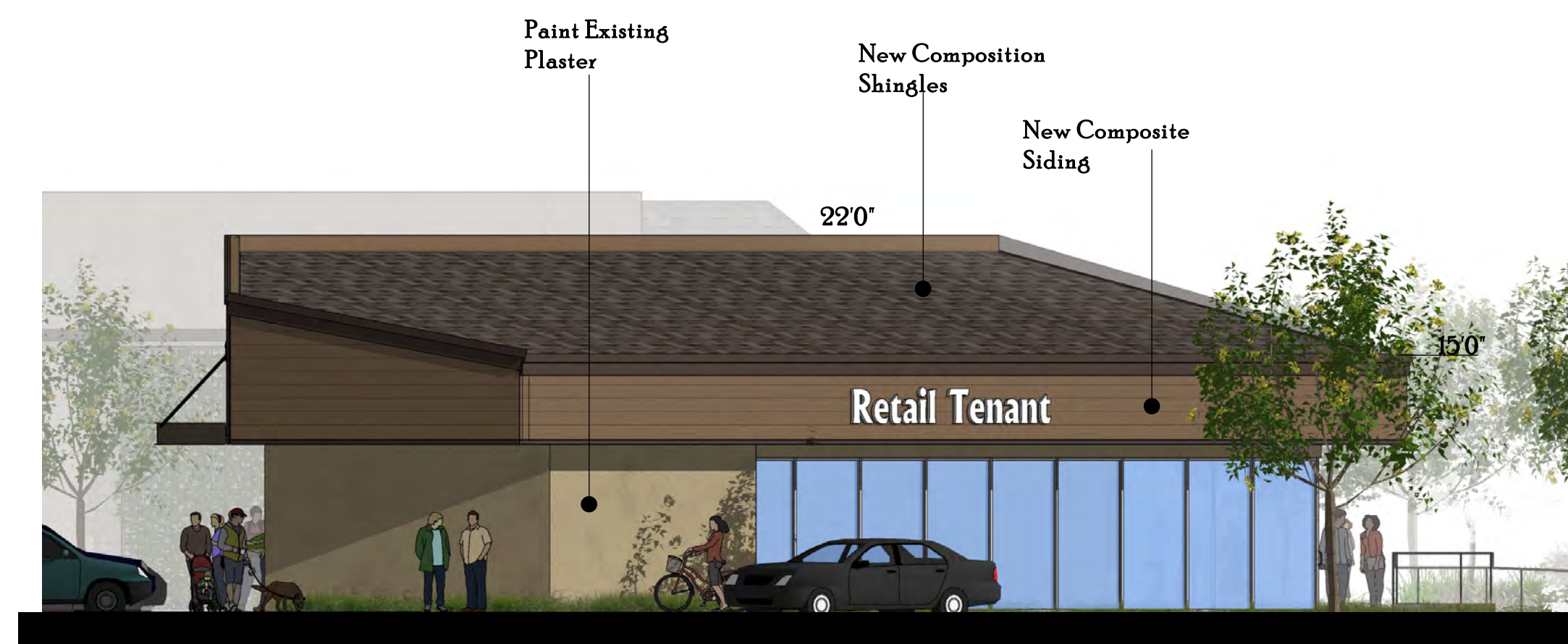
East Elevation

1/8" = 1' 0"



North Elevation

1/8" = 1' 0"



South Elevation

1/8" = 1' 0"



West Elevation

1/8" = 1' 0"



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ARCHITECTS

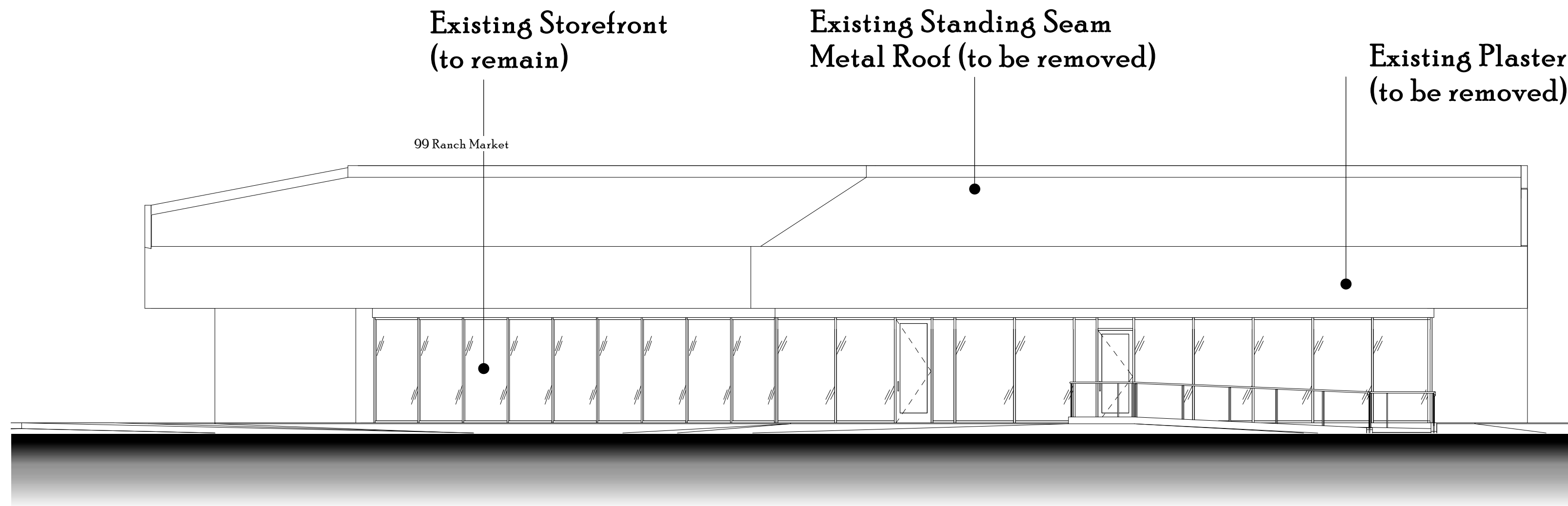
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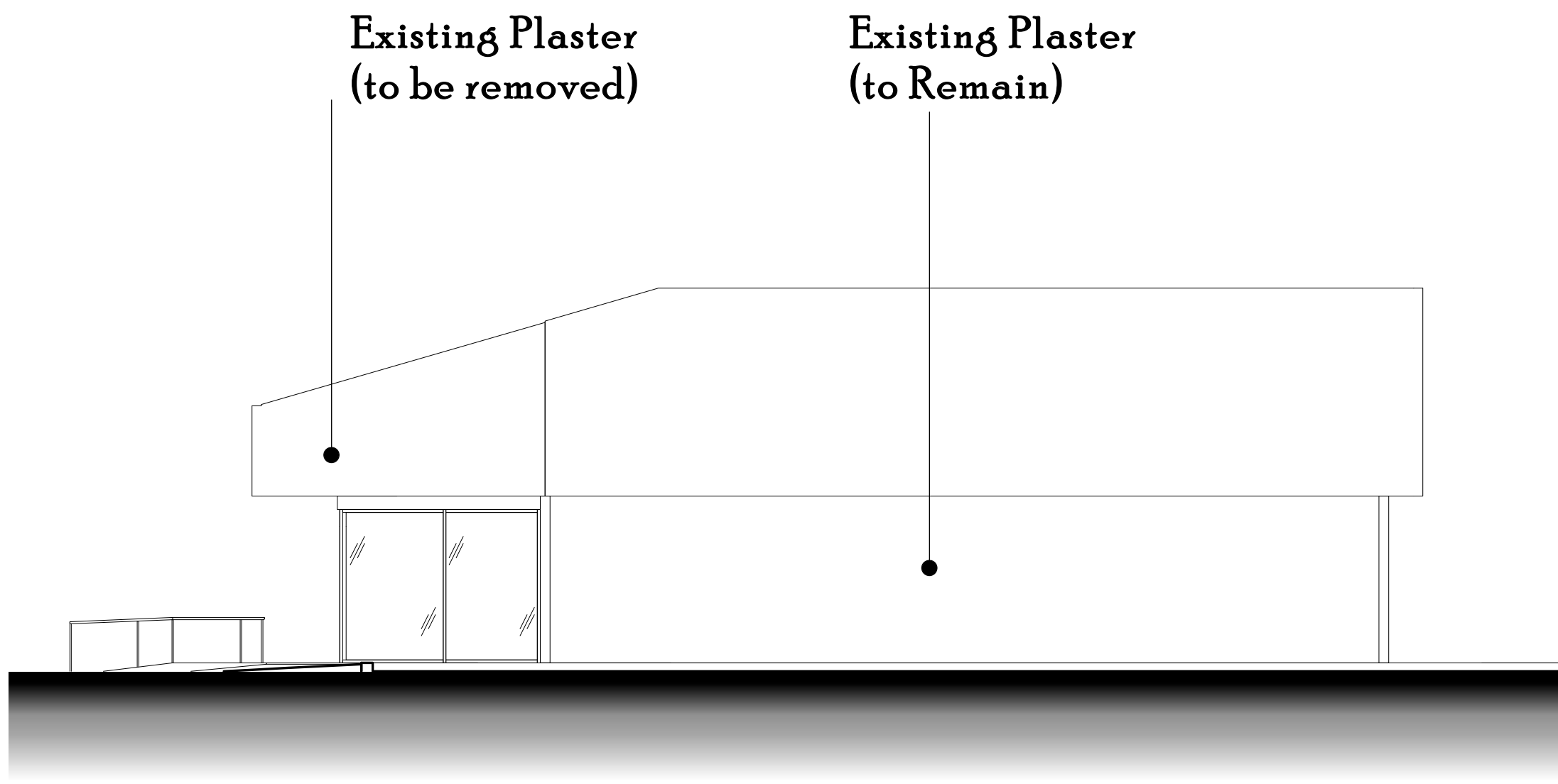
Propose Pad A
Elevations

A2.4
2.4.19



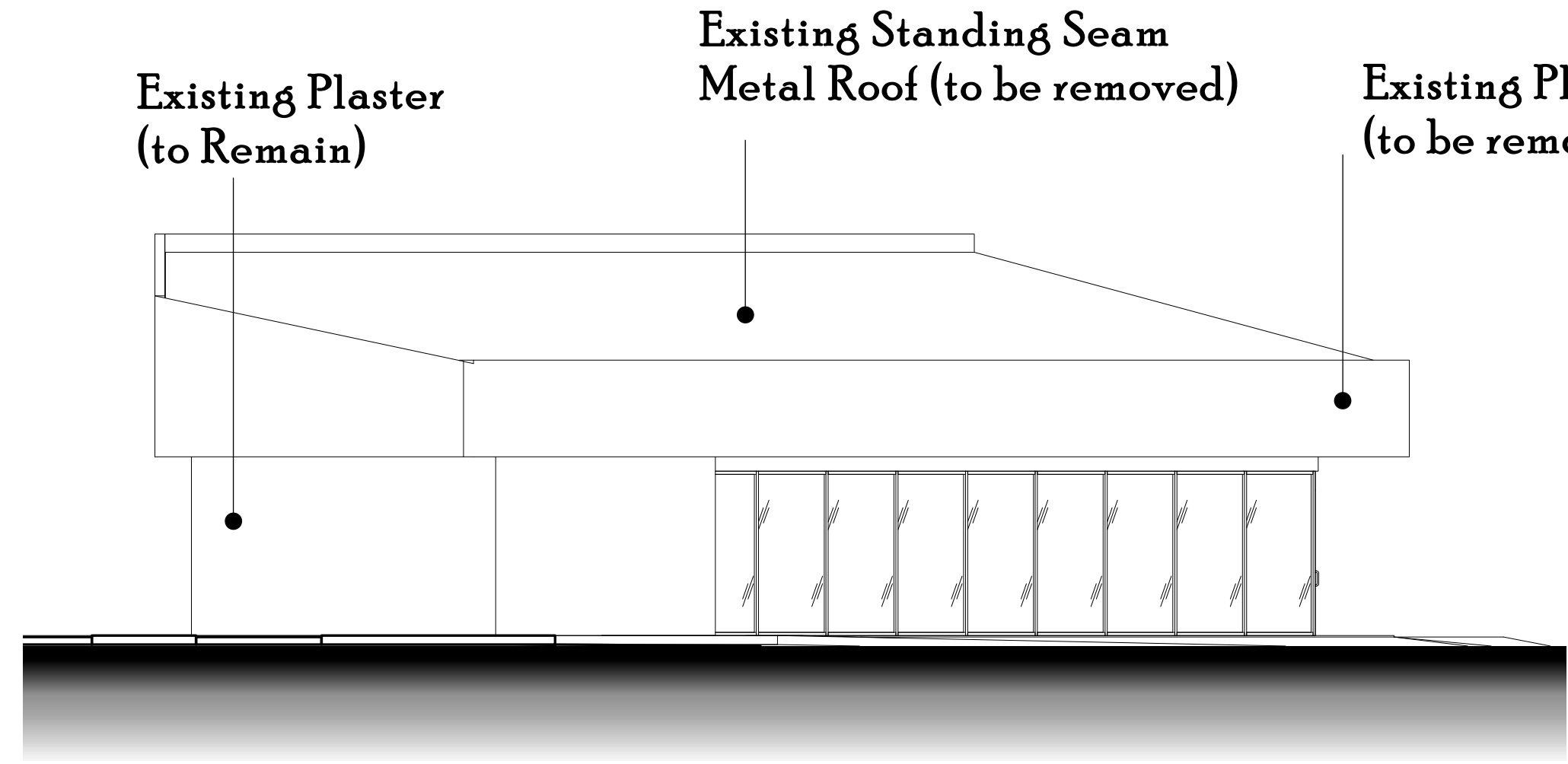
Existing East Elevation ~ Pad A

1/8" = 1'-0"



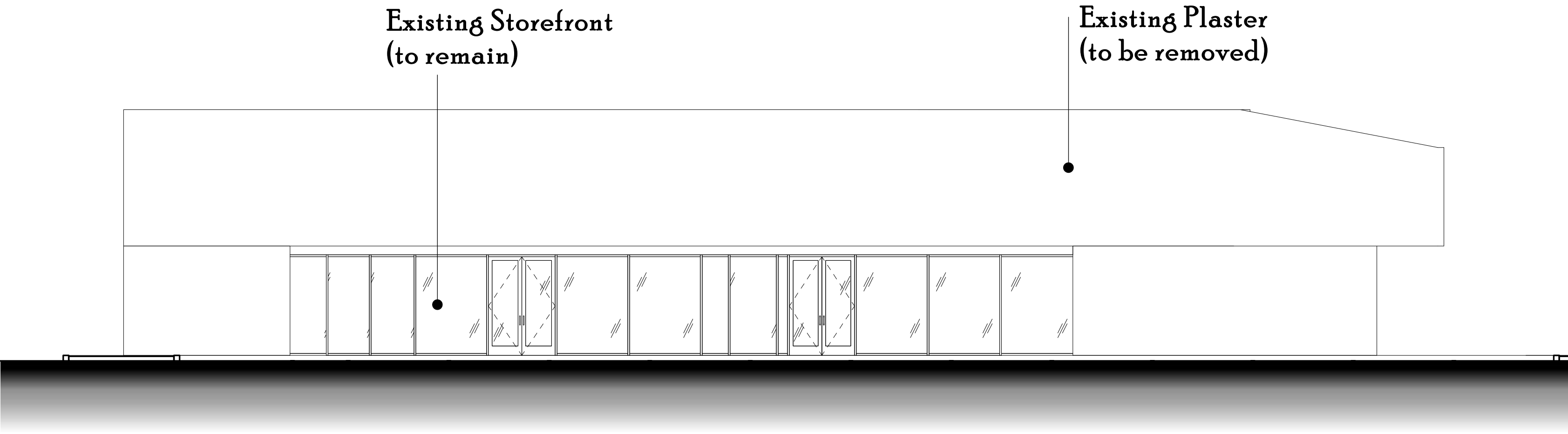
Existing North Elevation ~ Pad A

1/8" = 1'-0"



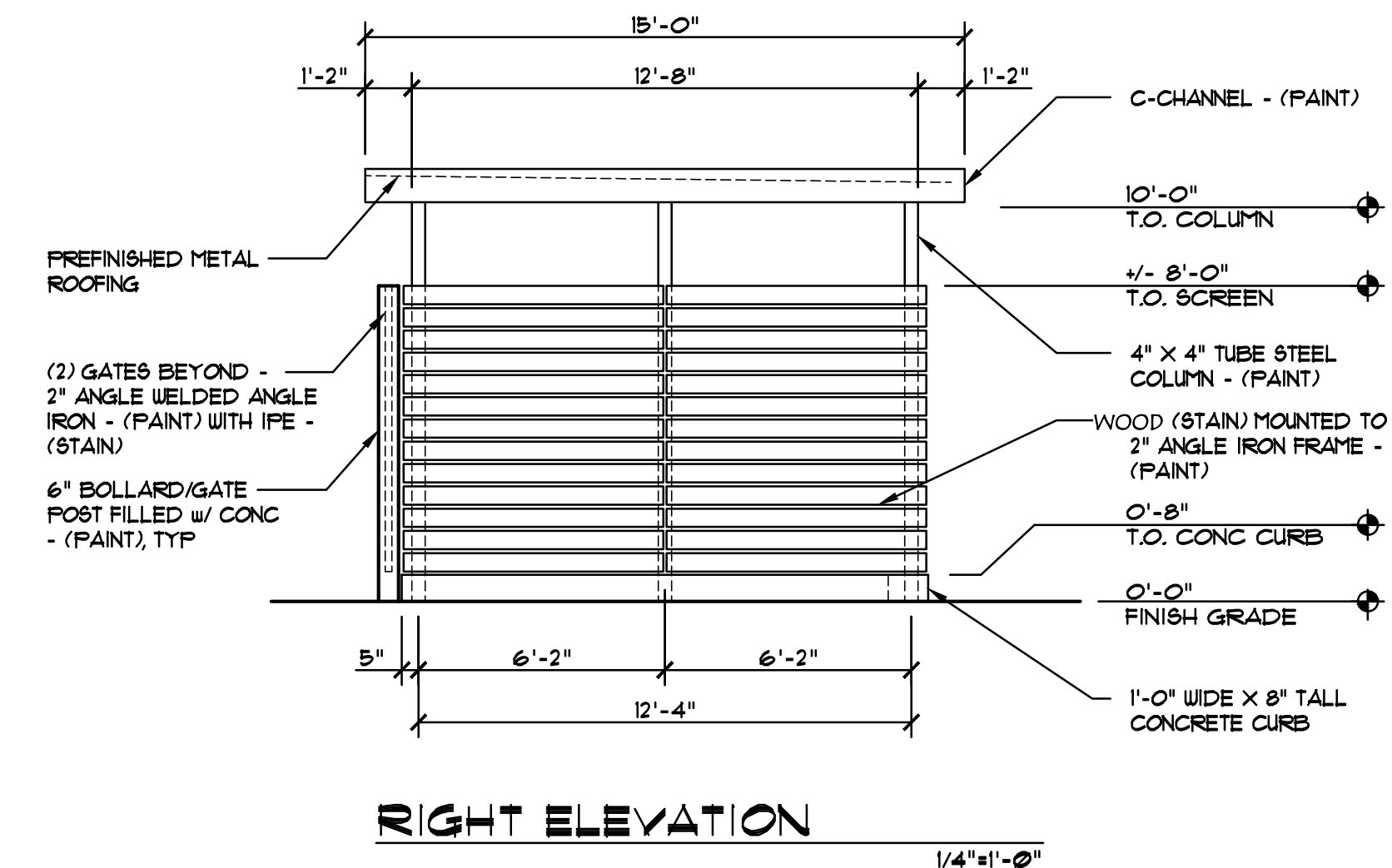
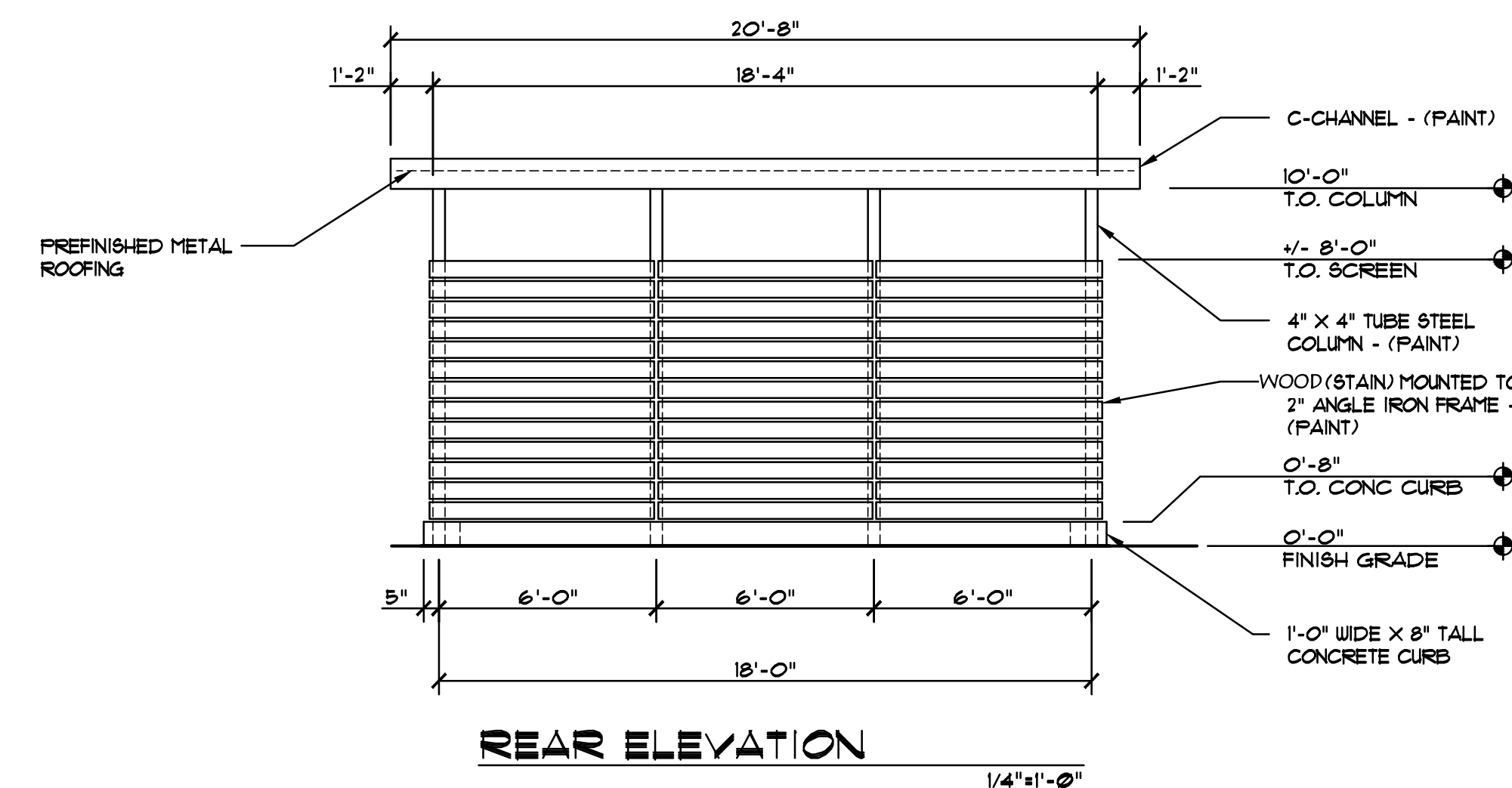
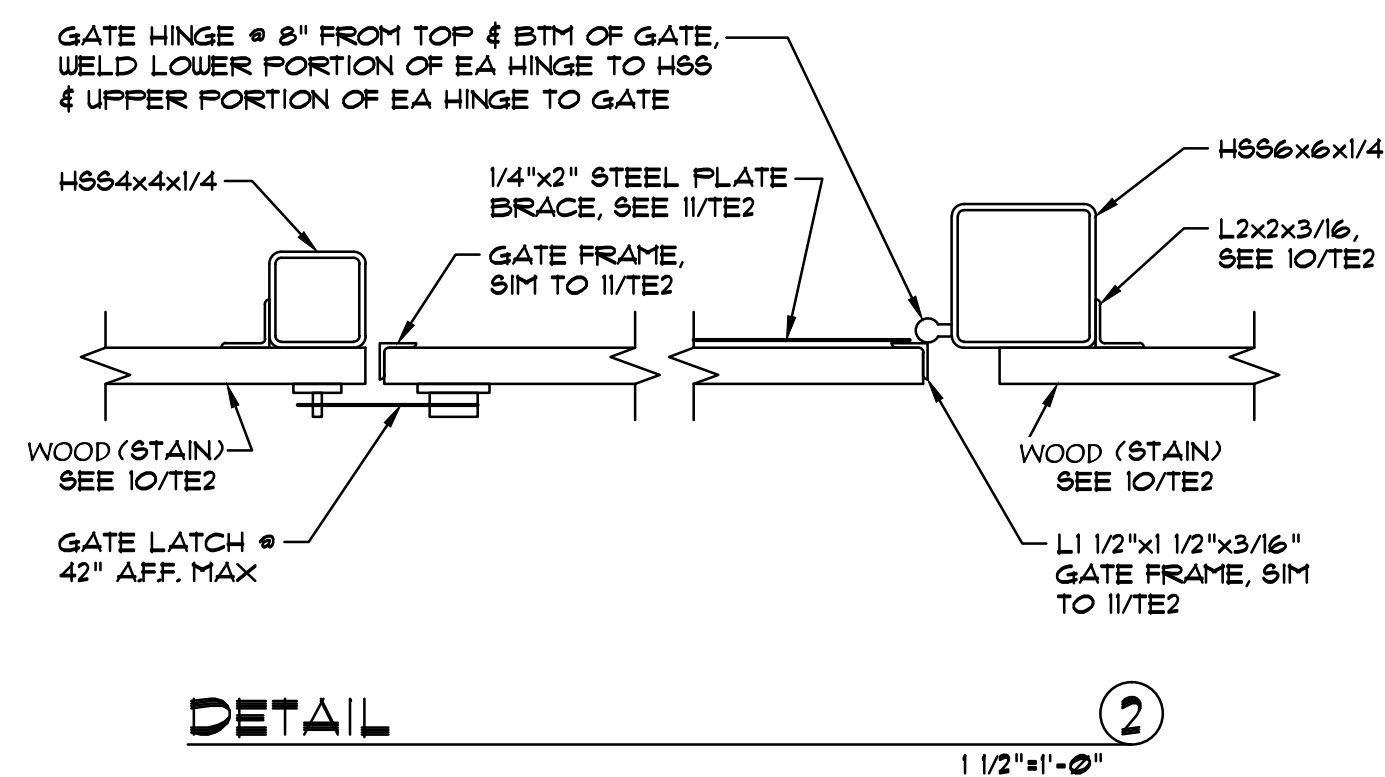
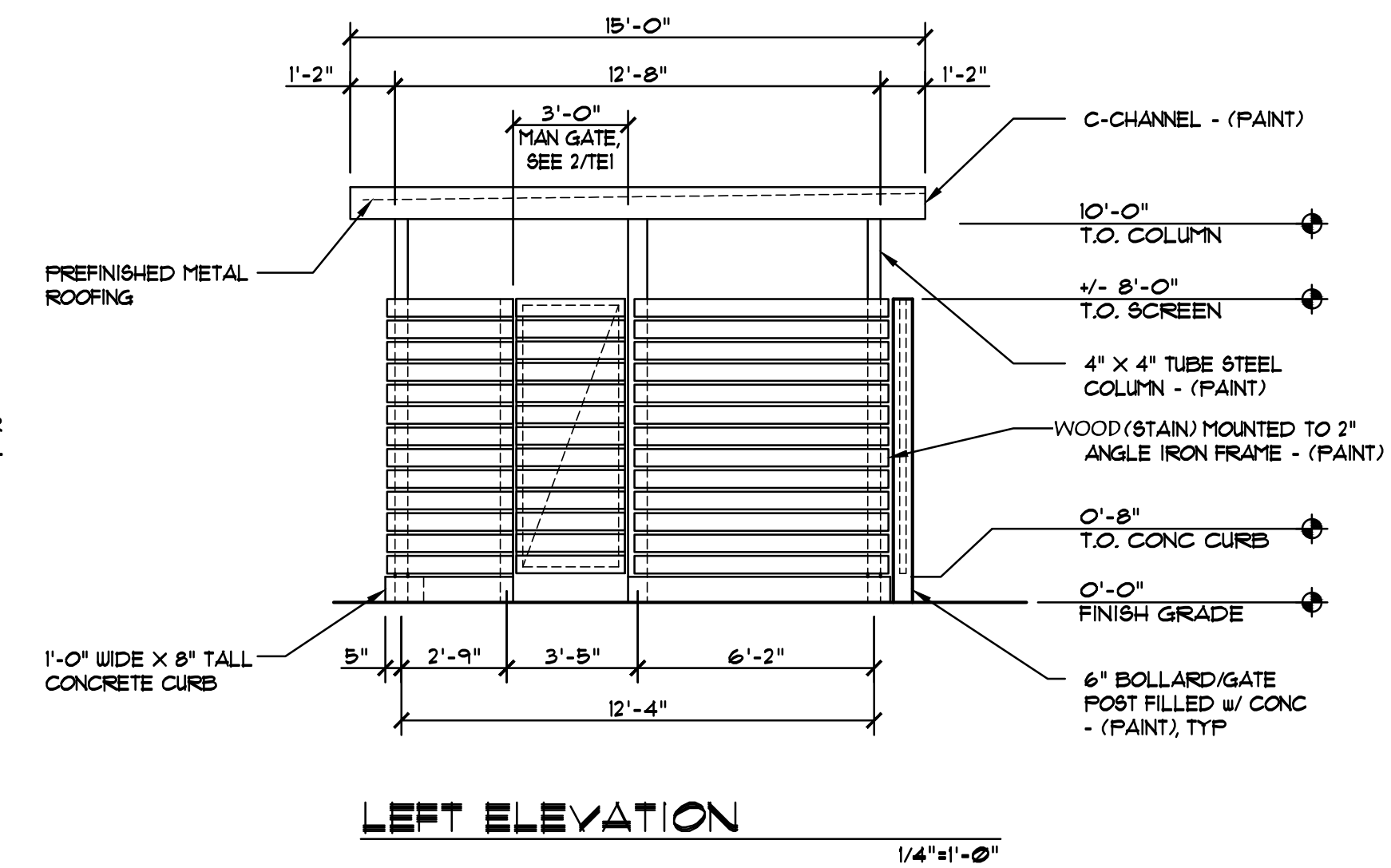
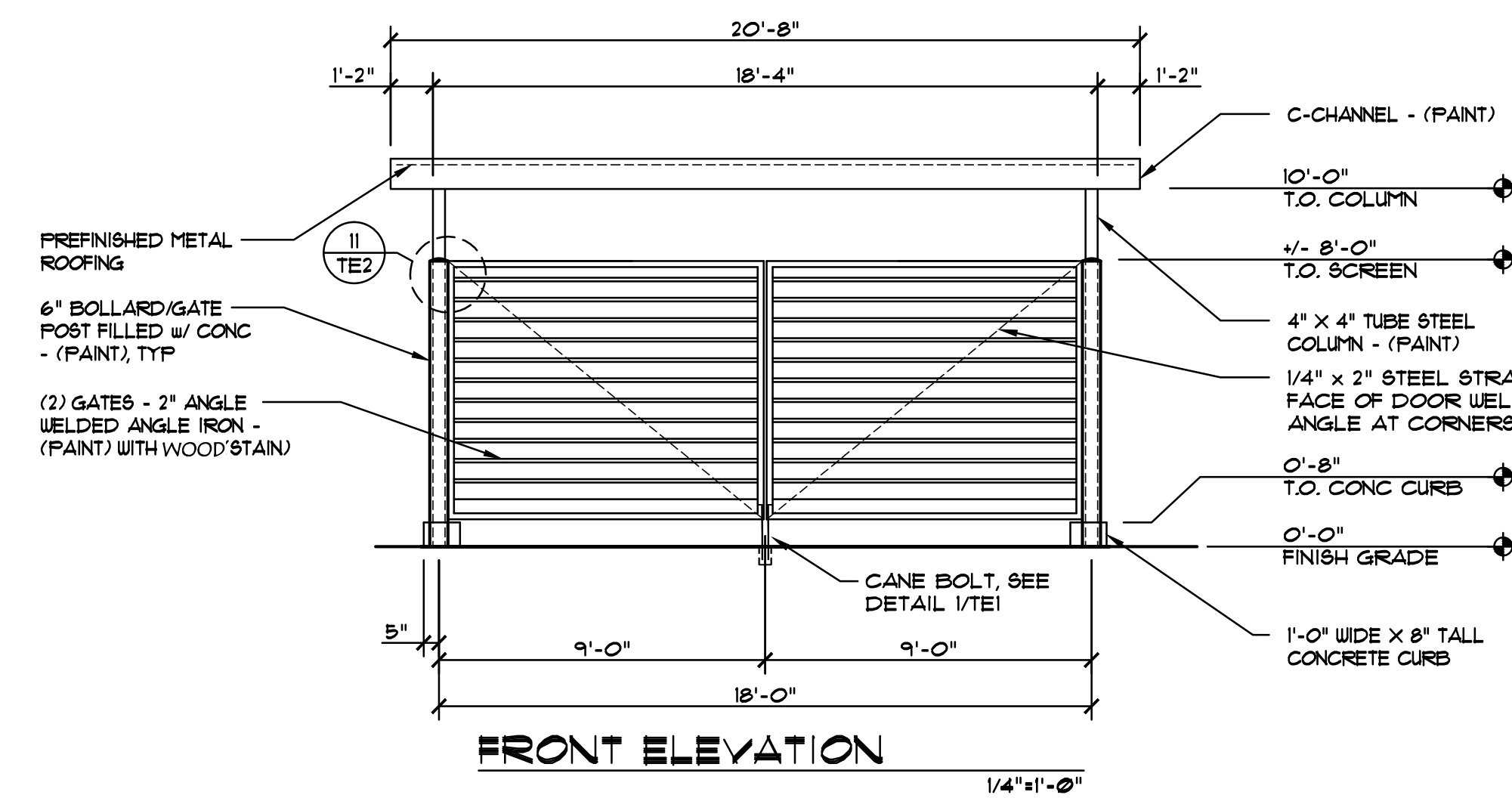
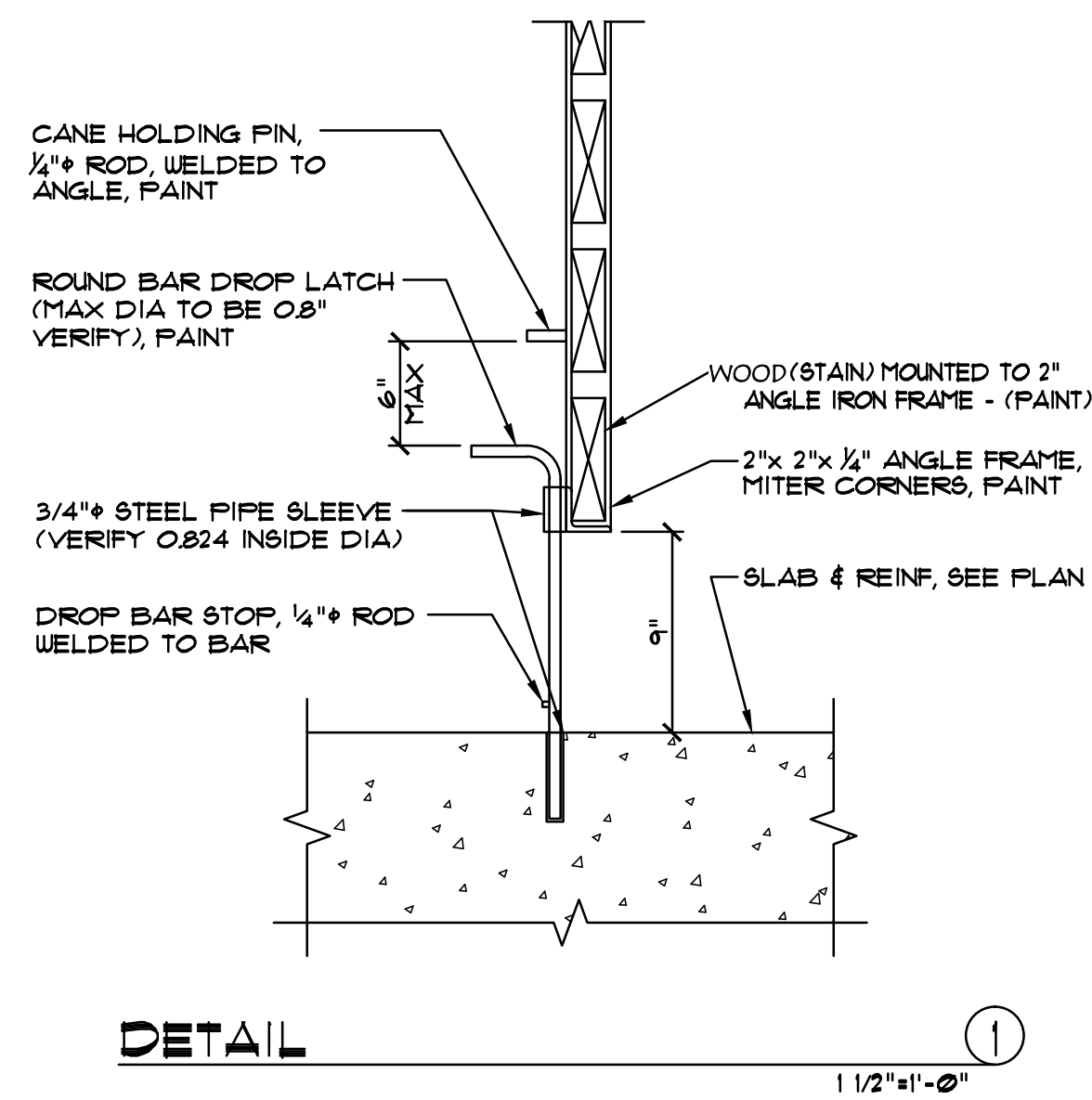
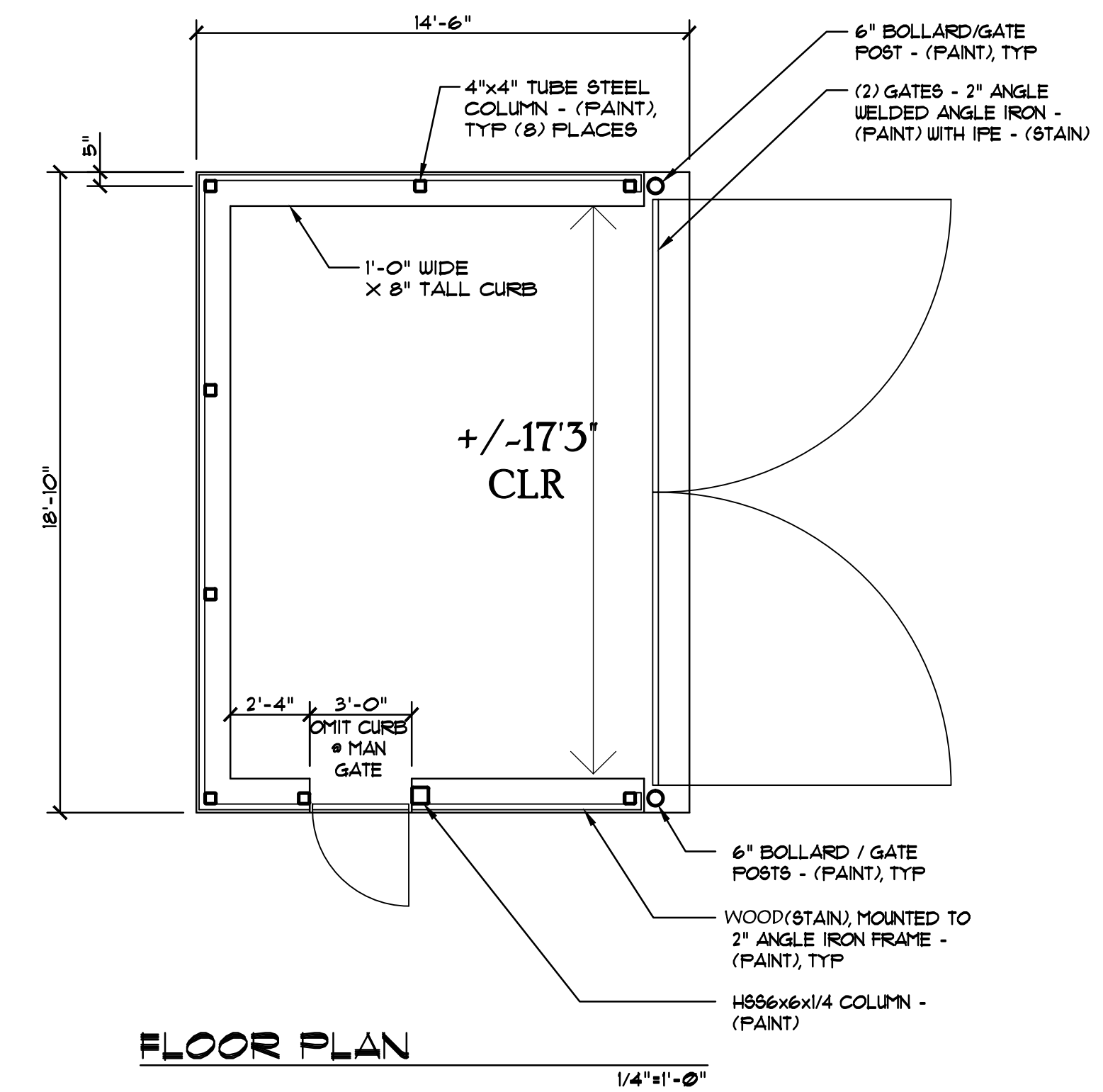
Existing South Elevation ~ Pad A

1/8" = 1'-0"



Existing West Elevation ~ Pad A

1/8" = 1'-0"



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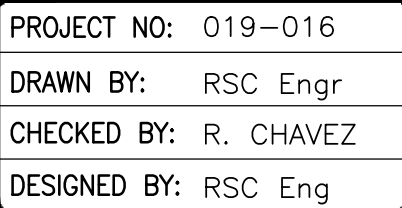
Refuse Enclosure
At Pad B and Rear of Shops

A3
2.4.19

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION, AS AMENDED), AND STANDARD PLANS (LATEST EDITION, AS AMENDED), AND CITY OF CUPERTINO STANDARD DETAILS. THE CONTRACTOR SHALL PERFORM THE WORK DESCRIBED IN THE SPECIFICATION AND AS SHOWN ON THE DRAWINGS, AND TO THE SATISFACTION OF THE CITY ENGINEER.
2. APPROVAL OF THESE PLANS SHALL NOT RELEASE THE OWNER OR CONTRACTOR OF THE RESPONSIBILITY FOR CORRECTIONS OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OF/OR A DEPARTURE FROM THE CITY OF CUPERTINO STANDARD DETAILS OR THESE IMPROVEMENTS PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE COMPLETED, AT THE SOLE EXPENSE OF THE OWNER OR CONTRACTOR.
3. APPROVAL OF THESE PLANS BY THE CITY ENGINEER IS ONLY FOR PUBLIC RIGHT-OF-WAY IMPROVEMENTS (INCLUDING STORM DRAIN IN THE RIGHT-OF-WAY), AND NOT FOR WATER, SEWER OR DRY UTILITIES. IT IS THE DEVELOPER'S/OWNER'S RESPONSIBILITY TO COORDINATE REVIEWS AND APPROVAL FROM EACH OF THE UTILITY COMPANIES AND TO PROVIDE APPROVAL LETTERS AS REQUESTED.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE APPROVED PLANS OR THE LATEST REVISED PLANS ARE FURNISHED TO ITS SUBCONTRACTORS, AND TO ENSURE THE LATEST APPROVED PLANS ARE ONSITE AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY THE CITY OF CUPERTINO PUBLIC WORKS INSPECTOR TWO (2) WORKING DAYS PRIOR TO REQUIRING AN INSPECTION CALL (408) 777-3104 TO SCHEDULE PUBLIC WORKS INSPECTIONS.
6. CONSTRUCTION AREA TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PRIOR TO BEGINNING OF WORK.
7. NOTIFY CITY OF CUPERTINO TRAFFIC SIGNAL MAINTENANCE FOR INSPECTION OF TRAFFIC SIGNAL FACILITY FOUNDATION EXCAVATIONS AT (408) 777-1366, TWO (2) WORKING DAYS PRIOR TO POURING ANY CABINET OR SIGNAL FOUNDATIONS RELATING TO THE JOB.
8. THE CONTRACTOR SHALL LOCATE UNDERGROUND FACILITIES IN THE AREA OF WORK. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 TWO (2) WORKING DAYS IN ADVANCE OF ANY WORK FOR LOCATION OF THE UNDERGROUND FACILITIES.
9. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND BACKFILLED BEFORE PLACEMENT OF THE BASE MATERIAL AND SURFACE STRUCTURES. IF UTILITIES ARE TO BE INSTALLED SUBSEQUENTLY, A WRITTEN NOTIFICATION FROM THE AFFECTED UTILITY COMPANY INDICATING ITS COMMITMENT TO BORE OR TUNNEL SHALL BE SUBMITTED TO THE CITY ENGINEER BEFORE PROCEEDING WITH THE WORK. UNDERGROUND UTILITIES, EXCEPT STORM DRAINS AND SANITARY SEWERS, SHALL NOT BE PERMITTED IN PAVEMENT AREA, WITH THE EXCEPTION OF STREET CROSSINGS, UNLESS APPROVED BY THE CITY ENGINEER.
10. ALL WATER LINES, VALVES, HYDRANTS, AND APPURTENANCES THERETO INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE THE PROPERTY OF THE WATER UTILITY COMPANY.
11. STORM DRAIN LINES INSTALLED AS PART OF THE WORK ON THESE PLANS SHALL BE CLEARED OF ALL DEBRIS AND OBSTRUCTIONS PRIOR TO FINAL ACCEPTANCE.
12. ALL TRENCH BACKFILL, FILL AREAS, AND BASE MATERIAL SHALL ATTAIN A MINIMUM 95% RELATIVE COMPACTION. FOR TYPICAL TRENCH SECTIONS, EXCEPT FOR SANITARY SEWERS, REFER TO THE CITY STANDARD DETAILS.
13. THE DEVELOPER SHALL PAY ALL COSTS FOR MOISTURE-DENSITY CURVES (CALIF. TEST NO. 216E) AND ANY OTHER TESTS REQUIRED BY THE CITY ENGINEER DURING STREET CONSTRUCTION.
14. TREES, ROOTS, AND FOREIGN MATTER IN EXISTING OR PROPOSED RIGHT-OF-WAY SHALL BE REMOVED TO A DEPTH OF TWO (2) FEET BELOW SUBGRADE AND DISPOSED OF PER CALTRANS STANDARDS. IN THE CASE OF LIVE TREE ROOTS FROM THE CITY STREET TREES, CONTRACTOR SHALL CONTACT THE CITY FOR FIELD OBSERVATION PRIOR TO REMOVING TREE ROOTS.
15. TRENCH PLATES IN THE TRAVELED WAY SHALL BE TRAFFIC RATED, PROPERTY SECURED AND SHALL BE RECESSED UPON THE REQUEST OF THE DIRECTOR OF PUBLIC WORKS.
16. ALL TRENCHES LOCATED WITHIN 5' OF THE EDGE OF PAVEMENT (I.E. CURB, LIP OF GUTTER, EDGE OF PAVEMENT, ETC.) SHALL BE REPAVED TO THE EDGE OF PAVEMENT.
17. ALL NEW PAVEMENT SHALL MATCH THE EXISTING PAVEMENT SECTION. A MINIMUM PAVEMENT SECTION OF 3" AC/6" CLASS 2 AB IS REQUIRED.
18. EXISTING PAVEMENT THAT IS REMOVED OR DAMAGED SHALL BE REPLACED AS REQUIRED BY THE CITY ENGINEER.
19. MANHOLE FRAMES AND COVERS SHALL BE BROUGHT TO FINISH GRADE PRIOR TO FINAL SIGNOFF.
20. FIVE (5) WORKING DAYS PRIOR TO INSTALLING PERMANENT STRIPING, THE CONTRACTOR SHALL CAT TRACK THE STRIPING AND REQUEST REVIEW OF THE CAT TRACKS BY THE CITY TRAFFIC ENGINEER. THE CITY ENGINEER SHALL HAVE THE RIGHT TO MAKE CHANGES IN THE LOCATION OF THE ALIGNMENT OF TRAFFIC STRIPES, PAVEMENT MARKINGS, AND PAVEMENT MARKERS.
21. CONCRETE FOR USE IN ALL CONCRETE STRUCTURES SHALL CONFORM TO CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 90. DROP INLETS, SIDEWALKS, CURBS AND GUTTERS SHALL CONTAIN 590 LBS OF CEMENT PER CUBIC YARD AND SHALL ATTAIN A MINIMUM STRENGTH OF 3,000 PSI IN 28 DAYS.
22. DROP INLETS SHALL BE CONSTRUCTED CONFORMING TO CITY STANDARD DETAILS UNLESS OTHERWISE NOTED ON THE PLANS. IF GRATE OPENINGS ALIGN WITH DIRECTION OF PATH OF TRAVEL, OPENINGS SHALL BE NO WIDER THAN ½". DROP INLETS SHALL BE INSTALLED CONCURRENT WITH THE CONSTRUCTION OF THE CURB AND GUTTER. "NO DUMPING FLOWS TO THE BAY" PLaque SHALL BE INSTALLED ON THE CURB ADJACENT TO ALL INLETS.
23. A MINIMUM THICKNESS OF SIX (6) INCHES OF CONCRETE SHALL BE REQUIRED FOR COMMERCIAL DRIVEWAY APPROACHES AND FIVE (5) INCHES FOR RESIDENTIAL. THE DRIVEWAY APPROACH SHALL BE INSTALLED CONCURRENT WITH THE CONSTRUCTION OF THE CURB AND GUTTER.
24. ONE POUND OF DISPERSING BLACK SHALL BE MIXED WITH EACH CUBIC YARD OF CONCRETE AT THE BATCH PLANT.
25. CITY STANDARD STREET LIGHTS SHALL BE INSTALLED AS REQUIRED BY

- ## **GENERAL NOTES:**
1. THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD CONSULTING ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CONSULTING ENGINEER.
 2. ALL MATERIALS, METHODS, AND WORKMANSHIP SHALL CONFORM TO THE CITY OF CUPERTINO STANDARDS, LATEST EDITION, AND CALTRANS, LATEST EDITION (RANK SHALL BE IN ABOVE LISTED ORDER WHERE DISCREPANCIES EXIST). ALL WORK IS SUBJECT TO APPROVAL OF THE OWNER OR AN AUTHORIZED REPRESENTATIVE. CERTIFICATION FOR CONFORMANCE WITH PROJECT SPECIFICATIONS WILL BE REQUIRED FOR ALL MATERIALS USED ON THE PROJECT UNLESS SPECIFICALLY WAIVED BY THE ENGINEER.
 3. APPROVAL OF THE OWNER AND/OR THEIR AUTHORIZED REPRESENTATIVE, IS REQUIRED ON COMPLETED WORK PRIOR TO: (A) PLACING OF ANY CONCRETE; (B) PLACING OF AGGREGATE BASE; (C) PLACING OF ASPHALT CONCRETE; (D) BACKFILLING TRENCHES FOR PIPE, WORK DONE WITHOUT SUCH APPROVAL SHALL BE AT THE CONTRACTOR'S RISK. SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CITY OF CUPERTINO PUBLIC WORKS DEPARTMENT FOR A PRE-CONSTRUCTION CONFERENCE 48-HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES. ALSO, CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING 48-HOURS PRIOR TO COMMENCING WORK AND 24 HOURS PRIOR TO RESUMPTION AFTER INTERRUPTION, REQUESTS FOR INSPECTION OF PUBLIC FACILITIES SHALL BE GIVEN 48-HOURS IN ADVANCE, AND BE PERFORMED BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.
 5. THE CITY SHALL BE NOTIFIED 72 HOURS IN ADVANCE AND PROVIDED WITH A WORKPLAN PRIOR TO CONNECTING TO EXISTING PUBLIC INFRASTRUCTURE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF EXISTING PUBLIC AND PRIVATE IMPROVEMENTS WITHIN THE WORK AREA AND SHALL ADEQUATELY BARRICADE PROJECT TO KEEP THE GENERAL PUBLIC FROM THE SITE. ANY DAMAGE TO CITY OR PRIVATE IMPROVEMENTS SHALL BE REPLACED BY THE CONTRACTOR TO AN EQUAL OR BETTER CONDITION
 7. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS AUTHORIZED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPE, LOCATION, SIZE, LOCATION AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, RSC ENGINEERING, INC., CONSULTING CIVIL ENGINEER, HEREINAFTER DESIGNATED AS THE ENGINEER, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE/SHE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THE LOCATIONS OF THEIR UNDERGROUND FACILITIES SHOWN ON THESE IMPROVEMENT PLANS. THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR OF THE SCHEDULED TIME AND PLACE OF SUCH VISUAL VERIFICATION TO ENABLE SAID FIRM TO HAVE A REPRESENTATIVE PRESENT. SHOULD A CONFLICT BECOME APPARENT, THE ENGINEER WILL CONTACT THE PARTIES RESPONSIBLE FOR THE RELOCATION OF THE CONFLICTING FACILITY. CONTRACTOR TO VERIFY TIE-INS TO EXISTING UTILITIES AND CONFLICTS AT START OF CONSTRUCTION AND NOTIFY RSC ENGINEERING, INC. OF ANY CHANGES.
 8. THE CONTRACTOR SHALL EXPOSE THE END OF EXISTING GRAVITY LINES FOR SURVEYOR TO VERIFY LOCATION AND DEPTH OF FACILITIES A MINIMUM 48 HRS PRIOR TO CONNECTION OF PROPOSED UTILITY. ALL COSTS FOR SUCH EXCAVATION SHALL BE INCLUDED IN PRICES FOR VARIOUS ITEMS OF WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WITH ANY DISCREPANCY FROM THE INFORMATION SHOWN ON THE PLANS
 9. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE GROUND AND UNDERGROUND, AS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
 10. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES

C1.0 NOTE SHEET
C2.0 DEMOLITION PLAN
C2.1 DEMOLITION PLAN
C3.0 SITE PLAN
C3.1 SITE PLAN
C4.0 GRADING PLAN
C4.1 GRADING PLAN
C5.0 STORM DRAIN
C6.0 EROSION AND SEDIMENT
C6.1 EROSION CONTROL
C6.1 DETAILS
C7.0 DETAIL SHEET

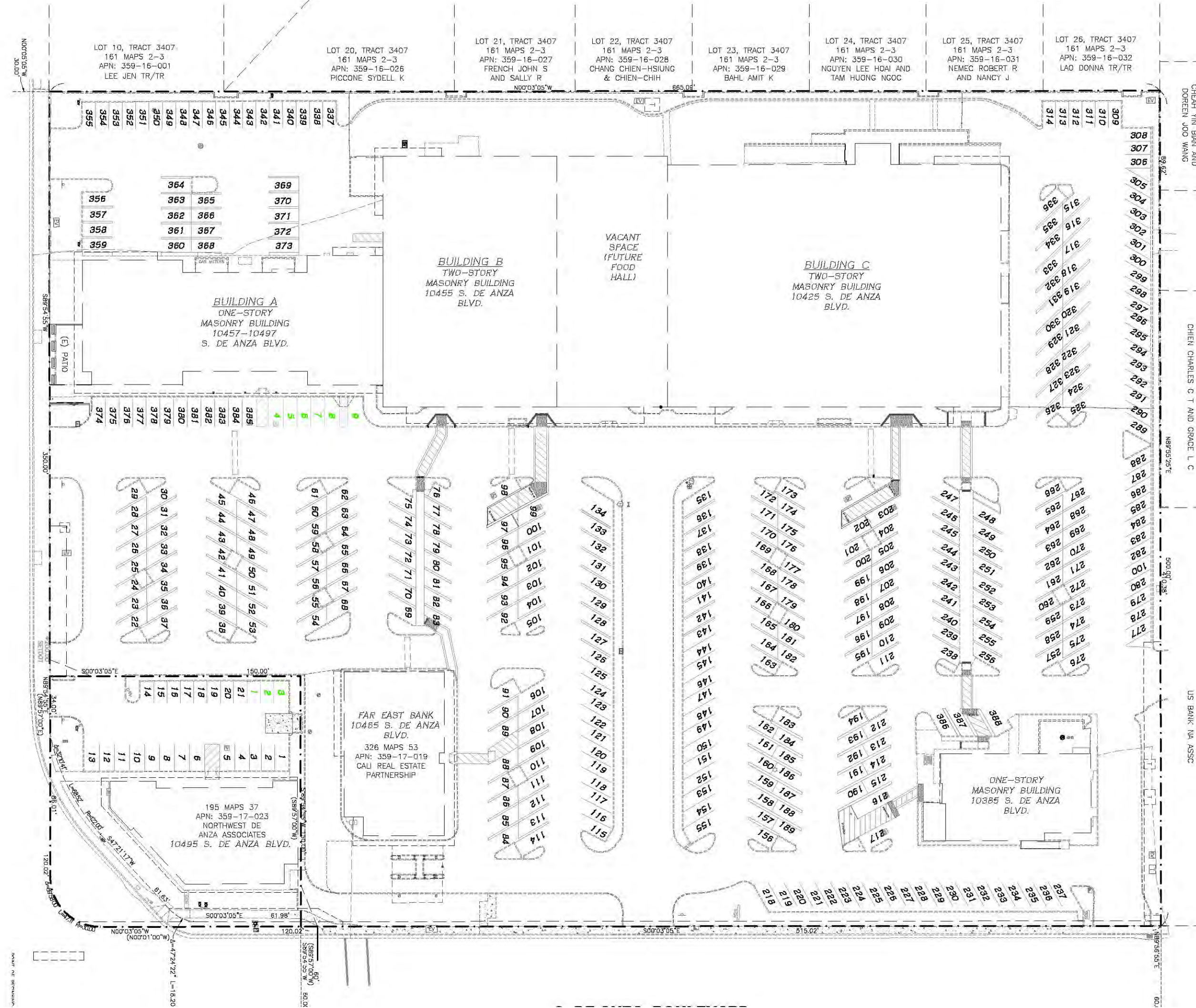


**10425, 10445, 10455, 10457, 10465, 10467,
10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.**

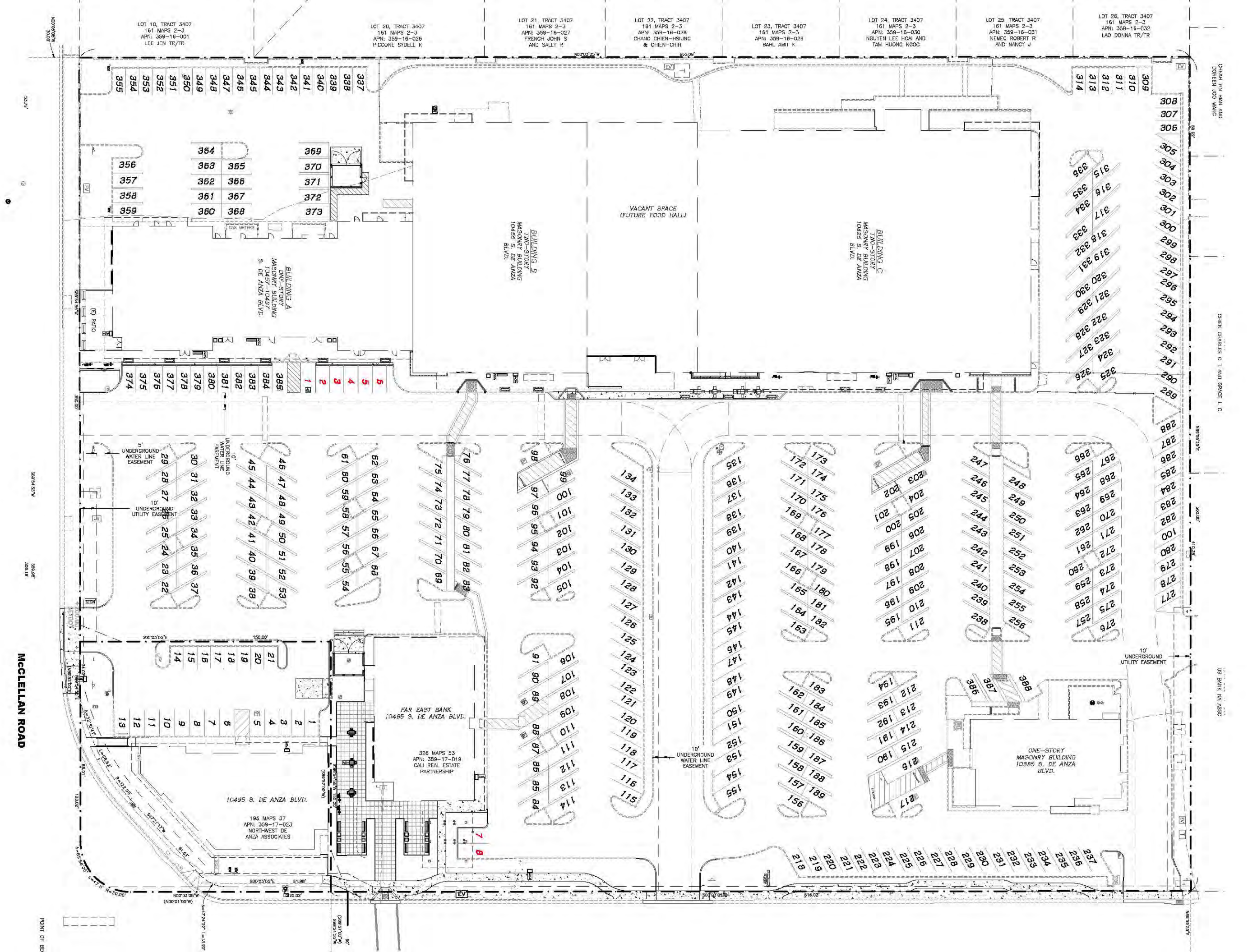
SHEET NO.
C1.0
OF

DATE: DECEMBER 3, 2018

THE CONTRACTOR SHALL ENSURE THAT ALL WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL ARE CONTINUOUSLY ACCESSIBLE (INCLUDING INSTALLATION OF TEMPORARY WALKWAYS), HAVE A MAXIMUM OF 1/4" CHANGES IN ELEVATION, ARE A MINIMUM 48" IN WIDTH, HAVE A MAXIMUM 1/4" PER FOOT CROSS SLOPE AND WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% SHALL HAVE RAMPS COMPLYING WITH CBC SECTION 11B-405. WHERE A WALK CROSSES OR ADJACENTS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY RUBBIS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN TRAVEL AND VEHICULAR TRAVEL, THERE SHALL BE DEFINITIVE DETECTABLE WARNING WHICH IS 36" WIDE, COMPLYING WITH CBC SECTION 11B-705.1.1 AND 11B-705.1.2.5, AND ANY OTHER APPLICABLE ADA AND TITLE 24 REQUIREMENTS. ALL DISABLED UNLOADING SPACES AND ASSOCIATED LOADING ZONES SHALL HAVE CROSS SLOPES NOT TO EXCEED 2% IN ANY DIRECTION.



Existing Parking Plan = 397 Cars



Proposed Parking Plan = 396 Cars



JOHNSON
LYMAN
ARCHITECTS

1375 Locust Street, #202, Walnut Creek, CA 94596
925.930.9690 930.9039 fax

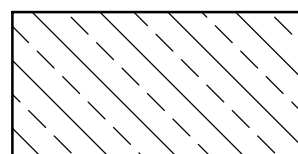


McClellan Square

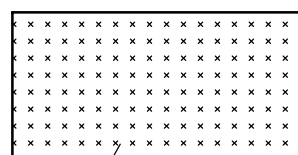
Parking Analysis

C1A
2.4.19

NOTES



CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING AC PAVEMENT



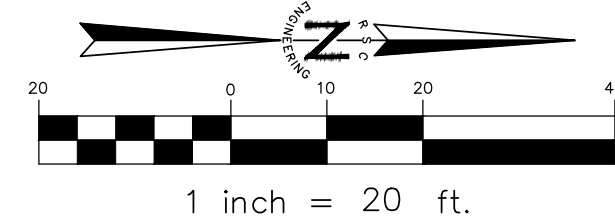
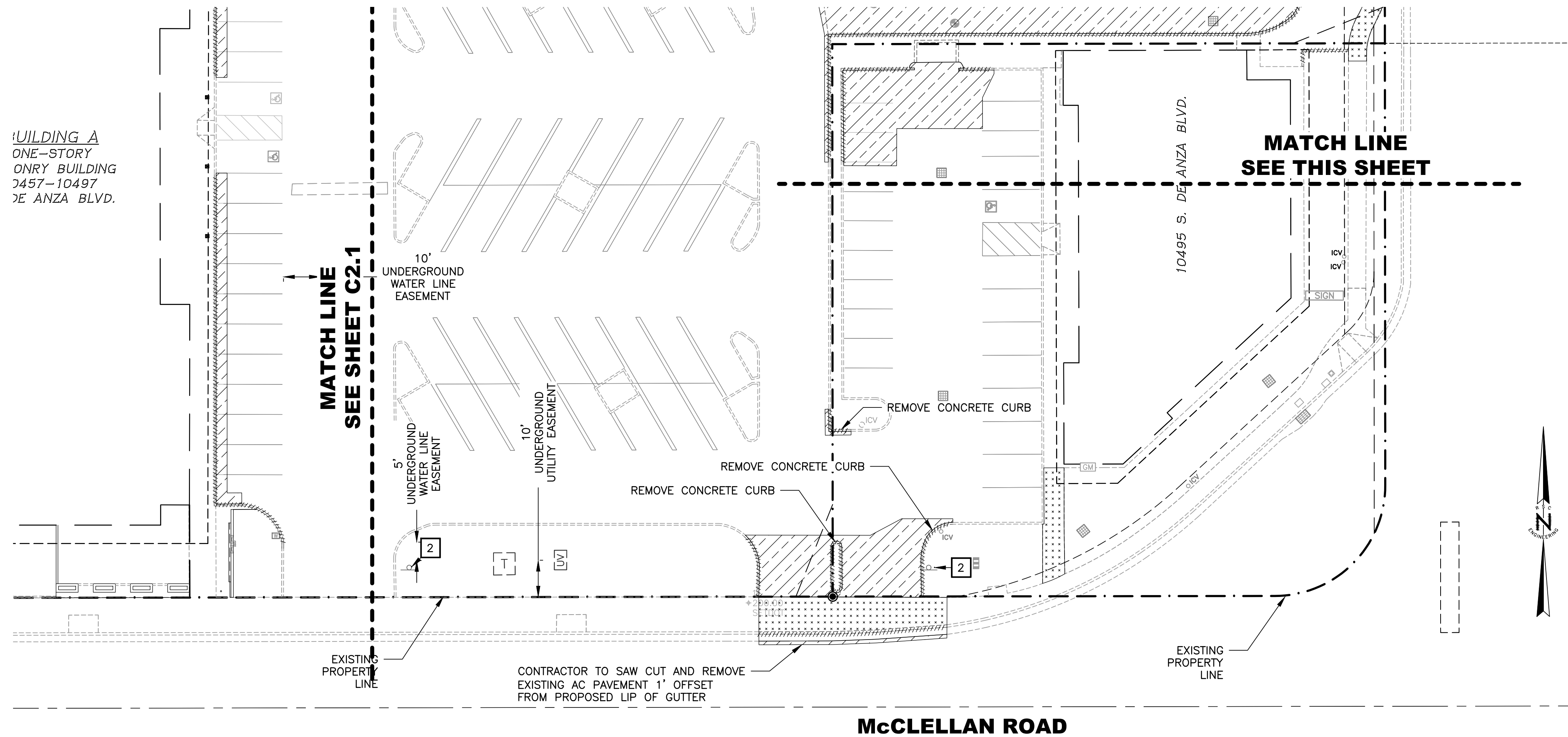
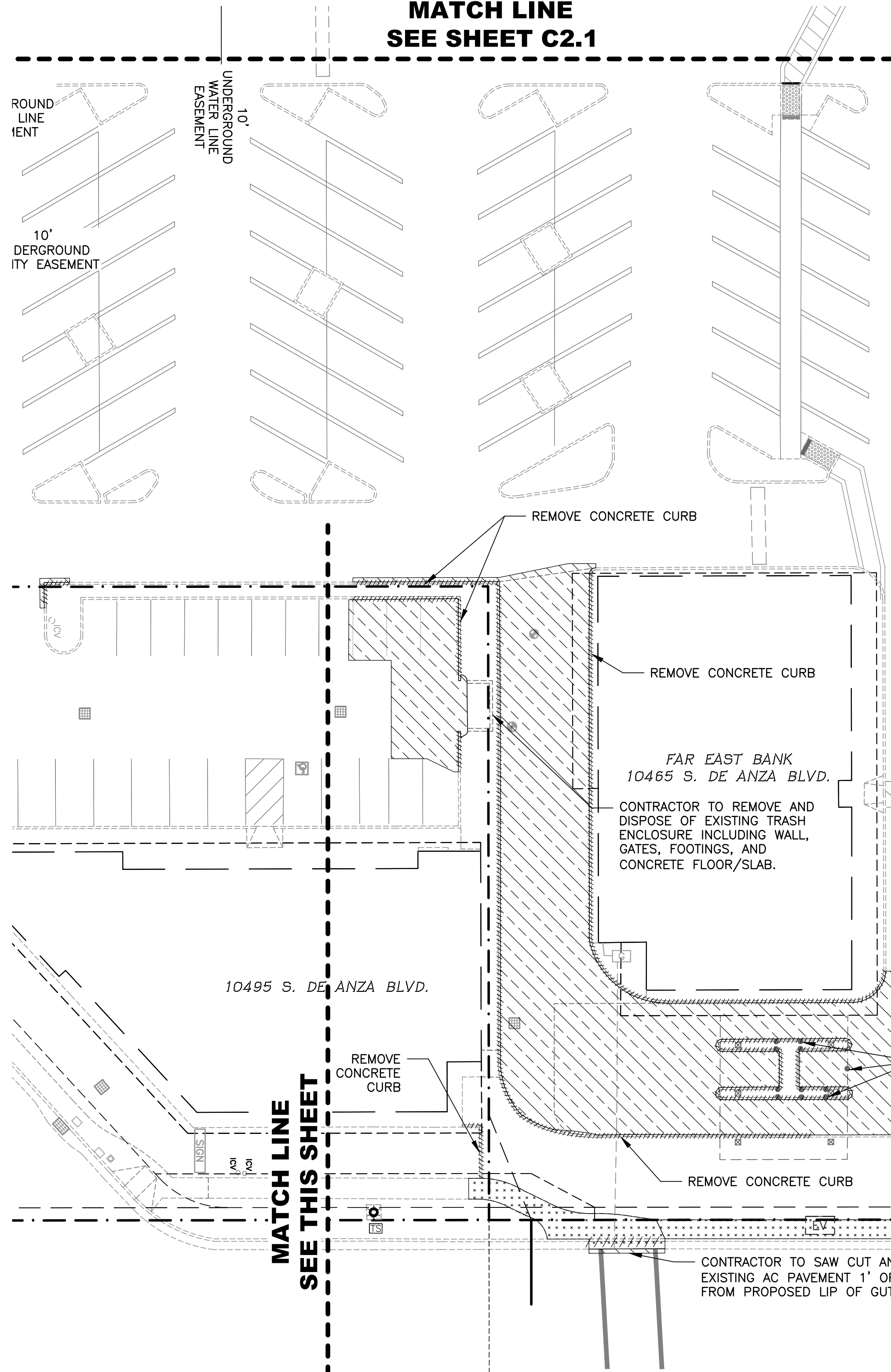
CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK

CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING STRUCTURE AS NOTED

KEY NOTES

- 1 SAWCUT OF EXISTING AC PAVEMENT IS NOT REQUIRED IF THE CITY'S PAVEMENT PROJECT IS COMPLETED PRIOR TO THIS PROJECT.
- 2 REMOVE AND REPLACE EXISTING SITE ACCESSIBILITY SIGN PER DETAIL 8/C7.0 (6 TOTAL)

MATCH LINE
SEE SHEET C2.1



S. DE ANZA BOULEVARD

**BROWMAN
DEVELOPMENT
COMPANY, INC.**

REV	DATE	DESCRIPTION



RSC ENGINEERING
2250 Douglas Blvd., Suite 150
Roseville, CA 95661
Ph: 916.786.2884 Fax: 916.788.4408

PROJECT NO: 019-016
DRAWN BY: RSC Engr
CHECKED BY: R. CHAVEZ
DESIGNED BY: RSC Eng

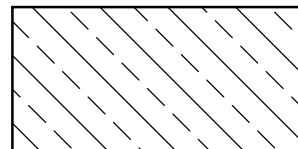
**EXTERIOR ALTERATIONS FOR
McCLELLAN SQUARE**
10425, 10445, 10455, 10457, 10465, 10467,
10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

SHEET TITLE
**DEMOLITION
PLAN**
SUBMITTAL NO. 2

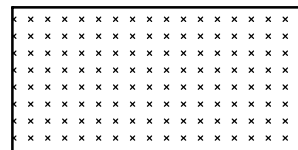
SHEET NO.
C2.0
OF 11

DATE: DECEMBER 3, 2018

LEGEND



CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING AC PAVEMENT

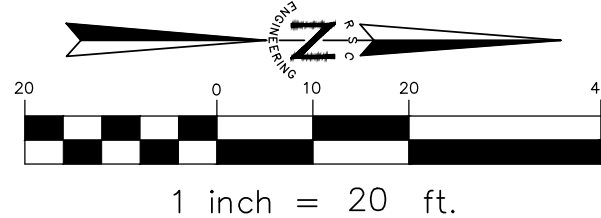
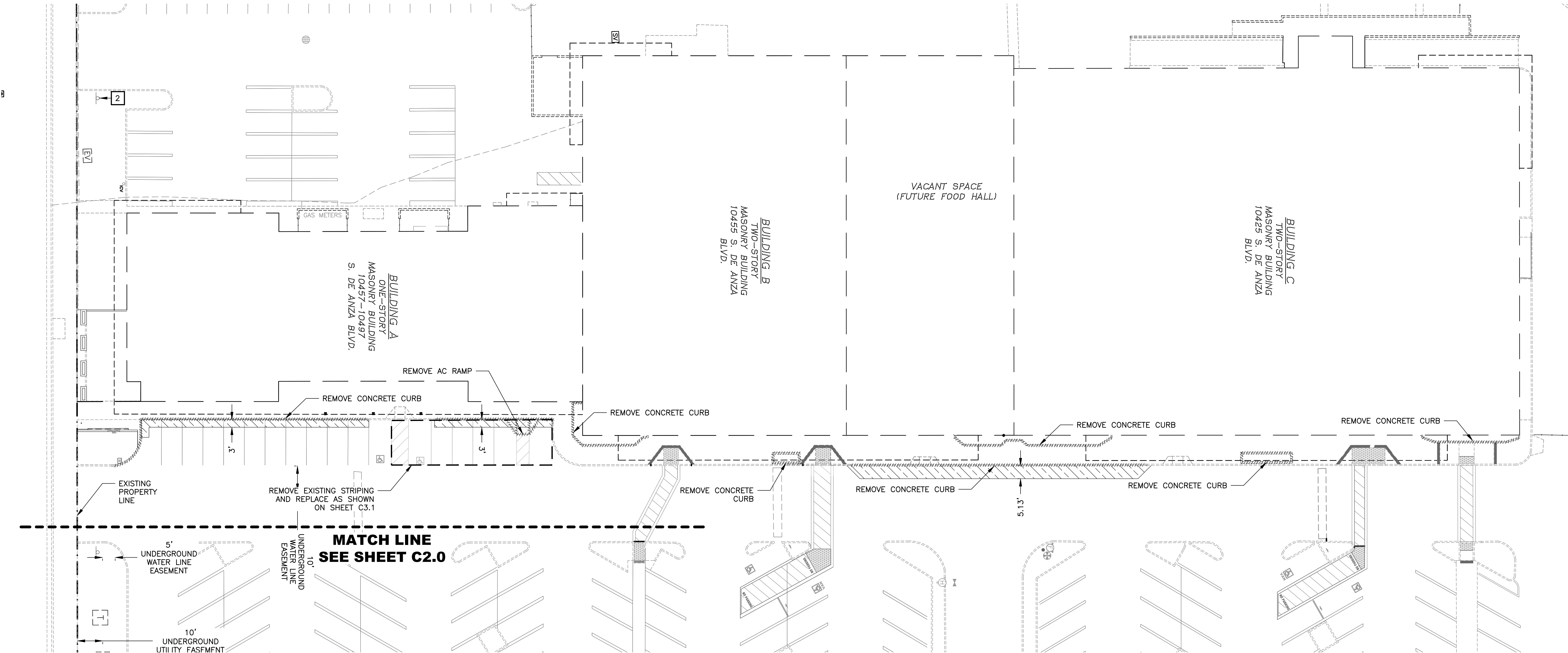


CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK

CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING STRUCTURE AS NOTED

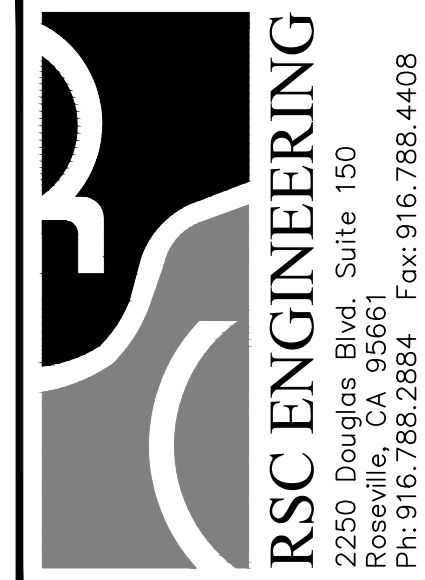
KEY NOTES

- 1 SAWCUT OF EXISTING AC PAVEMENT IS NOT REQUIRED IF THE CITY'S PAVEMENT PROJECT IS COMPLETED PRIOR TO THIS PROJECT.
- 2 REMOVE AND REPLACE EXISTING SITE ACCESSIBILITY SIGN PER DETAIL 8/C7.0 (6 TOTAL)



**BROWMAN
DEVELOPMENT
COMPANY, INC.**

REV	DATE	DESCRIPTION	BY	DATE
1				
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PROJECT NO: 019-016
DRAWN BY: RSC Engr
CHECKED BY: R. CHAVEZ
DESIGNED BY: RSC Eng

**EXTERIOR ALTERATIONS FOR
MCCELLELLAN SQUARE**
10425, 10445, 10455, 10457, 10465, 10467,
10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

SHEET TITLE
**DEMOLITION
PLAN**
SUBMITTAL NO. 2

SHEET NO.
C2.1
OF 11

DATE: DECEMBER 3, 2018

- 1 CONCRETE SIDEWALK PER CITY OF CUPERTINO STANDARD DETAIL 1-19
- 2 DRIVEWAY WITH CURB & GUTTER PER CITY OF CUPERTINO STANDARD DETAIL 1-21 & 1-16
- 3 PROPOSED SIDEWALK WITH DOWEL CONNECTION TO EXISTING PER CITY OF CUPERTINO STANDARD DETAIL 1-23
- 4 CURB RAMP WITH DETECTABLE WARNING PER CALTRANS DETAIL 889A, CASE 2
- 5 PROPOSED LOCATION OF RECOATED "NO LEFT TURN" SIGN PER CITY OF CUPERTINO STANDARD DETAIL 2-20
- 6 PROPOSED ON BARRIER SIDE CURB 1/C7.0. TAPER TO MATCH EXISTING AC ELEVATION.
- 7 PROPOSED TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS

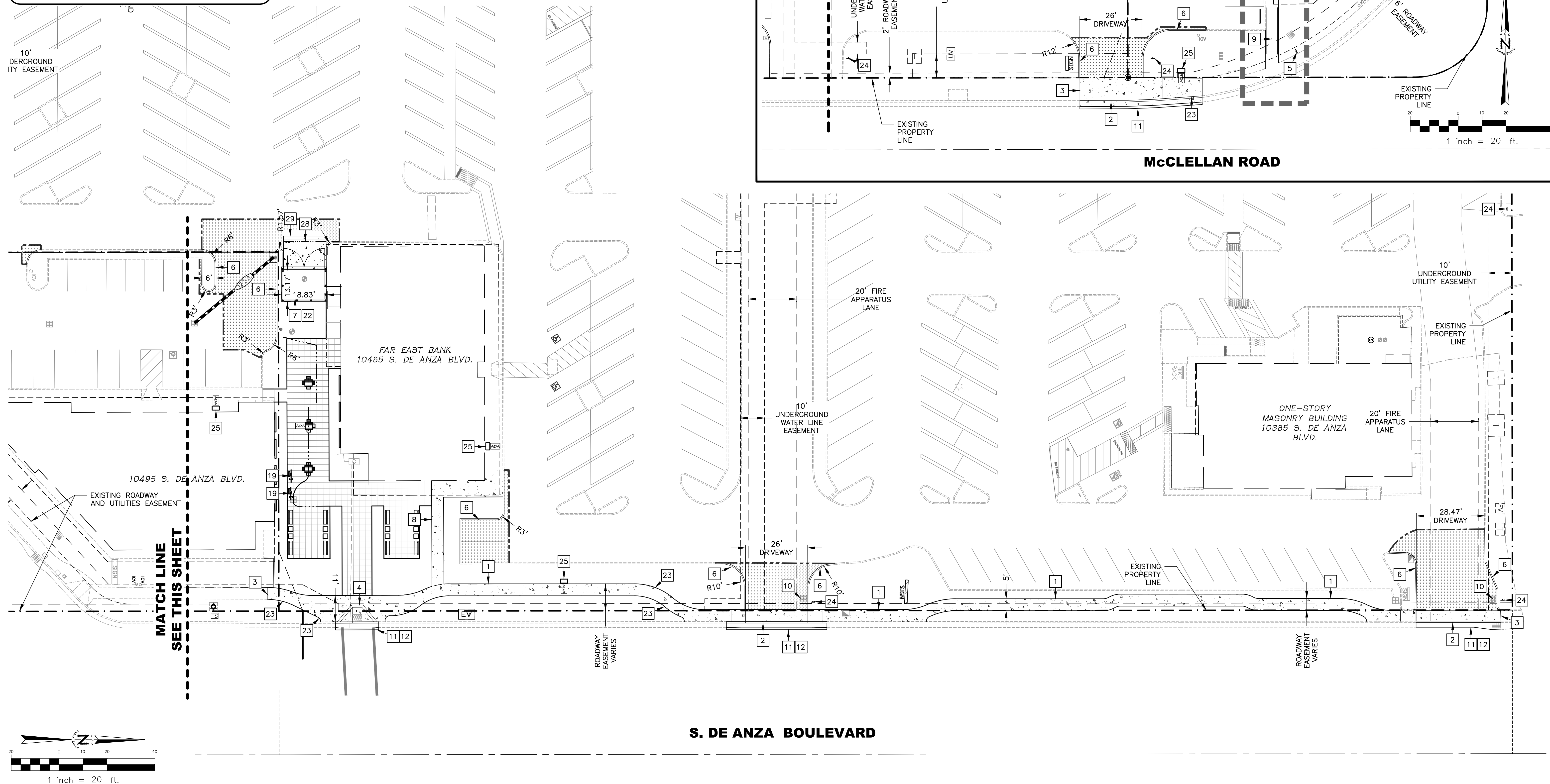
- | | |
|----|---|
| 8 | PROPOSED SITE SIDEWALK PER DETAIL
2/C7.0 |
| 9 | PROPOSED RAMP WITH HANDRAIL PER
DETAIL 3/C7.0 |
| 10 | CONTRACTOR SHALL ADJUST DRAIN INLET
TO PROPOSED GRADE; EX. GRATE=197.10
PROPOSED GRADE=196.80 |
| 11 | NEW PAVEMENT PER CITY OF CUPERTINO
GENERAL NOTE #17 SHEET C1.0 |
| 12 | PER NOTE 1 ON SHEET C2.0 IF CITY
CONSTRUCTS ADA RAMPES PRIOR TO
PROJECT THE CONTRACTOR SHALL MATCH
NEW IMPROVEMENTS. |
| 13 | ACCESSIBLE PARKING SYMBOL
PER DETAIL 5/C7.0 |
| 14 | PAINTED CROSS HATCH AT 45°, 4" WHITE
SOLID LINE AT 36" OC, WITH 4" WIDE BLUE
SOLID LINE |

- | | |
|----|--|
| 15 | PAINTED PARKING STALL STRIPING
PER DETAIL 6/C7.0 |
| 16 | PROPOSED PLANTER BOX, SEE
ARCHITECTURAL PLAN FOR DETAILS |
| 17 | PROPOSED HANDRAIL, SEE ARCHITECTURAL
PLAN FOR DETAILS |
| 18 | PROPOSED BENCH, SEE ARCHITECTURAL
PLAN FOR DETAILS |
| 19 | PROPOSED BIKE RACK, SEE
ARCHITECTURAL PLAN FOR DETAILS |
| 20 | PROPOSED PLANTER WITH SEAT, SEE
ARCHITECTURAL PLANS FOR DETAILS |
| 21 | PROPOSED ACCESSIBLE PARKING SIGN PER
DETAIL 7/C7.0 |
| 22 | PROVIDE SPRINKLER SERVICE TO
EXISTING BUILDING FIRE SERVICE PLANS
DEFERRED SUBMITTAL AS
DEFERRED SUBMITTAL BY FIRE SPRINKLER
DESIGNER. |

- | | |
|----|---|
| 23 | SIDEWALK TRANSITION AND EXPANSION
JOINT PER CITY OF CUPERTINO STANDARD
DETAIL 1-28. |
| 24 | PROPOSED SITE ACCESSIBLE NOTIFICATION
SIGN (6 TOTAL) |
| 25 | PROPOSED TRASH TRIO. SEE LANDSCAPE
PLAN FOR INFORMATION. |
| 26 | PROPOSED FLARED RAMP PER DETAIL
9/C7.0 |
| 27 | EXISTING RAMP TO REMAIN |
| 28 | CONCRETE VALLEY GUTTER PER DETAIL
10/C7.0 |
| 29 | CONCRETE PAD 10' DEEP X ENCLOSURE
WIDTH. 8" P.C.C. ON 4" CLASS 2 AB WITH
#4 REBAR @ 8" BOTHWAYS |
| 30 | PROPOSED BARRIER CURB TO BE MARKED
WITH 6" DIA. WHITE PAVEMENT MARKS PER
COUNTY FIRE DEPARTMENT STANDARD
DETAILS AND SPECIFICATIONS #A-6 |


AC PAVEMENT

CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION. OR PLACE 3" AC (COMPACTED TO 95% DENSITY) OVER 9" COMPACTED CLASS 2 AB (COMPACTED TO 95% PER ASTM D-1557), WHICH EVER IS GREATER.



**BROWMAN
DEVELOPMENT
COMPANY, INC.**

REV NO	DATE	DESCRIPTION	ENG INT.	BY CITY	DATE APPROVED
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△					



RSC ENGINEERING
22250 Douglas Blvd. Suite 150
Roseville, CA 95661
Ph: 916.788.2884 Fax: 916.788.4408

PROJECT NO:	019-016
DRAWN BY:	RSC Engr
CHECKED BY:	R. CHAVEZ
DESIGNED BY:	RSC Eng

**EXTERIOR ALTERATIONS FOR
McCLELLAN SQUARE**

10425, 10445, 10455, 10457, 10465, 10467
10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

SHEET TITLE
SITE PLAN
SUBMITTAL NO. 2

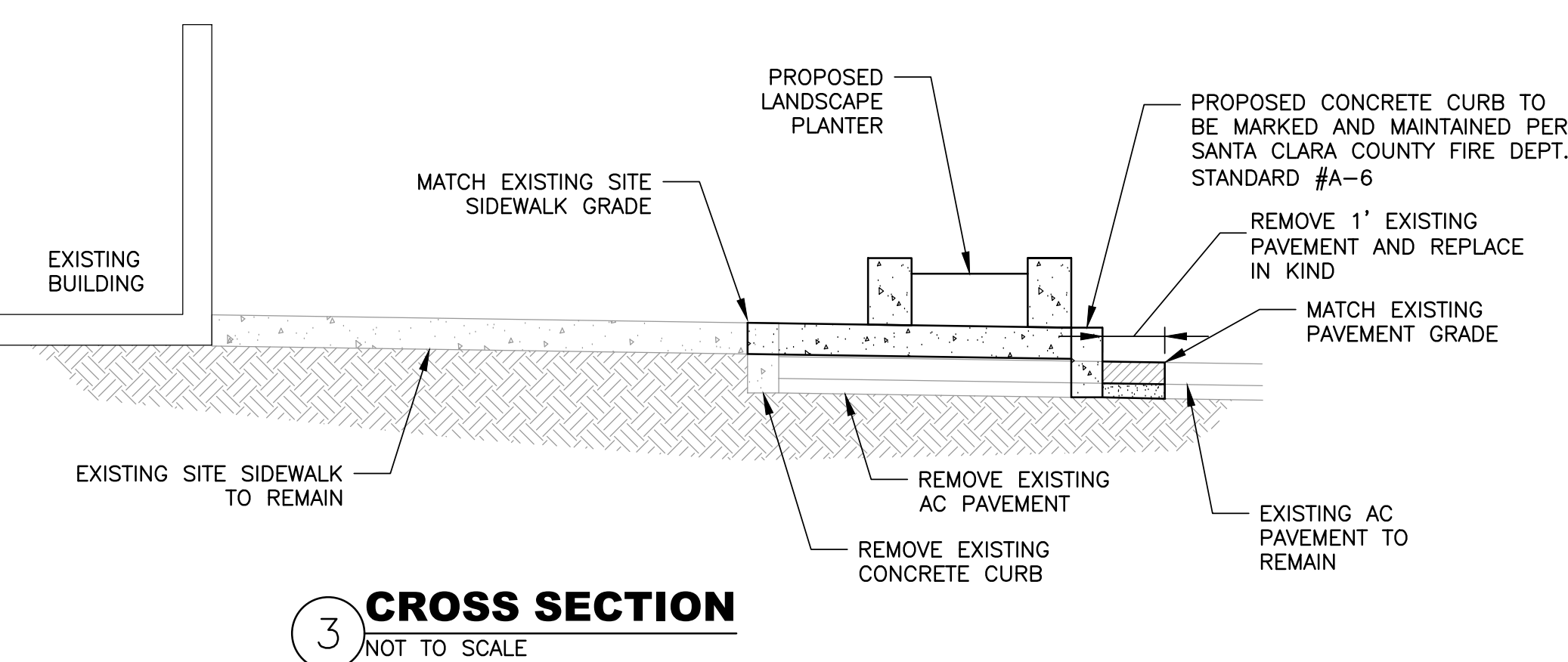
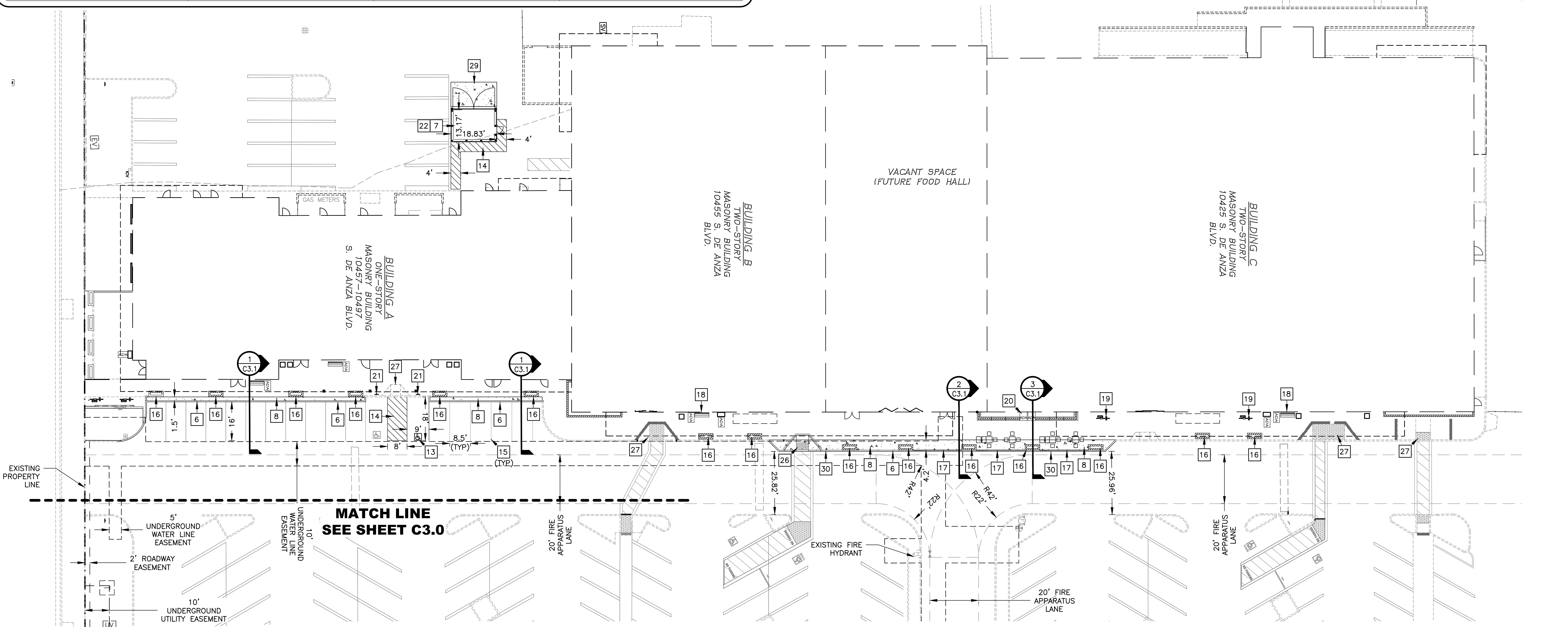
SHEET NO.
C3.0
OF 11

DATE: DECEMBER 3, 2018


1	CONCRETE SIDEWALK PER CITY OF CUPERTINO STANDARD DETAIL 1-19	8	PROPOSED SITE SIDEWALK PER DETAIL 2/C7.0	15	PAINTED PARKING STALL STRIPING PER DETAIL 6/C7.0	23	SIDEWALK TRANSITION AND EXPANSION PER CITY OF CUPERTINO STANDARD DETAIL 1-28.
2	DRIVEWAY WITH CURB & GUTTER PER CITY OF CUPERTINO STANDARD DETAIL 1-21 & 1-16	9	PROPOSED RAMP WITH HANDRAIL PER DETAIL 3/C7.0	16	PROPOSED ELECTRICAL PLAN FOR DETAILS	24	PROPOSED SITE ACCESSIBLE NOTIFICATION SIGN (6 TOTAL)
3	PROPOSED SIDEWALK WITH DOWEL CONNECTION TO EXISTING PER CITY OF CUPERTINO STANDARD DETAIL 1-23	10	CONTRACTOR SHALL ADJUST DRAIN INLET TO PROPOSED GRADE; EX. GRADE=197.10 PROPOSED GRADE=196.80	17	PROPOSED HANDRAIL, SEE ARCHITECTURAL PLAN FOR DETAILS	25	PROPOSED TRASH TRIO, SEE LANDSCAPE PLANS FOR INFORMATION.
4	CURB RAMP WITH DETECTABLE WARNING PER CALTRANS DETAIL A88A, CASE 2	11	NEW PAVEMENT PER CITY OF CUPERTINO GENERAL NOTE #17 SHEET C1.0	18	PROPOSED BENCH, SEE ARCHITECTURAL PLAN FOR DETAILS	26	PROPOSED FLARED RAMP PER DETAIL 9/C7.0
5	PROPOSED LOCATION OF RECOATED "NO LEFT TURN" SIGN PER CITY OF CUPERTINO STANDARD DETAIL 2-20	12	PER NOTE 1 ON SHEET C2.0, IF CITY CONSTRUCTS AND RAMP PRIOR TO PROJECT, THE CONTRACTOR SHALL MATCH NEW IMPROVEMENTS.	19	PROPOSED BIKE RACK, SEE ARCHITECTURAL PLAN FOR DETAILS	27	EXISTING RAMP TO REMAIN
6	PROPOSED ON BARRIER SITE CURB 1/C7.0. TAPER TO MATCH EXISTING AC ELEVATION.	13	ACCESSIBLE PARKING SYMBOL PER DETAIL 5/C7.0	20	PROPOSED PLANTER WITH SEAT, SEE ARCHITECTURAL PLANS FOR DETAILS	28	CONCRETE VALLEY GUTTER PER DETAIL 10/C7.0
7	PROPOSED TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS	14	PAINTED CROSS HATCH AT 45°, 4" WHITE SOLID LINE AT 36" OC, WITH 4" WIDE BLUE OUTLINE.	21	PROPOSED ACCESSIBLE PARKING SIGN PER DETAIL 7/C7.0	29	CONCRETE PAD 10' DEEP X ENCLOSURE WIDTH, 8" P.C.G. ON 4" CLASS 2 AB WITH #4 REBAR @ 8" BOTH WAYS
				22	PROVIDE SPRINKLER SERVICE TO EXISTING BUILDING FIRE SERVICE. PLANS DEPEND ON SUBMITTAL BY FIRE SPRINKLER DESIGNER.	30	LANDSCAPE AND MAINTENANCE CURB TO BE MARKED AND MAINTAINED PER DETAIL 1A, CARA COUNTY FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS #A-6

AC PAVEMENT

CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION, OR PLACE 3" AC (COMPACTED TO 95% DENSITY) OVER 9" COMPACTED CLASS 2 AB (COMPACTED TO 95% PER ASTM D-1557), WHICH EVER IS GREATER.



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△					
△					
△					
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RSC ENGINEERING
2250 Douglas Blvd. Suite 150
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PROJECT NO:	019-016
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**EXTERIOR ALTERATIONS FOR
McCLELLAN SQUARE**
10425, 10445, 10455, 10457, 10465, 10467,
10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

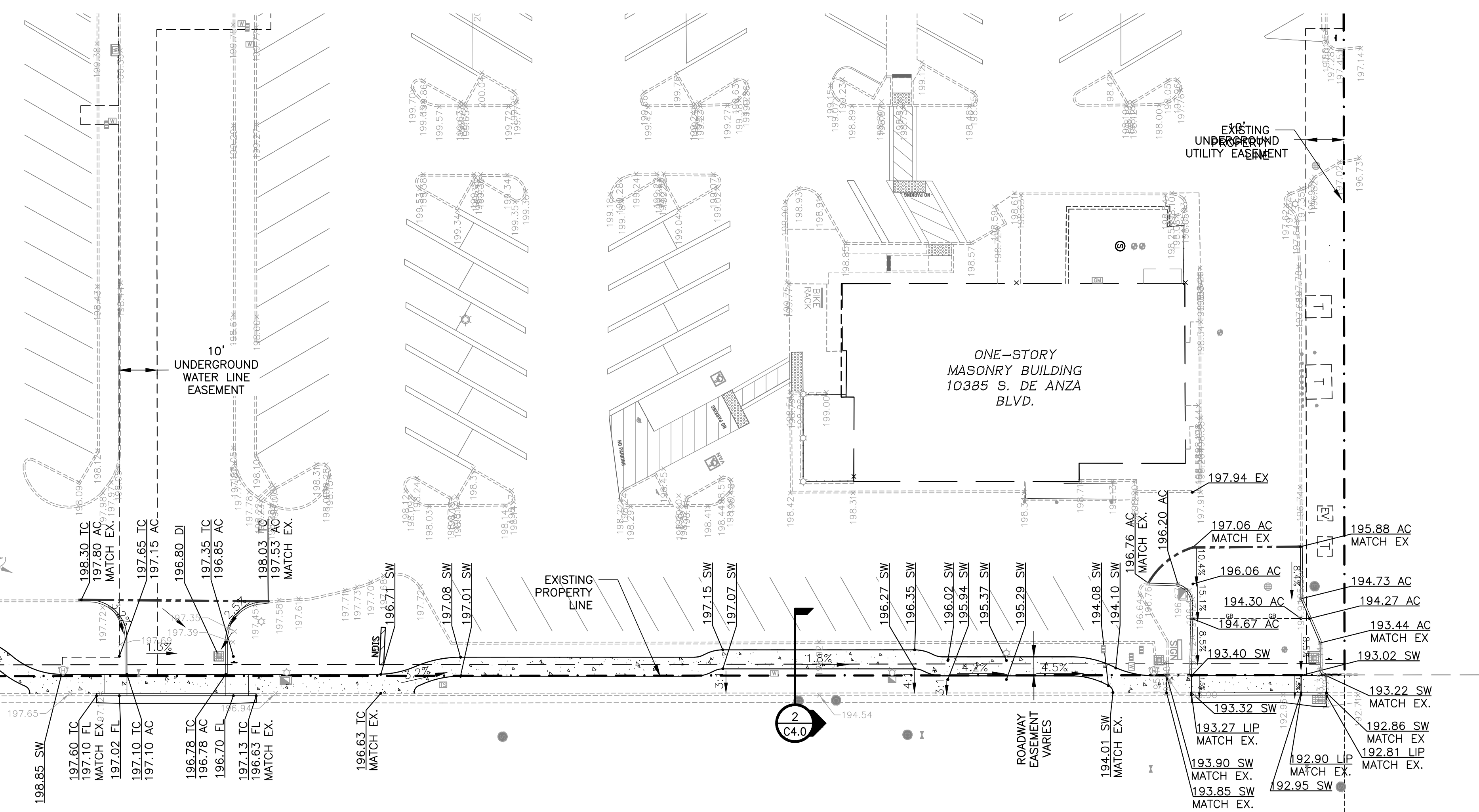
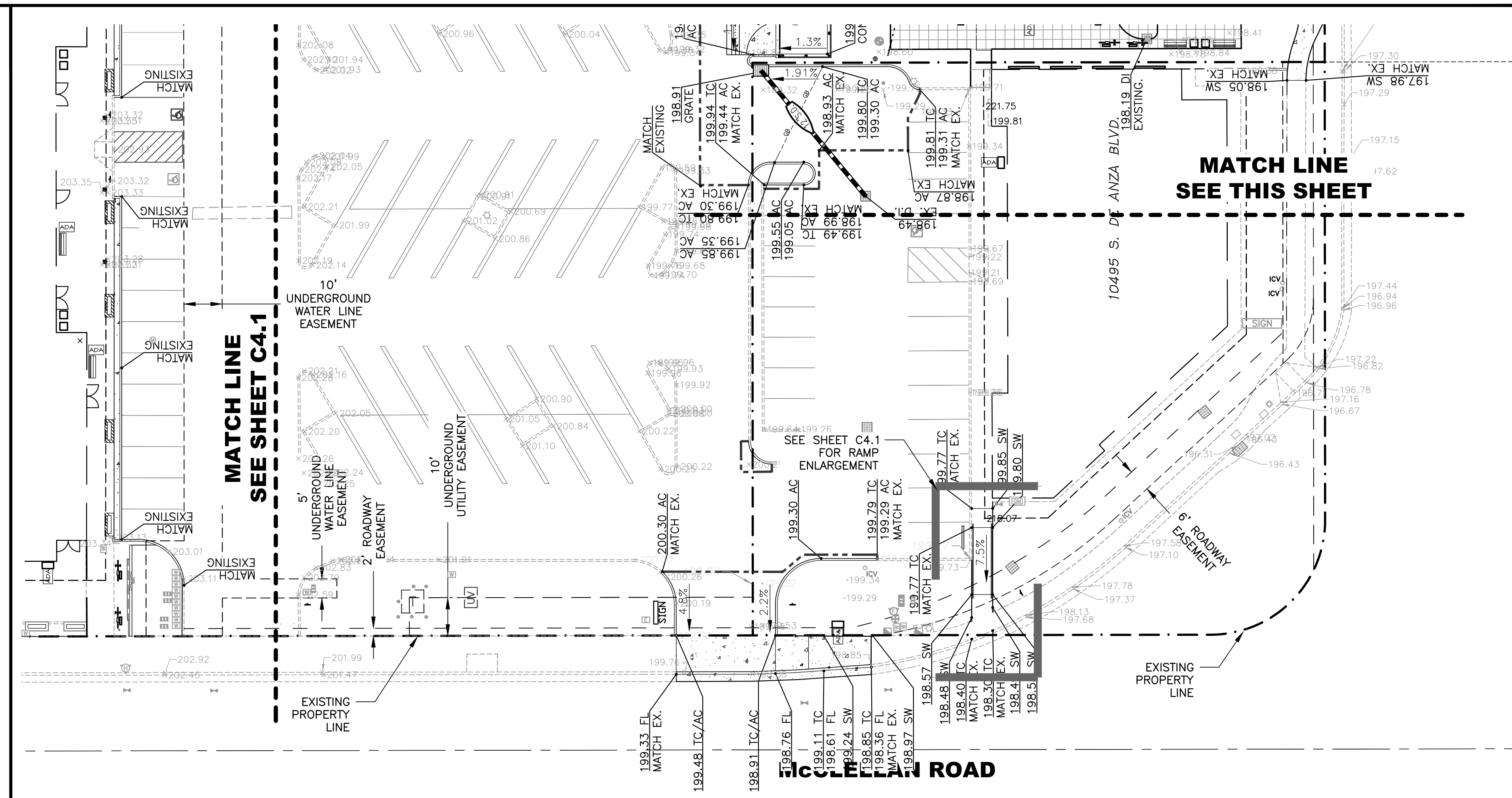
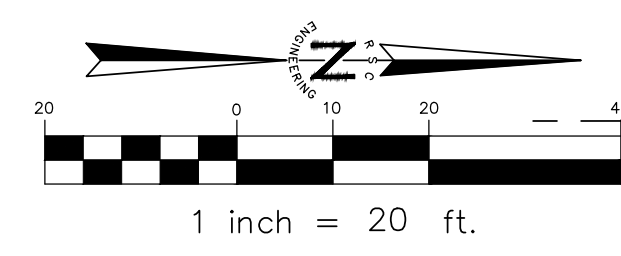
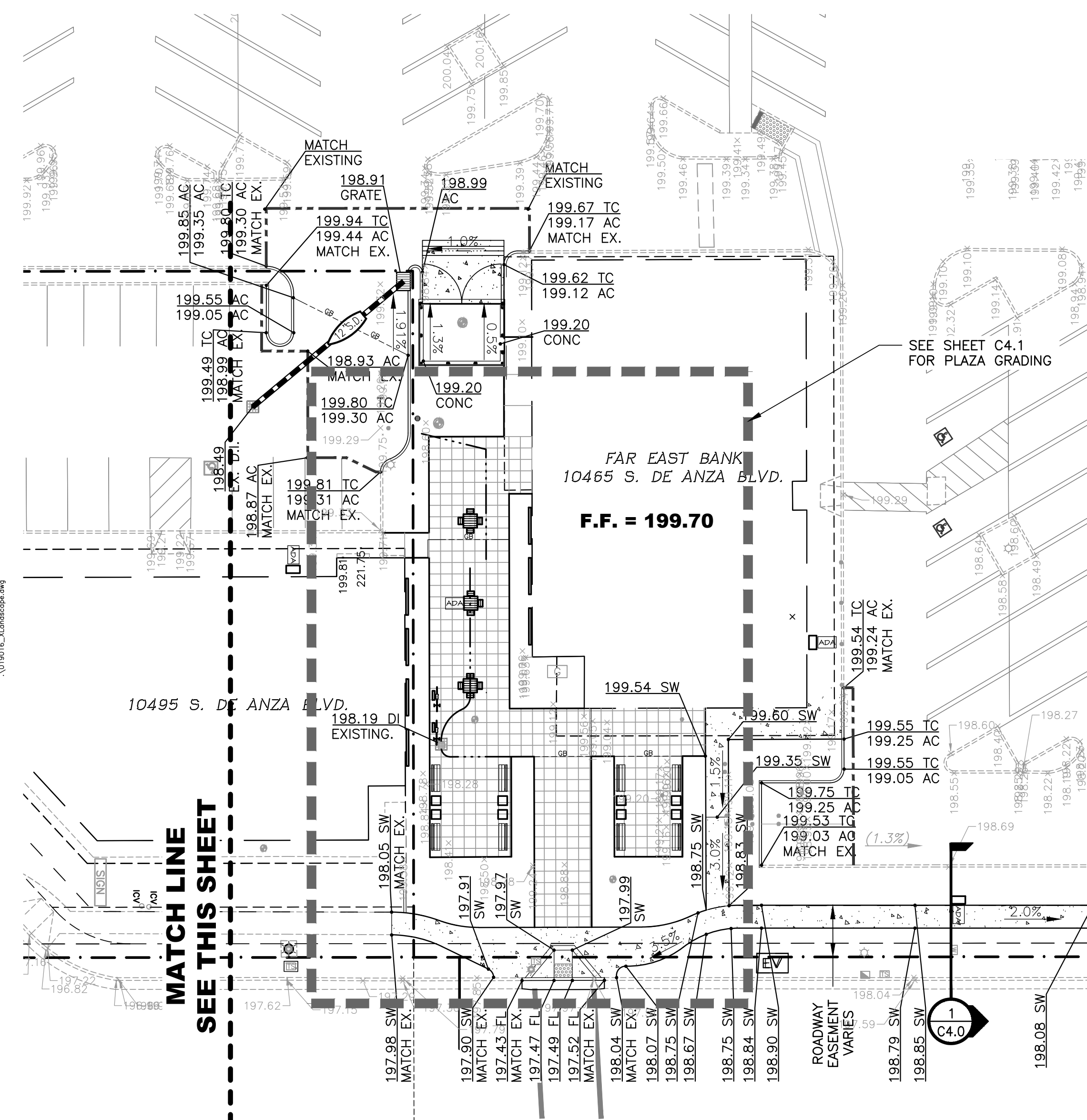
SHEET TITLE
SITE PLAN
SUBMITTAL NO. 2

SHEET NO.
C3.1
OF 11

DATE: DECEMBER 3, 2018

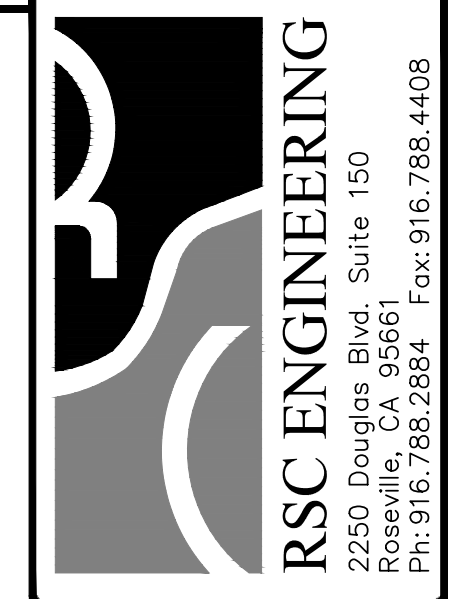
1 GRADING SECTION
NOT TO SCALE

2 GRADING SECTION
NOT TO SCALE



S. DE ANZA BOULEVARD

**BROWMAN
DEVELOPMENT
COMPANY, INC.**

[illegible]

PROJECT NO:	019-016
DRAWN BY:	RSC Engr
CHECKED BY:	R. CHAVEZ
DESIGNED BY:	RSC Eng

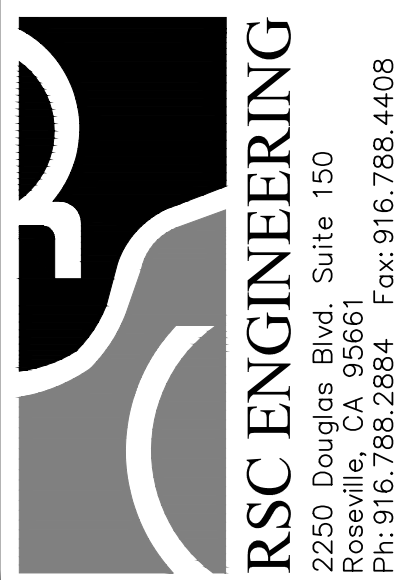
EXTERIOR ALTERATIONS FOR McCLELLAN SQUARE

10425, 10445, 10455, 10457, 10465, 10467,
10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

SHEET TITLE
**GRADING
PLAN**
SUBMITTAL NO. 2

SHEET NO.
C4.0
OF **11**

DATE: DECEMBER 3, 2018



**EXTERIOR ALTERATIONS FOR
McCLELLAN SQUARE**

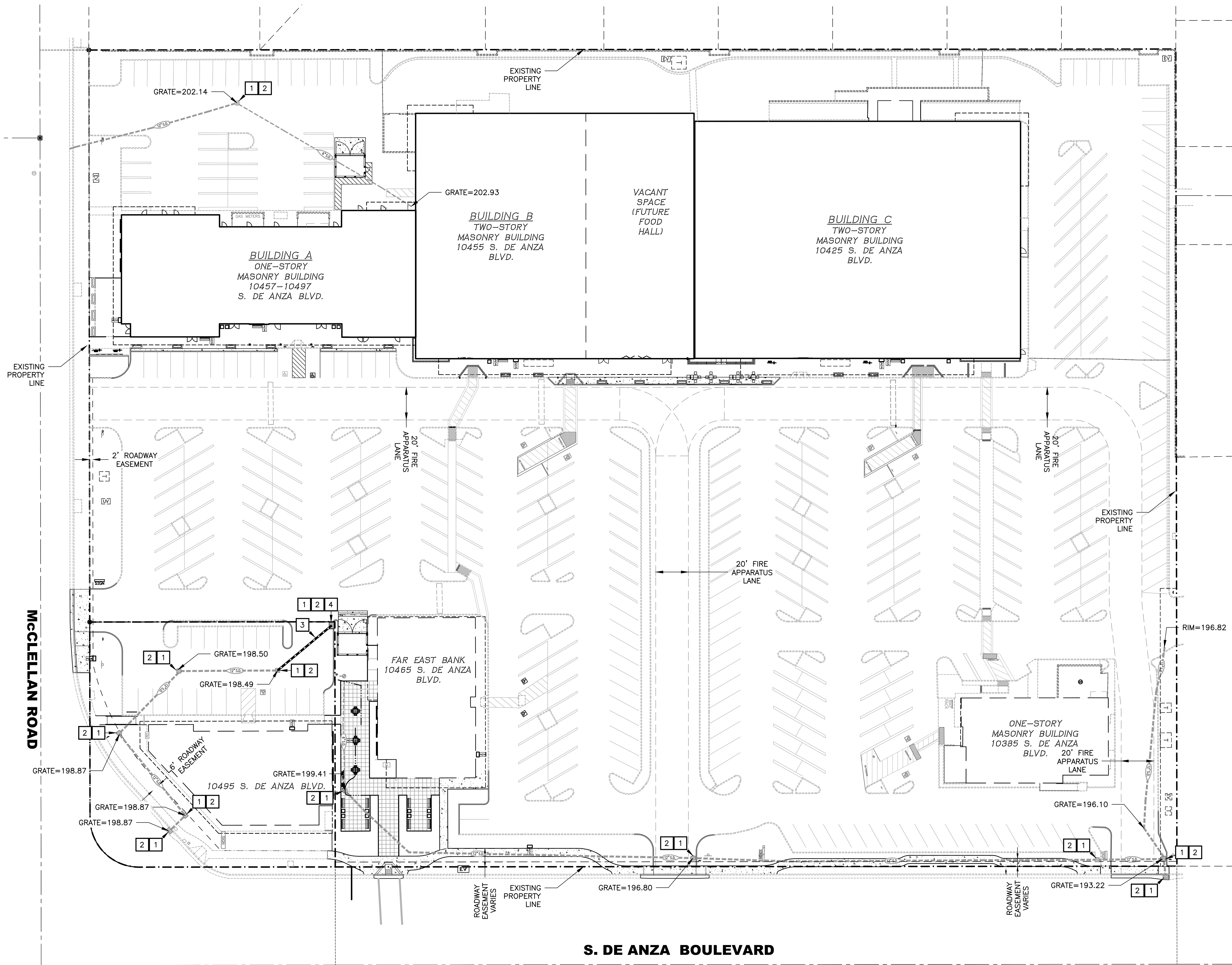
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10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

SHEET NO.
C4.1
OF 1

PROPOSED WHEEL STOP
N.T.S.

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PLOT DATE: Nov 30, 2018 - 9:24:25 AM

Drawing: P:\018-018\Drawings\DWG\018018_0502.dwg
User: JMB
Plot Date: Nov 30, 2018 - 9:24:25 AM



LEGEND

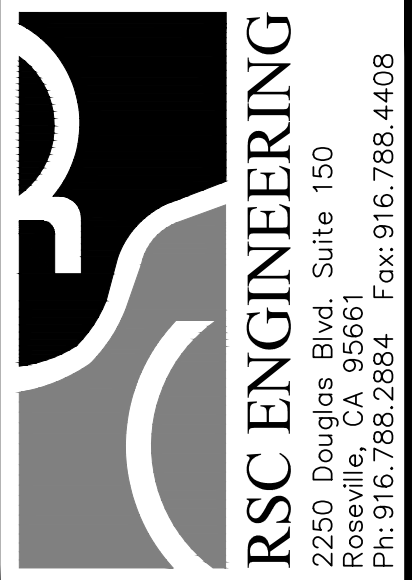
- PROPERTY LINE
- RIGHT OF WAY/ PUBLIC ROADWAY & UTILITY EASEMENT
- 35' LANDSCAPE AND BUILDING SETBACK EASEMENT
- EXISTING STORM DRAIN INLET

KEY NOTES

- EXISTING STORM DRAIN INLET. ALL STORM DRAIN INLETS SHALL BE MARKED WITH "NO DUMPING - FLOWS TO CREEK/BAY" PER CITY OF CUPERTINO STANDARDS.
- CONTRACTOR SHALL INSTALL APPROVED STORM DRAIN INLET FILTER (REVEL ENVIRONMENTAL MANUFACTURING, INC. REM-1, OR APPROVED EQUAL) ON ALL ON-SITE STORM DRAIN INLETS.
- CONTRACTOR SHALL PLACE 43 LF OF 12" STORM DRAIN PIPE. SLOPE SHALL BE DETERMINED DURING CONSTRUCTION
- CONTRACTOR SHALL INSTALL STORM DRAIN INLET PER CITY OF CUPERTINO STANDARD DETAIL 3-2.
GRATE = 198.91
INV = TO BE DETERMINED DURING CONSTRUCTION

**BROWMAN
DEVELOPMENT
COMPANY, INC.**

REV	DATE	DESCRIPTION
1		
2		
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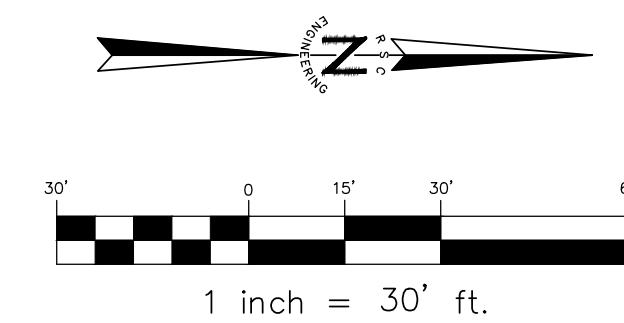
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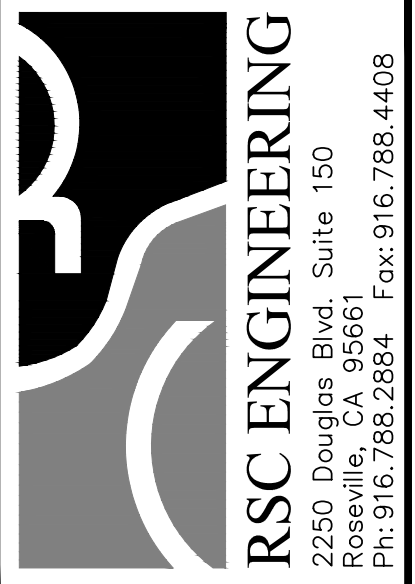
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McCLELLAN SQUARE**
10425, 10445, 10455, 10457, 10465, 10467,
10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

SHEET TITLE
**STORM
DRAIN PLAN**
SUBMITTAL NO. 2

SHEET NO.
C5.0
OF 11

DATE: DECEMBER 3, 2018





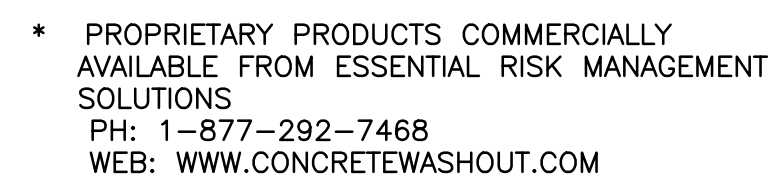
**EXTERIOR ALTERATIONS FOR
McCLELLAN SQUARE**

10425, 10445, 10455, 10457, 10465, 10467,
10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

SHEET NO.
C6.0
OF **11**

DATE: DECEMBER 3, 2018

1. PLACE SEDIMENT BARRIERS AT INLET LOCATIONS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. SANDBAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



4 TEMPORARY CONCRETE WASHOUT

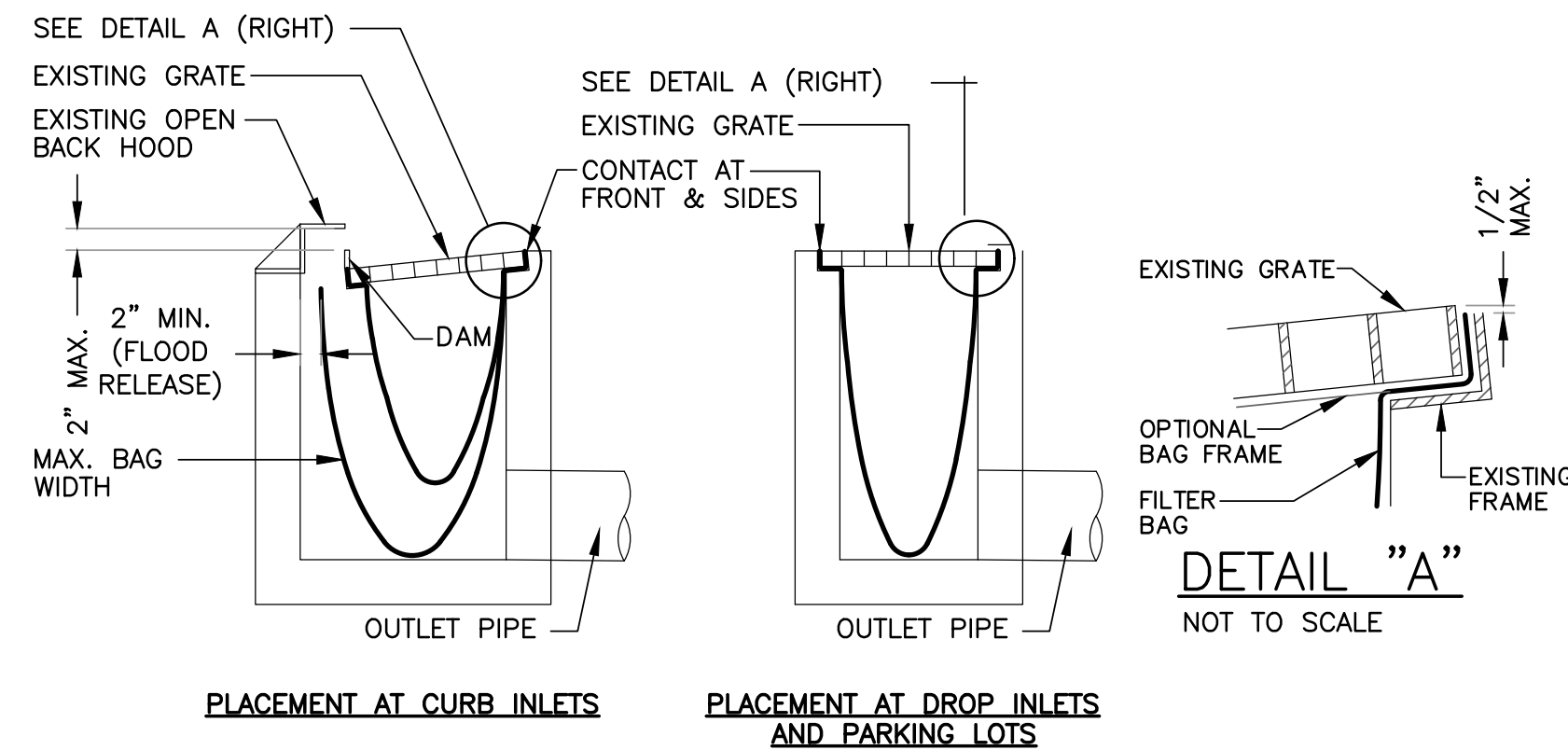
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4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



PLACE GRAVEL BAGS TO COLLECT SEDIMENT LADEN WATER FROM VEHICLES. THE WATER IS CONSIDERED NON-STORMWATER DISCHARGE AND SHALL BE COLLECTED AND DISPOSED AT A DESIGNATED FACILITY

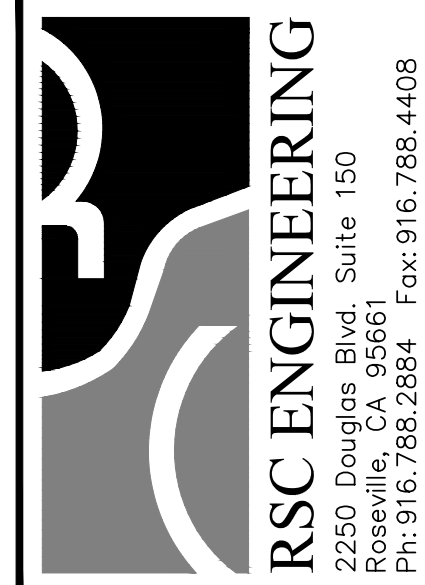
5 **STABILIZED CONSTRUCTION ENTRANCE**
NOT TO SCALE

1. THE MAXIMUM DRAINAGE AREA PER FILTER SHALL BE LESS THAN 2 ACRES.
2. THE FILTER BAG SHALL BE MANUFACTURED FROM UV RESISTANT POLYPROPYLENE, NYLON, POLYESTER OR ETHYLENE FABRIC WITH A MIN. TENSILE STRENGTH OF 50 LBS./L.F., AN EQUIVALENT OPENING SIZE NOT GREATER THAN A 20 SLEEVE AND WITH A MIN. FLOW RATE OF 40 GAL./MIN./S.F.
3. THE BAG MAY BE SUSPENDED FROM OR HELD IN PLACE BY THE EXISTING GRATE OR OTHER APPROVED METHOD; PROVIDED NO MODIFICATION OR DAMAGE IS DONE TO THE GRATE OR FRAME. THE GRATE SHALL REST NO MORE THAN ONE HALF INCH ABOVE THE FRAME (SEE DETAIL A)
4. THE BAG MAY EXTEND TO THE BOTTOM OF THE INLET BOX PROVIDED THE OUTLET REMAINS UNOBSTRUCTED.
5. FLOWS SHALL NOT BE ALLOWED TO BYPASS THE BAG, THE BAG OR IT'S FRAME SHALL CATCH FLOWS AT ALL SIDES OF THE INLET, EXCEPT AS SHOWN FOR FLOOD RELEASE.
6. BAGS SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL DURING THE WET SEASON AND MONTHLY DURING THE DRY SEASON. SEDIMENT AND DEBRIS SHALL BE REMOVED BEFORE ACCUMULATIONS HAVE REACHED ONE THIRD THE DEPTH OF THE BAG. BAGS SHALL BE REPAIRED OR REPLACED AS SOON AS DAMAGE OCCURS.



**BROWMAN
DEVELOPMENT
COMPANY, INC.**

REV NO.	DATE	DESCRIPTION	ENG INT.	BY	DATE
△					
△					
△					
△					
△					



PROJECT NO:	019-016
DRAWN BY:	RSC Engr
CHECKED BY:	R. CHAVEZ
DESIGNED BY:	RSC Eng

**EXTERIOR ALTERATIONS FOR
McCLELLAN SQUARE**

10425, 10445, 10455, 10457, 10465, 10467,
10475, 10477-A, 10477-B 10487, 10495, 10497
S. DE ANZA BLVD.
CUPERTINO, CA

SHEET TITLE
**EROSION
CONTROL
DETAILS**
SUBMITTAL NO. 2

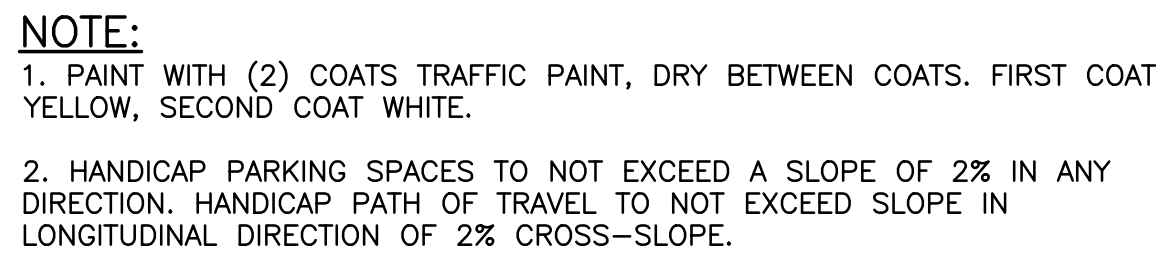
SHEET NO.
C6.1
OF **11**

DATE: DECEMBER 3, 2018

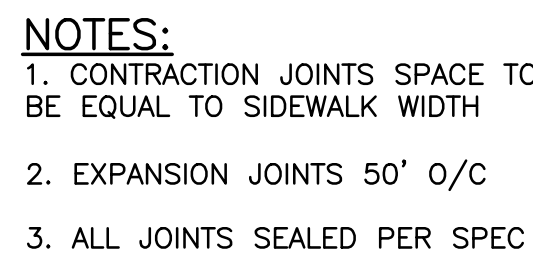
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P:\019--016\Dwg\Working Dwg\019016_XBASE.dwg
P:\019--016\Dwg\Working Dwg\019016_XTOPO.dwg
\019016_XArchBase.dwg

DRAWING: P:\019-016\016\Working Dwg\019016_06-EC.dwg
USER: RWILSON
LAST MODIFIED: Nov. 29, 18 = 10:09
PLOT DATE: Nov 30, 2018 = 9:25:48 AM

1. PROVIDE EXPANSION JOINTS @ 25' O.C. MAX. AND AT CURVES, TANGENTS, AND CORNERS
2. BASE OF CURB TO REST ON COMPACTED FILL
3. SACK FINISH EXPOSED SURFACES



5 PAINTED ACCESSIBILITY SYMBOL
NOT TO SCALE



2 SIDEWALK DETAIL



6 PAINTED PARKING STRIPE
NOT TO SCALE



AT CURB RAMPS AND WHEN PATH OF TRAVEL ADJOINS OR CROSSES VEHICULAR WAY, AND THE WALKING SURFACE IS NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREA AND THE VEHICULAR AREAS, THE BOUNDARY SHALL BE DEFINED BY A CONTINUOUS 36" WIDE DETECTABLE WARNING STRIP, (OR A 3" DEEP DETECTABLE WARNING STRIP FOR FULL WIDTH OF CURB RAMP) COMPLYING WITH CBC11B-247.1.2.5; 11B-705.1.1 & 11B-705.1.2.5. DETECTABLE WARNING STRIPS SHALL BE MADE OF DURABLE SLIP RESISTANT MATERIAL COMPOSED OF A PATTERN OF RAISED TRUNCATED DOMES. THE DETECTABLE WARNING SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER BY LIGHT OR COLOR. THE MATERIAL USED SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. WARNING SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND—ON-CANE CONTRAST, FEDERAL COLOR YELLOW FS #35358 AS SHOWN IN STANDARD 595C SHALL BE USED FOR THE WARNING STRIP UNLESS NOTED OTHERWISE. IF YELLOW DOES NOT PROVIDE 70% CONTRAST WITH LIGHT REFLECTANCE VALUE (lv) FOR ADJOINING WALK, THEN A 1" BLACK OUTLINE STRIP SHALL SEPARATE THE YELLOW FROM THE WALK.

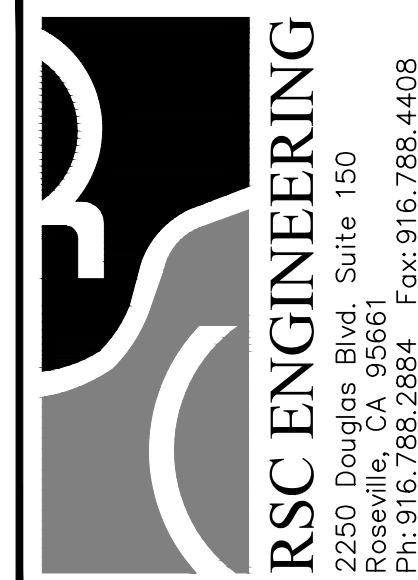
4 TRUNCATED DOMES



8 SITE ACCESSIBLE NOTIFICATION SIGN
NOT TO SCALE



REV	DATE	DESCRIPTION	ENG INT.	BY CITY	DATE APPROVED
△					
△					
△					
△					
△					



PROJECT NO:	019-016
DRAWN BY:	RSC Engr
CHECKED BY:	R. CHAVEZ
DESIGNED BY:	RSC Eng

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S. DE ANZA BLVD.**

SHEET TITLE
**DETAIL
SHEET**
SUBMITTAL NO.

SHEET NO.
C7.0
OF

DATE: DECEMBER 3, 2018



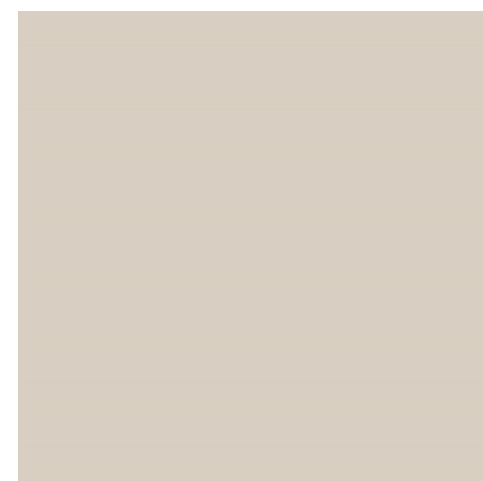
Refuse
Maglin MLP1500



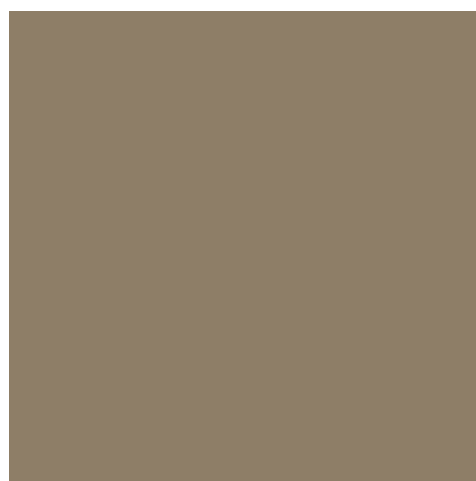
Seat Wall
Maglin MLB720



Green Screen



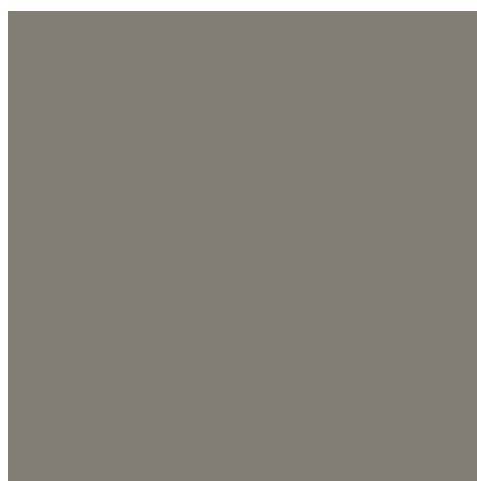
Dunn Edwards
Fine Grain



Dunn Edwards
Barrel Stove



Dunn Edwards
Cherry Cola



Dunn Edwards
Metal Fringe



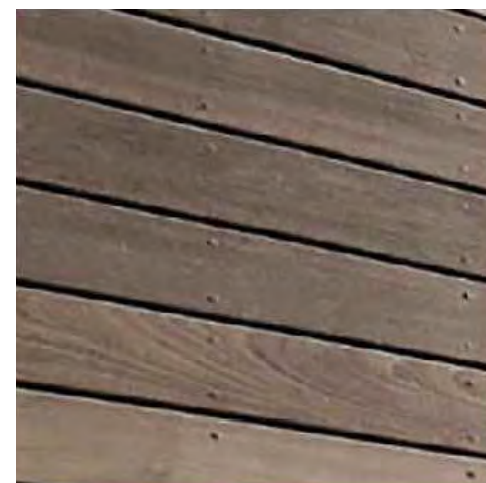
Decorative Bench
Maglin MLB720



Bike rack
Maglin MBR250



Decorative Lights
Selux - Magnum



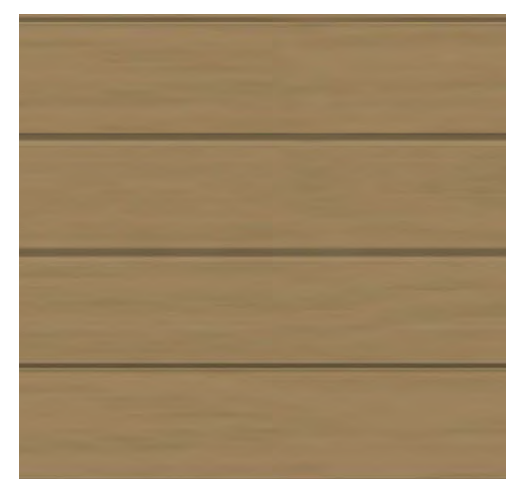
Wood Siding



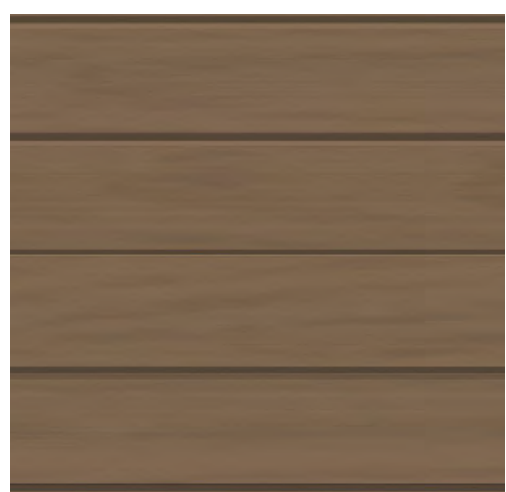
Composition Shingle
Timberline
Prestique~Charcoal



Dunn Edwards
Desert Grey



Dunn Edwards
Banner Gold



Dunn Edwards
Teddy Bear

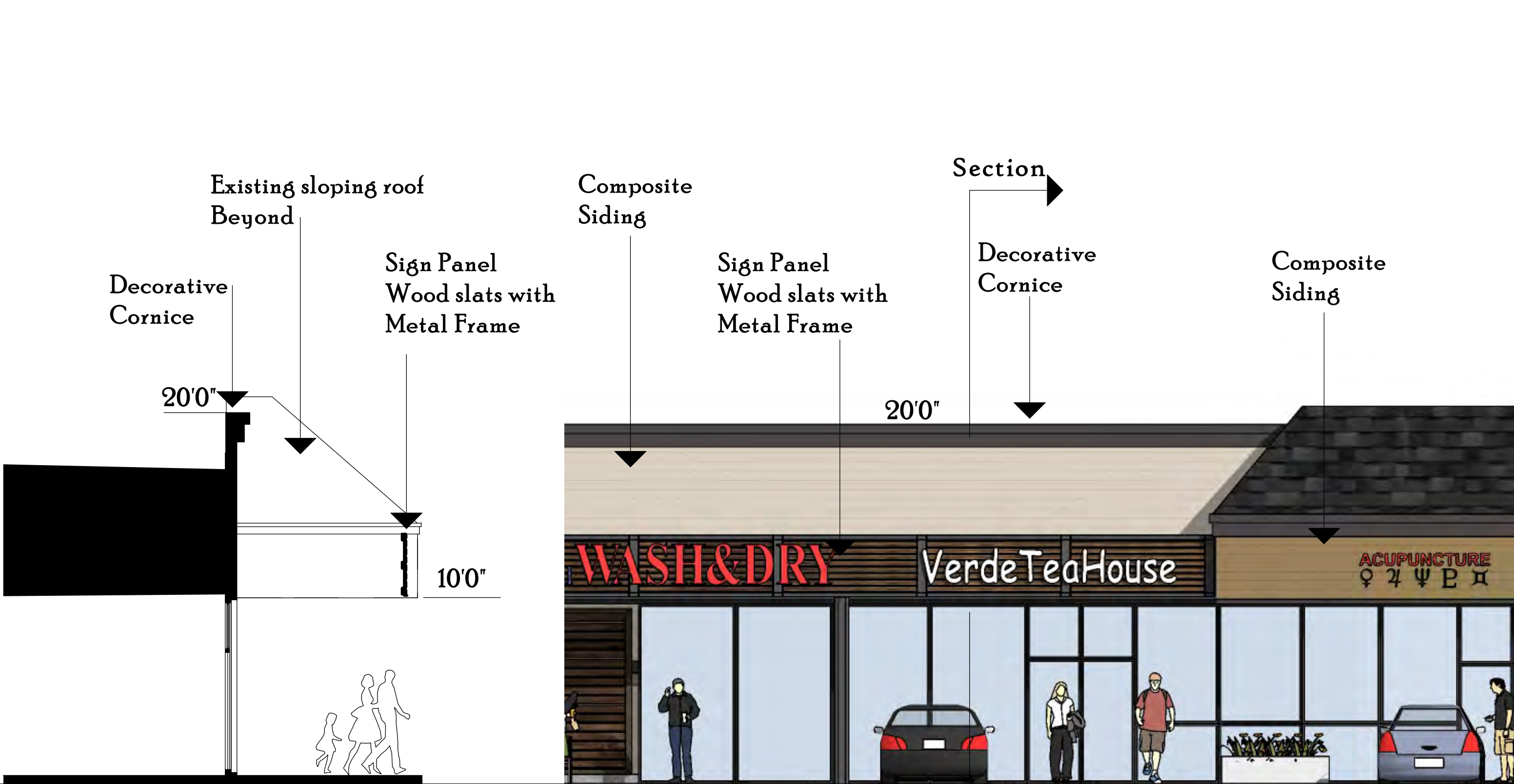


Waste Trio
Maglin LXRC1503



Table/Seats
Maglin MLB400

Color/Materials



Section/Elevation Shops

3/16" = 1'0"



Section/Elevation CVS

3/16" = 1'0"



JOHNSON
LYMAN
ARCHITECTS

1375 Locust Street, #202, Walnut Creek, CA 94596
925.930.9690 930.9039 fax



BROWNMAN DEVELOPMENT COMPANY, INC.

McClellan Square

Color/Materials

CB
2.4.19

MC CLELLAN SQUARE

Landscape Development Plans

PLANTING NOTES

1. Installing Contractor shall verify quantities and areas to be planted prior to start of job. Notify Landscape Architect of any discrepancies prior to starting work.
2. All planting areas shall be completely free of trash, debris, rocks, and construction materials larger than 2", and shall be brought to finish grade before planting begins. Finish grade shall be 2" below surface of walks, curbs, and paved areas in planting areas where bark is to be installed. Grades shall be flush at catch basins. Surfaces shall be sloped with regard to drainage requirements so that water does not puddle or stand.
3. If additional soil is required, it shall be approved loam as similar to the existing soil as possible, free of debris and noxious weeds. Prior to placing additional soil, disc or scarify the sub-grade to a depth of at least 8" to permit bonding to the sub-grade. Spread and rototill a one inch layer of new soil, then proceed to place remaining soil and establish finish grade.
4. Landscape contractor must conduct a soils test to determine amendment quantities. For bid Soil preparation for all planting areas: Apply nitrified wood product amendment at a minimum rate of 6 cubic yards per 1000 sq. ft. and commercial fertilizer (16-16-16 NPK or equal) at a rate of 30 lbs. per 1000 sq.ft. for shrub and ground cover areas, 20 lbs. per 1000 sq.ft. for lawn areas. Rototill to a depth of 6" to 10". Compact and settle all areas by application of heavy irrigation to a minimum depth of 12".
5. All plants shall be top quality nursery stock, free of disease and insect pests. Plants shall be normal size for container, vigorous, and true to name and variety. Plant holes shall be the same depth as the root ball, and three times the width for shrubs and four times the width for trees, see details.
6. Backfill for the plant holes shall be existing soil which has been previously amended. Apply Osmocote Controlled Release Formula fertilizer (18-6-12, 4 month formula) per manufacturer's recommendations.
7. When planted, crown of plant shall be 1-1/2" above finish grade. Prepare a water basin by forming a soil ring at least 3" high and as wide around the outer edge of the new plant hole. Water thoroughly to eliminate air pockets.
8. Upon completion of planting all containerized material, rake all shrub and ground cover areas to smooth grade, leaving watering basins intact. Prior to placement of bark mulch, all shrub and ground cover areas shall be treated with a pre-emergent herbicide (Ronstar or equal) per manufacturer's directions. Contractor to verify with manufacturer that pre-emergent will not adversely affect plant health.
9. Place a 3" layer of shredded bark mulch in all shrub and ground cover areas prior to planting of ground cover plants.
10. Ground cover plants shall be planted in straight rows and evenly triangularly spaced at intervals noted in plant legend. Plant each rooted plant with its proportionate amount of rooting soil in a manner that will insure minimum disturbance of the root system.
11. For trees that require staking, use two 2" diameter treated lodgepole stakes set a minimum of 12" into undisturbed subgrade below the root ball. Place ties and stakes only to the level which will hold the tree upright; proper height is 6" above the point where the tree will snap to an upright position by itself if the top is pulled to one side as if wind loaded and then released. Ties shall be cinch-tie flexible vinyl (or equal) nailed to stake with galvanized nails, see details.
12. Contractor shall furnish all labor, material, equipment, and services required to maintain the landscape in an attractive condition as specified herein for a period of 60 days after final acceptance by Owner. Maintenance Period shall commence after all planting and related work has been completed in accordance with Plans and Notes. A prime requirement is that all lawn areas shall show an even, healthy stand of grass which shall be have mown at least twice. Any materials found to be dead, missing, or in poor condition during the Maintenance Period shall be replaced within 10 days of written notification by the Owner. Contractor shall not be held responsible for damage arising from acts of God, vandalism, theft, or negligence by Owner during the Maintenance Period.

IRRIGATION NOTES

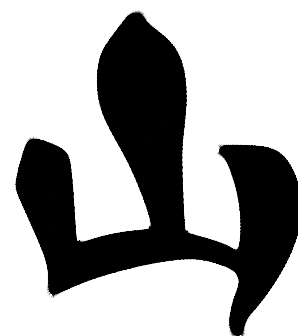
1. Installing Contractor shall verify all dimensions and areas prior to start of job. Intent is for full coverage of planting. Notify Landscape Architect of any discrepancies prior to trenching.
2. Plan is diagrammatic and not intended to show exact locations of piping and valves. Install valves and piping in landscape areas wherever possible. Install valves near curbs and sidewalks whenever possible. Sprinkler head spacings are shown accurately and shall be installed as indicated by the center of the symbol. Contractor is responsible for pipe sizing the irrigation system correctly.
3. All materials shall be new and in perfect condition. No deviations from the specifications will be allowed without prior written approval of Landscape Architect.
4. Mainline shall be SCH 40 PVC or CL315 at a minimum depth of 18" below finish grade. Lateral lines shall be Class 200 PVC at a minimum depth of 8" below grade. Use only the solvent supplied and recommended by the pipe manufacturer to make plastic pipe joints. Allow 15 minutes set-up curing time before moving or handling, and 24 hour curing time before water is placed in PVC pipe. Center load pipe with a small amount of backfill to prevent arching and whipping under pressure.
5. Where more than one pipe is installed in a trench, place pipe side by side at a minimum of 2" apart. Where soil conditions are rocky, place a 4" layer of fine material on bottom of trench prior to installation of pipe.
6. All valves shall be installed in Brooks poly-plastic valve boxes (rectangular shape) or equivalent. Valves shall be installed in Brooks 1419-12-4B and drip valves with filters and FRVs shall be installed in Brooks 1220-12-4B. Top of valve box to be 1" above finish grade.
7. Securely mount controller as directed by manufacturer. Complete all electrical connections to controller. All control wire shall be #14 U.L. direct burial. Tape and bundle every 20'. Place at a minimum depth of 18", installing in common trenches with mainline whenever possible. Where wire crosses paving, encase wire in a SCH 40 PVC sleeve. For extra mainline, label, and leave in last valve box for future access.
8. At valves, both wires shall be brought into valve box and shall have an excess loop of 24" before being spliced into the solenoid pigtails using Pentite connectors.
9. After valves have been installed, test all mainlines for leaks at full line pressure for a period of 2 hours with couplings exposed and pipe sections center loaded. Before testing, fill line with water for at least 24 hours. Provisions shall be made for thoroughly bleeding the line of air and debris. Correct all defects and retest.
10. All excavations shall be backfilled with fine material to 4" above crown of pipe and tamped; then fill with earth and tamp. All trenches shall be left flush with adjoining grade and in a firm unyielding condition. Any subsequent settling shall be corrected by the Contractor.
11. Install systems without drip tubing and drip emitters. Flush and operate each valve system at full pressure until all debris is removed. Install drip tubing and drip emitters.
12. Test to determine that all valves function according to manufacturer's data and give full coverage according to intent of drawing. Replace and adjust as necessary.
13. Contractor shall set initial program for the controllers. Contractor shall provide Owner with the instruction manual and demonstrate its operation to the Owner.
14. Contractor shall guarantee all parts and labor for one year with exception of damage caused by vandalism, theft, adverse natural conditions, or anything beyond the control of the Contractor.

GENERAL NOTES

1. Landscape areas not covered with live material shall be covered with a 3" shredded bark layer.
2. Provide a minimum three foot clearance around all fire protection equipment and associated landscape apparatus.
3. Landscape contractor shall provide protection for all concrete surfaces when installing landscape materials. Staining of concrete from dirt, tire marks and damaged curbs will not be permitted. All damaged surfaces shall be cleaned or replaced.
4. Landscape contractor shall coordinate and install the sleeving and stubbing for irrigation crossing parking lots and paved areas.
5. Landscape contractor shall grade all landscape areas 2% min. to drain. Landscape contractor is responsible to provide positive drainage away from all structures. All planters and planter islands should be crowned to prevent standing water.
6. Root barriers are required in all locations where trees are placed closer than 48" from curbs or sidewalks refer to detail for specification and installation.
7. Quantities found in the plant legend are for contractor convenience. In the event that the quantities in the legend differ from those found on the plans, the quantities found on the plans will take precedence.
8. Contractor to hand dig only under existing tree canopies, no mechanical excavation will be allowed, do not cut any roots 2" or larger in diameter, if it is necessary to prune roots 2" in diameter or larger, contractor shall hire the services of a licensed arborist to supervise and direct the work, follow all recommendations of the arborist.

DRAWING INDEX

- | | |
|------|-------------------------|
| L0.1 | - COVER SHEET AND NOTES |
| L1.1 | - HARDSCAPE PLAN A |
| L1.2 | - HARDSCAPE PLAN B |
| L1.3 | - HARDSCAPE PLAN C |
| L1.4 | - HARDSCAPE PLAN D |
| L2.1 | - IRRIGATION PLAN A |
| L2.2 | - IRRIGATION PLAN B |
| L2.3 | - IRRIGATION PLAN C |
| L2.4 | - IRRIGATION PLAN D |
| L2.5 | - WATER CALCULATIONS |
| L3.1 | - PLANTING PLAN A |
| L3.2 | - PLANTING PLAN B |
| L3.3 | - PLANTING PLAN C |
| L3.4 | - PLANTING PLAN D |
| L3.5 | - SOILS REPORT |
| L3.6 | - PLANT PHOTOS |
| L4.1 | - HARDSCAPE DETAILS |
| L4.2 | - IRRIGATION DETAILS |
| L4.3 | - PLANTING DETAILS |



YAMASAKI
LANDSCAPE ARCHITECTURE

JEFF AMBROSIA, ASLA C4057

1223 HIGH STREET
AUBURN, CALIFORNIA 95603
(530) 885-0040
FAX (530) 885-0042
www.yamasaki-la.com

BUILDING A
10497, 10467, 10477-B, 10477-A, 10475
10467 & 10457 S. DE ANZA BLVD.

BUILDING B
10445 & 10455 S. DE ANZA BLVD.

BUILDING C
10425 S. DE ANZA BLVD.

SITE WORK
10465 S. DE ANZA BLVD & 10495 S. DE ANZA
BLVD
CUPERTINO, CA

TRASH ENCLOSURES
10465 S. DE ANZA BLVD. & 10495 S. DE ANZA
BLVD.

MC CELLAN SQUARE
LANDSCAPE DEVELOPMENT PLANS
DE ANZA BLVD. & MCCLELLAN ROAD
CUPERTINO, CALIFORNIA 95104

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Sheet Title

COVER SHEET
SUBMITTAL NO. 3

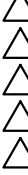
Seal



No.

Date

Revision



Project Mgr.: JMA

Sheet No.:

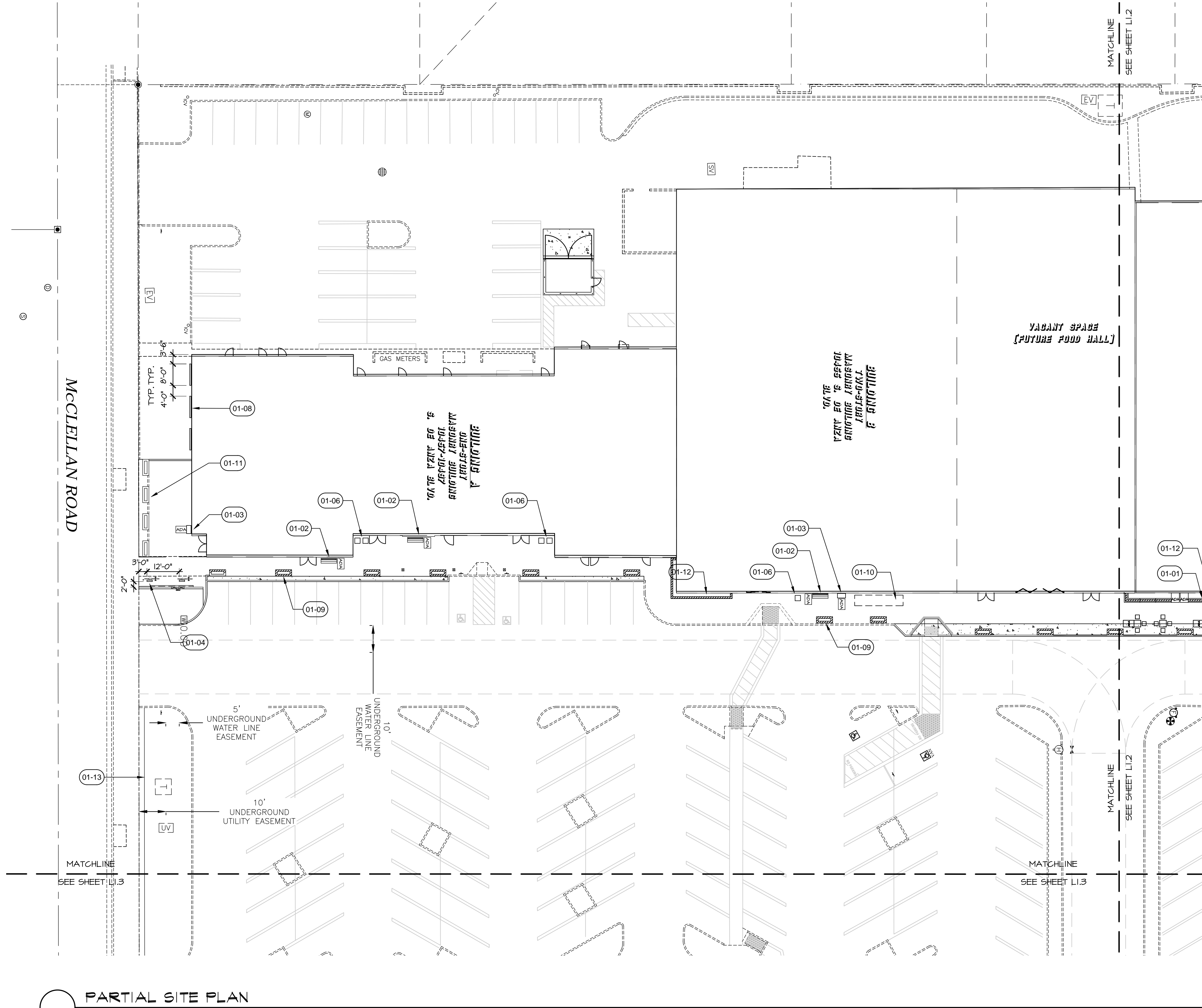
Drawn By: JMA

Scale:

Date: 03 MAR 18

File Name: MS-CV of 19 sheets

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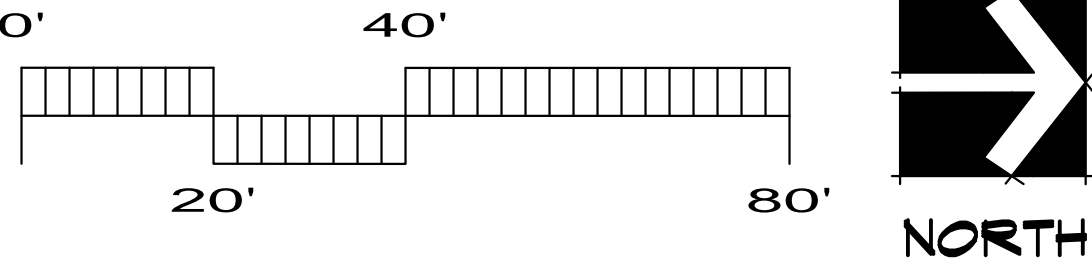
PARTIAL SITE PLAN

SHEET NOTES

- | SYMBOL | DESCRIPTION | QTY |
|--------|--|-----|
| 01-01 | Bench - Maglin Site Furniture MLB720 Series backless wall mount bench, color: Silver 14 powdercoat, gloss, typ. Available from Maglin Site Furniture, contact Blair Berkly, (800) 716-5506. See Architectural Plans for details. | |
| 01-02 | Bench - Maglin Site Furniture MLB720 Series bench with back and legs, color: Silver 14 powdercoat, gloss, surface mount, typ. Available from Maglin Site Furniture, contact Blair Berkly 800 716-5506. | |
| 01-03 | Trash, Receptacle, Organics W/Ash Urn - Maglin Trash/Recycle Container LXRC 1503-48-MS and side mounted Ash Urn MLAU101, color: Silver 14, Gloss, surface mount per manufactures specifications, typ. Available from Maglin Site Furniture, contact Blair Berkley, 800 716-5506. | |
| 01-04 | Bike Rack - Maglin MBRI50 Series, color: Silver 14, gloss, surface mount per manufactures specifications, typ. Available from Maglin Site Furniture, contact Blair Berkley 800 716-5506. | |
| 01-05 | Table - Maglin Site Furniture MLPT400-DB-W and MLPT400-DB-W-WCA Series, color: Silver 14, Gloss, lpe Wood, direct burial mount per manufactureres specifications, typ. Available from Maglin Site Furniture, contact Blair Berkley 800 716-5506. | |
| 01-06 | Pots - Maglin Site Furniture, MLPI500-MPS-S1 & MLPI500-MPS-S2, width: 18" x 18", height: 18" and 33", color: Silver 14, gloss, contractor to provide irrigation and drainage to each pot, surface mount per manufactures specifications, typ, available from Maglin Site Furniture, contact: Blair Berkley 800 716-5506. | |
| 01-07 | Concrete Paving - Concrete paving with score pattern as shown, natural gray color, with medium broom finish, typ. | |
| 01-08 | Green Screen - 6'H x 8'W post mounted modular screens with top and bottom channels, edge trim and post caps, see details sheet L4.I, details "D" and "E", typ. contact John Souza (800) 450-3444. | |
| 01-09 | Planters - Cast in place concrete planters, see Architectural plans for details, typ. | |
| 01-10 | Cart Coral - see Architectural plans, typ. | |
| 01-11 | Existing planters and walls to remain, typ. | |
| 01-12 | Green Screen - See Architectural plans. | |
| 01-13 | 2"x4" Redwood Headerboard, locate at back of proposed bicycle pedestrian easement, see Civil plans. | |

ACCESSIBILITY NOTES:

- A. At all Trash Trio, provide accessible space of 30" x 48" in front of unit and accessible reach shall not exceed 48", typ
- B. At all tables, provide accessible space of 30" x 48" typ., table height shall be 43" max and knee clearance shall be 27" min, provide accessible tables where shown on plan
- C. At all benches, provide accessible space of 30" x 48" and 36" x 48" at all alcoves, typ.
- D. At tables, 5% of seating shall be accessible.
- Quantity of tables provided = 11
Seats per table = 4
Total Number of Seats = 44
Required number of accessible seats 5% = 3
Number of accessible seats provided = 4



JEFF AMBROSIA, ASLA C4057

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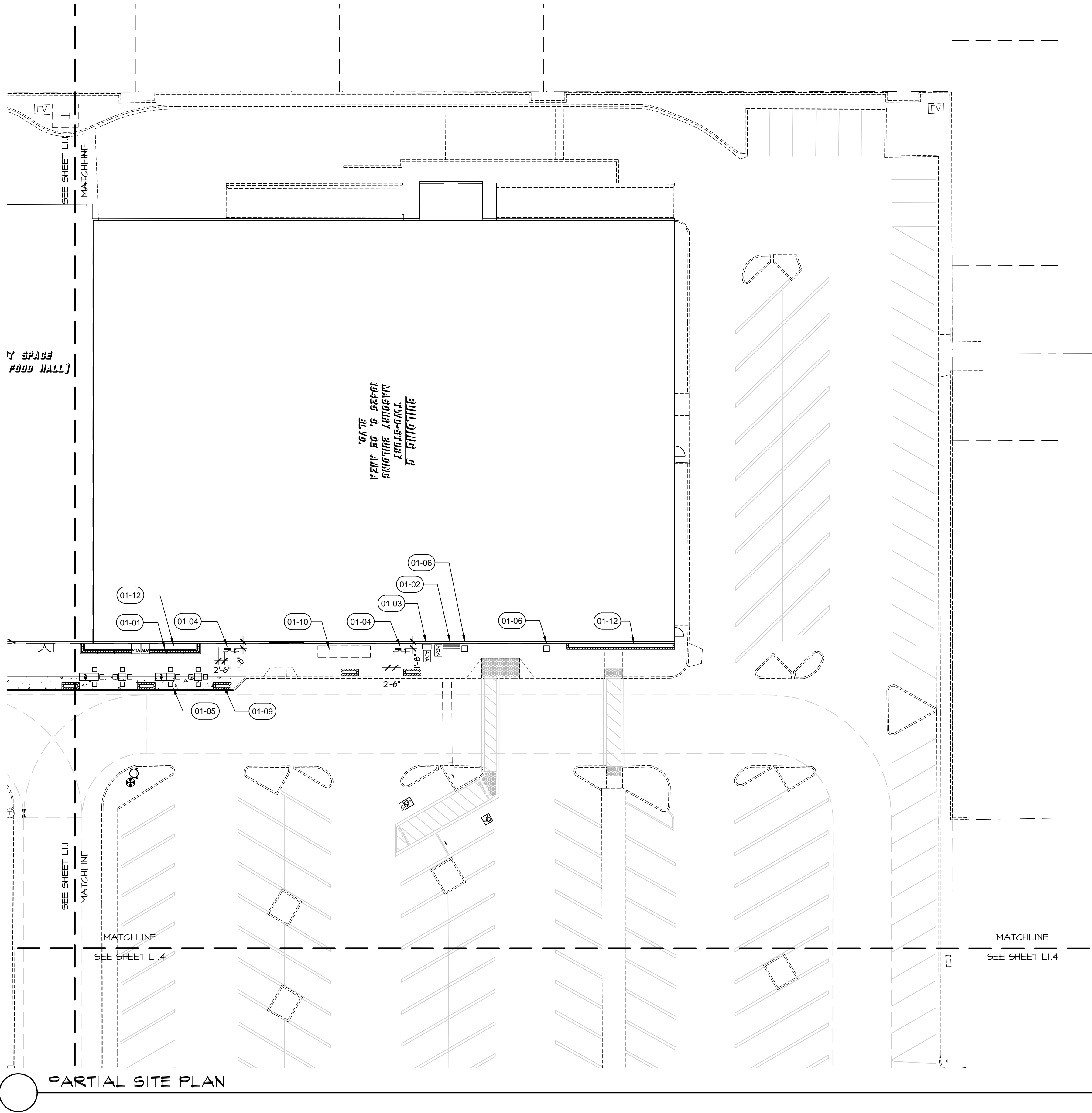
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Sheet Title
HARDSCAPE PLAN
SUBMITTAL NO. 3



No.	Date	Revision
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Project Mgr.: JMA	Sheet No.: LI.1
Drawn By: BJP	
Scale: 1" = 20'-0"	
Date: 03 MAR 18	
File Name: MS-HS	of 19 sheets



Y SPACE
FOOD HALL

Y SPACE
FOOD HALL

PARTIAL SITE PLAN

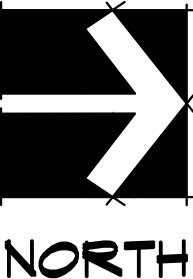
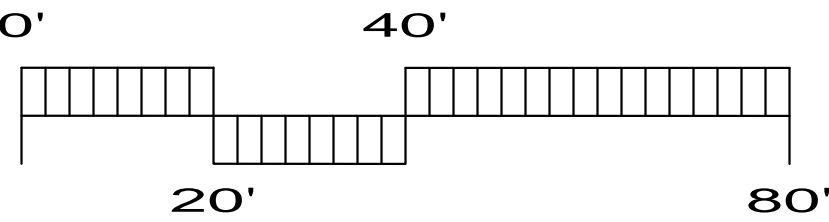
SHEET NOTES

SYMBOL	DESCRIPTION	QTY
01-01	Bench - Maglin Site Furniture MLB720 Series backless wall mount bench, color: Silver 14 powdercoat, gloss, typ. Available from Maglin Site Furniture, contact Blair Berkly, (800) 716-5506. See Architectural Plans for details.	
01-02	Bench - Maglin Site Furniture MLB720 Series bench with back and legs, color: Silver 14 powdercoat, gloss, surface mount, typ. Available from Maglin Site Furniture, contact Blair Berkly 800 716-5506.	
01-03	Trash, Receptacle, Organics W/Ash Urn - Maglin Trash/Recycle Container LXRC 1503-48-MS and side mounted Ash Urn MLAU101, color: Silver 14, Gloss, surface mount per manufactures specifications, typ. Available from Maglin Site Furniture, contact Blair Berkley, 800 716-5506.	
01-04	Bike Rack - Maglin MBRI50 Series, color: Silver 14, gloss, surface mount per manufactures specifications, typ. Available from Maglin Site Furniture, contact Blair Berkley 800 716-5506.	
01-05	Table - Maglin Site Furniture MLPT400-DB-W and MLPT400-DB-W-WCA Series, color: Silver 14, Gloss, Ipe Wood, direct burial mount per manufactureres specifications, typ. Available from Maglin Site Furniture, contact Blair Berkley 800 716-5506.	
01-06	Pots - Maglin Site Furniture, MLPI500-MPS-S1 & MLPI500-MPS-S2, width: 18" x 18", height: 18" and 33", color: Silver 14, gloss, contractor to provide irrigation and drainage to each pot, surface mount per manufactures specifications, typ, available from Maglin Site Furniture, contact: Blair Berkley 800 716-5506.	
01-07	Concrete Paving - Concrete paving with score pattern as shown, natural gray color, with medium broom finish, typ.	
01-08	Green Screen - 6'H x 8'W post mounted modular screens with top and bottom channels, edge trim and post caps, see details sheet L4.1, details "D" and "E", typ. contact John Souza (800) 450-3444.	
01-09	Planters - Cast in place concrete planters, see Architectural plans for details, typ.	
01-10	Cart Coral - see Architectural plans, typ.	
01-11	Existing planters and walls to remain, typ.	
01-12	Green Screen - See Architectural plans.	
01-13	2"x4" Redwood Headerboard, locate at back of proposed bicycle pedestrian easement, see Civil plans.	

ACCESSIBILITY NOTES:

- A. At all Trash Trio, provide accessible space of 30" x 48" in front of unit and accessible reach shall not exceed 48", typ
- B. At all tables, provide accessible space of 30" x 48" typ., table height shall be 43" max and knee clearance shall be 27" min, provide accessible tables where shown on plan
- C. At all benches, provide accessible space of 30" x 48" and 36" x 48" at all alcoves, typ.
- D. At tables, 5% of seating shall be accessible.

Quantity of tables provided = 11
Seats per table = 4
Total Number of Seats = 44
Required number of accessible seats 5% = 3
Number of accessible seats provided = 4



JEFF AMBROSIA, ASLA C4057

1223 HIGH STREET
AUBURN, CALIFORNIA 95603
(530) 885-0040
FAX (530) 885-0042
www.yamasaki-la.com

BUILDING A
10497, 10487, 10477-B, 10477-A, 10475
10467 & 10457 S. DE ANZA BLVD.

BUILDING B
10445 & 10455 S. DE ANZA BLVD.

BUILDING C
10425 S. DE ANZA BLVD.

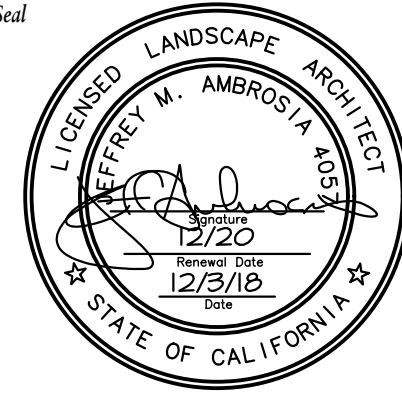
SITE WORK
10465 S. DE ANZA BLVD & 10495 S. DE ANZA
BLVD
CUPERTINO, CA

TRASH ENCLOSURES
10465 S. DE ANZA BLVD. & 10495 S. DE ANZA
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MC CELLAN SQUARE
LANDSCAPE DEVELOPMENT PLANS
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CUPERTINO, CALIFORNIA 95104

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Sheet Title
HARDSCAPE PLAN
SUBMITTAL NO. 3



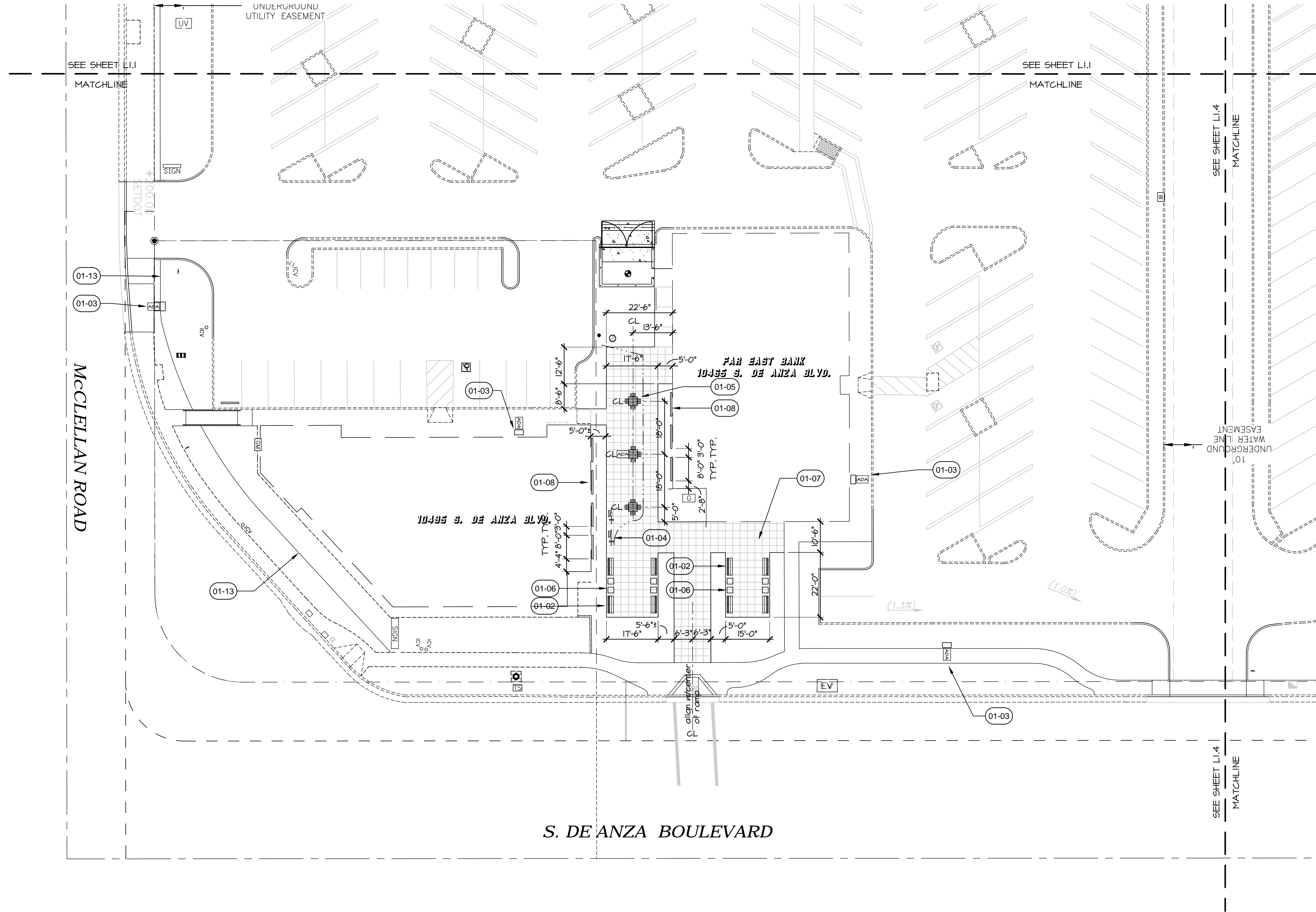
No.	Date	Revision
1		
2		
3		
4		

Project Mgr.: JMA
Drawn By: BJP
Scale: 1" = 20'-0"
Date: 03 MAR 18
File Name: MS-HS

Sheet No.:

LI.2

of 19 sheets



PARTIAL SITE PLAN

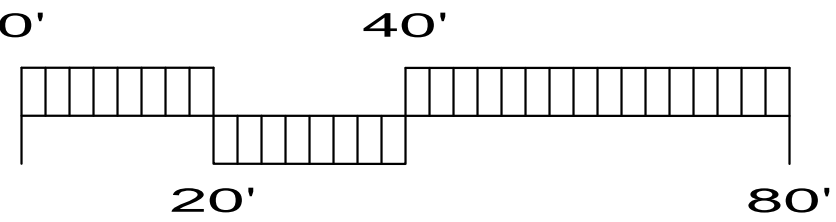
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BUILDING C
10425 S. DE ANZA BLVD.

SITE WORK
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BLVD
CUPERTINO, CA

TRASH ENCLOSURES
10465 S. DE ANZA BLVD. & 10495 S. DE ANZA
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MC CELLAN SQUARE LANDSCAPE DEVELOPMENT PLANS DE ANZA BLVD. & MCCLELLAN ROAD CUPERTINO, CALIFORNIA 95104

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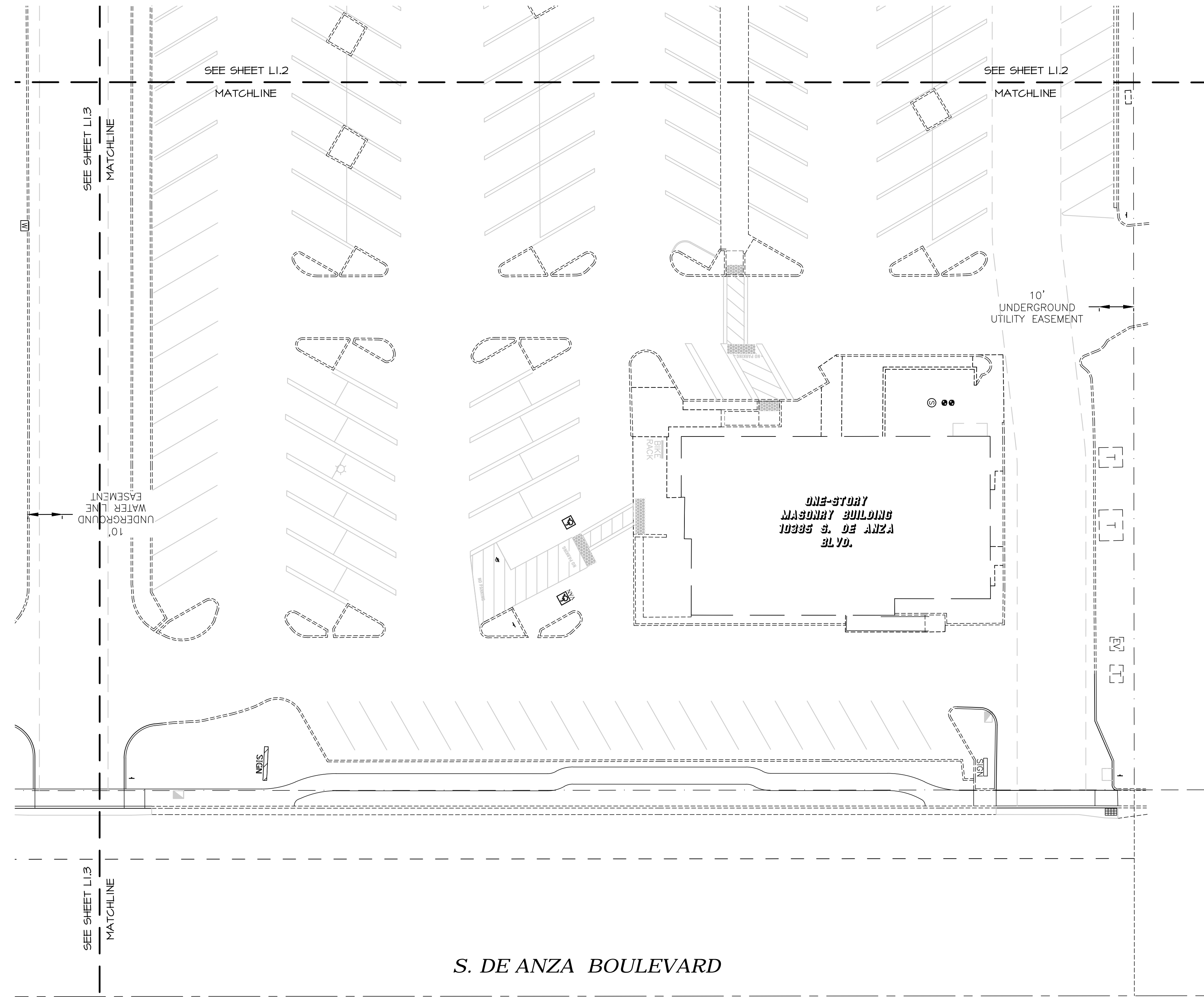
Sheet Title HARDSCAPE PLAN SUBMITTAL NO. 3



No.	Date	Revision
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Project Mgr.: JMA
Drawn By: BJP
Scale: 1" = 20'-0"
Date: 03 MAR 18
File Name: MS-HS of 19 sheets

Sheet No.: LI.3



PARTIAL SITE PLAN

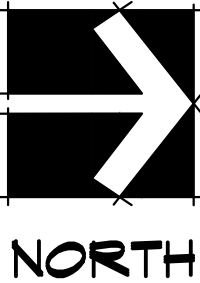
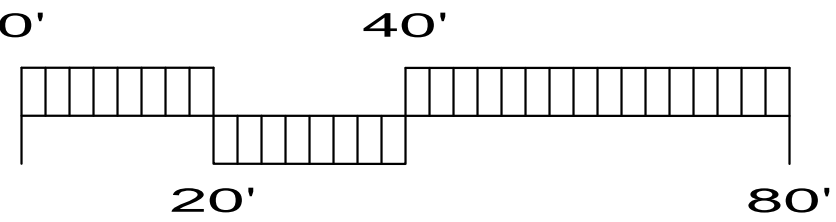
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BUILDING B
10445 & 10455 S. DE ANZA BLVD.

BUILDING C
10425 S. DE ANZA BLVD.

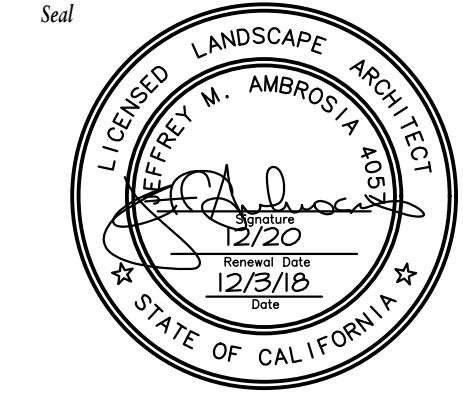
SITE WORK
10465 S. DE ANZA BLVD & 10495 S. DE ANZA
BLVD
CUPERTINO, CA

TRASH ENCLOSURES
10465 S. DE ANZA BLVD. & 10495 S. DE ANZA
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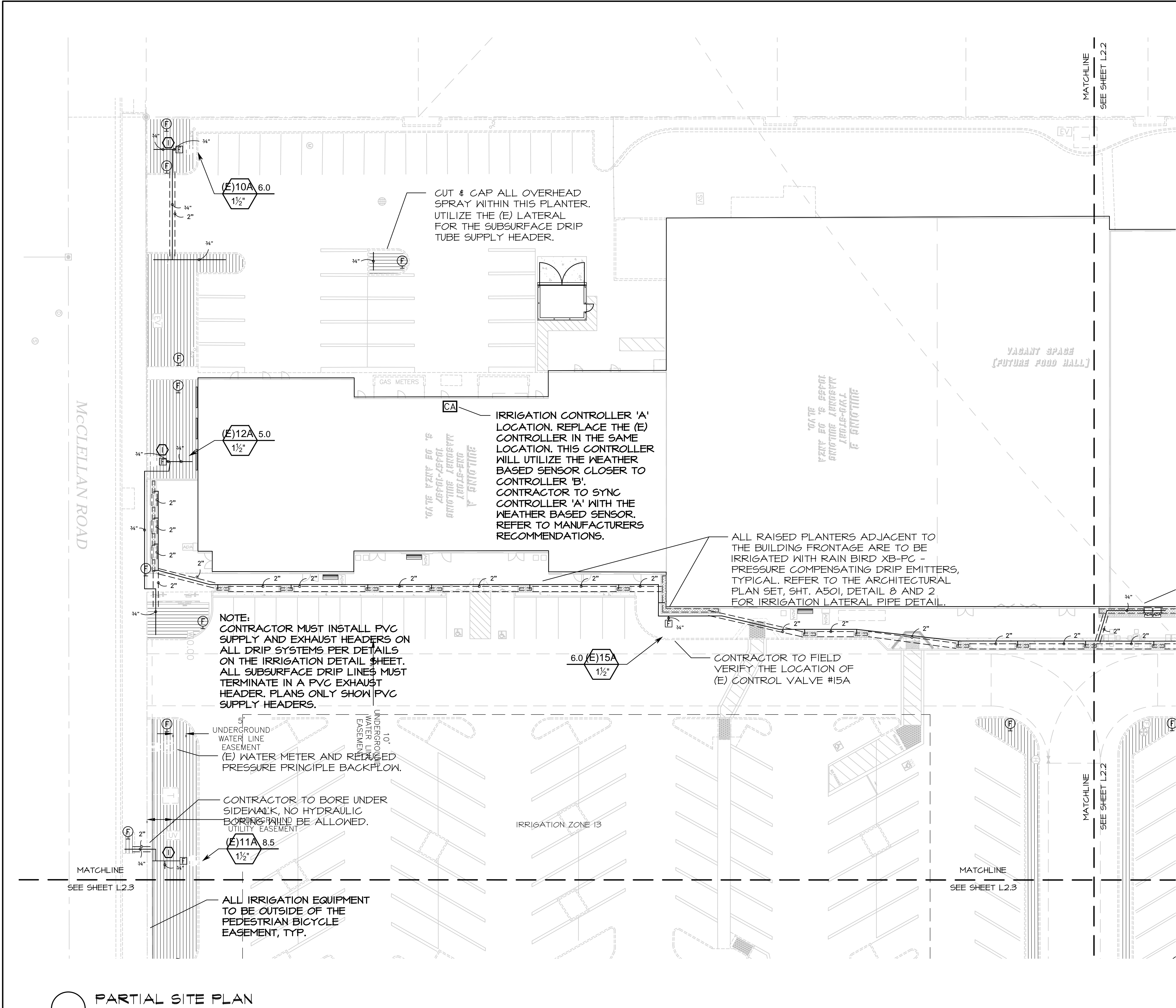
Sheet Title
HARDSCAPE PLAN
SUBMITTAL NO. 3



No.	Date	Revision
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Project Mgr.: JMA
Drawn By: BJP
Scale: 1" = 20'-0"
Date: 03 MAR 18
File Name: MS-HS of 19 sheets

L1.4



PARTIAL SITE PLAN

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
(F)	Netafim TISOV Manual Flush valve.
(I)	Hunter ECO-ID Working Pressure: 15-50 PSI. Visual: 6" yellow pop-up stem. Body/Stem: UV-resistant plastic
[Pattern]	Area to Receive Drip Emitters Rain Bird XB-PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet.
[Pattern]	Area to Receive Dripline Netafim TLDL-6-18 (18) Techline Pressure Compensating Landscape Dripline. 0.6GPH emitters at 18.0" O.C. Dripline laterals spaced at 18.0" apart, with emitters offset for triangular pattern. Surface and Sub Surface Installations. UV Resistant.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
[CB]	Hunter IC-0600-PL - Replacing (E) Controller 'B' Modular Controller, 6 stations, Outdoor Model, Plastic Cabinet. No Module Required. Commercial Use.
[CA]	Hunter IC-2400-PL - Replacing (E) Controller 'A' Modular Controller, 24 stations, Outdoor Model, Plastic Cabinet. Commercial Use. With three ICM-600 modules included.
(S)	Hunter WSS-SEN - Both Controllers will share this Sensor Wireless Solar, rain freeze sensor with outdoor interface, install as noted. Includes gutter mount bracket. Module not included. 800' max from controller.
[F]	Rain Bird AKCHK-100-200-150M 1" Inlet/Outlet w/ 100 mesh stainless steel screen= Red 120 mesh stainless steel screen= Green 200 mesh stainless steel screen= White
[Line]	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 Irrigation pipe.
[Dashed Line]	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.
[Valve Callout]	Valve Callout Valve Number Valve Flow Valve Size

NOTE:

EXISTING IRRIGATION CONTROL VALVES TO BE USED. ADD RAIN BIRD NON PRESSURE COMPENSATING QUICK-CHECK BASKET FILTER TO ALL DRIP VALVES. FOR EASIER INSTALLATION OF THE PROPOSED BASKET FILTER(S) AND LONG TERM MAINTENANCE, REMOVE THE EXISTING VALVE BOX AND INSTALL A JUMBO VALVE BOX IF THE AREA WILL PERMIT THIS UPGRADE.

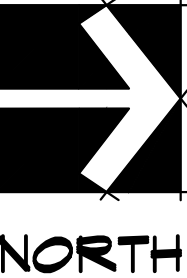
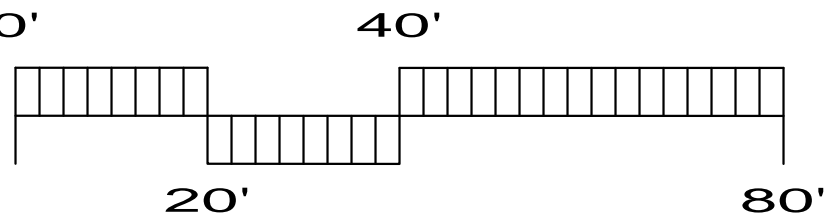
TREES NEED A DEEP WATERING CYCLE ONCE A WEEK. CONTRACTOR TO ADD AN ADDITIONAL ONCE A WEEK RUN-TIME FOR ALL DRIP VALVES THAT HAVE TREES WITHIN THEIR ZONE.

IRRIGATION PLAN IS DIAGRAMMATIC; INSTALL VALVES AND IRRIGATION LINES IN PLANTERS WHENEVER POSSIBLE.

CONTRACTOR MUST INSTALL PVC SUPPLY AND EXHAUST HEADERS ON ALL DRIP SYSTEMS PER DETAILS ON THE IRRIGATION DETAIL SHEET. ALL SUBSURFACE DRIP LINES MUST TERMINATE IN A PVC EXHAUST HEADER. PLANS ONLY SHOW PVC SUPPLY HEADERS.

CONTRACTOR MUST INSTALL DRIP LINE 2" FROM CURBS, WALLS, RIPRAP, SERVICE ROADS AND TOP/TOE OF SLOPES WITHIN ALL LANDSCAPE AREAS TO PROMOTE ROOT GROWTH OF ALL PLANT MATERIALS.

CONTRACTOR TO CONTACT NETAFIM USA'S PRODUCT AREA SPECIFICATION MANAGER DINO VIALE AT 510-365-5186 FOR A PRE-CONSTRUCTION MEETING. INSTALLATION PROCEDURES AND TRAINING FOR ALL NETAFIM PRODUCTS WILL BE DISCUSSED AND TAUGHT.



JEFF AMBROSIA, ASLA C4057

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BUILDING A
10497, 10487, 10477-B, 10477-A, 10475
10467 & 10467 S. DE ANZA BLVD.

BUILDING B
10445 & 10455 S. DE ANZA BLVD.

BUILDING C
10425 S. DE ANZA BLVD.

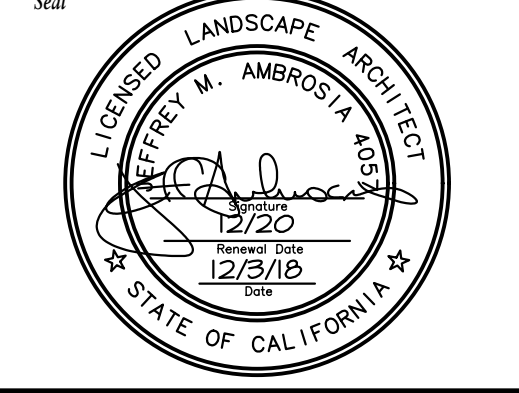
SITE WORK
10465 S. DE ANZA BLVD & 10495 S. DE ANZA
BLVD
CUPERTINO, CA

TRASH ENCLOSURES
10465 S. DE ANZA BLVD. & 10495 S. DE ANZA
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MC CELLAN SQUARE
LANDSCAPE DEVELOPMENT PLANS
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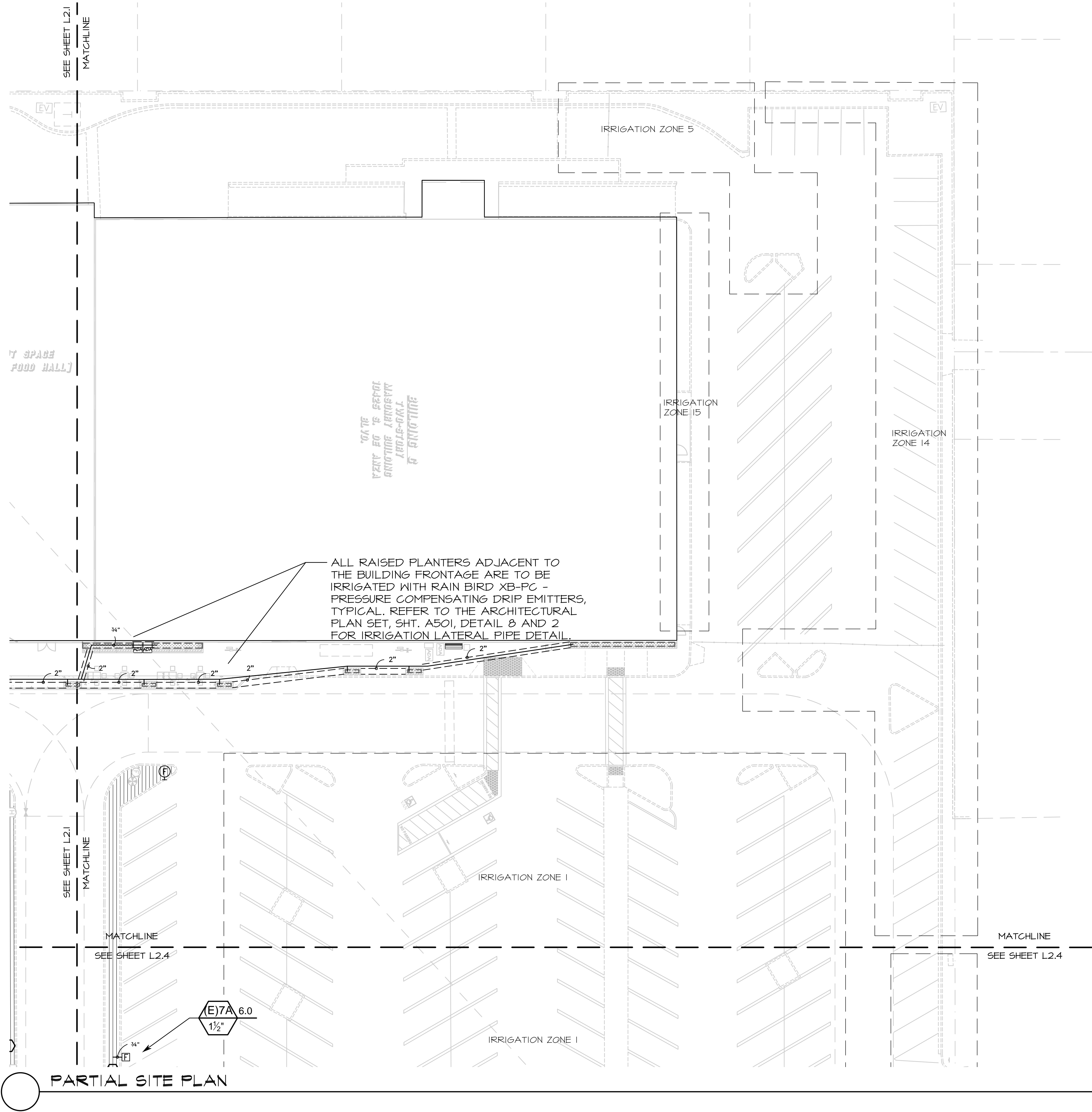
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Sheet Title
IRRIGATION PLAN
SUBMITTAL NO. 3



No.	Date	Revision
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Project Mgr.: JMA	Sheet No.: L2.1
Drawn By: SPG	
Scale: 1" = 20'-0"	
Date: 03 MAR 18	
File Name: MS-1R	of 19 sheets



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Netafim TL50V Manual Flush valve.
	Hunter ECO-ID Working Pressure: 15-50 PSI. Visual: 6" yellow pop-up stem. Body/Stem: UV-resistant plastic
	Area to Receive Drip Emitters Rain Bird XB-PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb Inlet x barb outlet.
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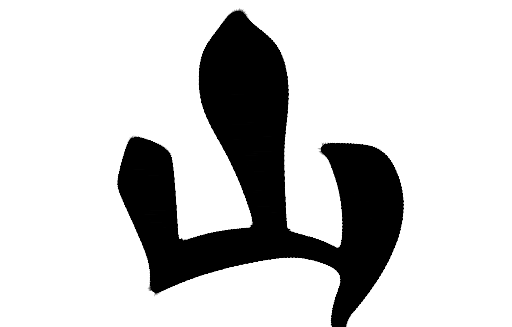
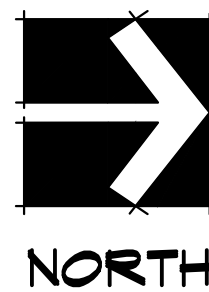
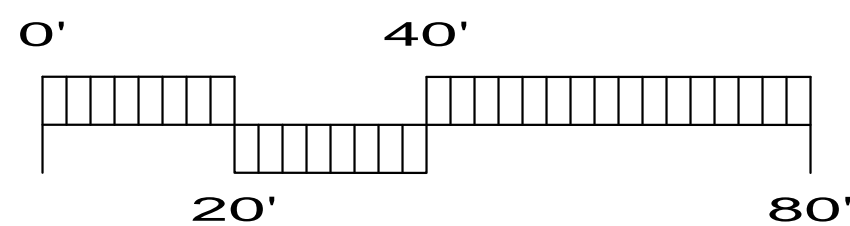
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YAMASAKI
LANDSCAPE ARCHITECTURE

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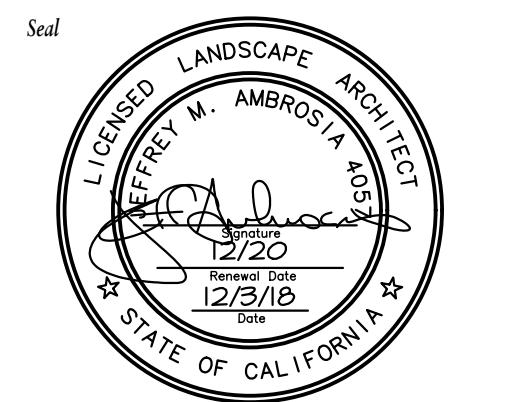
SITE WORK
10485 S. DE ANZA BLVD & 10495 S. DE ANZA
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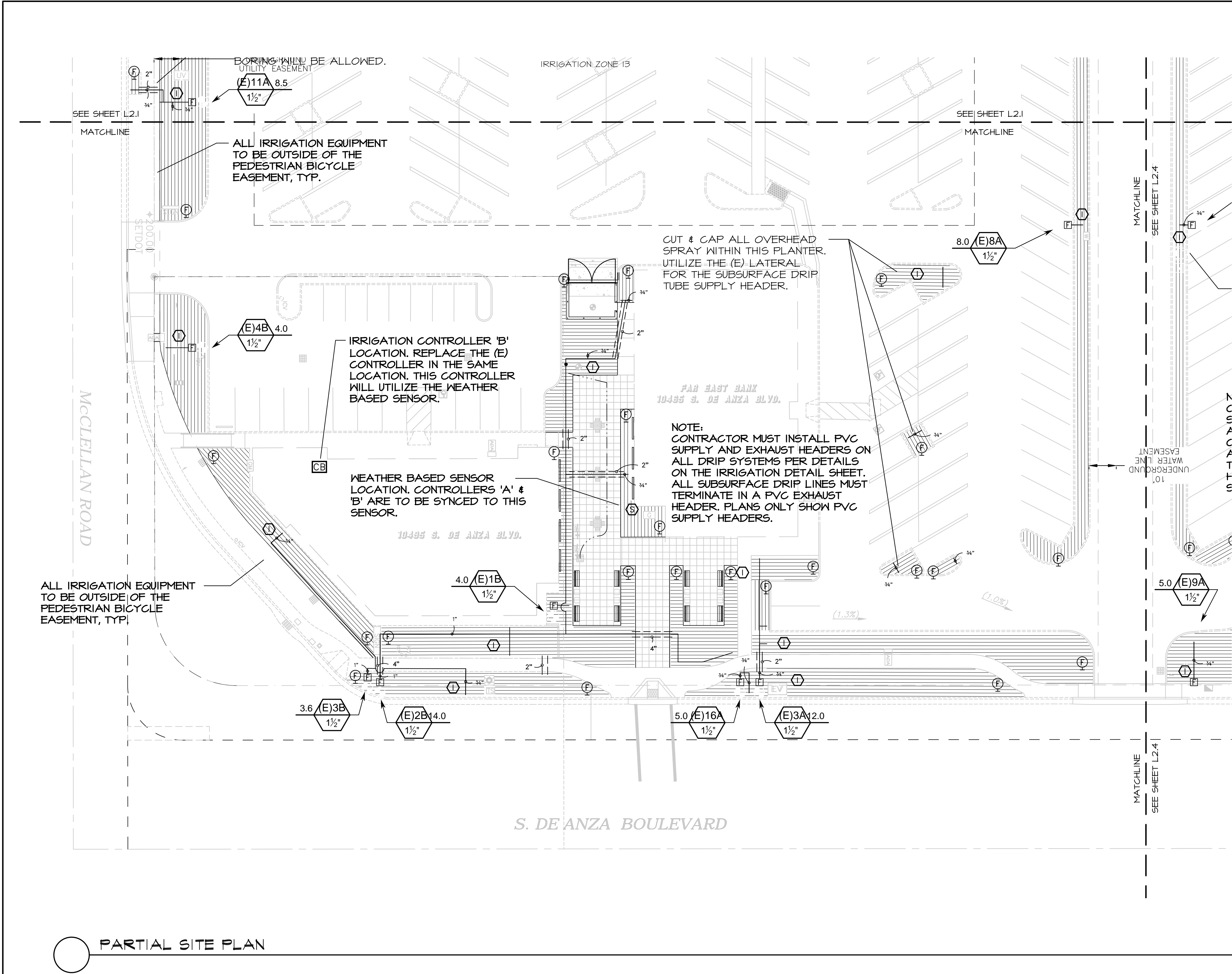
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Project Mgr.: JMA
Drawn By: SPG
Scale: 1" = 20'-0"
Date: 03 MAR 18
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Sheet No.: L2.2
of 19 sheets



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
(F)	Netafim TLSOV Manual Flush valve.
(H)	Hunter ECO-ID Working Pressure: 15-50 PSI. Visual: 6" yellow pop-up stem. Body/Stem: UV-resistant plastic
(+)	Area to Receive Drip Emitters Rain Bird XB-PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet.
(//)	Area to Receive Dripline Netafim TLDL-6-18 (18) Techline Pressure Compensating Landscape Dripline. 0.6GPH emitters at 18.0" O.C. Dripline laterals spaced at 18.0" apart, with emitters offset for triangular pattern. Surface and Sub Surface Installations. UV Resistant.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
(CB)	Hunter IC-0600-PL - Replacing (E) Controller 'B' Modular Controller, 6 stations, Outdoor Model, Plastic Cabinet. No Module Required. Commercial Use.
(CA)	Hunter IC-2400-PL - Replacing (E) Controller 'A' Modular Controller, 24 stations, Outdoor Model, Plastic Cabinet. Commercial Use. With three ICM-600 modules included.
(S)	Hunter WSS-SEN - Both Controllers will share this Sensor Wireless Solar, rain freeze sensor with outdoor interface. Install as noted. Includes gutter mount bracket. Module not included. 800' max from controller.
(F)	Rain Bird QKCHK-100-200-150M 1" Inlet/Outlet w/ 100 mesh stainless steel screen= Red 120 mesh stainless steel screen= Green 200 mesh stainless steel screen= White
(---)	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 Irrigation pipe.
(---)	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for Irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.

NOTE:

EXISTING IRRIGATION CONTROL VALVES TO BE USED. ADD RAIN BIRD NON PRESSURE COMPENSATING QUICK-CHECK BASKET FILTER TO ALL DRIP VALVES. FOR EASIER INSTALLATION OF THE PROPOSED BASKET FILTER(S) AND LONG TERM MAINTENANCE, REMOVE THE EXISTING VALVE BOX AND INSTALL A JUMBO VALVE BOX IF THE AREA WILL PERMIT THIS UPGRADE.

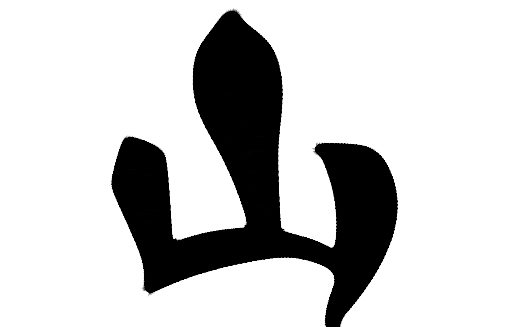
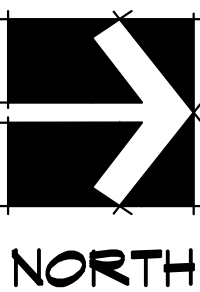
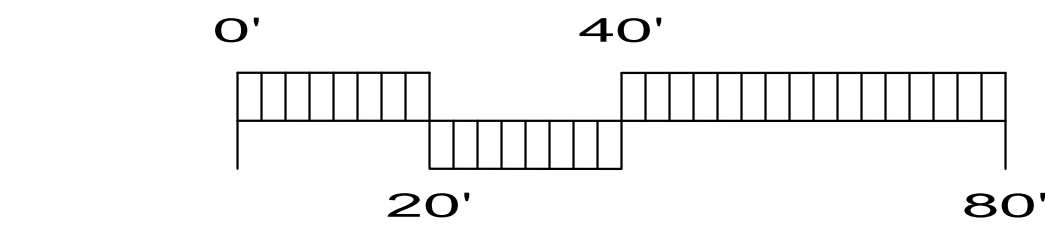
TREES NEED A DEEP WATERING CYCLE ONCE A WEEK. CONTRACTOR TO ADD AN ADDITIONAL ONCE A WEEK RUN-TIME FOR ALL DRIP VALVES THAT HAVE TREES WITHIN THEIR ZONE.

IRRIGATION PLAN IS DIAGRAMMATIC; INSTALL VALVES AND IRRIGATION LINES IN PLANTERS WHENEVER POSSIBLE.

CONTRACTOR MUST INSTALL PVC SUPPLY AND EXHAUST HEADERS ON ALL DRIP SYSTEMS PER DETAILS ON THE IRRIGATION DETAIL SHEET. ALL SUBSURFACE DRIP LINES MUST TERMINATE IN A PVC EXHAUST HEADER. PLANS ONLY SHOW PVC SUPPLY HEADERS.

CONTRACTOR MUST INSTALL DRIP LINE 2" FROM CURBS, WALLS, RIPRAP SERVICE ROADS AND TOP/TOP OF SLOPES WITHIN ALL LANDSCAPE AREAS TO PROMOTE ROOT GROWTH OF ALL PLANT MATERIALS.

CONTRACTOR TO CONTACT NETAFIM USA'S PRODUCT AREA SPECIFICATION MANAGER DINO VIALE AT 510-365-5186 FOR A PRE-CONSTRUCTION MEETING. INSTALLATION PROCEDURES AND TRAINING FOR ALL NETAFIM PRODUCTS WILL BE DISCUSSED AND TAUGHT.



YAMASAKI
LANDSCAPE ARCHITECTURE

JEFF AMBROSIA, ASLA C4057

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AUBURN, CALIFORNIA 95603
(530) 885-0040
FAX (530) 885-0042
www.yamasaki-la.com

BUILDING A
10497, 10487, 10477-B, 10477-A, 10475
10467 & 10457 S. DE ANZA BLVD.

BUILDING B
10445 & 10455 S. DE ANZA BLVD.

BUILDING C
10425 S. DE ANZA BLVD.

SITE WORK
10465 S. DE ANZA BLVD & 10495 S. DE ANZA
BLVD
CUPERTINO, CA

TRASH ENCLOSURES
10465 S. DE ANZA BLVD. & 10495 S. DE ANZA
BLVD.

MC CELLAN SQUARE
LANDSCAPE DEVELOPMENT PLANS
DE ANZA BLVD. & MCCLELLAN ROAD
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Sheet Title
IRRIGATION PLAN
SUBMITTAL NO. 3



No.	Date	Revision
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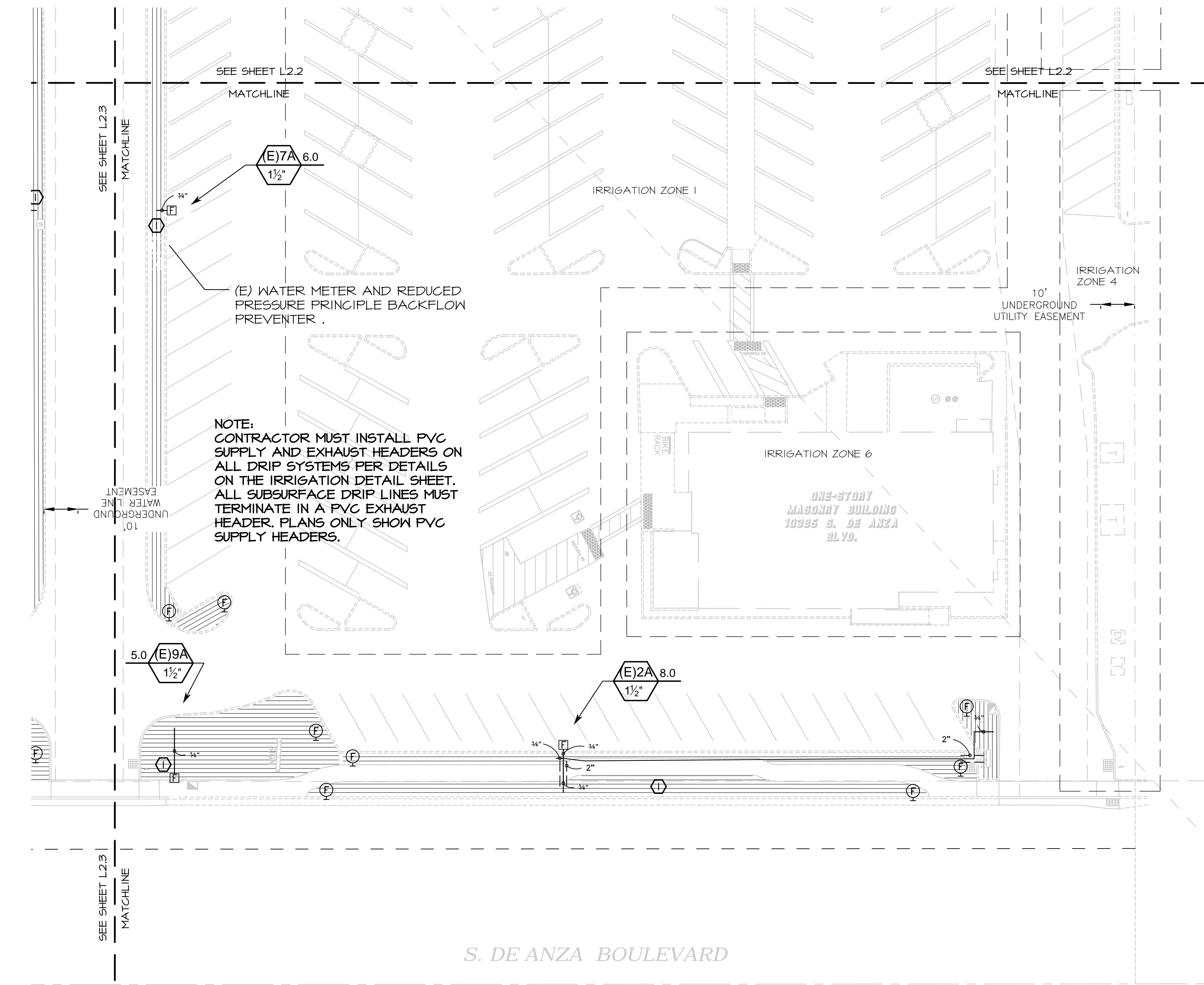
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Drawn By: SPG
Scale: 1" = 20'-0"
Date: 03 MAR 18
File Name: MS-1R

Sheet No.:

L2.3

19 sheets

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PARTIAL SITE PLAN

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Netafim TL50V Manual Flush valve.
	Hunter ECO-ID Working Pressure: 15-50 PSI. Visual: 6" yellow pop-up stem. Body/Stem: UV-resistant plastic
	Area to Receive Drip Emitters Rain Bird XB-PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet.
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	Hunter W55-SEN - Both Controllers will share this Sensor Wireless Solar, rain freeze sensor with outdoor interface. Install as noted. Includes gutter mount bracket. Module not included. 800' max from controller.
	Rain Bird QKCHK-100-200-150M 1" Inlet/Outlet w/ 100 mesh stainless steel screen= Red 120 mesh stainless steel screen= Green 200 mesh stainless steel screen= White
	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 Irrigation pipe.
	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.
	Valve Callout # Valve Number # Valve Flow # Valve Size

NOTE:

EXISTING IRRIGATION CONTROL VALVES TO BE USED. ADD RAIN BIRD NON PRESSURE COMPENSATING QUICK-CHECK BASKET FILTER TO ALL DRIP VALVES. FOR EASIER INSTALLATION OF THE PROPOSED BASKET FILTER(S) AND LONG TERM MAINTENANCE, REMOVE THE EXISTING VALVE BOX AND INSTALL A JUMBO VALVE BOX IF THE AREA WILL PERMIT THIS UPGRADE.

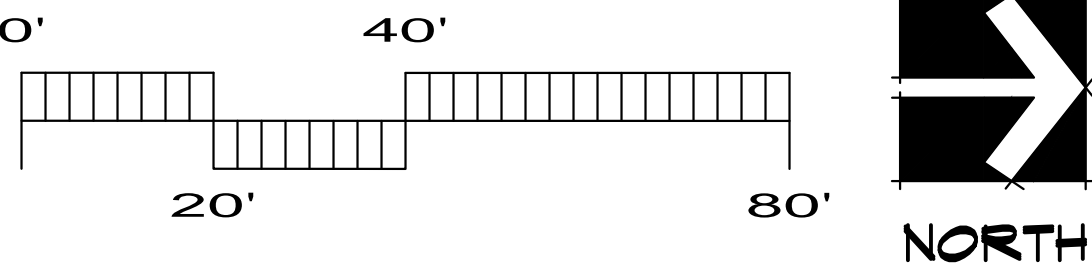
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Project Mgr.: JMA	Sheet No.: L2.4
Drawn By: SPG	
Scale: 1" = 20'-0"	
Date: 03 MAR 18	
File Name: MS-1R	of 19 sheets

AB 1881 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE WATER CALCULATIONS



Irrigation Division
Irrigation Audit Services (CLIA)
LEED Certified Landscape Design
AB1881 Compliance Documentation

PROJECT INFORMATION

Project Name: **MCCLELLAN SQUARE** Date: **6/22/2017**

Project Contact:	Applicant:	Yamasaki Landscape Architecture 1223 High Street, Auburn, CA 95603 (530) 885-0040
	Contact:	Jeff Ambrosia
	Owner:	Aaron Zuzack, Director of Construction Browman Development Company, Inc. (925) 588-2219
Project Address:		McClellan Road & S. De Anza Blvd.

Project Type:	Rehabilitated Private Project
Local Water Purveyor:	Santa Clara Valley Water District
Water Supply:	Potable Water

Total Landscape Area:	19,161 s.f.
Maximum Applied Water Allowance:	242,170 gallons
Estimated Total Water Use:	156,536 gallons

Document Check List:
<input checked="" type="checkbox"/> Project Information
<input checked="" type="checkbox"/> Water Efficient Landscape Worksheet
<input type="checkbox"/> Soil Management Report
<input checked="" type="checkbox"/> Landscape Design Plan
<input checked="" type="checkbox"/> Irrigation Design Plan
<input checked="" type="checkbox"/> Grading Design Plan

	6/22/2017
Applicant Signature	Date
"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package. "	



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Water Efficient Landscape Worksheet
Section A: Hydrozone Information Sheet

Hydro-zone	Zone or Valve #	Irrigation Method	Area (Sq.Ft.)	% of Landscape Area
L	(E) 2A	Drip	1,563	8%
L	(E) 3A	Drip	2,657	14%
L	(E) 7A	Drip	1,162	6%
L	(E) 8A	Drip	1,648	9%
L	(E) 9A	Drip	1,065	6%
L	(E) 10A	Drip	1,269	7%
L	(E) 11A	Drip	1,781	9%
L	(E) 12A	Drip	1,050	5%
L	(E) 15A	Drip	345	2%
L	(E) 16A	Drip	1,075	6%
L	(E) 1B	Drip	217	1%
M	(E) 2B	Drip	2,485	13%
L	(E) 3B	Drip	2,024	11%
L	(E) 4B	Drip	820	4%
Total Bubbler Area			0	0%
Total Area(Sq.Ft.)			19,161	100%
Bubbler Area is deducted from Drip Area				



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Water Efficient Landscape Worksheet
Section B: Water Budget Calculation

Maximum Applied Water Allowance (MAWA)

Project ETto City: **Cupertino**

MAWA = (ETo) (0.62) [(0.45 x LA) + (0.55 x SLA)]

Insert: Where:
MAWA = Maximum Applied Water Allowance (gallons per year)
ETo = Reference Evapotranspiration (inches per year)
0.45= ET Adjustment Factor (ETAF)(AB 1881 Dec 1, 2015)
LA = Landscape Area includes Special Landscape Area (Sq.Ft.)
0.62 = Conversion Factor (to gallons per Sq.Ft.)
SLA = Special Landscape Area (Sq.Ft.)
0.55= The additional ET Adjustment Factor for SLA (1.0-0.45=0.55)

MAWA = **45.3** (0.62) [(0.45x **19,161**) + (0.55x **0**)]

Maximum Applied Water Allowance: **242,170 Gal. / Yr**

Effective Precipitation (Eppt)

If considering Effective Precipitation, use 25% of Annual precipitation.

MAWA = (ETo - Eppt) (0.62) [(0.45 x LA) + (0.55 x SLA)]

Annual Prec: **0** (x 0.25)

Eppt: **0**

MAWA **45.3** - **0** (0.62) [(0.45 x **19,161**) + (0.55 x **0**)]

Maximum Applied Water Allowance: **242,170 Gal. / Yr**



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Water Efficient Landscape Worksheet
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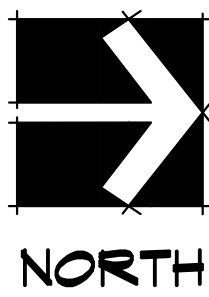
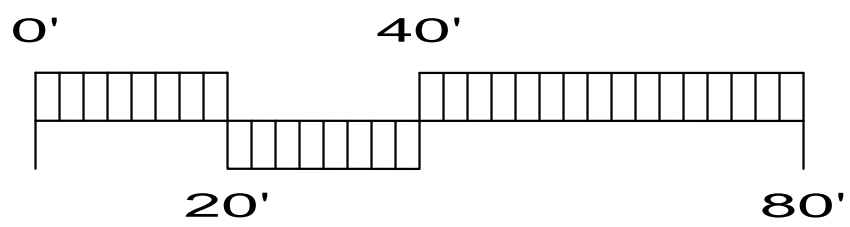
Estimated Total Water Use (ETWU)

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	IE (PF/IE)	ETAF (PF/IE)	Area (HA) (Sq.Ft.)	ETAF x Area	Estimated Total Water Use
(E) 2A	Low (L)	0.2	0.81	0.25	1,563	386	10,839
(E) 3A	Low (L)	0.2	0.81	0.25	2,657	656	18,426
(E) 7A	Low (L)	0.2	0.81	0.25	1,162	287	5,687
(E) 8A	Low (L)	0.2	0.81	0.25	1,648	407	11,429
(E) 9A	Low (L)	0.2	0.81	0.25	1,065	263	7,386
(E) 10A	Low (L)	0.2	0.81	0.25	1,269	313	8,800
(E) 11A	Low (L)	0.2	0.81	0.25	1,781	440	12,351
(E) 12A	Low (L)	0.2	0.81	0.25	1,050	259	7,282
(E) 15A	Low (L)	0.2	0.81	0.25	345	85	2,393
(E) 16A	Low (L)	0.2	0.81	0.25	1,075	265	7,455
(E) 1B	Low (L)	0.2	0.81	0.25	243	60	1,685
(E) 2B	Moderate (M)	0.5	0.81	0.62	2,485	1,534	43,083
(E) 3B	Low (L)	0.2	0.81	0.25	2,024	500	14,036
(E) 4B	Low (L)	0.2	0.81	0.25	820	202	5,687
Total					19,187	5,658	
Special Landscape Areas					SUM		156,536
			0.00			0	0
			0.00			0	0
			0.00			0	0
			0.00			0	0
			0.00			0	0
Total SLA			SUM		0	0	0
Project Eto							45.3
ETWU =(ETo)(0.62)x(PF x HA + SLA)							156,536
IE							0.29
Regular Landscape ETWU							0
Average ETAF							0
SLA ETWU							0.29
Sitewide ETAF							0.29
Max Applied Water Allowance							242,170
Estimated Total Water Use							156,536

IRRIGATION CONTROLLER SCHEDULES

HYDROZONE INFORMATION TABLE FOR EXISTING CONTROLLERS 'A' & 'B'

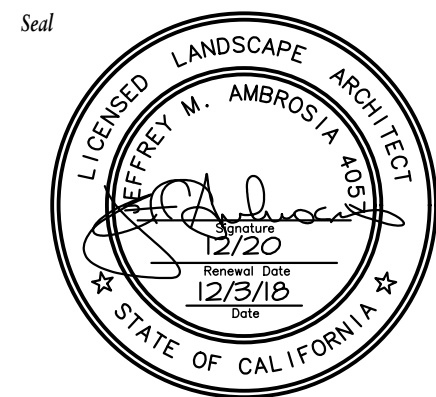
HYDRO-ZONE	LNDSCP COEFF.	VALVE/S TA. NUMBER	VEG. TYPE	IRRI. METHOD	PRECIP. RATE (INCH/H R)	ESTABLISHMENT PERIOD																ESTABLISHED PERIOD															
						MINUTES PER RUN TIME / RUN TIMES PER DAY / DAYS PER WEEK																MINUTES PER RUN TIME / RUN TIMES PER DAY / DAYS PER WEEK															
						SPRING				SUMMER				FALL				WINTER				SPRING				SUMMER				FALL				WINTER			
SOUTH	0.3	2A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	3A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	7A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	8A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	9A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	10A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	11A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	12A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	15A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	16A	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	1B	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.6	2B	MIXED	DRIP	0.43	80	1	2	88	1	3	80	1	2	48	1	1	106	1	1	88	1	2	106	1	1	32	1	1								
SOUTH	0.3	3B	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
SOUTH	0.3	4B	MIXED	DRIP	0.43	40	1	2	44	1	3	40	1	2	24	1	1	53	1	1	44	1	2	53	1	1	16	1	1								
				TOTAL RUN TIME/HR	10.0	11.0				10.0				6.0				13.3	11.0				13.3				4.0										



MC CELLAN SQUARE
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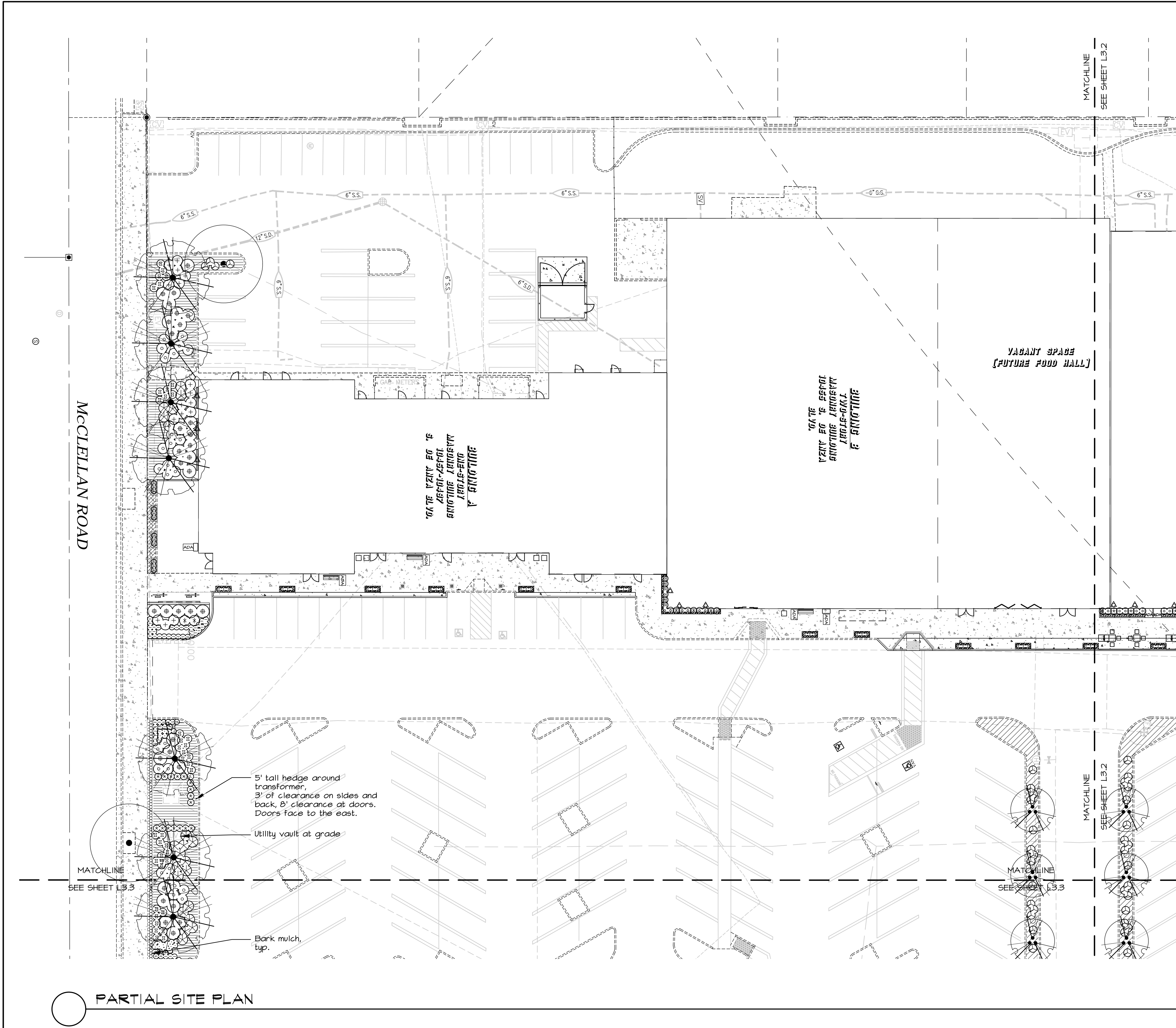
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WATER CALCULATIONS
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Project Mgr.: JMA
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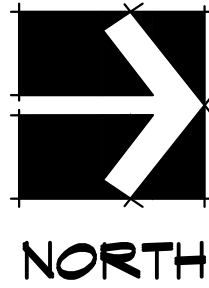
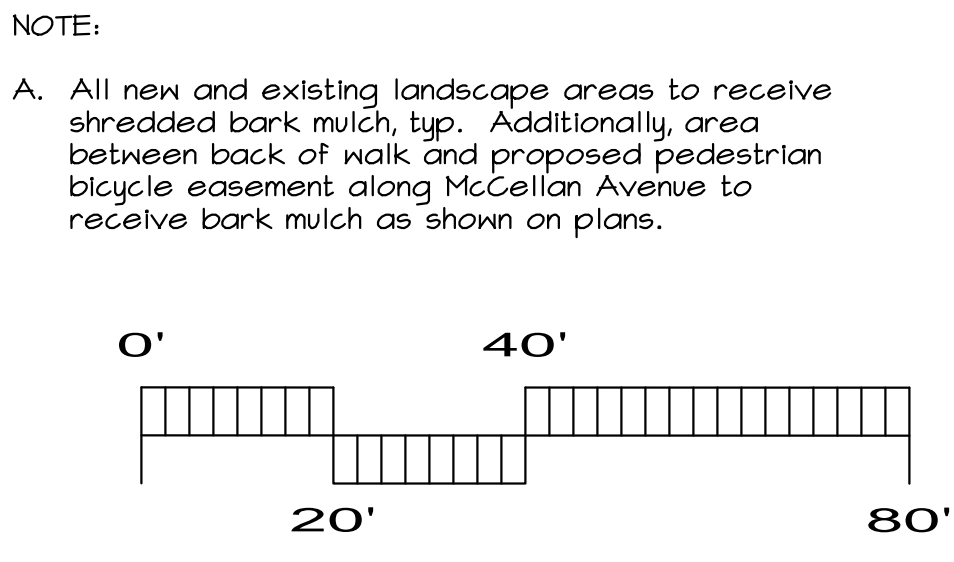


PARTIAL SITE PLAN

CONTRACTOR IS RESPONSIBLE TO ENSURE PERMITS HAVE BEEN PULLED BEFORE TREES ARE REMOVED.

PLANT SCHEDULE

TREES	BOTANICAL NAME
	Acer rubrum 'October Glory' TM
	Lagerstroemia indica 'Dynamite'
	Pistacia chinensis 'Keith Davey'
	Platanus x acerifolia 'Columbia'
SHRUBS	BOTANICAL NAME
	Anigozanthos x 'Bush Pearl'
	Callistemon citrinus 'Little John'
	Cistus pulverulentus 'Sunset'
	Diets iridioides
	Euonymus japonicus 'Greenspire'
	Hemerocallis x 'Stella de Oro'
	Mahonia aquifolium 'Orange Flame'
	Muhlenbergia capillaris 'Regal Mist' TM
	Nandina domestica 'Harbour Dwarf'
	Pelargonium peltatum 'White'
	Phormium tenax 'Amazing Red'
	Raphiolepis indica 'Dancer'
	Rosa x 'Flower Carpet White'
	Rosmarinus officinalis 'Collingwood Ingre'
	Salvia chamaedryoides
	Salvia greggii 'Heatwave Blaze'
	Tulbaghia violacea 'Tricolor'
VINE/ESPALIER	BOTANICAL NAME
	Campsis radicans
	Hardenbergia violacea 'Happy Wanders'
	Trachelospermum jasminoides
GROUND COVERS	BOTANICAL NAME
	Erigeron karvinskianus 'Moerheimii'
	Lantana montevidensis 'Lavender'
	Rosa x 'Flower Carpet Pink'



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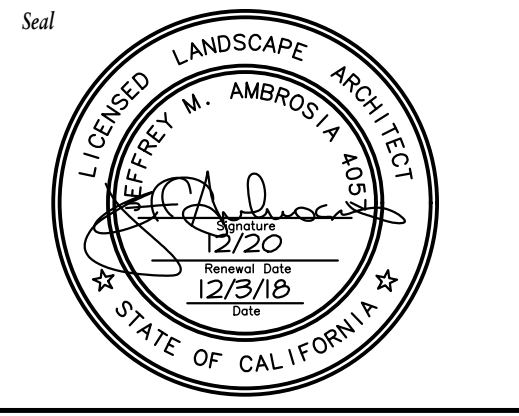
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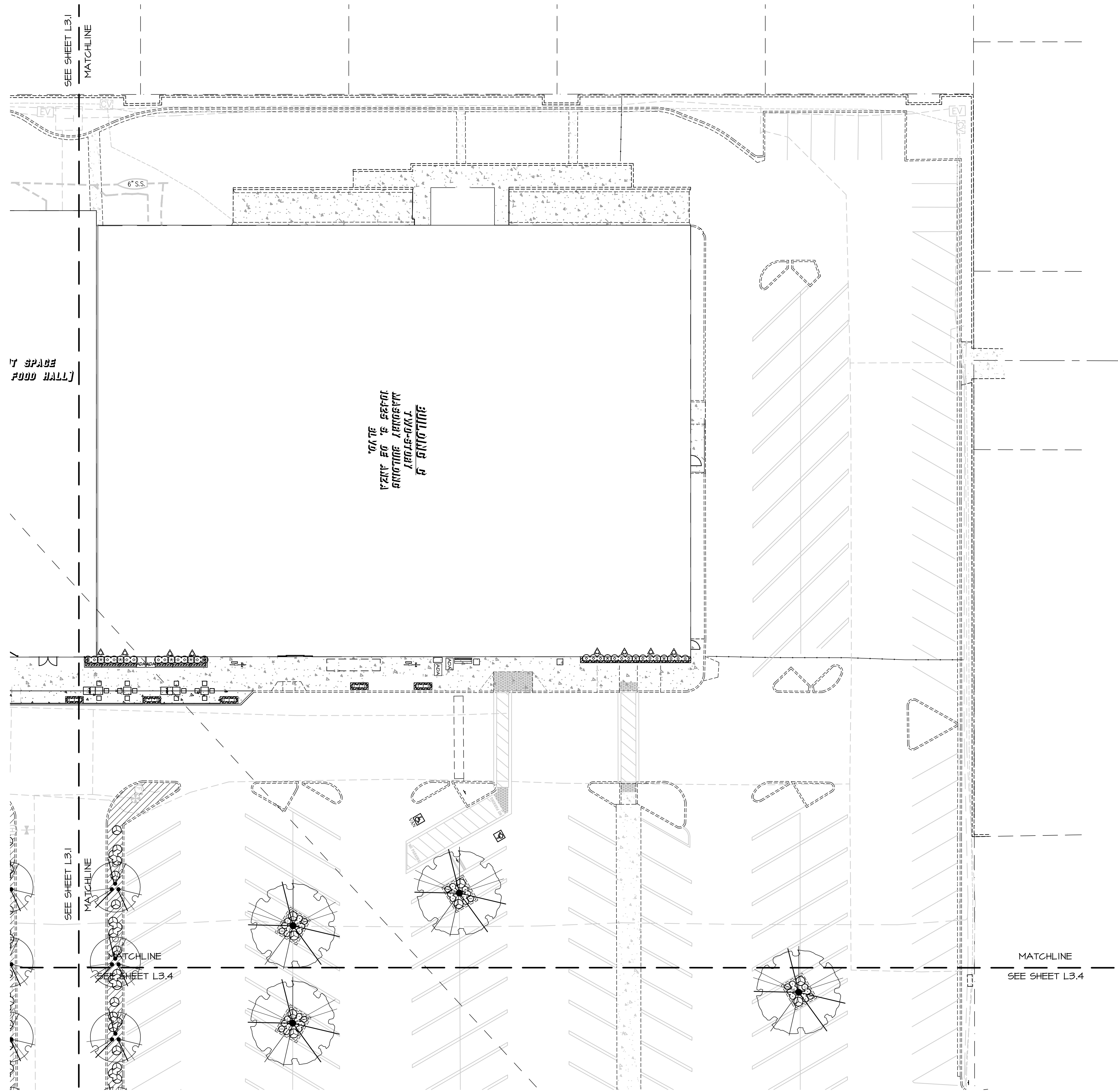
Sheet Title
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SUBMITTAL NO. 3



No.	Date	Revision
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Project Mgr.: JMA	Sheet No.: L3.1
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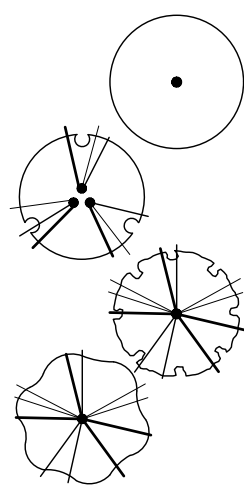


PARTIAL SITE PLAN

CONTRACTOR IS RESPONSIBLE TO ENSURE PERMITS HAVE BEEN PULLED BEFORE TREES ARE REMOVED.

PLANT SCHEDULE

TREES



BOTANICAL NAME

Acer rubrum 'October Glory' TM
Lagerstroemia indica 'Dynamite'
Pistacia chinensis 'Keith Davey'
Platanus x acerifolia 'Columbia'

SHRUBS



BOTANICAL NAME

Anigozanthos x 'Bush Pearl'
Callistemon citrinus 'Little John'
Cistus pulchellus 'Sunset'
Diets indioides
Evonymus japonicus 'Greenspire'
Hemerocallis x 'Stella de Oro'
Mahonia aquifolium 'Orange Flame'
Muhlenbergia capillaris 'Regal Mist' TM
Nandina domestica 'Harbour Dwarf'
Pelargonium peltatum 'White'
Phormium tenax 'Amazing Red'
Rhamnus indica 'Dancer'
Rosa x 'Flower Carpet White'
Rosmarinus officinalis 'Collingwood Ingram'
Salvia chamaedryoides
Salvia greggii 'Heatwave Blaze'
Tulbaghia violacea 'Tricolor'

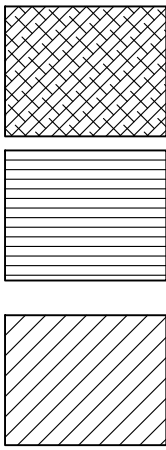
VINE/ESPALIER



BOTANICAL NAME

Campsis radicans
Hardenbergia violacea 'Happy Wanderer'
Trachelospermum jasminoides

GROUND COVERS

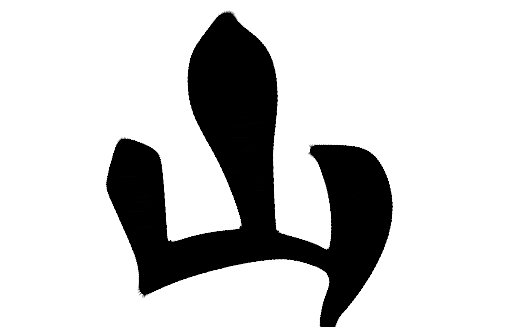
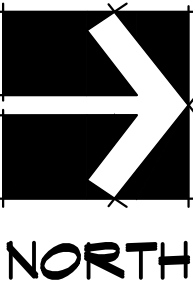
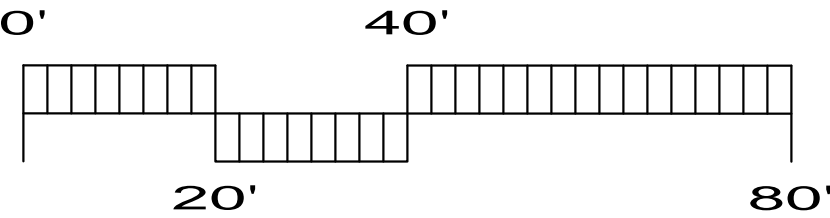


BOTANICAL NAME

Erigeron karvinskianus 'Moerheimii'
Lantana montevidensis 'Lavender'
Rosa x 'Flower Carpet Pink'

NOTE:

A. All new and existing landscape areas to receive shredded bark mulch, top. Additionally, area between back of walk and proposed pedestrian bicycle easement along McCellan Avenue to receive bark mulch as shown on plans.



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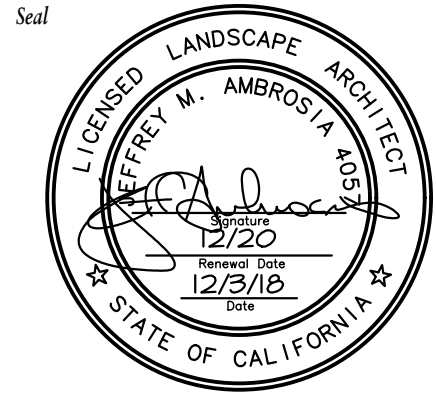
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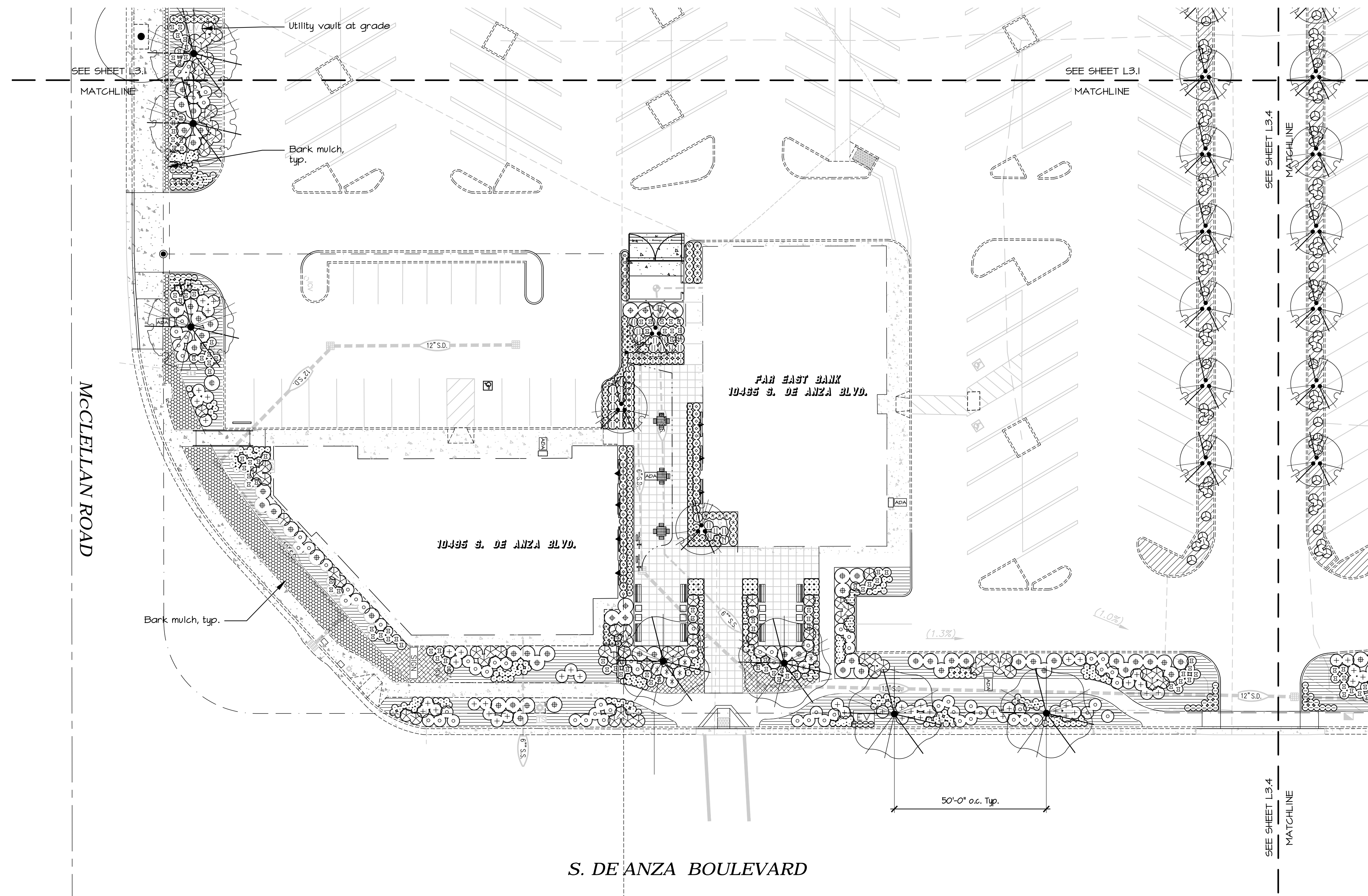
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Project Mgr.: JMA
Drawn By: BJP
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Date: 03 MAR 18
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19 sheets



PARTIAL SITE PLAN

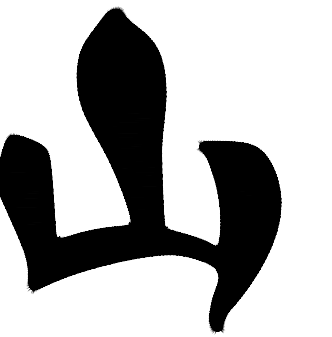
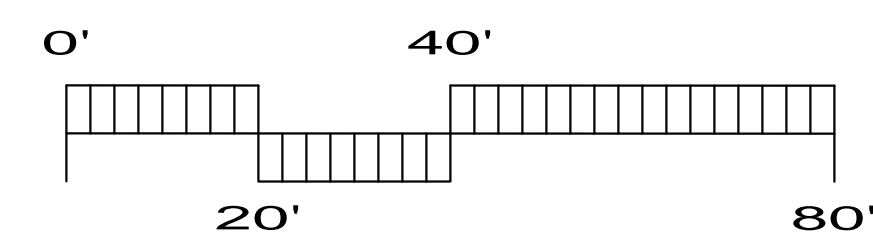
CONTRACTOR IS RESPONSIBLE TO ENSURE
PERMITS HAVE BEEN PULLED BEFORE TREES
ARE REMOVED.

PLANT SCHEDULE

<u>TREES</u>	<u>BOTANICAL NAME</u>
	Acer rubrum 'October Glory' TM
	Lagerstroemia indica 'Dynamite'
	Pistacia chinensis 'Keith Davey'
	Platanus x acerifolia 'Columbia'
<u>SHRUBS</u>	<u>BOTANICAL NAME</u>
	Anigozanthos x 'Bush Pearl'
	Callistemon citrinus 'Little John'
	Cistus pulchellus 'Sunset'
	Diets iridioides
	Evonymus japonicus 'Greenspire'
	Hemerocallis x 'Stella de Oro'
	Mahonia aquifolium 'Orange Flame'
	Muhlenbergia capillaris 'Regal Mist' TM
	Nandina domestica 'Harbour Dwarf'
	Pelargonium peltatum 'White'
	Phormium tenax 'Amazing Red'
	Raphiolepis indica 'Dancer'
	Rosa x 'Flower Carpet White'
	Rosmarinus officinalis 'Collingwood Ingram'
	Salvia chamaedryoides
	Salvia greggii 'Heatwave Blaze'
	Tulbaghia violacea 'Tricolor'
<u>VINE/ESPALIER</u>	<u>BOTANICAL NAME</u>
	Campsis radicans
	Hardenbergia violacea 'Happy Wanderer'
	Trachelospermum jasminoides
<u>GROUND COVERS</u>	<u>BOTANICAL NAME</u>
	Erigeron karvinskianus 'Moerheimii'
	Lantana montevidensis 'Lavender'
	Rosa x 'Flower Carpet Pink'

NOTE:

- A. All new and existing landscape areas to receive shredded bark mulch, typ. Additionally, area between back of walk and proposed pedestrian bicycle easement along McCellan Avenue to receive bark mulch as shown on plans.



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Project Mgr.: IMAA

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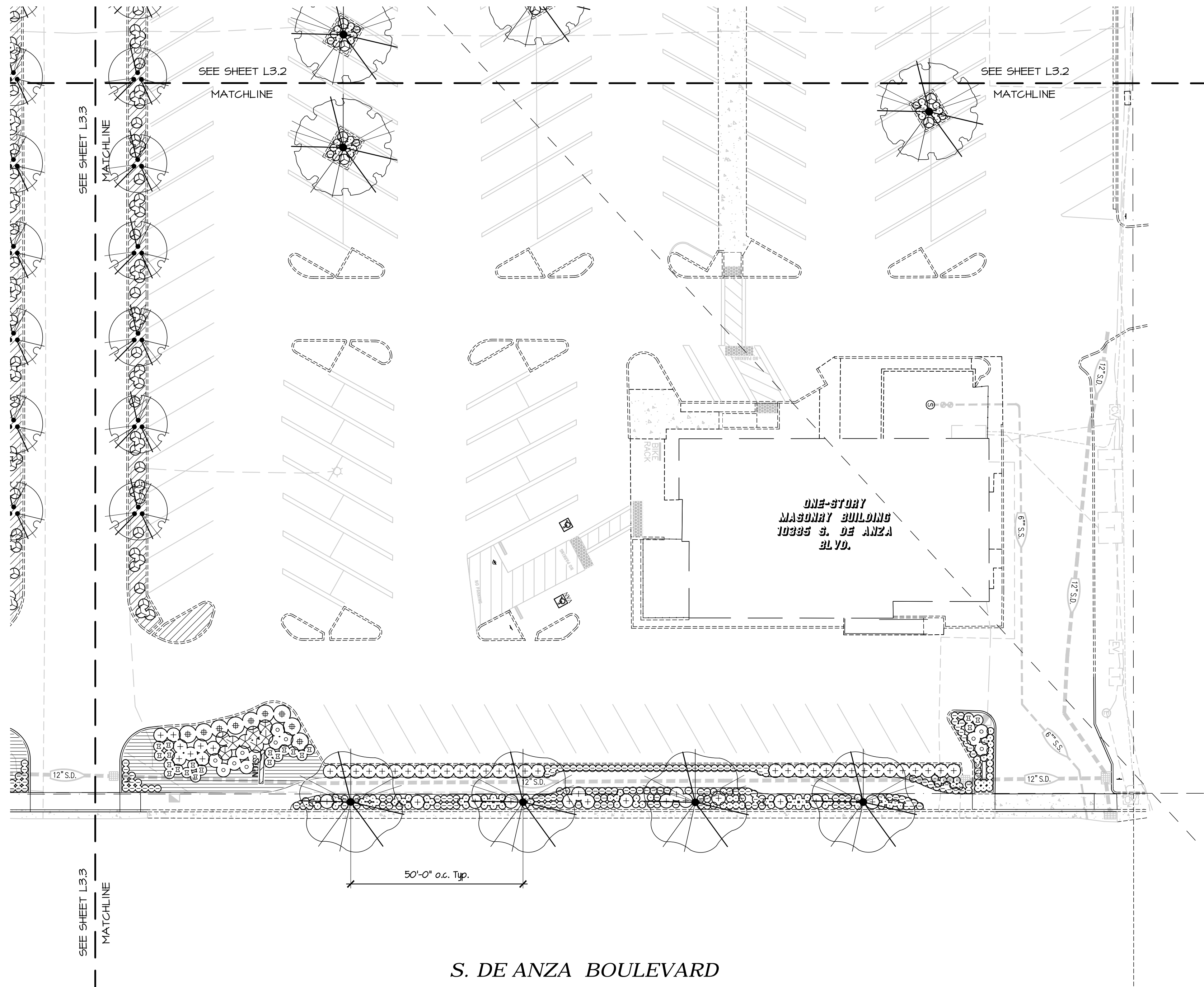
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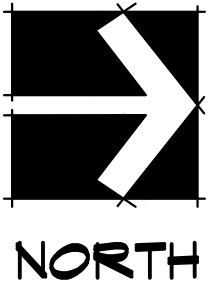
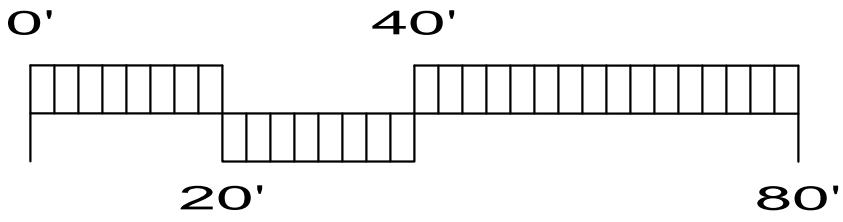
PARTIAL SITE PLAN

CONTRACTOR IS RESPONSIBLE TO ENSURE PERMITS HAVE BEEN PULLED BEFORE TREES ARE REMOVED.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE
	ACE GLO	2	Acer rubrum 'October Glory' TM / October Glory Maple	24"box
	LAG DYN	17	Lagerstroemia indica 'Dynamite' / Dynamite Crape Myrtle	24"box
	PIS KEI	12	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	36"box
	PLA COL	8	Platanus x acerifolia 'Columbla' / London Plane Tree	24"box
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE
	ANI BUS	381	Anigozanthos x 'Bush Pearl' / Bush Pearl Kangaroo Paw	1 gal
	CAL LIT	115	Callistemon citrinus 'Little John' / Dwarf Bottle Brush	5 gal
	CIS PUL	89	Cistus pulchellus 'Sunset' / Rockrose	5 gal
	DIE IRI	100	Diets Irindoides / Fortnight Lily	1 gal
	EVO UPR	44	Evonymus japonicus 'Greenspire' / Greenspire Upright Evonymus	5 gal
	HEM ORO	101	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal
	MAH OR2	3	Mahonia aquifolium 'Orange Flame' / Oregon Grape	5 gal
	MUH REG	104	Muhlenbergia capillaris 'Regal Mist' TM / Muhly	1 gal
	NAN HAR	85	Nandina domestica 'Harbour Dwarf' / Dwarf Heavenly Bamboo	5 gal
	PEL WHI	86	Pelargonium peltatum 'White' / White Ivy Geranium	1 gal
	PHO AMA	77	Phormium tenax 'Amazing Red' / Dwarf Red Flax	5 gal
	RHA DAN	7	Raphiolepis indica 'Dancer' / Indian Hawthorn	5 gal
	ROS CAR	27	Rosa x 'Flower Carpet White' / Rose	5 gal
	ROS COL	9	Rosmarinus officinalis 'Collingwood Ingram' / Rosemary	5 gal
	SAL MEX	296	Salvia chamaedryoides / Mexican Blue Sage	1 gal
	SAL HEA	144	Salvia greggii 'Heatwave Blaze' / Heatwave Blaze Salvia	5 gal
	TUL TRI	12	Tulbaghia violacea 'Tricolor' / Tricolor Society Garlic	1 gal
VINE/ESPALIER	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE
	CAM RAD	14	Campsis radicans / Trumpet Creeper	5 gal
	HAR TRE	3	Hardenbergia violacea 'Happy Wanderer' / Lilac Vine Trellis	5 gal
	TRA JAS	4	Trachelospermum jasminoides / Star Jasmine	5 gal
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE
	ERI MOE	105	Erigeron karvinskianus 'Moerheimii' / Pink Santa Barbara Daisy	1 gal
	LAN LAM	421	Lantana montevidensis 'Lavender' / Lavender Lantana	1 gal
	ROS FLO	226	Rosa x 'Flower Carpet Pink' / Rose	1 gal

NOTE:
A. All new and existing landscape areas to receive shredded bark mulch, typ. Additionally, area between back of walk and proposed pedestrian bicycle easement along McGellan Avenue to receive bark mulch as shown on plans.



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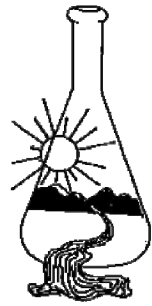
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Project Mgr.: JMA
Drawn By: BJP
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Date: 03 MAR 18
File Name: MS-PL of 19 sheets

L3.4



Sunland Analytical
11419 Sunrise Gold Cir.#10
Rancho Cordova, CA 95742
(916) 852-8557

Date Reported 11/22/17
Date Submitted 11/16/17

To: Brian Pantiga
Yamasaki Landscape Architecture
1223 High St.
Auburn, CA, 95603

From: Gene Oliphant, Ph.D. \ Randy Horney
General Manager \ Lab Manager

The reported analysis was requested for the following:
Location : MCELLAN SQUARE Site ID: 1
Thank you for your business.

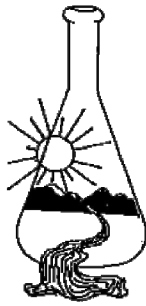
* For future reference to this analysis please use SUN # 75645 - 157841

SOIL ANALYSIS

Saturation Percent (SP)	60.2		Soil Texture: Loam
pH	6.10		
ECe	1.16	mmho/cm	
Tot.Dissolved Salts	742.4	ppm	
Infiltration Rate (0% Slope)	0.54	in/hr	
% Organic Matter	23.4		
C.E.C.	23.1	meq/100g	
Sodium Adsorp.Ratio (SAR)	3.26		
Exchangable Sodium % (ESP)	3.4		
Gypsum Req. (CaSO4*2H2O)	None Required		
est. Nitrogen Release	5.8	#/1000 sq.ft.	

Nitrate-N	0.10	ppm	*
Phosphate-P	34.15	ppm	*****
Potassium	137.28	ppm	*****
Sulfur	18.38	ppm	*****
Chloride	No Test		
Carbonates	No Test		
Sodium	181.50	ppm	
Calcium	2884.60	ppm	*****
Magnesium	915.44	ppm	*****
Boron	1.31	ppm	*****
Copper	No Test		
Iron	No Test		
Mangnaese	No Test		
Zinc	No Test		

Very Low Low Adequate Excessive



Sunland Analytical
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Rancho Cordova, CA 95742
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Date 11/22/17
SUN # 75645 - 157841

Information requested by:
Brian Pantiga
Yamasaki Landscape Architecture

Information for:
MCELLAN SQUARE
1

SOIL RECOMMENDATIONS FOR LANDSCAPE GARDENING

Soil pH (Acidity and Alkalinity):
The pH of this sample indicates the soil is moderately acid and should be modified for non acid-tolerant plants. Apply 35.0 pounds of Lime per 1000 sq.ft. and work into soil before planting.

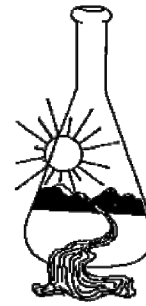
Dissolved Salts (Indicated by E.C. & TDS)
These conditions are in the normal range for plant growth.

Soil Texture and Rate of Water Infiltration
The infiltration rate for all soil textures decreases with increasing ground slope. At 0 to 4%, 5 to 8%, 9 to 12%, 13 to 16% and above 16% the infiltration rate of this sample decreases from 0.54 to 0.43, 0.32, 0.22, 0.14, respectively. Infiltration rate also decreases with percent of ground cover and by compaction.

Water Penetration of Soil Due to Chemical Characteristics
When exchangable Sodium increases in the soil, water penetration decreases. Based on SAR and ESP values this sample has no penetration problem due to soil Sodium. No Gypsum required.

Organic Matter - provides a slow nitrogen release and aids water retention. This sample has a very high Organic Matter content. No further organic matter is essential, a 2-3 in. top dressing will aid water retention.

Soil Boron - concentrations will not adversely affect most plants. However, avoid use of very Boron sensitive plants.



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PAGE #2

Date 11/22/17
SUN # 75645 - 157841

Information requested by:
Brian Pantiga
Yamasaki Landscape Architecture

Information for:
MCELLAN SQUARE
1

SOIL RECOMMENDATIONS FOR LANDSCAPE GARDENING

Soil Macronutrients (Nitrogen, Phosphorous, Potassium or N-P-K)
Use ONE of these NPK preparations for the first fertilizer application.

Standard NPK Fertilizer Preparations	6-20-20	5-20-10	16-16-16	0-10-10	28-3-4	21-0-0
#/1000 sq.ft.	N/A	N/A	N/A	N/A	4	6

Soil Micronutrients - Copper, Iron, Manganese and Zinc, in soil are present in small amounts. However, they play a necessary role in plant metabolism. Without appropriate amounts plants will not thrive. Analysis for micronutrients not requested.

Grass or Sod Preparation
Till in organic matter, N,P,K and micro nutrients in addition to any lime gypsum or sulfur as directed above. Smooth soil surface and follow seed or sod producers direction for moisture and product application.

Trees and Shrubs
Excavate holes for planting shrubs and trees to at least twice the volume of the container. Prepare backfill for tree and shrub planting holes by mixing three parts of native soil (or imported top soil) with one part organic amendment (preferably nitrogen and iron fortified) and 2.5 pounds of 6-20-20 (or similar low nitrigen, high phosphate, high potassium fertilizer) per yard of mix. For extended fertilization, palce slow release fertilizer tablets in the hole per manufacture's instructions. If 6-20-20 is not directly added to the backfill mix, during backfillingapply uniformly 1/2 oz of 6-20-20 per gallon container, 2.5 oz per 5 gallons, or 6 oz per 24 inch boxes.

Summary and Suggested Sequence of Soil Improvements (#/1000 sq.ft.)

Lime 35.0 #
Organic Amendment - none presently required.
N-P-K Fertilizer - see chart above for type and amount required.

Maintenance Fertilization - apply 5 pounds of Ammonium sulfate (21-0-0) per 1000 sq.ft. every month untill plants become established. After established, apply 23-3-4 (or similar preparation)to provide desired growth rate and color.



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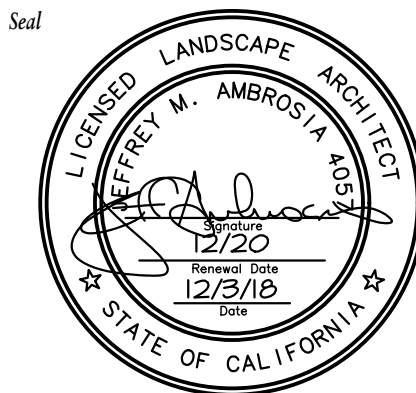
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Sheet Title
**SOILS ANALYSIS
SUBMITTAL NO. 3**



No. Date Revision
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Project Mgr.: JMA Sheet No.:
Drawn By: BJP
Scale: NA
Date: 03 MAR 18
File Name: MS-PL of 19 sheets

L3.5



Acer rubrum 'October Glory'



Lagerstroemia indica 'Dynamite'



Pistacia chinensis 'Keith Davies'



Platanus acerifolia 'Columbia'



Anigozanthos 'Bush Pearl'



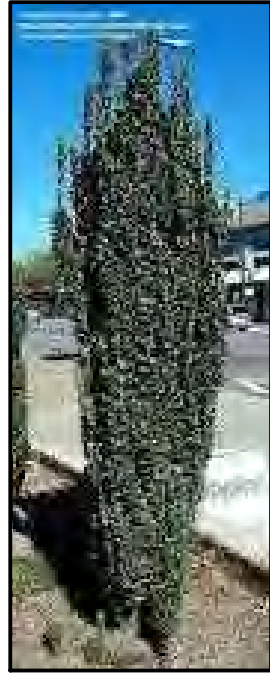
Callistemon citrinus 'Little John'



Cistus pulverulentus 'Sunset'



Diets iriodes



Evonymus japonica 'Green Spire'



Hemerocallis 'Stella de Oro'



Muhlenbergia rigens



Nandina domestica 'Harbour Dwarf'



Geranium peltatum 'White'



Phormium tenax 'Amazing Red'



Raphiolepis indica 'Dancer'



Rosa x 'Flower Carpet White'



Rosemarinus o. 'Collingwood Ingram'



Salvia chaemdryoides



Salvia greggii 'Heatwave Blaze'



Tulbaghia violacea 'Tricolor'



Campsis radicans



Hardenbergia v. 'Happy Wanderer'



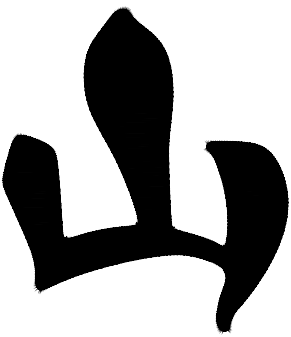
Trachelopsernum jasminoides



Erigeron-Karvinskianus 'Moerheimii'



Lantana montevidensis 'Lavender'



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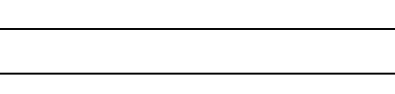
TITLE: BIKE RACK, 150, 1 RING, SURFACE MOUNT, STEEL
PART NO: MBR150-3
SCALE (A) 1/2"
WEIGHT: 12.04 LBS
DATE: 2015-04-09



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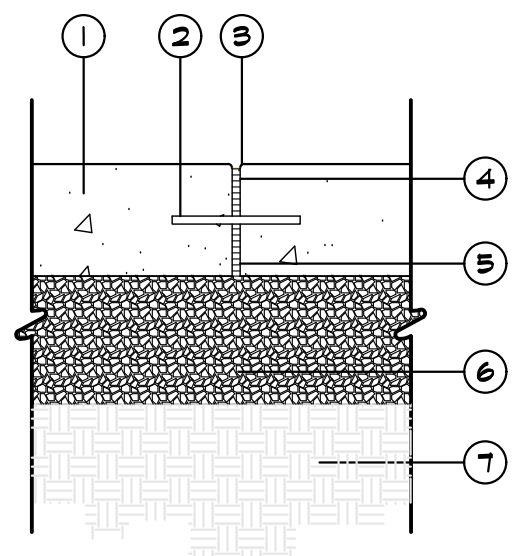
TITLE: CLUSTER SEATING, 400, DIRECT BURIAL, WOOD, WCA
PART NO: MPT400-DB-W-WCA
SCALE (A) 1/24"
WEIGHT: 216.91 LBS
DATE: 2016-02-29
MOI



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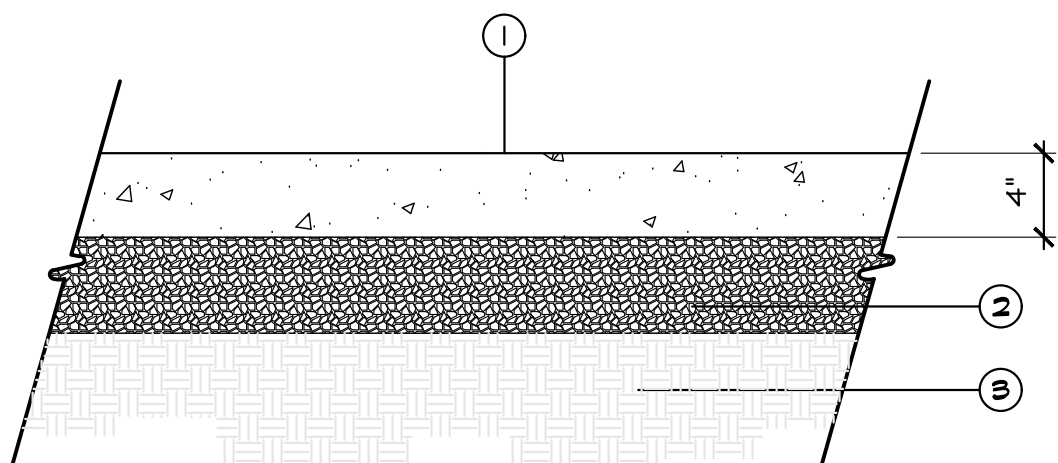
TITLE: BIKE RACK, 150, 1 RING, SURFACE MOUNT, STEEL
PART NO: MBR150-3
SCALE (A) 1/2"
WEIGHT: 12.04 LBS
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- LEGEND
- ① CONCRETE PAVING - SEE SITE AMENITY SCHEDULE FOR COLOR & FINISH (DEPTH AND REINFORCEMENT PER SOILS REPORT RECOMMENDATIONS)
 - ② STEEL ROD W/ SLEEVE - SEE SOILS REPORT FOR SIZE RECOMMENDATIONS
 - ③ 1/8" RADIUS (TYP.)
 - ④ FILL JOINT W/ JOINT SEALANT. SEALANT COLOR & COLOR FINISH TO BE APPROVED BY LANDSCAPE ARCH. PRIOR TO INSTALLATION
 - ⑤ 1/8" WIDE EXPANSION JOINT - USE "POLYFELT #160 PFB" OR EQUAL
 - ⑥ COMPACTED SUB-BASE
 - ⑦ COMPACTED SUBGRADE

EXPANSION JT. W/ SEALANT

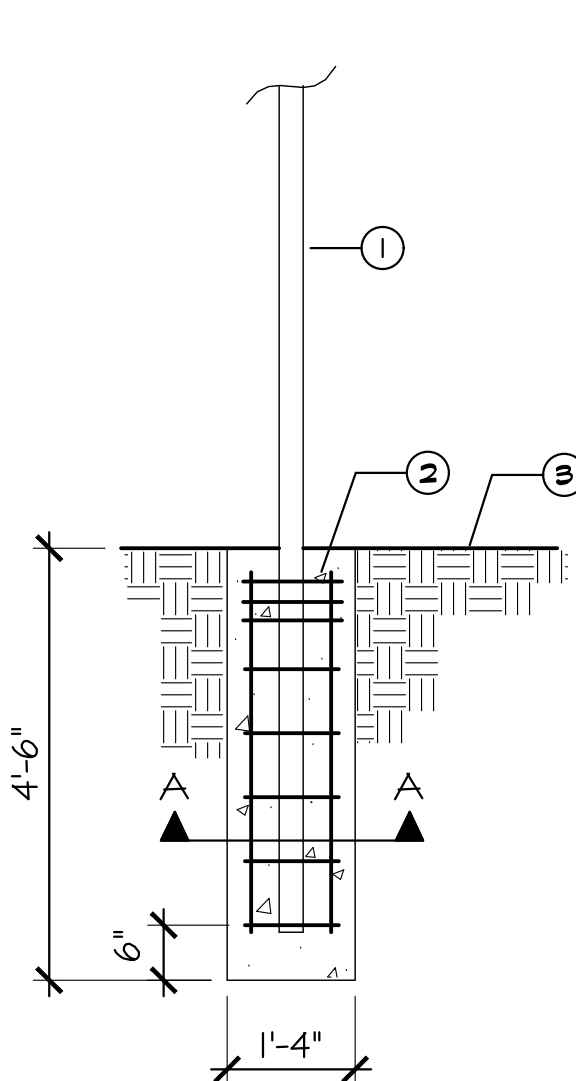
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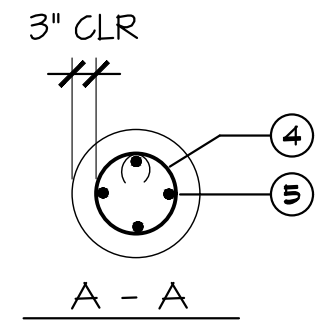
- LEGEND
- ① CONCRETE PAVING, PROVIDE EXPANSION JOINTS AT 10' O.C. MAX. SCORE PER PLAN - SEE SITE AMENITY SCHEDULE FOR COLOR AND FINISH
 - ② CLASS II AGGREGATE BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION
 - ③ 90% COMPACTED SUBGRADE

CONCRETE PAVING

SCALE: 1 1/2"=1'-0"

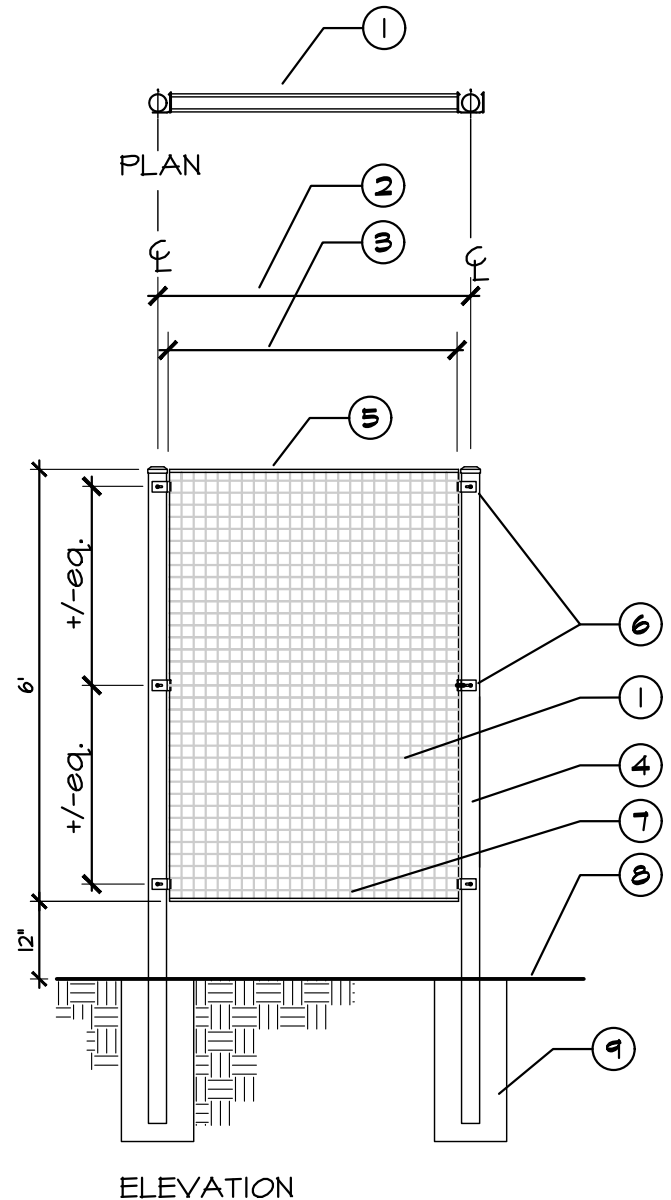


- LEGEND
- ① HSS 3 x 3 x 3/8 (ASTM A500 GRADE B)
 - ② 3 - #3 TIES EQUALLY SPACED W/IN 6" FROM THE TOP OF FTG
 - ③ FINISHED GRADE
 - ④ #3 TIES @ 8" O.C. UNLESS NOTED
 - ⑤ 4-#3 VERTS
- NOTES
- Slope top of footing 2% to drain.



VERTICAL SCREEN FOOTING

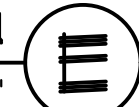
SCALE: 1/2" = 1'-0"



- LEGEND
- ① 3" thick Greenscreen panel, typ.
 - ② Post to post centers = panel length + 4", typ.
 - ③ Horizontal panel max. 48" in 2" increments, post to post clear = panel length + 1", typ.
 - ④ 3" square steel tube w/ post cap, typ.
 - ⑤ #5104 steel channel trim at top edge of panel, typ., 1/2" leg x 3 1/8" wide x 1/2" leg, 26 gva. galv. steel, factory welded to panel.
 - ⑥ #5133r: 1-3/8" wide x 3" x 3" x 10 gva. galv. steel snap clip. Fasten into vertical support with 1/2" dia. tek screws, (3) snap clips w/fasteners at each side of 8'-0" high Greenscreen panel.
 - ⑦ #5105 trim at btm. edge of panel, 1/2" leg x 1/2" leg, 26 gva. galv. steel, factory welded to panel.
 - ⑧ Finish grade
 - ⑨ Concrete footing, see vertical footing detail.
- Note: verify panel span + clip spacing for all installations

FREE STANDING VERTICAL SCREEN

SCALE: 3/8" = 1'-0"



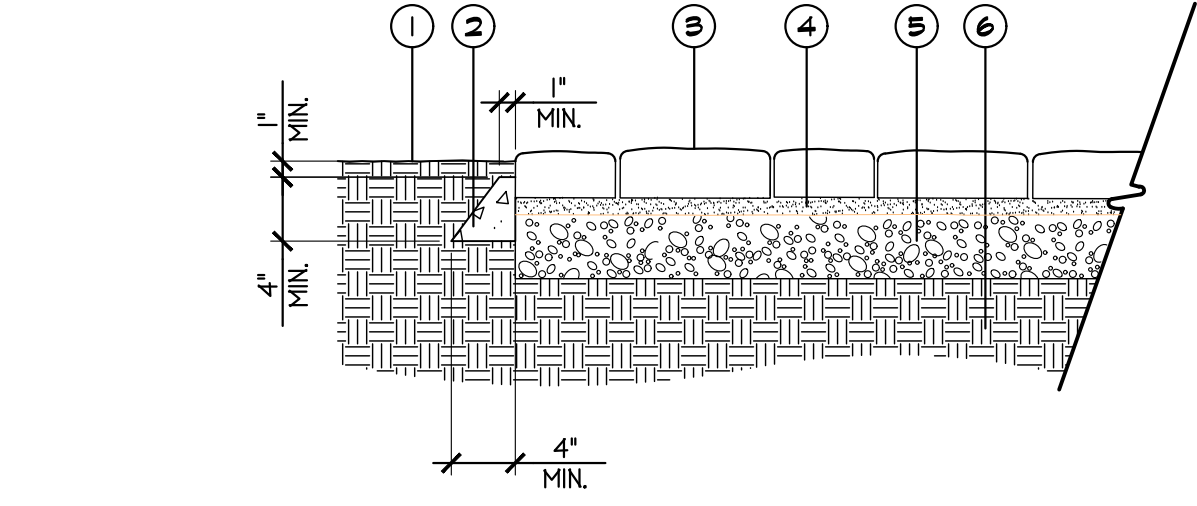
CON-PV1

CONCRETE PAVERS

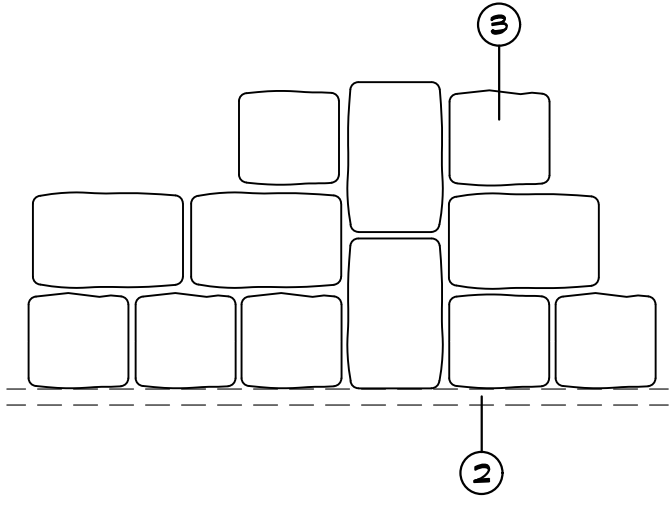


- PAVER NOTES
- PAVER SHALL BE CLEAN AND FREE FROM FOREIGN MATERIALS BEFORE INSTALLATION.
 - INSTALLATION SHOULD START FROM A CORNER OR STRAIGHT EDGE AND PROCEED FORWARD OVER THE UNDISTURBED SAND LAYING COURSE.
 - PAVING WORK SHALL BE PLUMB, LEVEL, AND TRUE TO LINE GRADE; IT SHALL BE INSTALLED PROPERLY, COINCIDE AND ALIGN, WITH ADJACENT WORK AND ELEVATIONS.
 - PAVING STONES SHOULD BE INSTALLED HAND TIGHT ON THE UNDISTURBED SAND LAYING COURSE. STRING LINES SHOULD BE USED TO HOLD PATTERN LINES TRUE.
 - GAPS BETWEEN THE EDGE OF THE PAVER SURFACE SHALL BE FILLED WITH STANDARD PAVERS OR WITH PAVERS CUT TO FIT. CUT PAVERS SHOULD BE NO SMALLER THAN ONE THIRD THE SIZE OF FULL PAVERS. CARE SHOULD BE TAKEN WHEN ESTABLISHING THE LAYING PATTERN TO INSURE THAT LESS THAN ONE THIRD PAVERS ARE MINIMIZED.
 - PAVERS ARE SET INTO THE SAND LAYING COURSE BY ROLLER OR PLATE VIBRATOR CAPABLE OF 3,000 TO 5,000 COMPACTION FORCE. VIBRATION SHALL BE CONDUCTED IN CROSSING PATHS UNTIL THE PAVEMENT SURFACE IS SMOOTH AND REQUIRED ELEVATION IS ACHIEVED. GAPS BETWEEN PAVERS SHOULD AT THIS POINT SHOULD BE FILLED TO ABOUT TWO THIRDS OF THE PAVER'S FULL HEIGHT. GAPS BETWEEN EDGES SHOULD BE NO MORE THAN 3/16" WIDE. AFTER VIBRATION, GAPS GREATER THAN 3/16" SUGGEST THAT LESS THAN SATISFACTORY INTERLOCK WILL BE ACHIEVED. PAVERS WITHIN THREE FEET OF UNRESTRAINED EDGES MUST NOT BE COMPACTIONED.
 - ONCE PAVERS ARE VIBRATED INTO PLACE, CLEAN, DRY SAND SHALL BE BROOMED OVER THE PAVEMENT SURFACE AND VIBRATED ONCE MORE INTO THE REMAINING UNFILLED GAPS BETWEEN PAVERS TO THE HEIGHT OF THE JOINT BEVEL. SURPLUS SAND SHOULD BE SWEEPED FROM THE PAVEMENT SURFACE AND DISPOSED OF.
 - THE COMPLETED PAVING STONE INSTALLATION SHOULD BE WASHED DOWN AND CLEANED TO PROVIDE A CLEAN FINISHED WORKMANLIKE INSTALLATION.

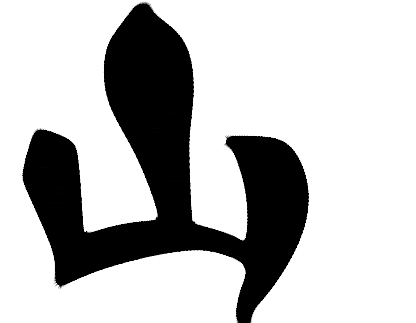
SECTION



PLAN VIEW



- LEGEND
- ① FINISH GRADE
 - ② POURED IN PLACE CONCRETE TOE
 - ③ INTERLOCKING PAVERS - SEE PLAN FOR PAVER PATTERN
 - ④ 1" DEEP CLEAN NON-PLASTIC SAND PER MANUFACTURERS SPECIFICATIONS
 - ⑤ CLASS II AGGREGATE BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION
 - ⑥ 90% COMPACTED SUBGRADE



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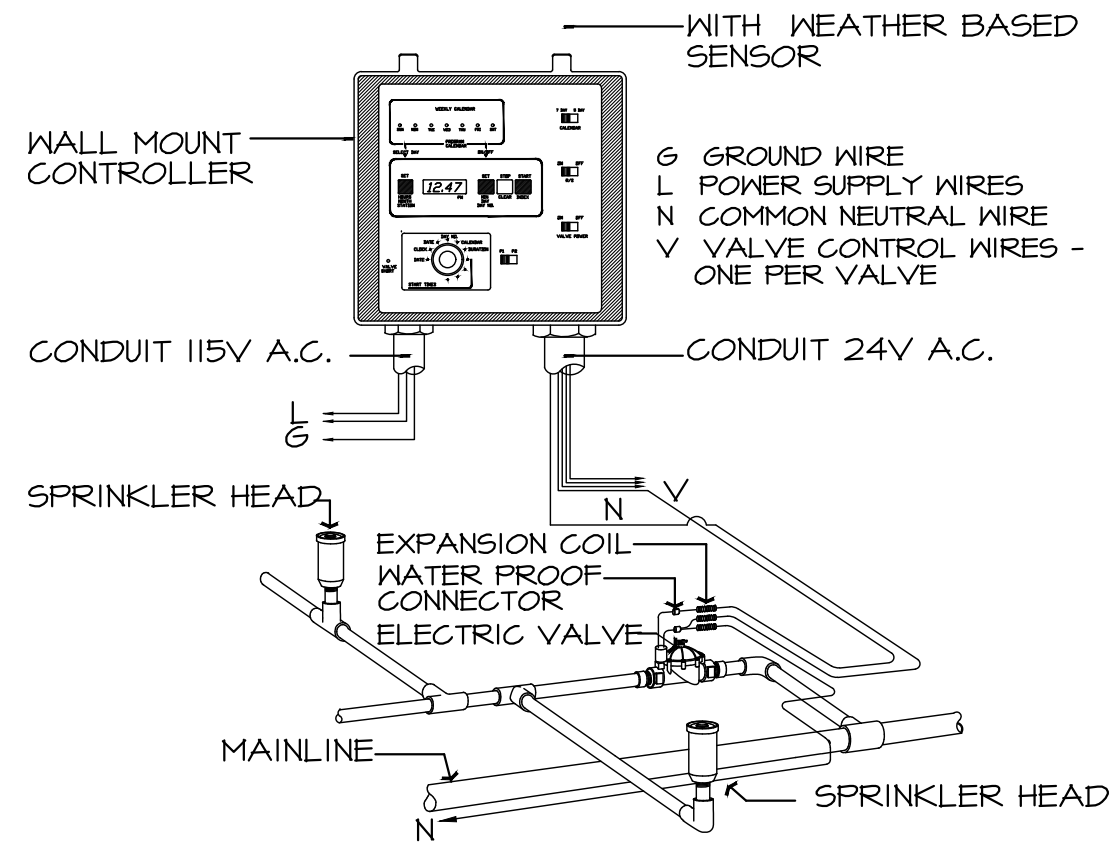
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Sheet Title
HARDSCAPE DETAILS
SUBMITTAL NO. 3



No.	Date	Revision
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Project Mgr.: JMA	Sheet No.:
Drawn By: BJP	
Scale: AS NOTED	L4.1
Date: 03 MAR 18	
File Name: MS-PLDT	of 19 sheets

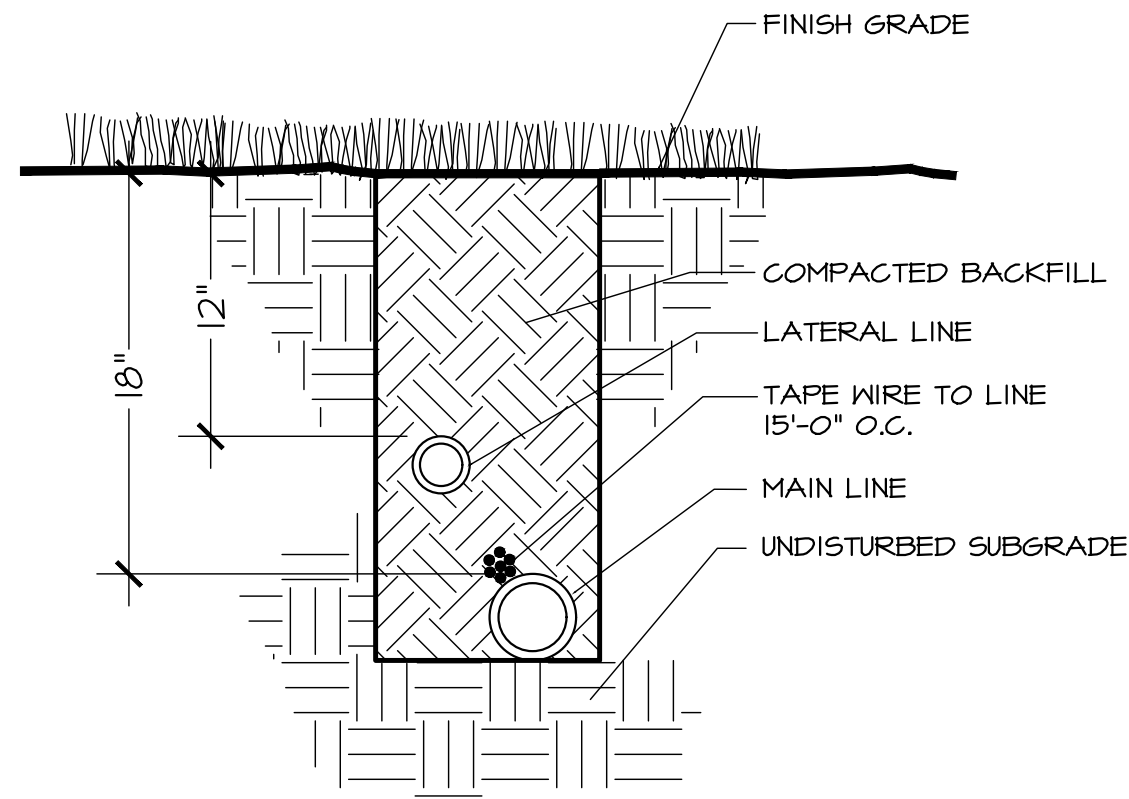


CONTROLLER INSTALLATION

CTRL1

SCALE: N.T.S.

A

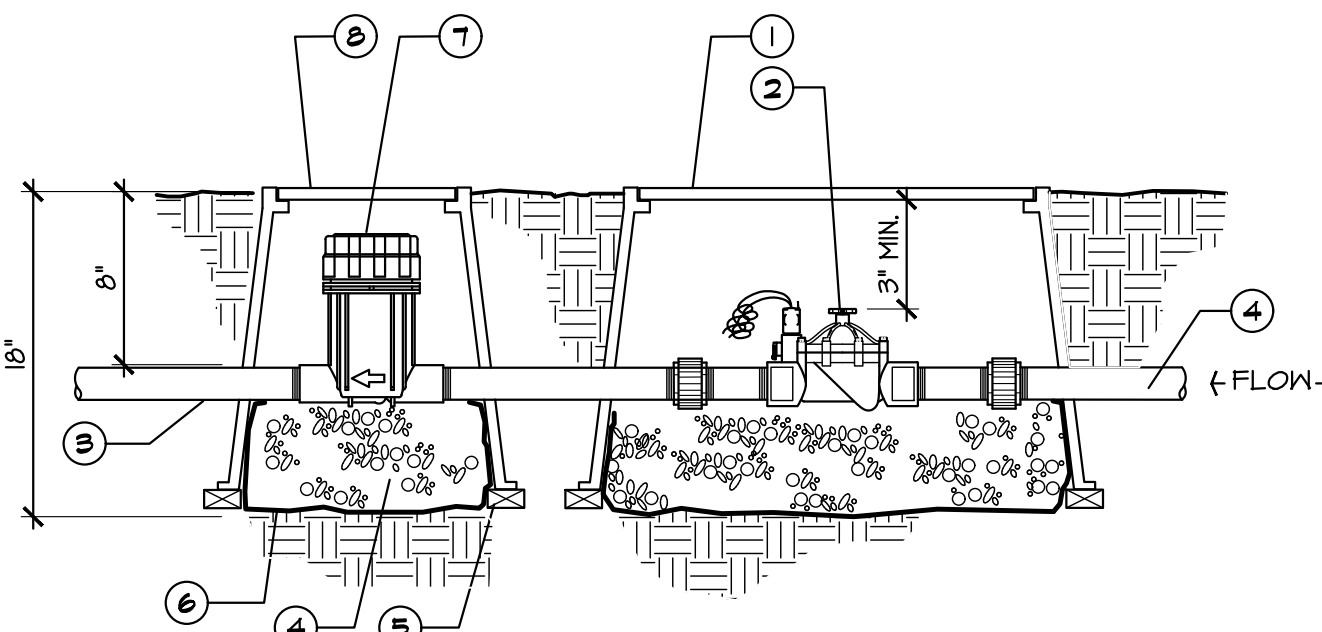


IRRIGATION TRENCH

TRENCH1

SCALE: N.T.S.

B



LEGEND

- 1 EXISTING RECTANGULAR JUMBO VALVE BOX
- 2 EXISTING REMOTE CONTROL VALVE
- 3 PVC LATERAL
- 4 SCH. 40 MAINLINE
- 5 6" PEA GRAVEL SUMP
- 6 STANDARD BRICK
- 7 FILTER FABRIC
- 8 BASKET FILTER
- 9 10" ROUND VALVE BOX

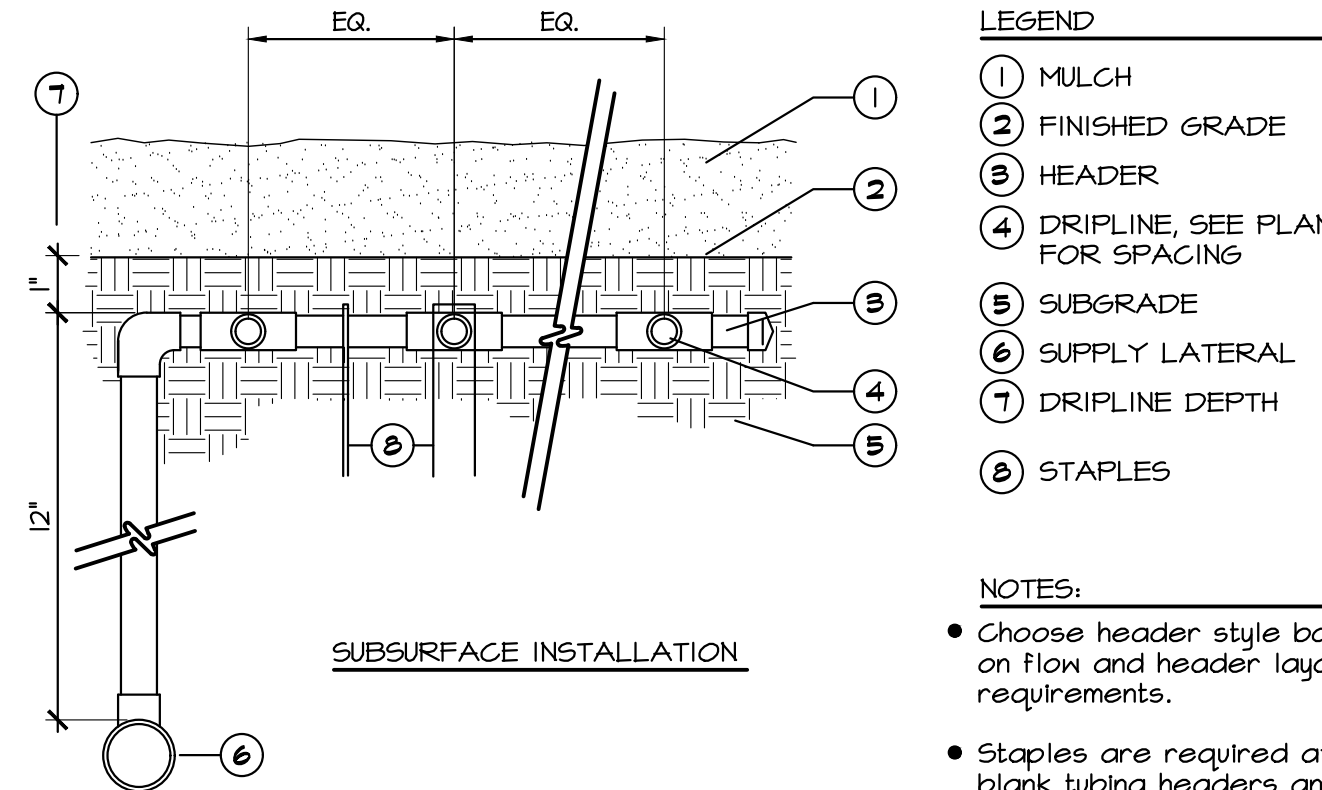
- NOTES:
- Use Teflon Tape on all threaded manifold components
- Line sump with filter fabric and leave exposed over gravel 2" min.

BASKET FILTER

VLV-BSKT-FLTR2

SCALE: N.T.S.

C



LEGEND

- 1 MULCH
- 2 FINISHED GRADE
- 3 HEADER
- 4 DRIPLINE, SEE PLANS FOR SPACING
- 5 SUBGRADE
- 6 SUPPLY LATERAL
- 7 DRIPLINE DEPTH
- 8 STAPLES

NOTES:

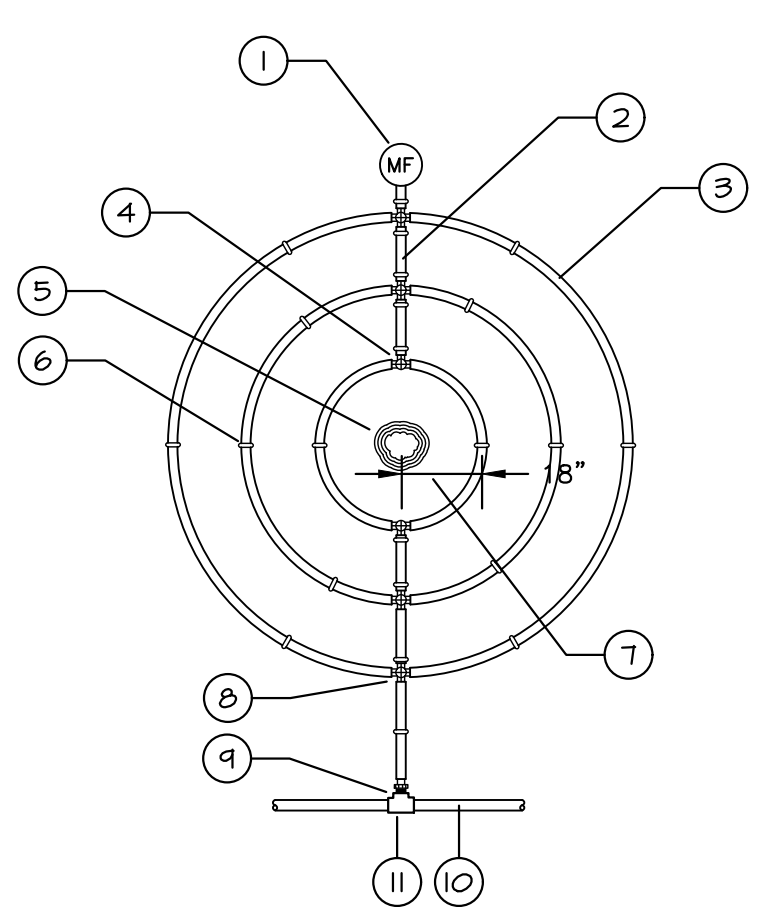
- Choose header style based on flow and header layout requirements.
- Staples are required at all blank tubing headers and dripline, per manufactures specifications and recommendations.
- Staples are not required on PVC headers.

SUBSURFACE HEADER & DRIPLINE INSTALLATION

NTFM-DPTH

SCALE: N.T.S.

D



LEGEND

- 1 MANUAL FLUSH VALVE PLUMBED TO PVC OR POLY MODEL: TL50V
- 2 17mm BLANK DRIPLINE EXHAUST HEADER MODEL: TLCVO
- 3 Techline CV DRIPLINE, FLOW, DRIPPER SPACING, LINE SPACING PER NETAFIM INSTALLATION GUIDELINES
- 4 INSERT TEE (TYP) MODEL: TLTEE
- 5 TREE TRUNK
- 6 6-INCH SOIL STAPLE (TYP) MODEL: TLS6
- 7 Techline CV SPACING PER NETAFIM INSTALLATION GUIDELINES
- 8 INSERT CROSS (TYP) MODEL: TLCROS
- 9 1/2-INCH MALE ADAPTER MODEL: TL05OMA
- 10 SCH. 40 PVC DRIP LATERAL (SIZE PER FLOW)
- 11 SCH. 40 PVC 1/2-INCH FEMALE THREADED TEE

NOTES:

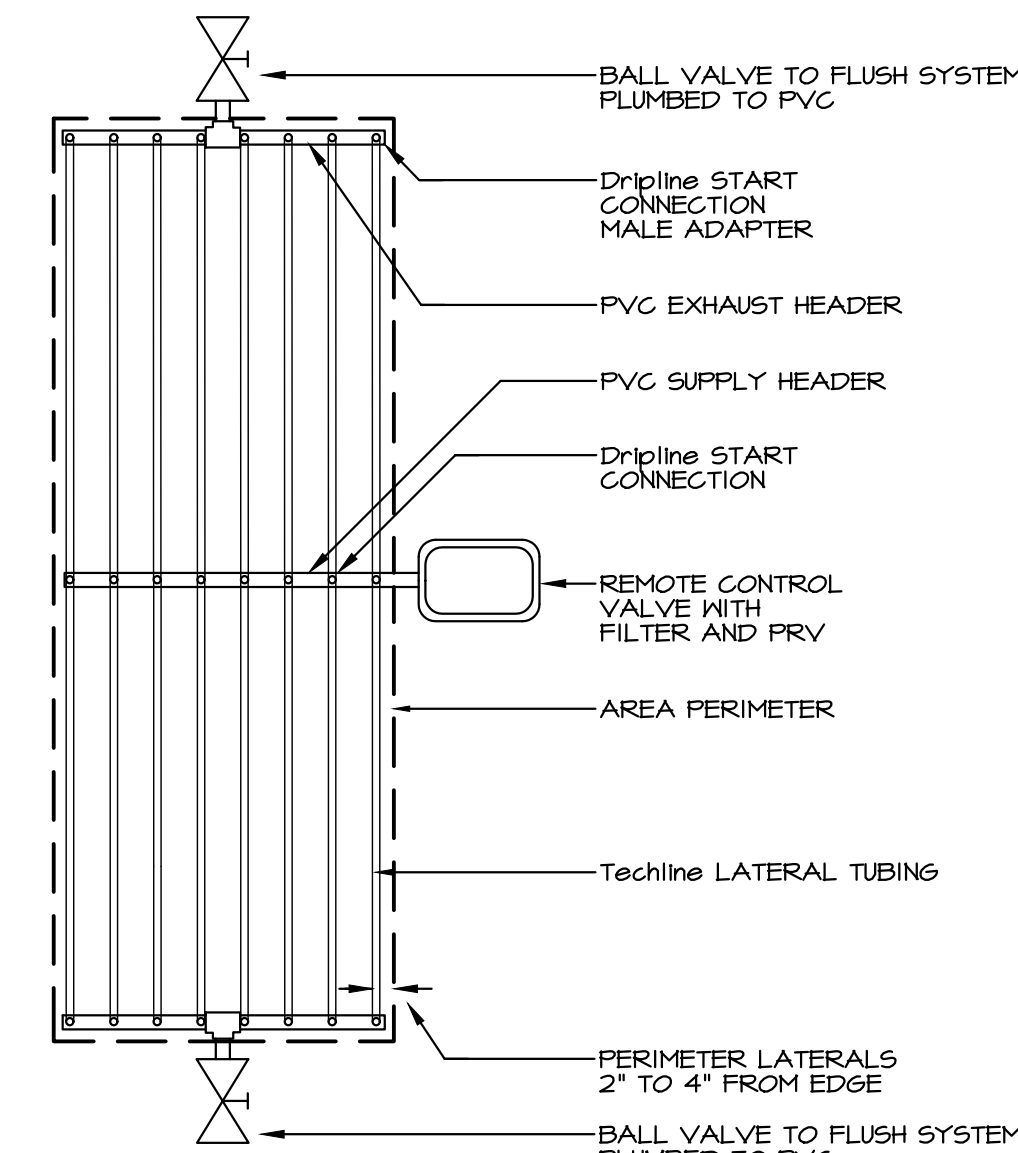
- 1. Install first Techline CV loop 18-inches from center of tree trunk. Install each additional loop per Netafim installation guidelines.
- 2. Install Techline CV dripline on surface to depth specified on plans, staple in place per manufacturer's recommendations, backfill and spread surface treatment as directed by others.
- 3. Install Techline CV in accordance with Netafim installation guidelines.

TREE RING LAYOUT

DRP-LINE-TREE

SCALE: N.T.S.

E

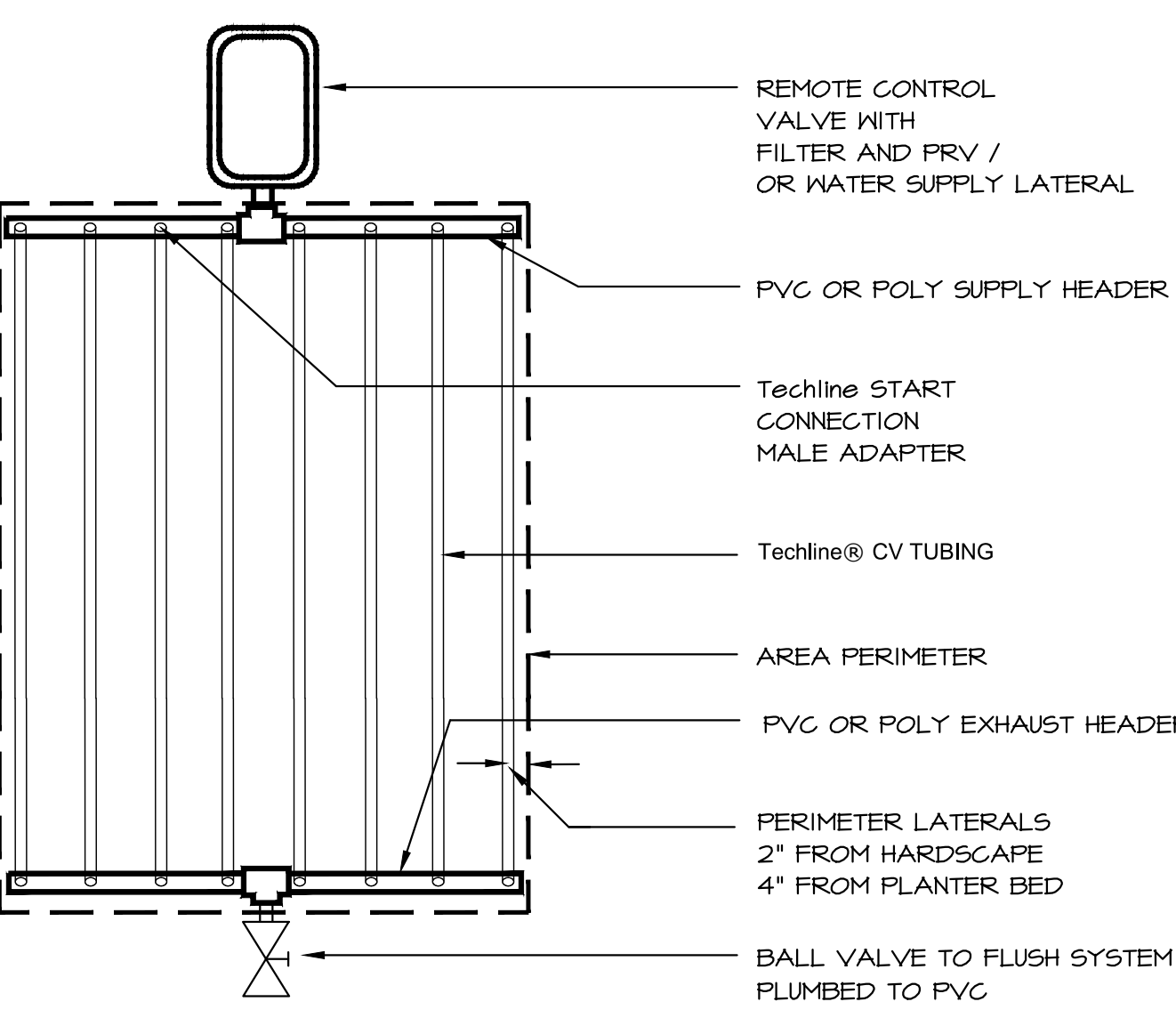


NETAFIM TECHLINE CV LAYOUT

DRP-NTFM

SCALE: N.T.S.

F

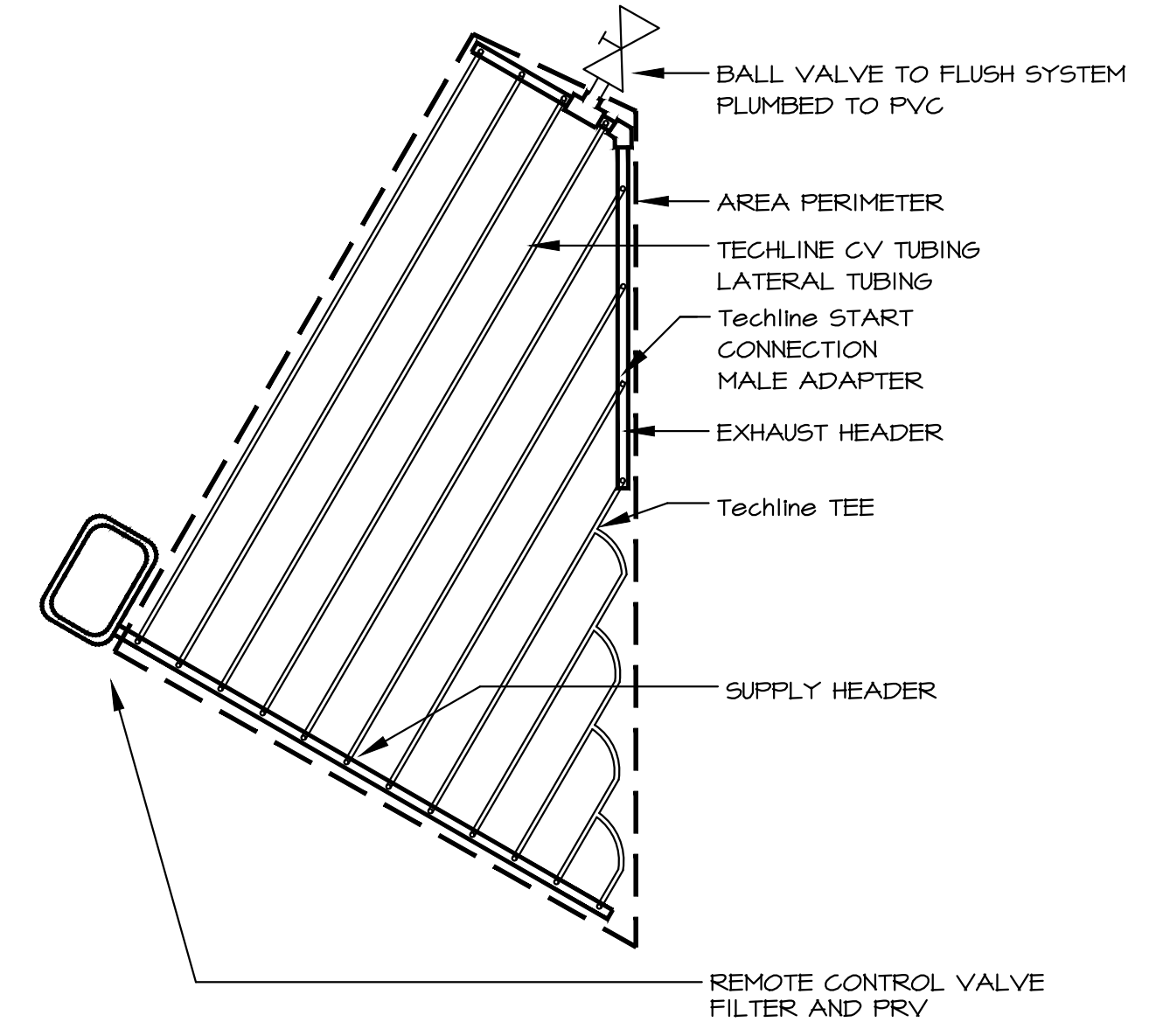


NETAFIM TECHLINE CV END FEED LAYOUT

NTFM-CV

SCALE: N.T.S.

G

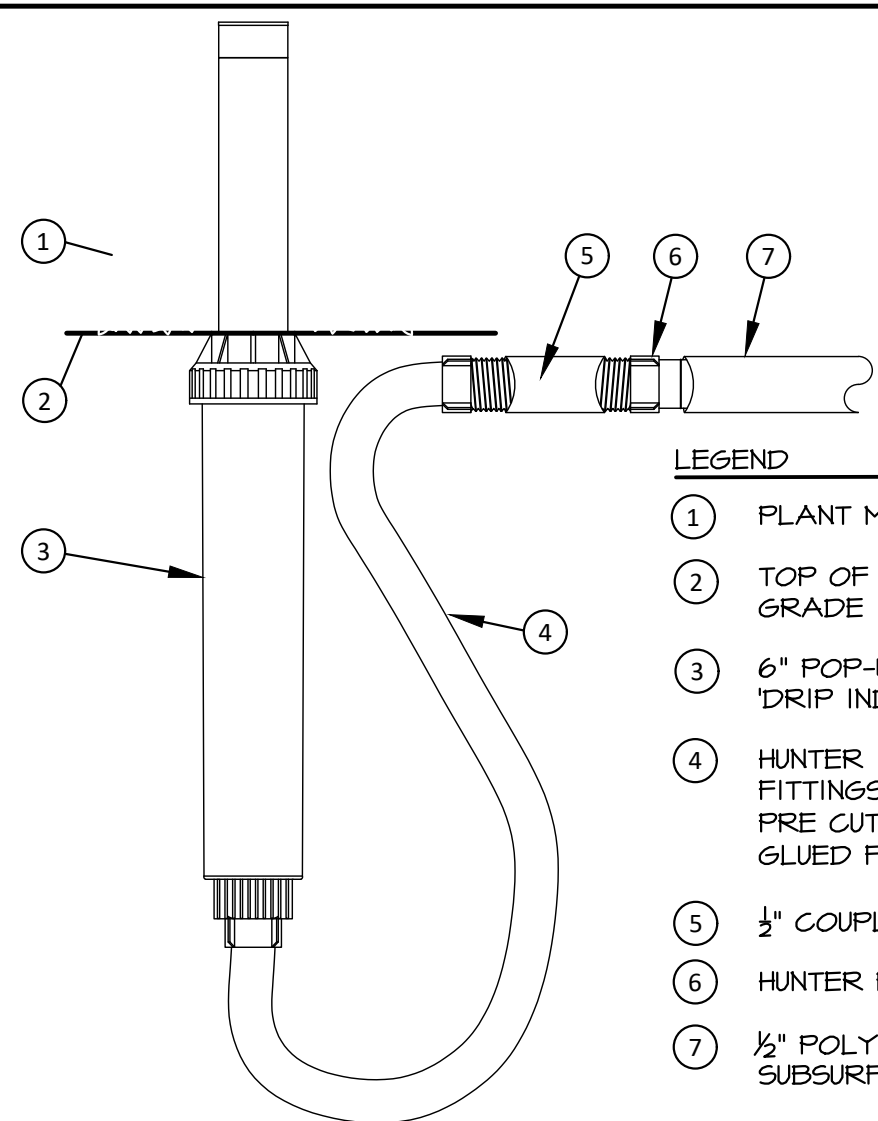


NETAFIM TECHLINE CV IRREGULAR AREAS LAYOUT

NTFM-IRR

SCALE: N.T.S.

H



LEGEND

- 1 PLANT MATERIAL
- 2 TOP OF MULCH (3" LAYER) OR FINISH GRADE
- 3 6" POP-UP HUNTER ECO-INDICATOR 'DRIP INDICATOR'
- 4 HUNTER IH-RISER-24 TUBING WITH FITTINGS (COMES FROM HUNTER AT PRE CUT 24" LENGTH(S) WITH PRE GLUED FITTINGS)
- 5 1/2" COUPLING TXT
- 6 HUNTER PLD-050 FITTING
- 7 1/2" POLYETHYLENE TUBING/ SUBSURFACE DRIP TUBE

NOTE:

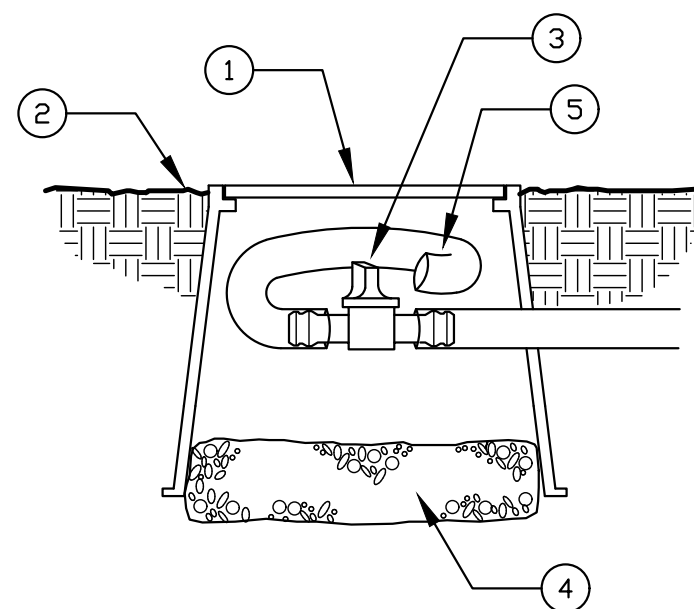
- 1. INSTALL INDICATOR AT THE END OF EACH DRIP ZONE SYSTEM OR AT EACH END OF A CENTER FEED SYSTEM.
- 2. INSTALL INDICATOR MINIMUM 24" FROM PLANT MATERIAL.

6" POP-UP DRIP INDICATOR

DRP-IND

SCALE: N.T.S.

I



LEGEND

- 1 6" ROUND VALVE BOX
- 2 FINISH GRADE
- 3 MANUAL LINE FLUSHING VALVE
- 4 PEA GRAVEL SUMP
- 5 18" OF BLANK DRIP TUBING

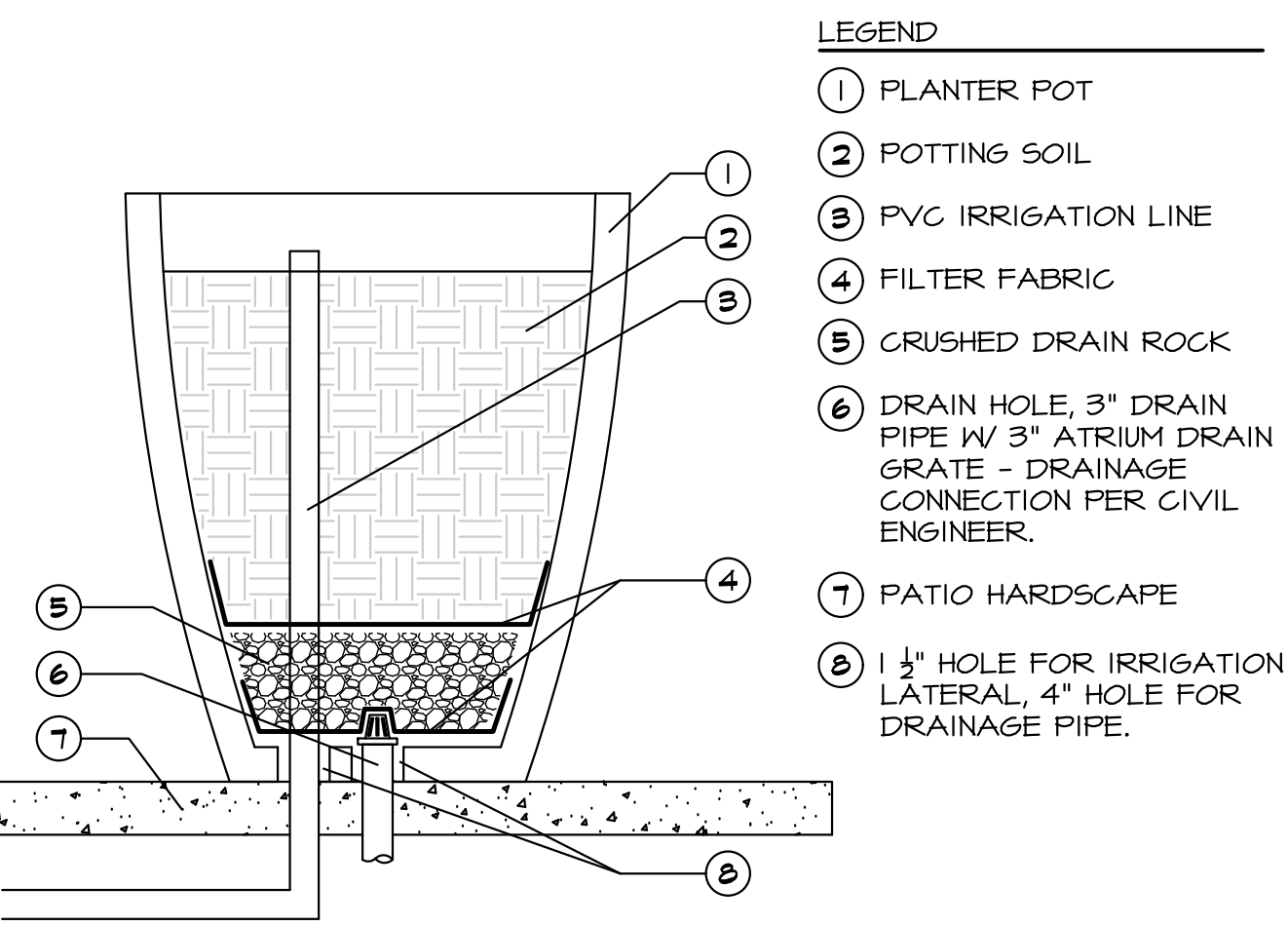
- NOTES:
- Use Teflon Tape on all threaded manifold components
- Line sump with filter fabric and leave exposed over gravel 2" min.

FLUSH VALVE

VLV-FLSH-MAN

SCALE: N.T.S.

J



LEGEND

- 1 PLANTER POT
- 2 POTTING SOIL
- 3 PVC IRRIGATION LINE
- 4 FILTER FABRIC
- 5 CRUSHED DRAIN ROCK
- 6 DRAIN HOLE, 3" DRAIN PIPE W/ 3" ATRIUM DRAIN GRATE - DRAINAGE CONNECTION PER CIVIL ENGINEER.
- 7 PATIO HARDSCAPE
- 8 1 1/2" HOLE FOR IRRIGATION LATERAL, 4" HOLE FOR DRAINAGE PIPE.

NOTE: EPOXY DRAIN HOLE AND IRRIGATION LINE HOLE TO PREVENT DRAINAGE ONTO PATIO.

POTTERY BUBBLER

CTRL-ET

SCALE: N.T.S.

K

Sleeving Schedule

ALL PIPE SLEEVES TO BE SCHEDULE 40 PVC. ALL PLASTIC LINES SHALL BE INSTALLED IN SLEEVES UNDER PAVED AREAS. SLEEVES SHALL EXTEND AT LEAST 12 INCHES BEYOND THE EDGES OF THE PAVEMENT. SIZE OF SLEEVES SHALL BE AS FOLLOWS:

PIPE OR WIRE SIZE	REQUIRED SLEEVE
3/4", 1" PIPE	1-2" PVC SLEEVE
1-1/4", 1-1/2", 2", 2-1/2" PIPE	1-4" PVC SLEEVE
3", 4" PIPE	1-6" PVC SLEEVE
6" PIPE	1-8" PVC SLEEVE
1-25 CONTROL WIRES	1-2" PVC SLEEVE
26-55 CONTROL WIRES	2-2" PVC SLEEVES

Pipe Sizing Schedule

PIPE SIZE	CL 200 (GPM)	CL 315 (GPM)	SCH 40 (GPM)
3/4"	6-10	7-8	5-8
1 INCH	11-16	9-14	9-13
1-1/4"	17-26	15-24	14-23
1-1/2"	27-35	25-33	24-32
2 INCHES	36-55	34-49	33-53
2-1/2"	56-83	50-74	54-74
3 INCHES	84-125	75-109	75-116
4 INCHES	126-200	110-180	117-200
6 INCHES	200-425	190-375	200-450

- 1. ALL LATERAL PIPE LARGER THAN 1/2" TO BE MINIMUM CLASS 200.
- 2. ALL MAINLINE PIPE 3/4" - 1 1/2" SHALL BE SCH 40.
- 3. ALL MAINLINE PIPE 2" - 4" SHALL BE CLASS 315.
- 4. ALL MAINLINE PIPE 6" AND GREATER SHALL BE CLASS 200.

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IRRIGATION DETAILS SUBMITTAL NO. 3



No.	Date	Revision
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▲		
▲		
▲		

Project Mgr.: JMA

Sheet No.:

Drawn By: SPG

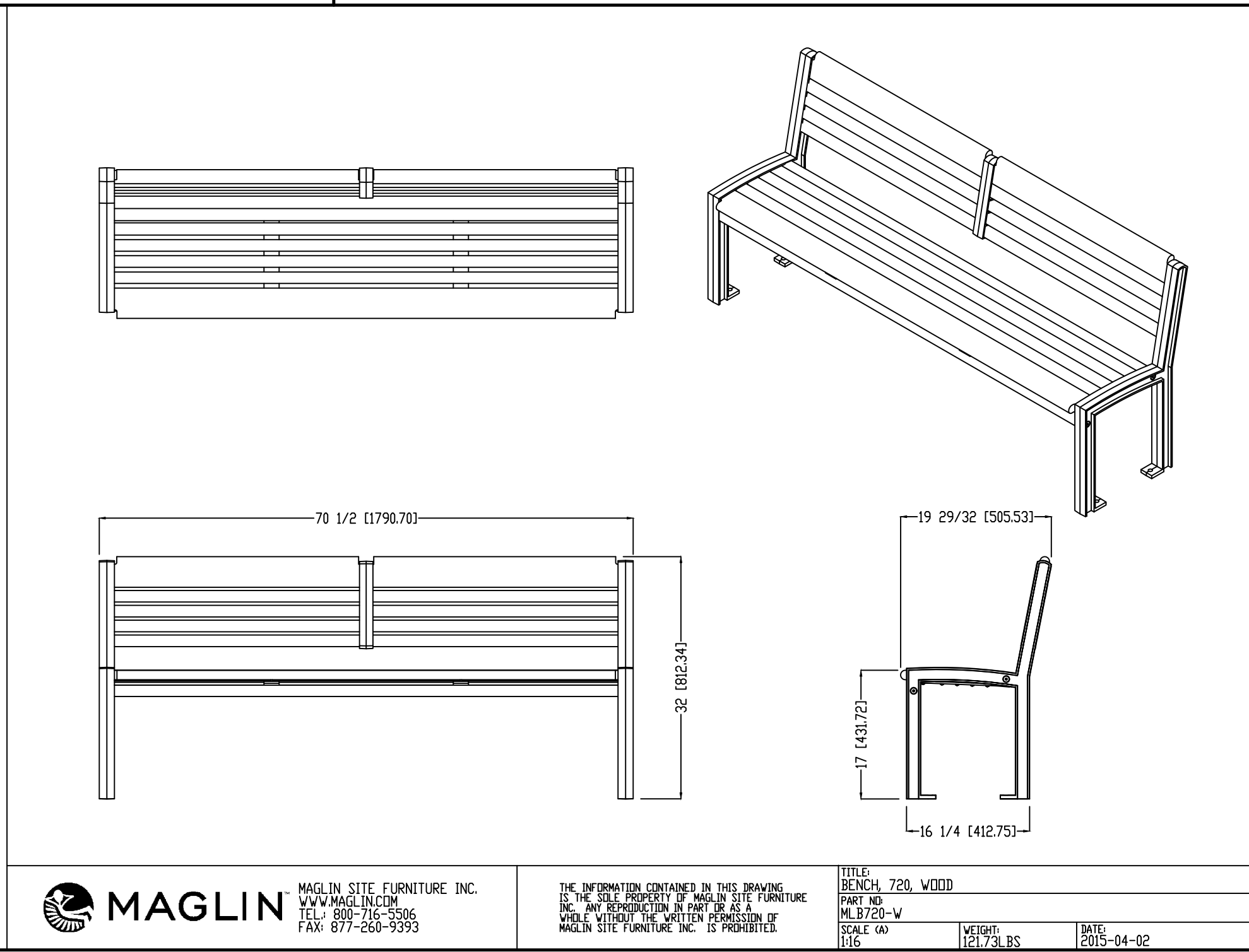
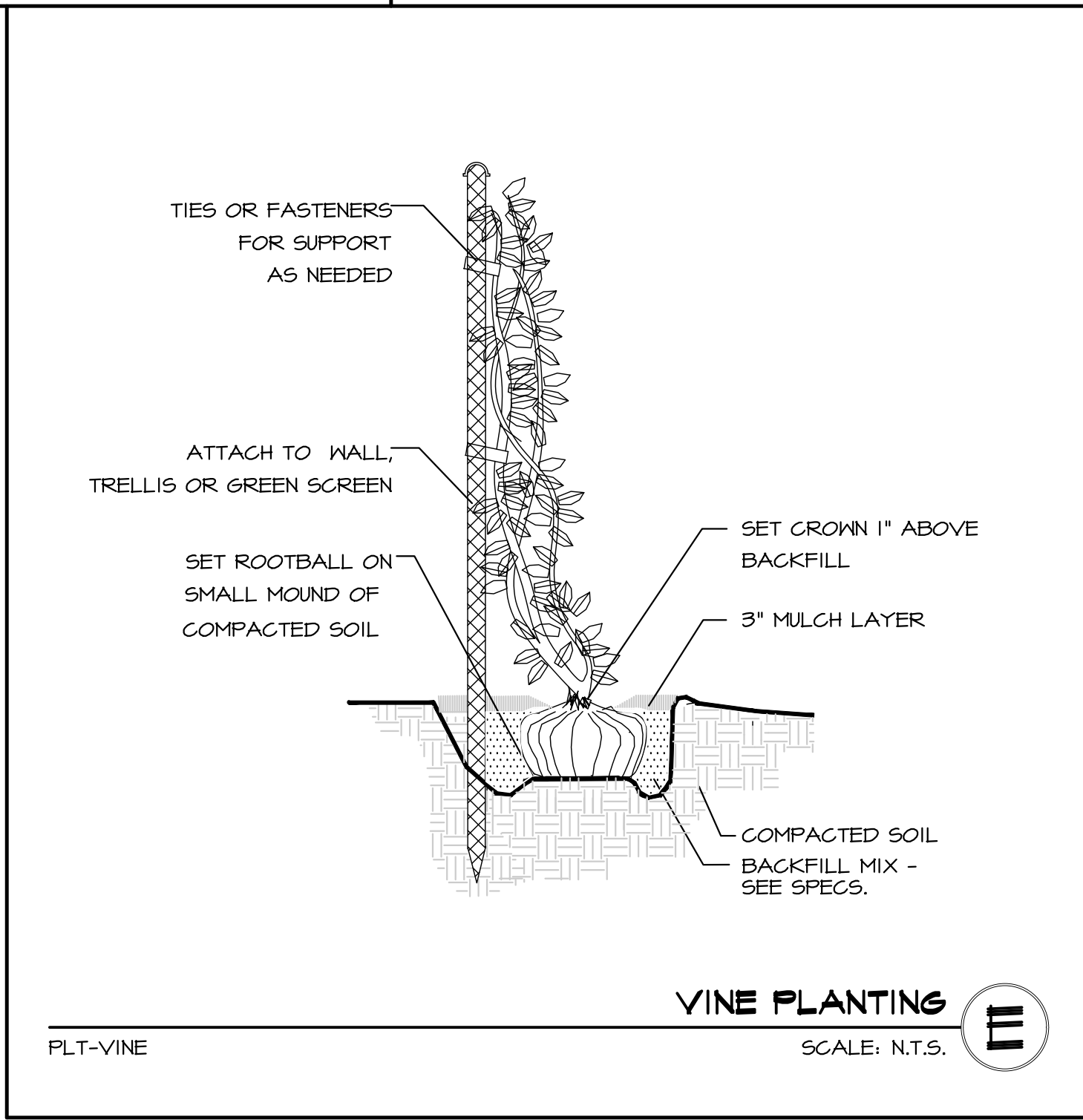
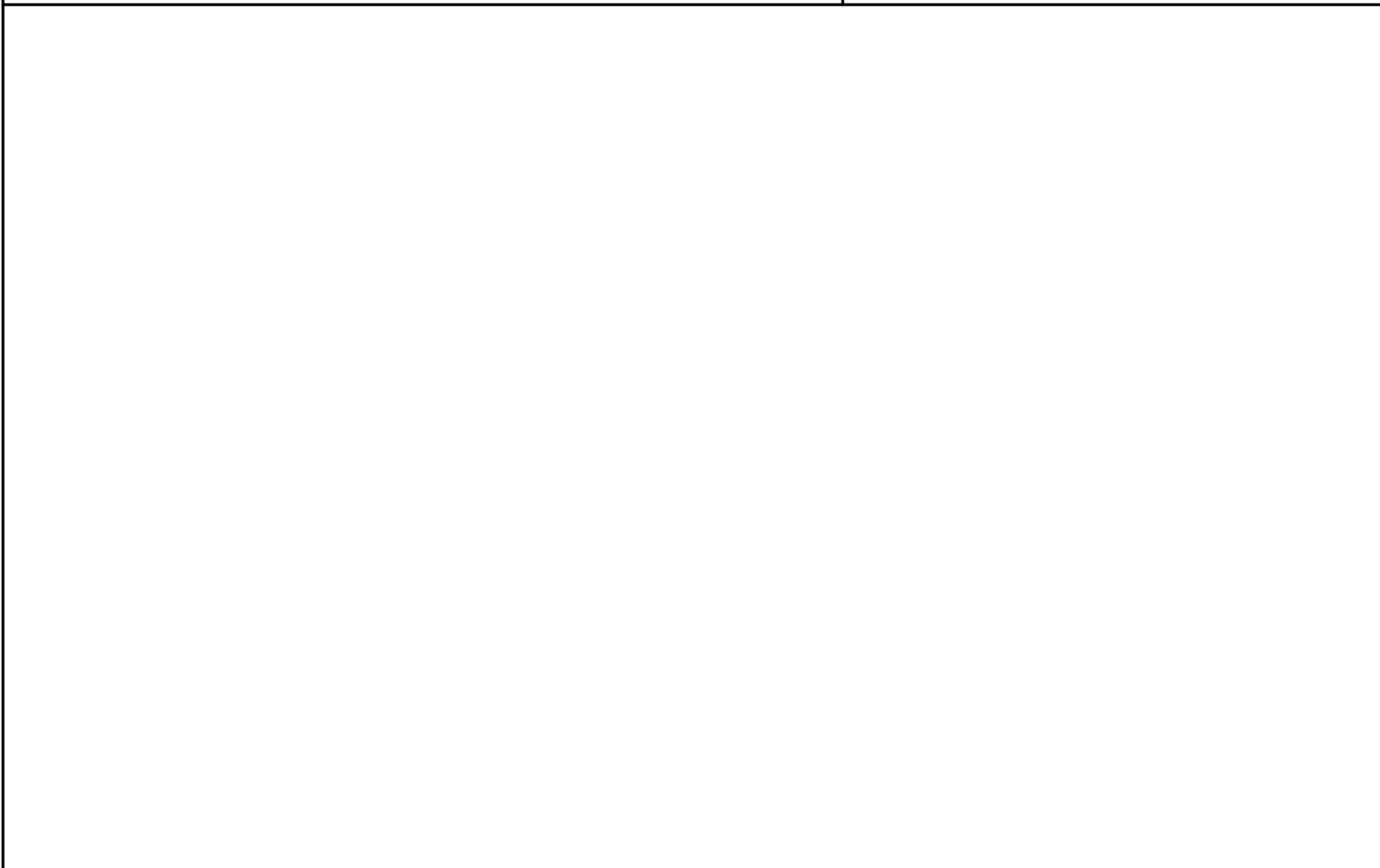
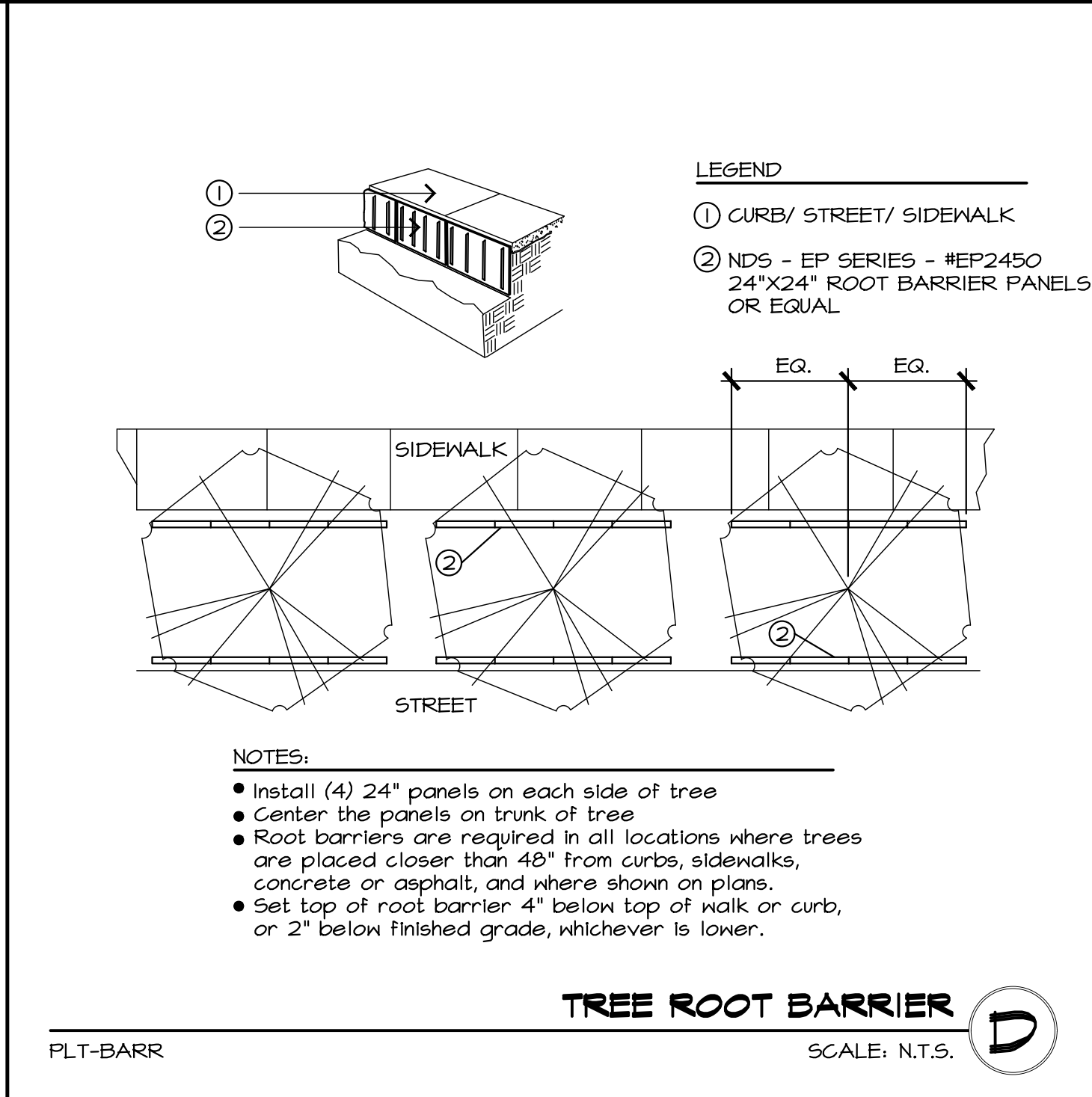
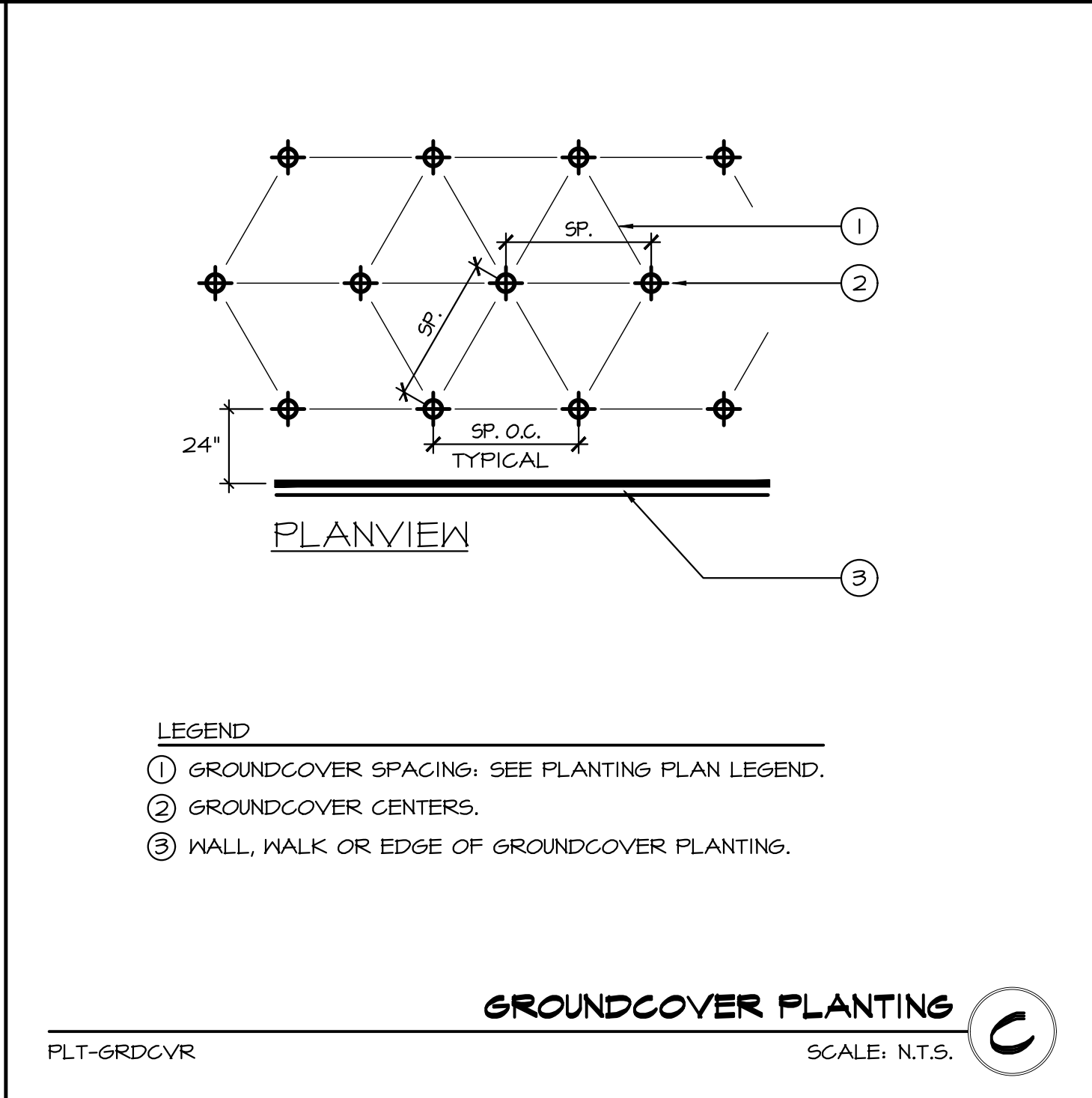
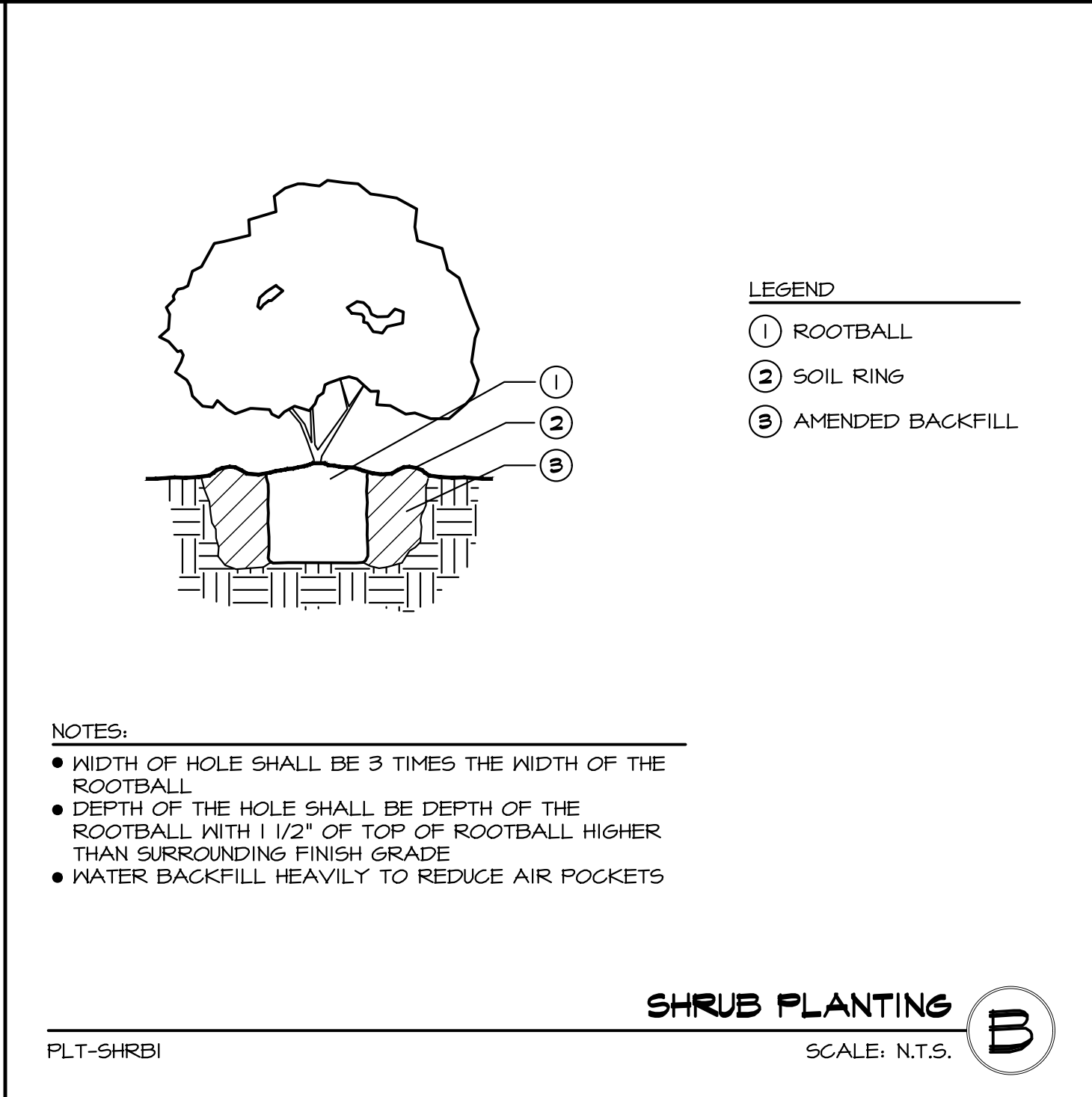
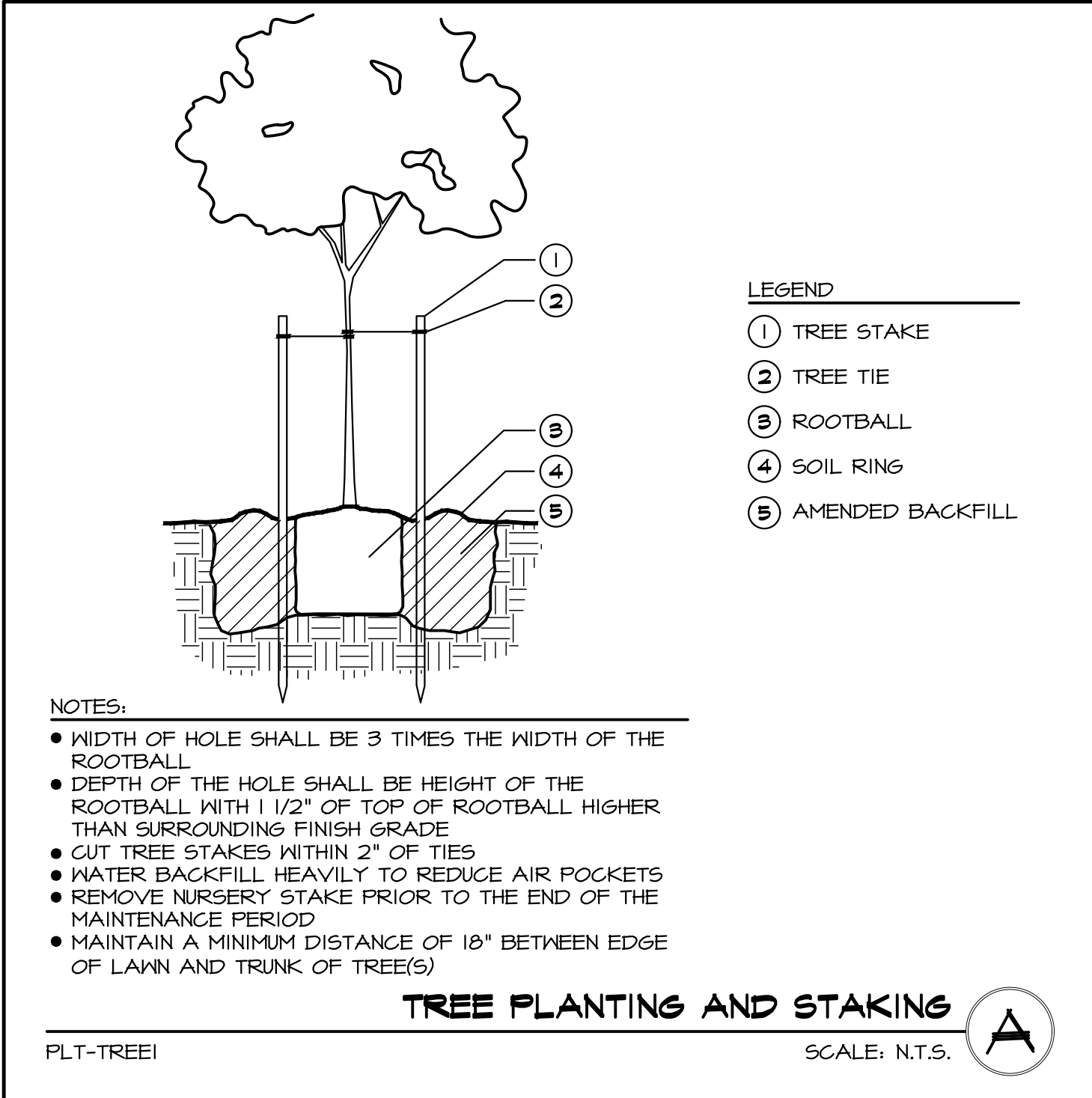
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Date: 03 MAR 18

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of 19 sheets

L4.2



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Sheet Title
**PLANTING DETAILS
SUBMITTAL NO. 3**

Seal

No. Date Revision
▲
▲
▲
▲

Project Mgr.: JMA Sheet No.:
Drawn By: JMA
Scale: **L4.3**
Date: 03 MAR 18
File Name: MS-PLDT of 19 sheets



View looking Southwest to Food Hall



View looking Northwest to Market



JOHNSON
LYMAN
ARCHITECTS

1375 Locust Street, #202, Walnut Creek, CA 94596
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BROWNMAN DEVELOPMENT COMPANY, INC.

McClellan Square

Renderings

P1
2.4.19



View looking Northwest to Shops



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McClellan Square

Renderings

P2
2.4.19



View looking Northwest to Pad A & Pad B



View looking Southwest to Pad A & Pad B



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Renderings

P3
2.4.19



View to CVS



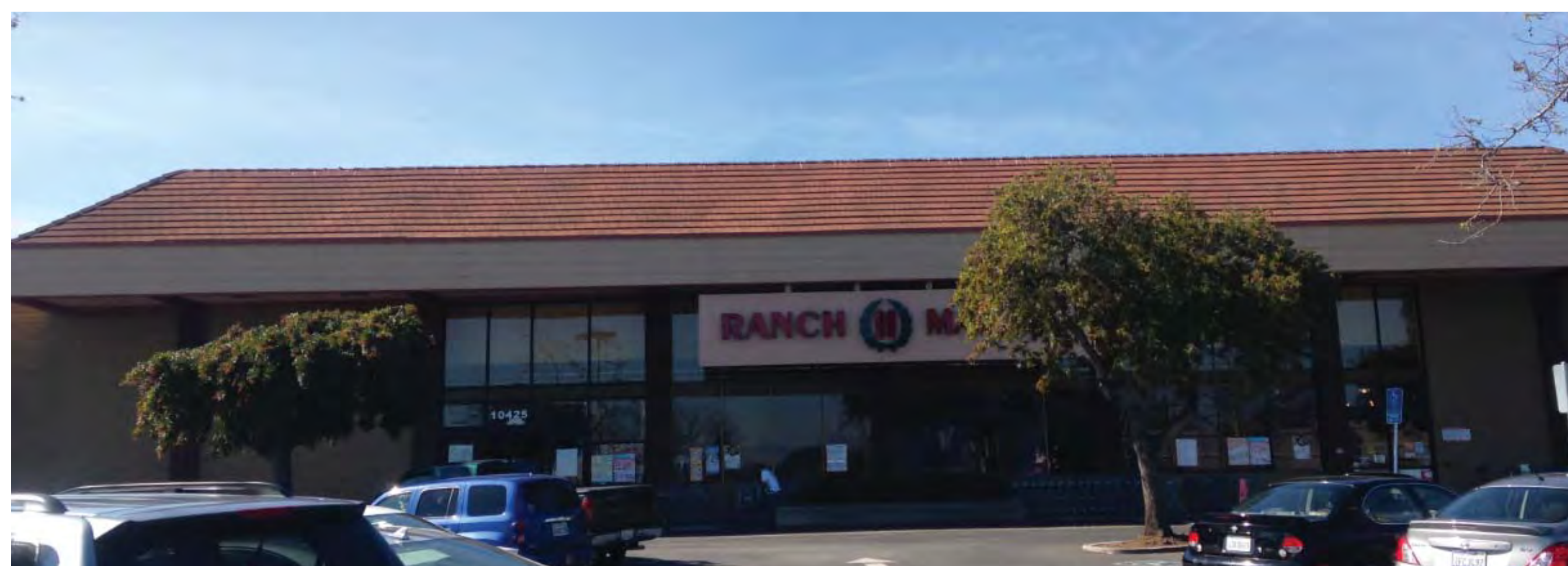
View to Shops



View to Future Food Hall



View to Shops



View to 99 Ranch



View to Shops



View to Shops



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BROWNMAN DEVELOPMENT COMPANY, INC.

McClellan Square

Existing Photos

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2.4.19