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ABBREVIATIONS			
ADI	ADJUSTABLE	I.D.	INSIDE DIAMETER
ALUM	ALUMINUM	INSUL	INSULATION
L	ANGLE	MECH	MECHANICAL
APPROX	APROXIMATE	MET	METAL
A.F.F.	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
BD	BOARD	MIN	MINIMUM
BLDG	BUILDING	MTD	MOUNTED
CAB.	CABINET	(N)	NEW
CL	CENTER LINE	NIC	NOT IN CONTRACT
CLG	CEILING	NO./#	NUMBER
CLR	CLEAR	NTS	NOT TO SCALE
COL	COLUMN	O.C.	ON CENTER
CONC	CONCRETE	O.D.	OUTSIDE DIAMETER
CONST	CONSTRUCTION	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
CONT	CONTINUOUS		
CSK	COUNTERSINK	RAD	RADIUS
CW	COLD WATER	REC	RECESSED
		RECT	RECTANGLE
DET	DETAIL	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCED/ING
DIM	DIMENSION	REQ	REQUIRED
DWG	DRAWING		
		SC	SOLID CORE
EA	EACH	SCHED	SCHEDULE
ELEV	ELEVATION	SHT	SHEET
ELEC	ELECTRICAL	SIM	SIMILAR
EQ	EQUAL	SPECS	SPECIFICATIONS
EXH	EXHAUST	SQ	SQUARE
(E)	EXISTING	STD	STANDARD
EXT	EXTERIOR	STL	STEEL
EXP	EXPANSION	ST.STL.or SS	STAINLESS STEEL
		SUSP	SUSPENDED
FIN	FINISH	THK	THICK
FLR	FLOOR	T.O.S.	TOP OF SLAB
FT	FEET	TYP	TYPICAL
FIX	FIXTURE		
		V.I.F.	VERIFY IN FIELD
GA	GAUGE	VOL	VOLUME
GALV	GALVANIZED	W/	WITH
GL	GLASS	WD	WOOD
GYP	GYPSUM		

GENERAL NOTES

FIRE SPRINKLERS NOTES:

A) THE CITY OF CUPERTINO REQUIRES FIRE SPRINKLERS THROUGHOUT ALL NEW AND EXISTING BUILDINGS AND STRUCTURES SHALL BE PROVIDED IN THE LOCATIONS DESCRIBED IN THIS SECTION OR IN SECTION 903.2.1(THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. BY CMC. FIRE WALLS AND FIRE BARRIERS USED TO SEPARATE BUILDING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND SHALL BE WITHOUT OPENING OR PENETRATIONS.

B) THE AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH CFC, CMC.

C) FAST RESPONSE FIRE SPRINKLER HEADS SHALL BE INSTALLED IN GARAGE AND WORKSHOP AREAS.

D) THE SUPPRESSION CONTRACTOR SHALL PROVIDE TWO COPIES OF THE DRAWINGS AND CALCULATIONS TO THE FIRE DISTRICT.

E) THE DISTRICT SHALL ISSUE A PERMIT PRIOR TO INSTALLATION OF THE AUTOMATIC SPRINKLER SYSTEM.

WATER SUPPLY REQUIREMENT:

POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. 2013 CFC AND HEALTH AND SAFETY CODE .

TIMING OF INSTALLATION:

WHEN FIRE APPARATUS ACCESS ROAD OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. TEMPORARY STREET SIGN SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES, CFC.

PREMISES IDENTIFICATION:

APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. CFC.

CONSTRUCTION SITE FIRE SAFETY:

ALL CONSTRUCTION SITES MUST COMPLY WITH CFC. CHAPTER 33 AND STANDARD DETAIL AND SPECIFICATION SI-7.

PLANTING AND IRRIGATION SYSTEMS:

BUBBLER IRRIGATION WILL BE USED FOR TREES AND SHRUBS POP-UP SPRINKLER HEADS WILL BE USED TO IRRIGATE THE TURF AREAS. CONCEALED QUICK COUPLER VALVES AND BACK FLOW PREVENTERS COMPLETE THE SYSTEM.

LANDSCAPING WILL BE PRIVATELY MAINTAINED. ALL IRRIGATION PIPING SHALL BE PVC SCHEDULE 40, INSTALLED AT A DEPTH OF 18" BELOW GRADE.

GREEN BUILDING CODE:

CONTRACTOR TO COMPLY WITH CALIFORNIA BUILDING CODE AND REGULATIONS.

ADDRESS IDENTIFICATION:

NEW AND EXISTING BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR BUILDING IDENTIFICATION PLACED IN , A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATION TO FACILITATE EMERGENCY RESPONSE. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. ADDRESS NUMBERS SHALL BE MAINTAINED . CFC SEC. 505.1.

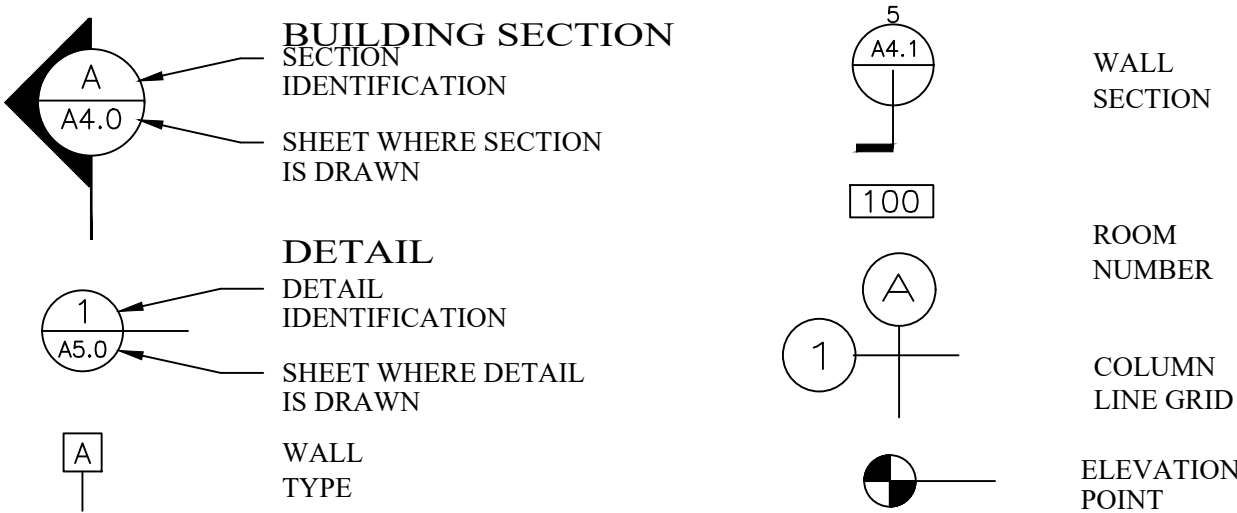
HAZMAT REVIEW:

A SEPARATE REVIEW BY HAZMAT DIVISION IS REQUIRED. DETAILED PLANS FOR THE PROPOSED SYSTEM MUST BE SUBMITTED SEPARATELY AND DIRECTLY TO THE OFFICE LOCATED AT 14700 WINCHESTER BLVD. LOS GATOS, CA. ALL PERMITS REQUIRED BY HAZMAT DIVISION MU ST BE OBTAINED PRIOR TO COMMENCING WORK, OR AS INDICATED BY THE HAZMAT REVIEW.

RESTRICTIONS FOR SALES OF ALCOHOL:

- NO BEER OR WINE SHALL BE DISPLAYED WITHIN FIVE FEET OF THE CASH REGISTER OR THE FRONT DOOR UNLESS IT IS IN A PERMANENTLY AFFIXED COOLER.
- NO ADVERTISEMENT OF ALCOHOLIC BEVERAGES SHALL BE DISPLAYED AT MOTOR FUEL ISLANDS.
- NO SALE OF ALCOHOLIC BEVERAGES SHALL BE MADE FROM A DRIVE-IN WINDOW.
- NO DISPLAY OR SALE OF BEER OR WINE SHALL BE MADE FROM AN ICE TUB.
- NO BEER OR WINE ADVERTISING SHALL BE LOCATED ON MOTOR FUEL ISLANDS AND NO SELF-ILLUMINATED FOR BEER OR WINE SHALL BE LOCATED ON BUILDINGS OR WINDOWS.
- EMPLOYEES ON DUTY BETWEEN THE HOURS OF TEN P.M. AND TWO A.M. WHO SELL BEER OR WINE SHALL BE AT LEAST TWENTY-ONE YEARS OF AGE.

SYMBOLS



SCOPE OF WORK

The project consists of a demolition of existing building, and build a new 2,487 sq. ft. of metal stud construction with cement plaster finish convenience store. The new construction and new trash enclosure are fully sprinklered according to the California Fire code (CFC) and Building code (CBC). The existing gas pumps will be slightly moved from west to the east in order to create more space for cars. Landscaping consists of turf and ground covers of varying heights with medium height shrubs, Trees, in clusters of 3 or 4, supply visual vertical screening at wood fence corners per landscaping drawings. Colored river rock is placed in certain areas to introduce a low maintenance item, providing a variety in materials at selected accent areas. This building will construct based on the California Green Building code. The hours of operation for this location will 24 hours and the number of occupancy will be 10.

SHEET INDEX

ARCHITECTURAL

A.0.0	COVER SHEET
A.1.0	EXISTING/ DEMO. SITE PLAN PROPOSED SITE PLAN
A.2.0	FUTURE CONCEPTUAL INTERSECTION LAYOUT
A.3.0	PROPOSED FLOOR PLAN, ENLARGED TOILET PLAN, DETAILS
A.4.0	TRASH ENCLOSURE, CANOPY ELEVATIONS
A.5.0	FLOOR AREA DIAGRAM
A.6.0	ROOF PLAN, DETAILS
A.7.0	BUILDING ELEVATIONS, DOOR & WINDOW ELEVATIONS
A.8.0	BUILDING SECTIONS, TRASH ENCLOSURE SECTION
A.9.0	LINE OF SITE
A.10.0	COLOR AND MATERIAL
A.11.0	RENDERING- 3D

LANDSCAPING

L-1.0	LANDSCAPE PLAN
L-2.0	FUTURE CONCEPTUAL SITE PLAN

CIVIL

T.1	SURVEY
C-1	COVER SHEET
C-2	GRADING & DRAINAGE PLAN
C-3	DETAILS
C-4	STORM WATER CONTROL PLAN/ MEASURES
C-5	STORM WATER CONTROL MEASURES/ DETAILS
C-6	EROSION CONTROL PLAN

PROJECT NAME

76 Gas Stations
10490 S. De Anza Blvd.
CUPERTINO, CA

PROJECT BUILDING DATA CONSULTANTS

BUILDING DATA:

A.P.N.:	369-39-041
ADDRESS:	10490 S. De Anza Blvd. Cupertino, CA 95014
LAND USE:	Commercial
EXISTING ZONING:	P (CG)
EXISTING USE:	Gas Station
EXISTING FOOT PRINT	1,221 Sq. ft.
LOT SIZE: GROSS Sq. ft.	16,097 Sq.ft.
OCCUPANCY GROUP	M
TYPE OF CONSTRUCTION	V-B
STORIES	1
SPRINKLER	Full
FENCE	New wood fence
BUILDING COVERAGE	2,487 Sq. ft. 18 %
LANDSCAPE COVERAGE	2,963 Sq. ft. 22 %
TRASH ENCLOSURE	235 Sq.ft. 2 %
PAVING COVERAGE:	7,489 Sq. ft. 58%

FLOOR AREA RATIO
(BEFORE LAND DEDICATION) 2,487 Sq.ft./ 16,097 Sq. ft. = 15% < 25% Max.

ACTUAL LAND : BEFORE LAND DEDICATION	16,097 Sq. ft.
ACTUAL LAND : AFTER LAND DEDICATION	14,103 Sq. ft.

TOTAL LAND DEDICATION 16,097 Sq. ft. - 14103 Sq.ft. = 1994 Sq.ft.

FLOOR AREA RATIO
(AFTER LAND DEDICATION) 2,487 Sq.ft./ 14,103 Sq. ft. = 18% < 25% Max.

TRASH ENCLOSURE 235 Sq.ft./ 13,174 Sq. ft. = 2% (Sprinklered)
Type I Construction

PARKING Required : 7 Provided per City site study report
Provided: 7 + 1 H.C.

APPLICABLE CODES:

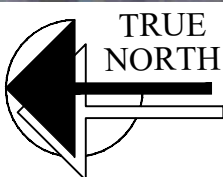
- CALIFORNIA BUILDING CODE, 2016
- CALIFORNIA PLUMBING CODE, 2016
- CALIFORNIA FIRE CODE, 2016
- CALIFORNIA ELECTRICAL CODE, 2016
- CALIFORNIA MECHANICAL CODE, 2016
- CALIFORNIA ENERGY CODE, 2016
- CALIFORNIA GREEN BUILDING CODES
- CITY OF CUPERTINO CODES AND ORDINANCES, INCLUDING, BUT NOT LIMITED TO, FIRE AND ZONING.

PROJECT LOCATION



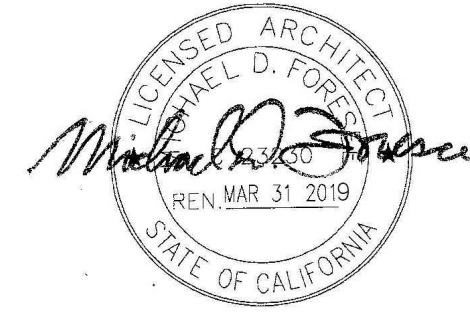
VICINITY MAP

N.T.S.



A.G.P.

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1296 Virginia, Ave.
Campbell, CA 95008
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E-Mail: agp@pacbell.net



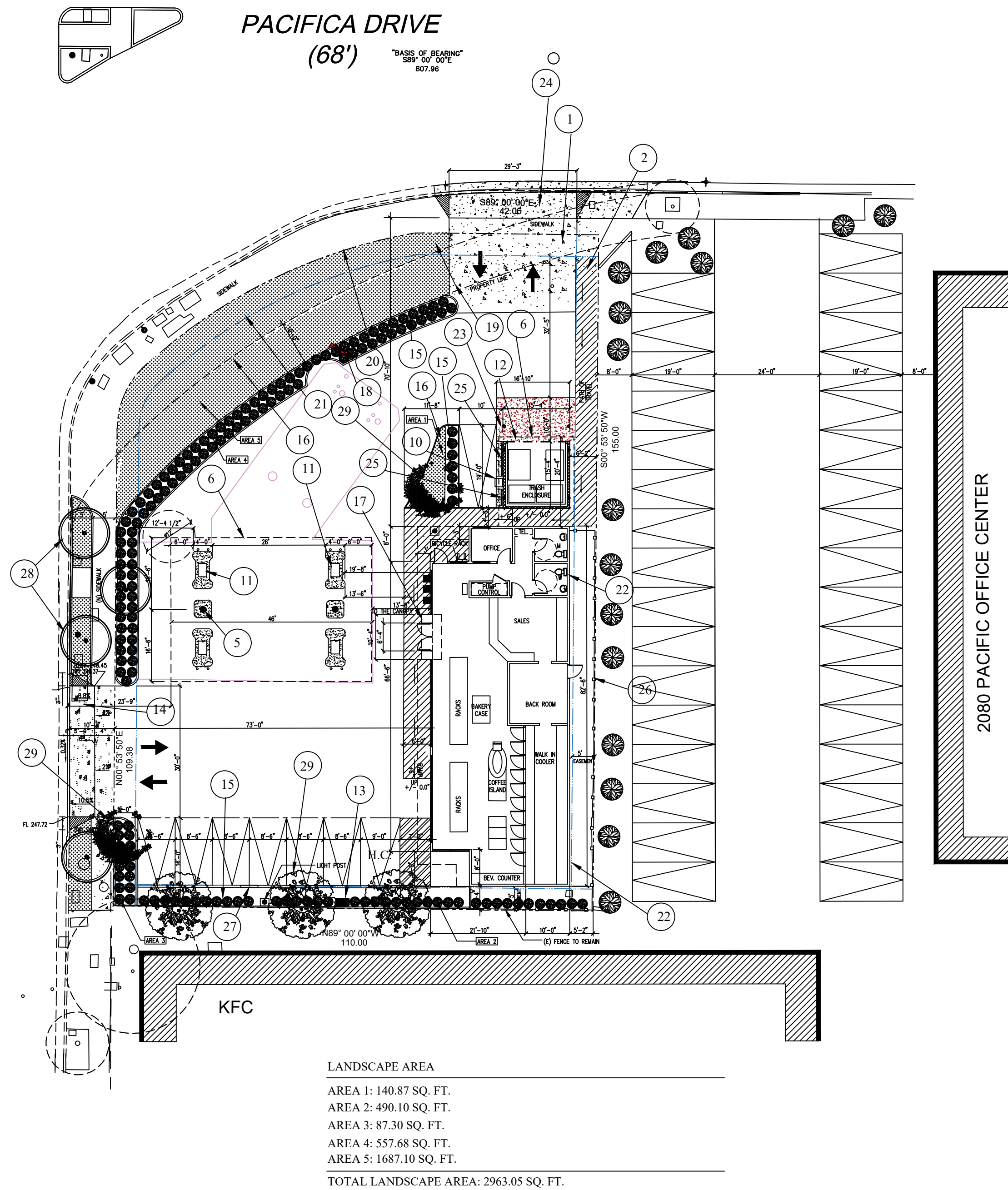
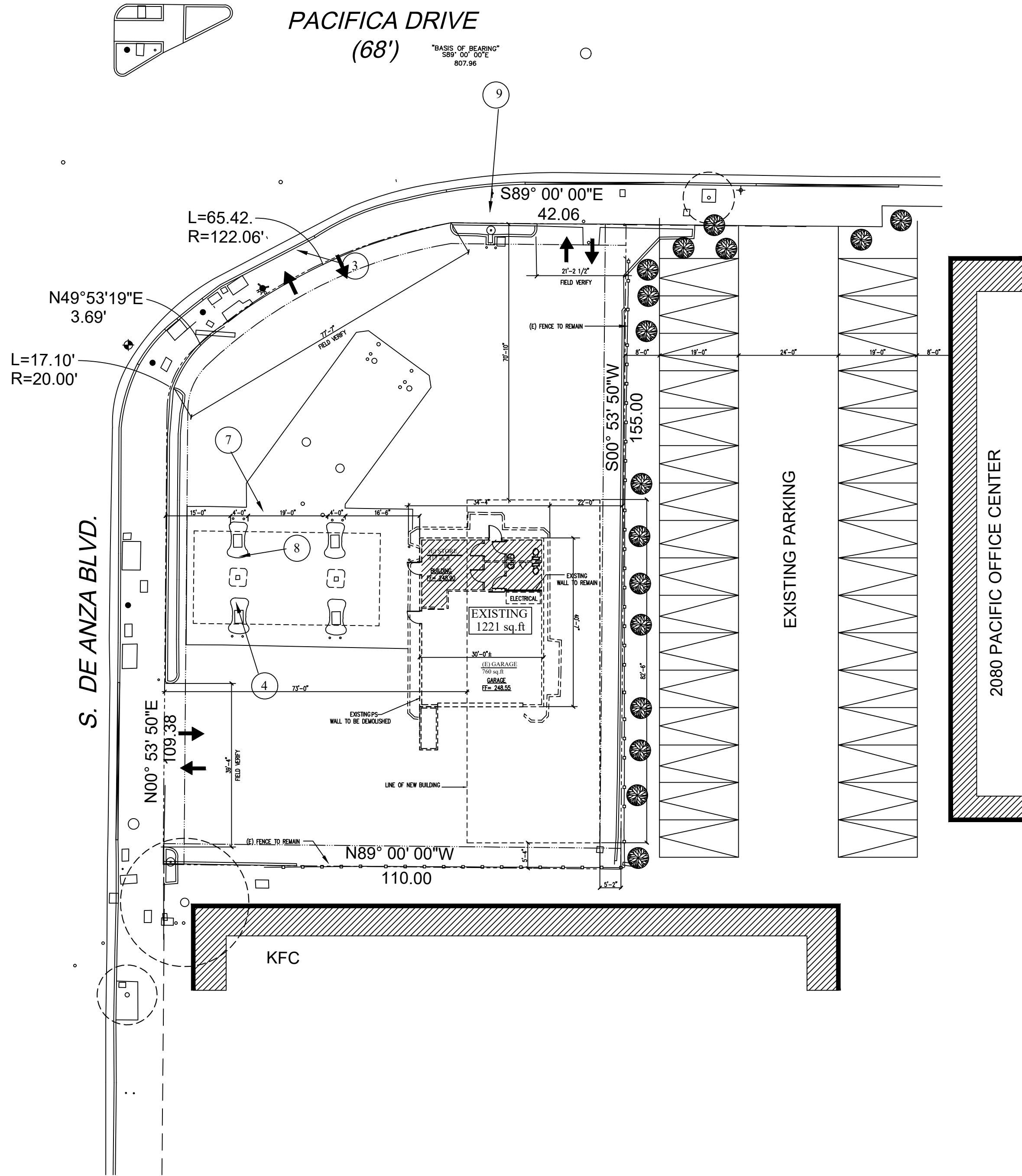
COVER SHEET

10490 S. DE ANZA BLVD.
CUPERTINO, CA

REVISIONS		
NO.	ITEM	DATE
Planning Submittal		9/6/16
Planning Submittal		12/11/17
Planning Comments		1/18/18
Planning Submittal		3/7/18

PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
CHECKED BY:	AK
PROJECT NO: 2016.01	DATE: 08-18-2016
SCALE: AS SHOWN	

A.0.0



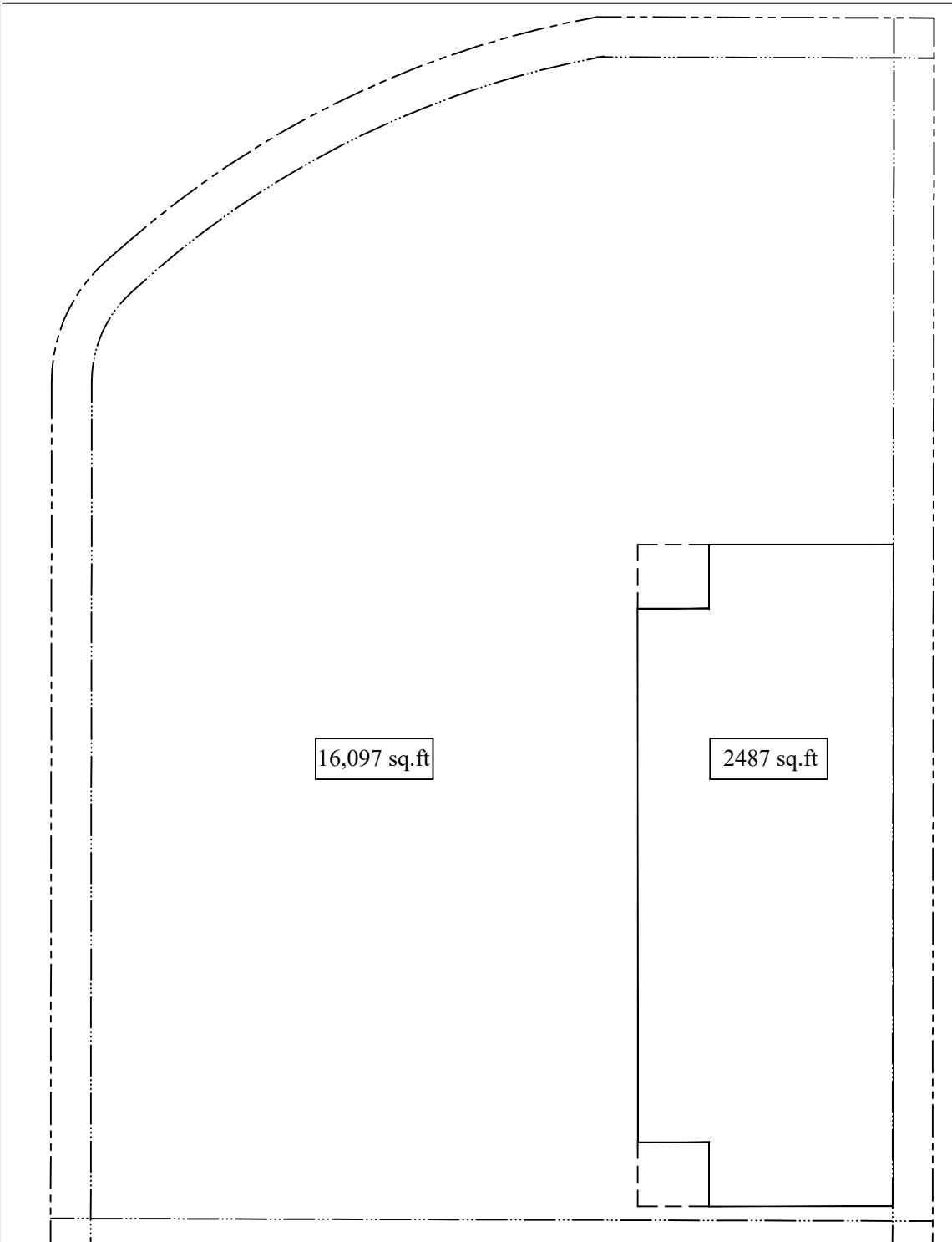
GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS AND EXISTING EQUIPMENT, EXISTING ELECTRICAL & MECHANICAL UTILITIES, ROOF ELEMENTS, PIPING, CONDUIT AND CONDITION OF THE SPACE BEFORE CONSTRUCTION COMMENCES.
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4. CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL, HVAC WORK, AND ALL DOCUMENTS WHICH ARE REQUIRED BY AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.

KEY NOTES

- 1 NEW 4" CONC. SEE CIVIL DWGS.
- 2 PATH OF TRAVEL
- 3 EXISTING DRIVE WAY TO BE CLOSED
- 4 EXISTING GAS PUMP TO BE RELOCATED
- 5 NEW 6" STEEL POST
- 6 NEW METAL ROOF, SEE SHEET A.6.0
- 7 (E) METAL ROOF TO BE REMOVED
- 8 (E) POST TO BE REMOVED
- 9 (E) AIR & WATER PUMP TO BE RELOCATED
- 10 (N) LOCATION OF AIR & WATER PUMP
- 11 (N) LOCATION OF (E) GAS PUMP
- 12 GATES
- 13 (N) EV
- 14 (N) CONC. CURB, SEE CIVIL DWGS.
- 15 NEW PLANTING AREA
- 16 LAWN AREA
- 17 BUILDING SIGN LOCATION
- 18 NEW LOCATION OF EXISTING SIGN
- 19 LINE OF FUTURE CITY STREET ALIGNMENT
- 20 LINE OF EXISTING PROPERTY LINE
- 21 LINE OF EXISTING EASEMENT
- 22 ONE HOUR FIRE RESISTANCE RATING WALL
- 23 BOLLARD, PAINTED
- 24 EXISTING DRIVE WAY TO REMAIN, SEE CIVIL DWGS.
- 25 CLIMBING VINE PLANT
- 26 NEW FENCE
- 27 WHEEL STOP, TYP.
- 28 STREET TREE, SEE SHEET L.1
- 29 TREE, SEE SHEET L.1

DIAGRAM



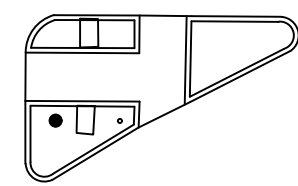
SITE PLANS

10490 S. DE ANZA BLVD.
CUPERTINO, CA

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Planning Submittal		10/04/17
Planning Submittal		12/11/17
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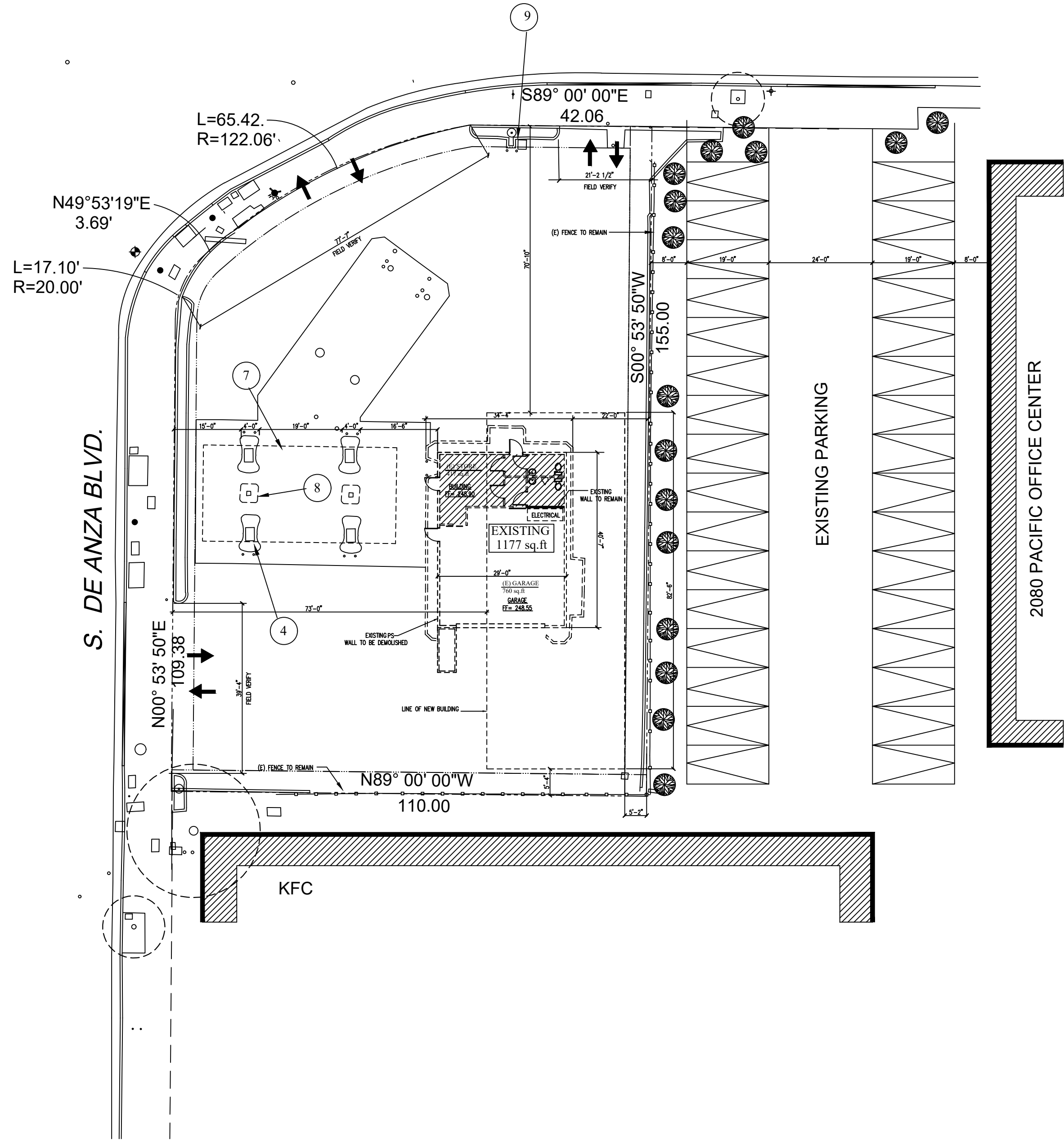
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CHECKED BY:	MF
PROJECT NO:	DATE:
SCALE: AS SHOWN	07-6-16

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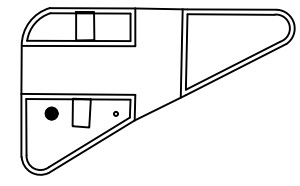
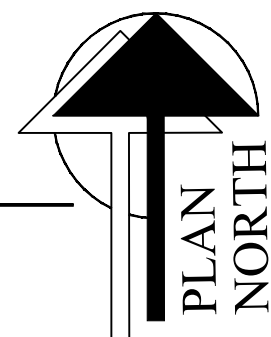


PACIFICA DRIVE
(68')

"BASIS OF BEARING"
S89° 00' 00"E
807.96

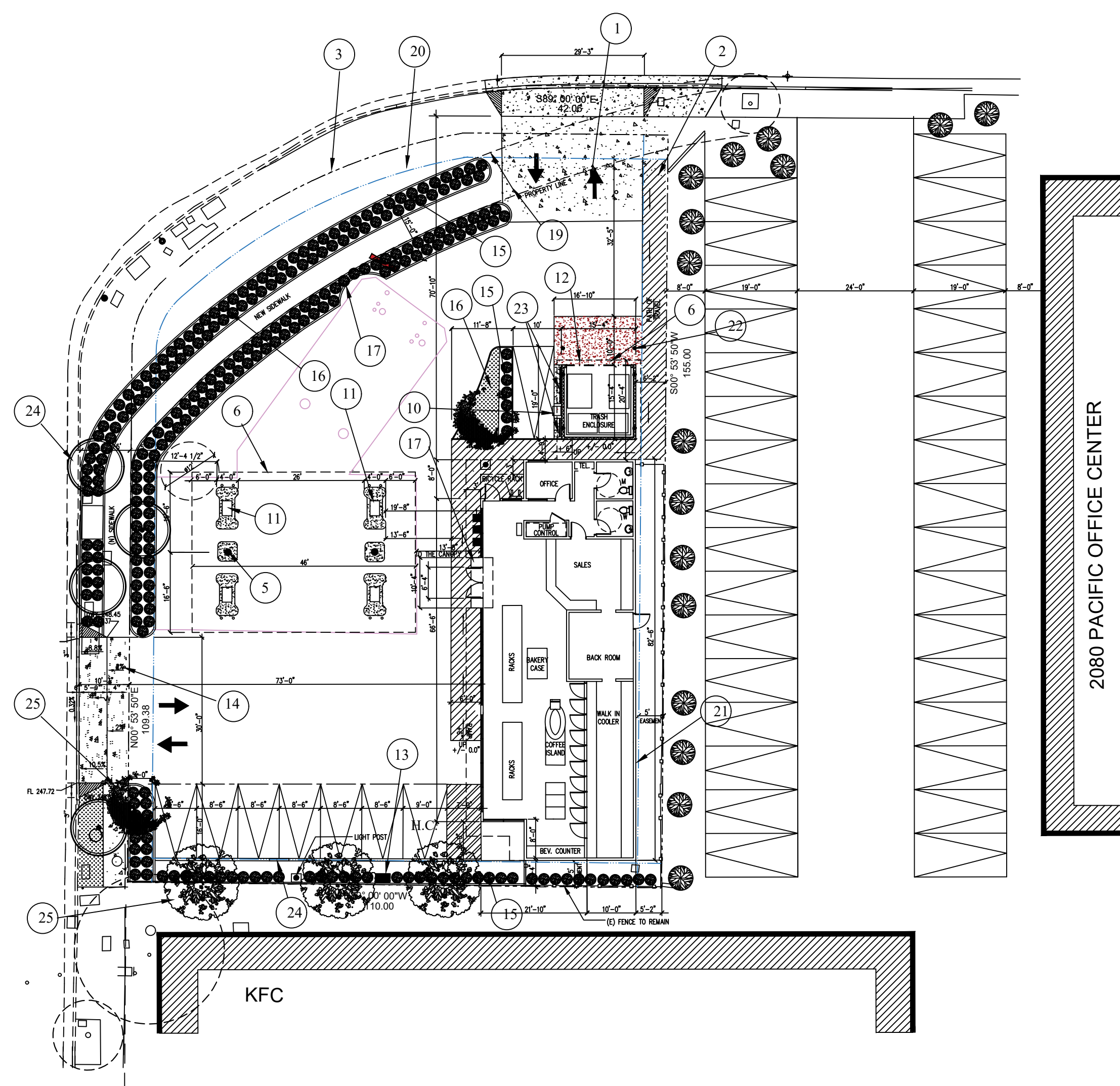


EXISTING SITE PLAN/ DEMO. PLAN
1"=20'-0"

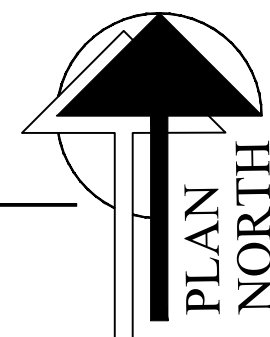


PACIFICA DRIVE
(68')

"BASIS OF BEARING"
S89° 00' 00"E
807.96



PROPOSED FUTURE SITE PLAN
1"=20'-0"



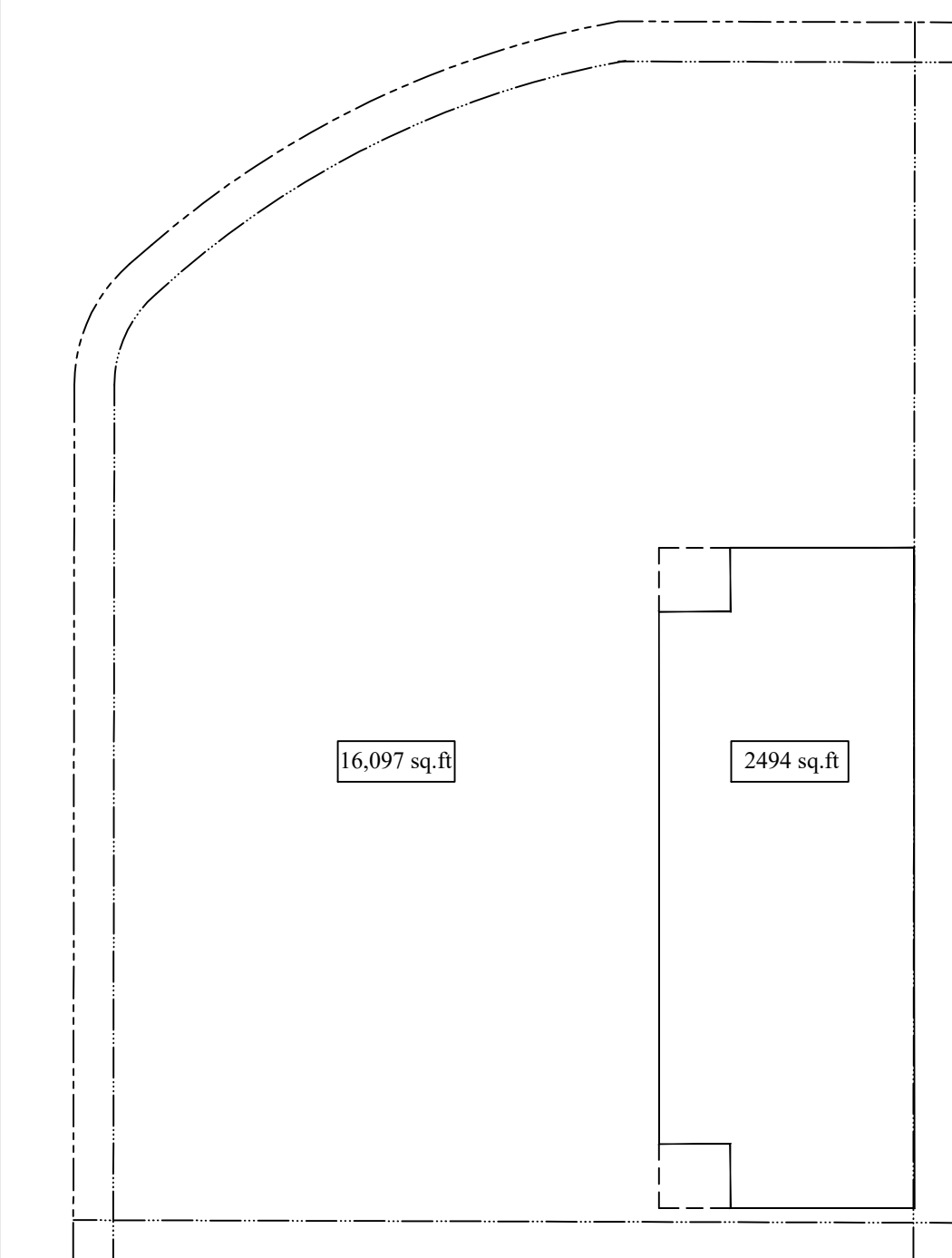
GENERAL NOTES

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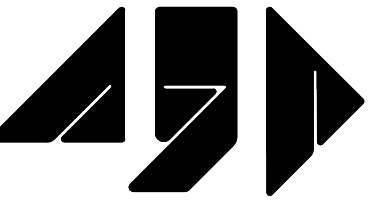
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- 3 EXISTING PROPERTY LINE
- 4 EXISTING GAS PUMP TO BE RELOCATED
- 5 NEW 10" STEEL POST
- 6 NEW METAL ROOF, SEE SHEET A2.1
- 7 (E) METAL ROOF TO BE REMOVED
- 8 (E) POST TO BE REMOVED
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DIAGRAM



A.G.P.



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Campbell, CA 95008
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E-Mail:agp@pacbell.net



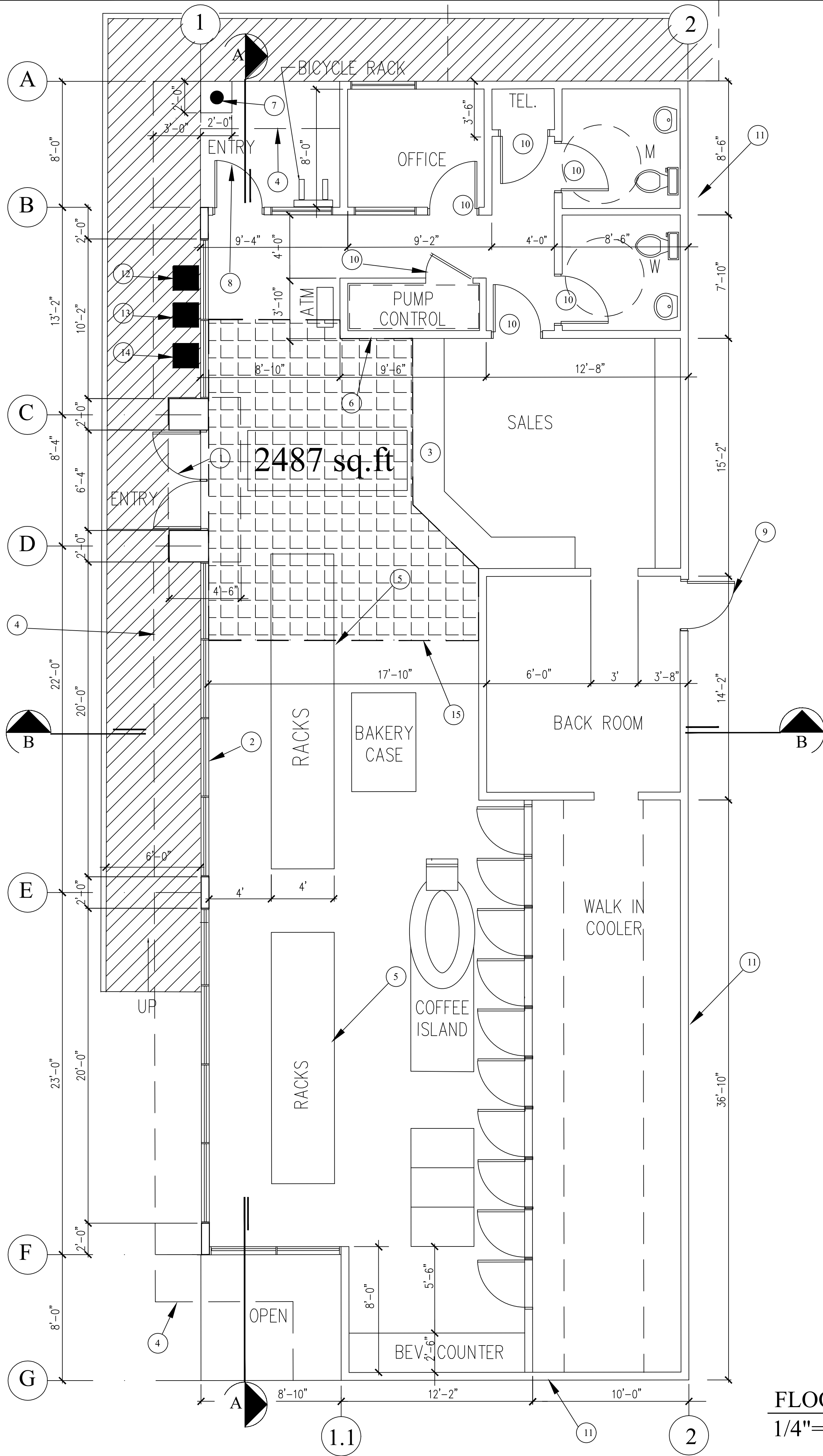
FUTURE CONCEPTUAL
INTERSECTION LAYOUT

10490 S. DE ANZA BLVD.
CUPERTINO, CA

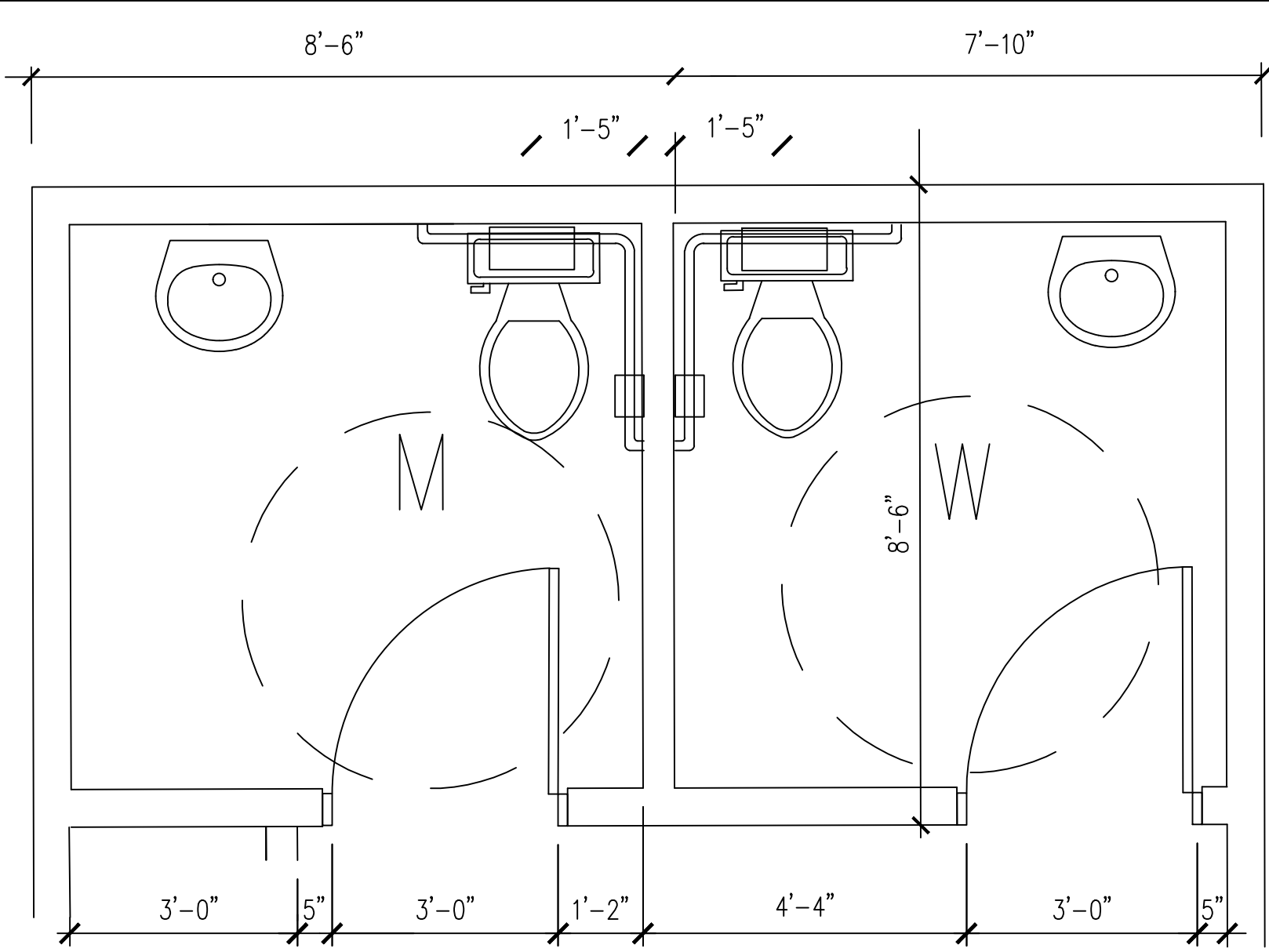
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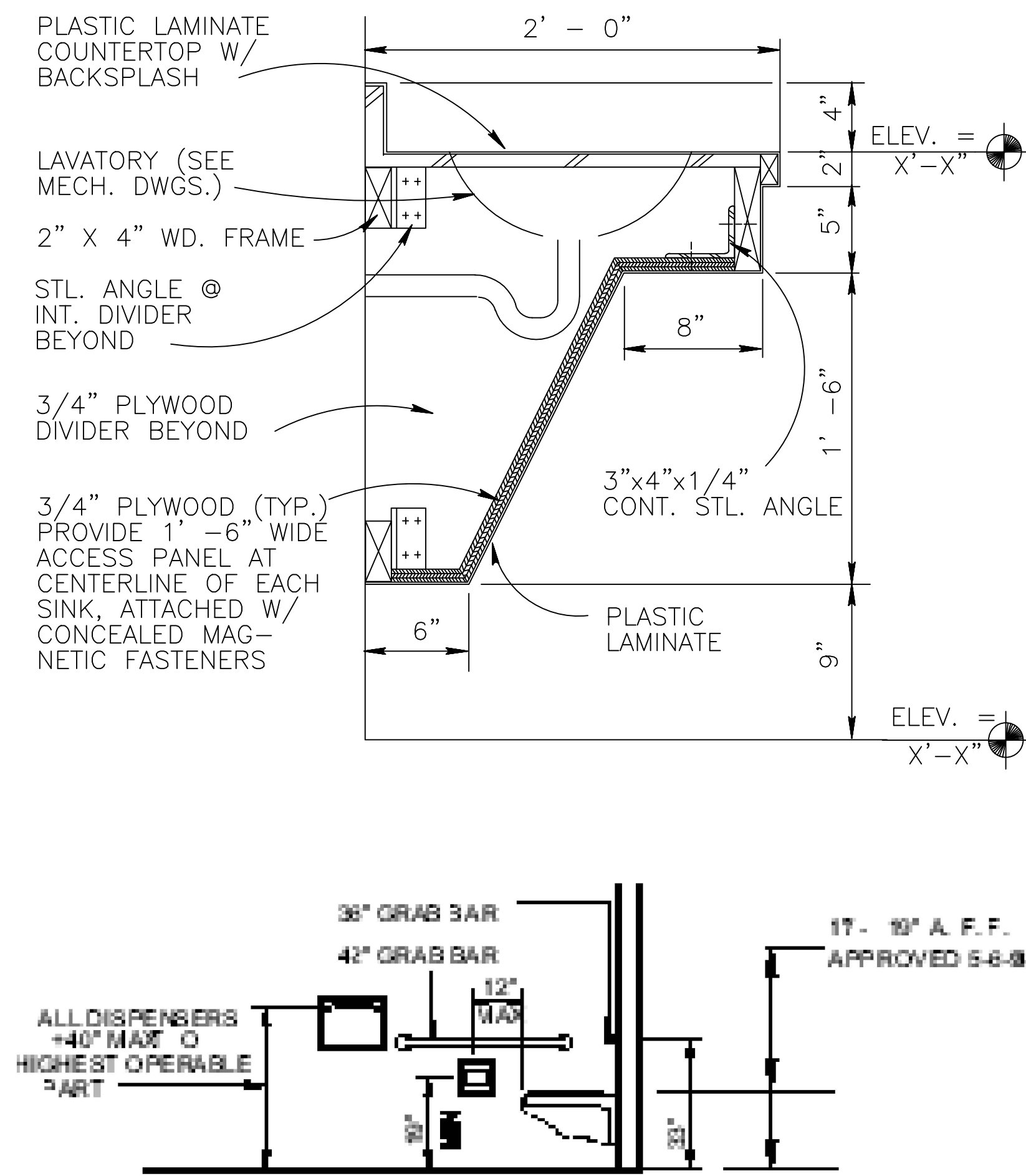
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FLOOR PLAN
1/4"=1'-0"



TOILET ENLARGED PLAN
1/2"=1'-0"



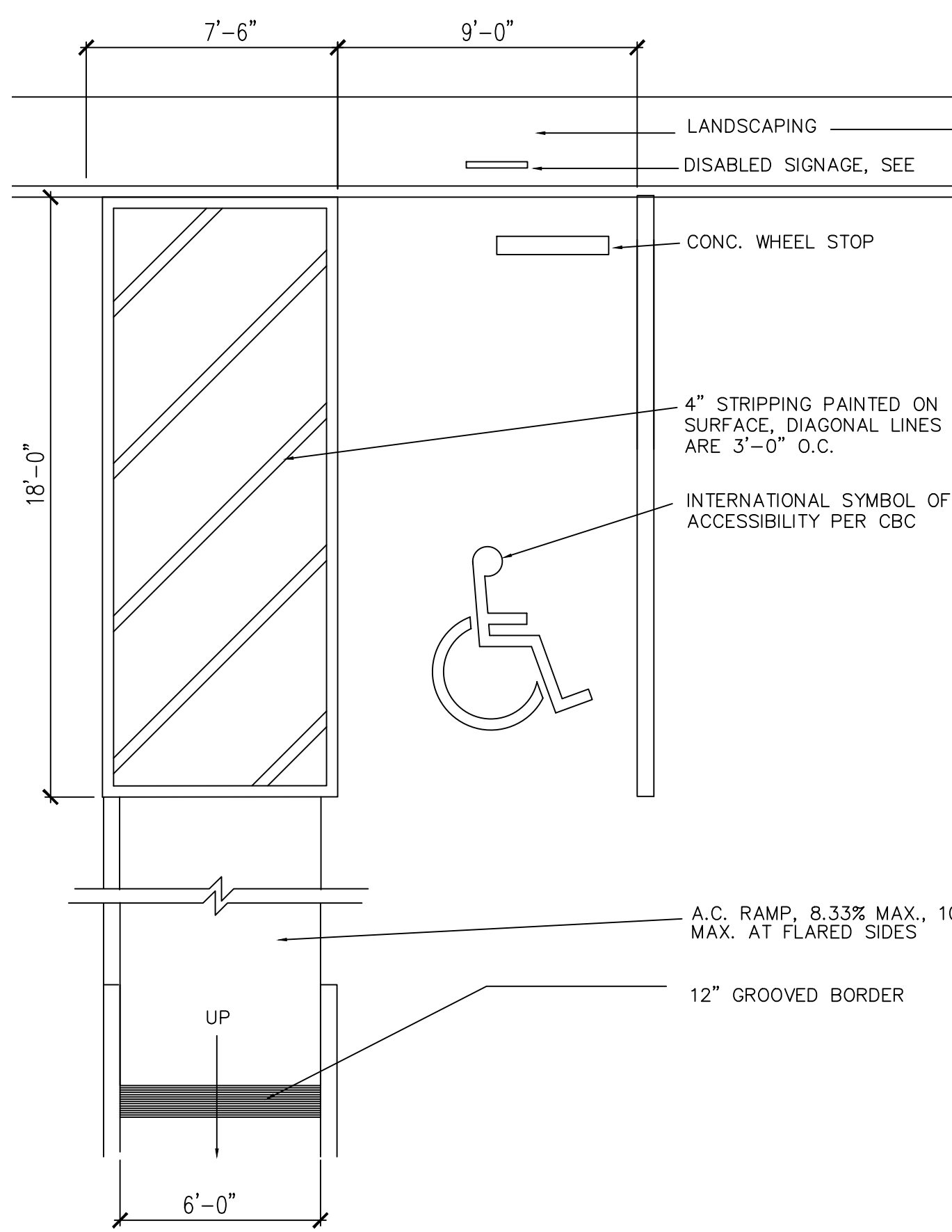
ADA FIXTURE HIGHTS
N.T.S

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5. ALL MECHANICAL EQUIPMENT WIL BE ON THE ROOF.
6. a. NO BEER OR WINE SHALL BE DISPLAYED WITHIN FIVE FEET OF THE CASH REGISTER OR THE FRONT DOOR UNLESS IT IS IN A PERMANENTLY AFFIXED COOLER.
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KEY NOTES

- 1 2 x 3'-0" w TEMP. GLASS STORE FRONT ENTRY DOOR W/ PANIC HARDWARE
- 2 STORE FRONT
- 3 COUNTER
- 4 METAL CANOPY ABOVE
- 5 SHELVES
- 6 EXISTING ELECTRICAL TO STAY
- 7 10" DIA. ALUMINUM COVER COLUMN
- 8 3'-0" w - 1/4" TEMP. GLASS DOOR W/ PANIC HARDWARE
- 9 3'-0" w x 7'-0" h- H.M. DOOR
- 10 3'-0" w x 7'-0" h- WOOD DOOR
- 11 EXTERIOR STUCCO FINISH OVER PLYWOOD SHEATG. FIRE RESISTANT
- 12 WASTE TRIO/ CIGARETTE UM
- 13 RECYCLE BIN
- 14 TRASH BIN
- 15 PROHIBITED AREA FOR DISPLAYING ANY KIND OF ALCOHOL BEVERAGES, MIN. OF 5 FEET.

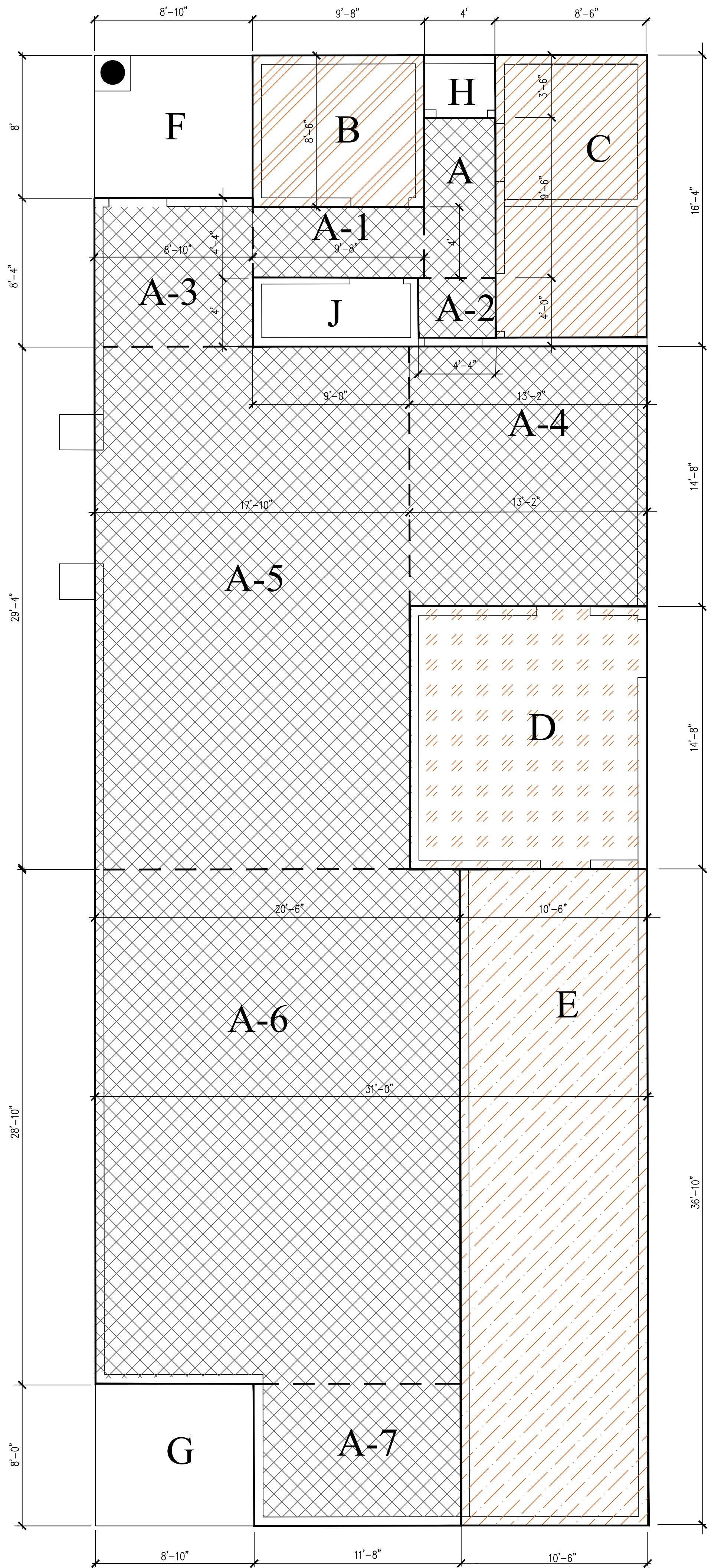


H.C. PARKING
N.T.S

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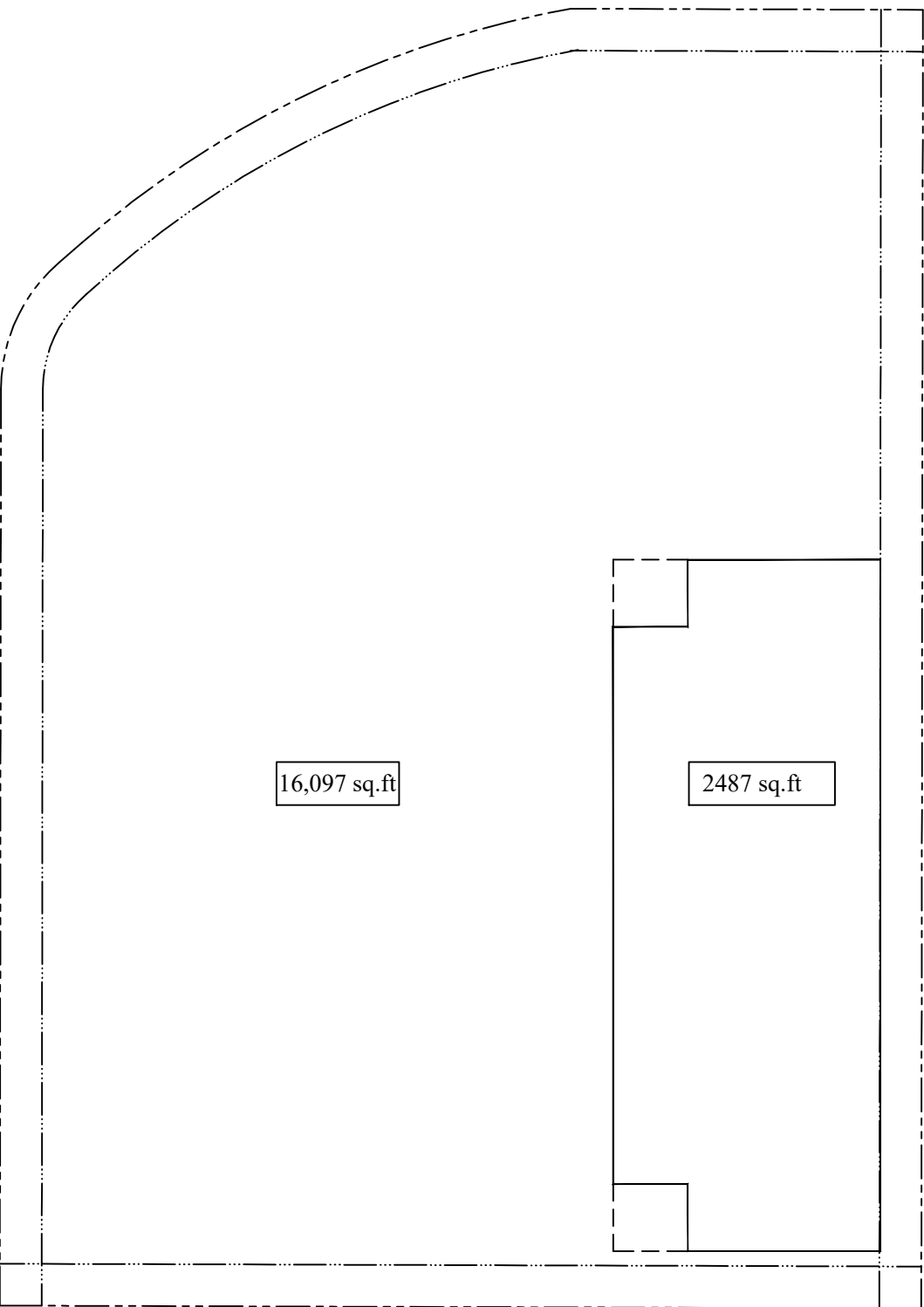
KEY NOTES

A: (4' x 9'-6") = 38 Sq. Ft.
A-1:(4' x 9'-8") = 38.66 Sq. Ft.
A-2:(4'-4" x 4'-0")=17.33 Sq. Ft.
A-3:(8'-10" x 8'-4") = 73.61 Sq. Ft.
A-4:(13'-2 "x 14'-8") = 193.11 Sq. Ft.
A-5:(17'-10" x 29'-4") = 523.11 Sq. Ft.
A-6:(20'-6" x 28'-10") = 591.08 Sq. Ft.
A-7:(11'-8" x 8'-0") = 93.33 Sq. Ft.
B: (8'-6" x 9'-8") = 82.16Sq. Ft.
C: (16'-4" x 8'-6") = 138.83 Sq. Ft.
D: (13'-2" x 14'-8") = 193.11 Sq. Ft.
E: (36'-10" x 10'-6") = 386.75 Sq. Ft.
F: (8'-10" x 8'-0") = 70.66 Sq. Ft. (OPEN SPACE)
G: (8'-10" x 8'-0") = 70.66 Sq. Ft. (OPEN SPACE)
H: (3'-6" x 4'-0") = 14 Sq. Ft.
J: (4'-0" x 9'-0") = 36 Sq. Ft.

TOTAL FLOOR AREA SQ. FT.: 2419.08

TOTAL BUILDING SQ. FT.: 2487.00

DIAGRAM



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FLOOR AREA DIAGRAM

10490 S. DE ANZA BLVD.
CUPERTINO, CA

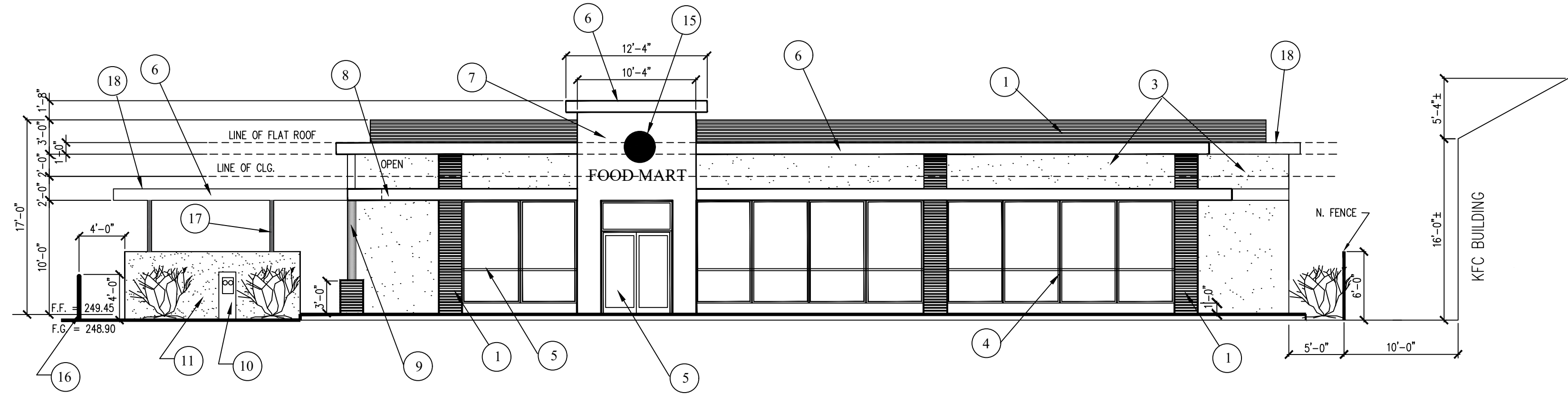
REVISIONS		
NO.	ITEM	DATE
Planning Submittal		9/6/16
Planning Review		2/21/17
Planning Submittal		10/04/17
Planning Submittal		12/11/17
Planning Comments		2/21/18
Planning Submittal		3/7/18

PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
CHECKED BY:	MF
PROJECT NO:	DATE:
SCALE: AS SHOWN	07-6-16

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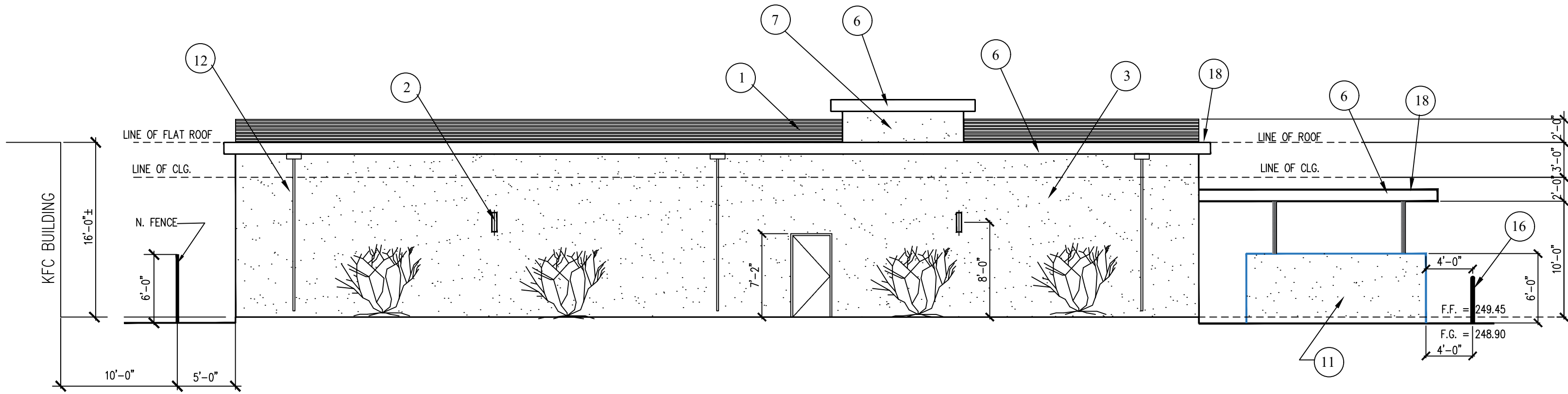
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CHECKED BY:	MF
PROJECT NO:	DATE:
SCALE: AS SHOWN	07-6-16

CMU DOWELS DETAIL
N.T.S.



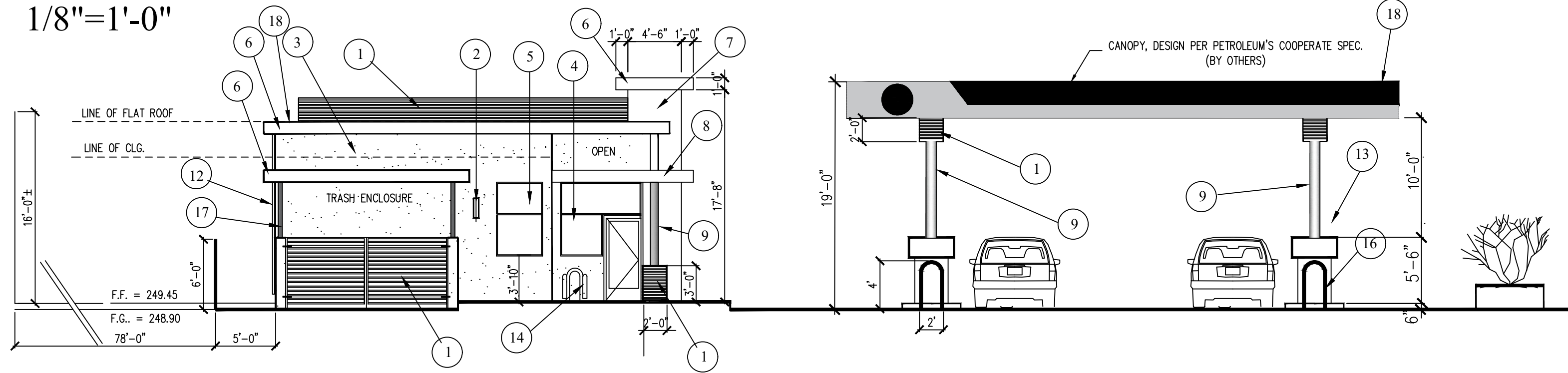
EAST ELEVATION

1/8"=1'-0"



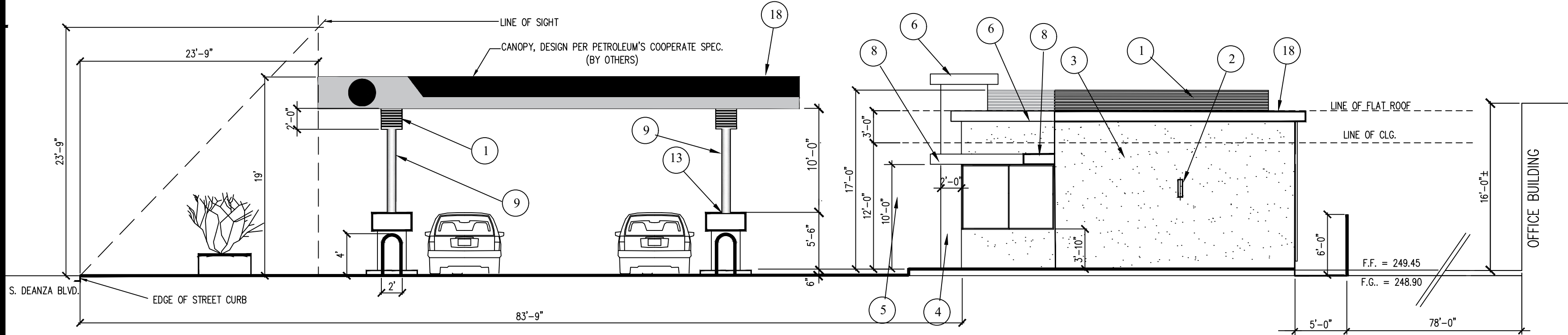
WEST ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"

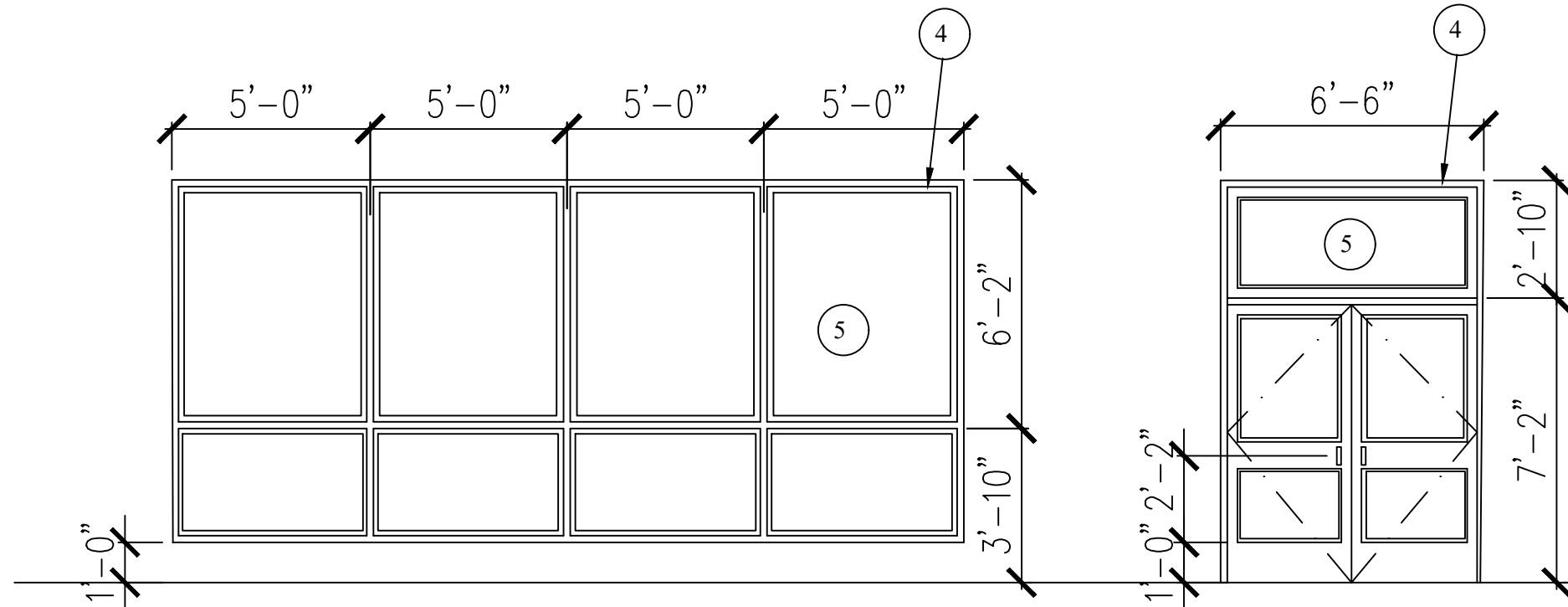


NORTH ELEVATION

1/8"=1'-0"

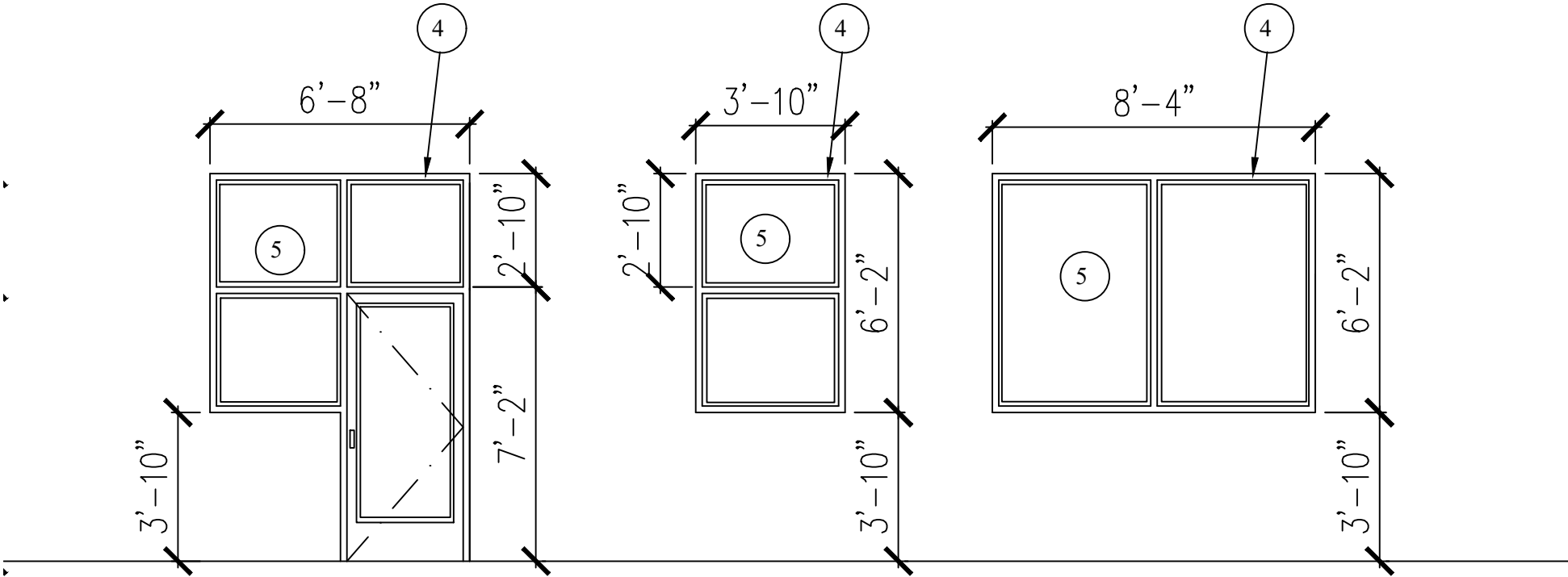
KEY NOTES

- 1 CORRUGATED METAL PANEL, SILVER SMITH SRI:51 (COLOR BD. #1)
- 2 EXTERIOR BUILDING LIGHT, TEX 30"L x 12"W x 4"D (COLOR BD. #3)
- 3 EXTERIOR CEMENT PLASTER- SMOOTH FINISH, KELLY MOORE -KM 237-L BLUE HARMONY" (COLOR BD. # B)
- 4 ALUMINUM STOREFRONT DOOR & FRAME, LT601-70 BLACK 3P (COLOR BD. #7)
- 5 STOREFRONT WINDOWS, AA 250/ 425 THERMAL WINDOWS ENTRANCED & STOREFRONTS (COLOR BD. #8)
- 6 ALUMINUM METAL COMPOSITE PANELS, BTR-RED - ALPOLIC MFG. OR EQUAL (COLOR BD. # 9)
- 7 ALUMINUM METAL COMPOSITE PANELS, BPS-PEARL - ALPOLIC MFG. OR EQUAL (OPTION- SMOOTH CEMENT PLASTER FINISH COLOR- KELLY MOORE #45 WHITE SHADOW) (COLOR BD. # A OR # 9)
- 8 ALUMINUM METAL COMPOSITE PANELS, BSM SLATE BLACK MATTE - ALPOLIC MFG. OR EQUAL (COLOR BD. # 9)
- 9 10" DIA. METAL COLUMN WARPED WITH BRUSHED ALUMINUM (COLOR BD. # 10)
- 10 NEW LOCATION OF EXISTING AIR AND WATER PUMP
- 11 TRASH ENCLOSURE
- 12 METAL DOWNSPOUT
- 13 GAS PUMP
- 14 BICYCLE RACK
- 15 BUILDING SIGNS
- 16 BOLLARD, PAINTED
- 17 4" DIA. METAL COLUMN WARPED WITH BRUSHED ALUMINUM (COLOR BD. # 10)
- 18 METAL ROOF (COLOR BD. # 2)



EXTERIOR DOOR AND WINDOW ELEVATION

1/4"=1'-0"



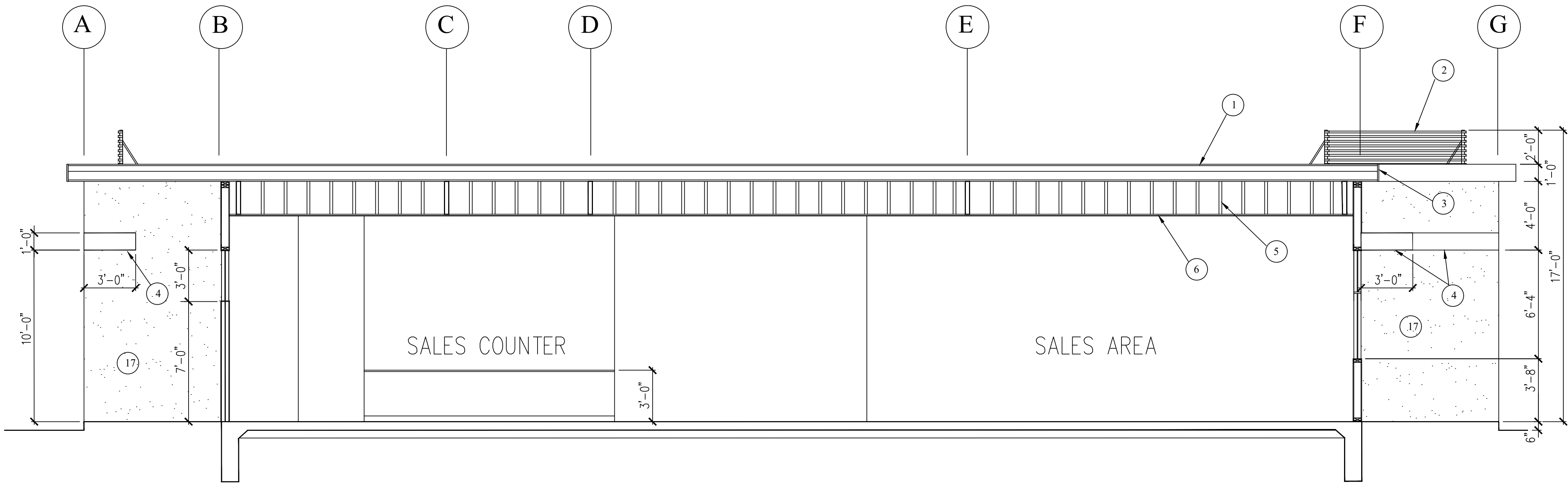
EXTERIOR DOOR AND WINDOW ELEVATION

1/4"=1'-0"

REVISIONS NO.	ITEM	DATE
Planning Submittal		9/6/16
PLANNING REVIEW		6/20/17
Planning Submittal		12/11/17
Planning Comments		1/18/18
Planning Comments		2/21/18
Planning Submittal		3/7/18

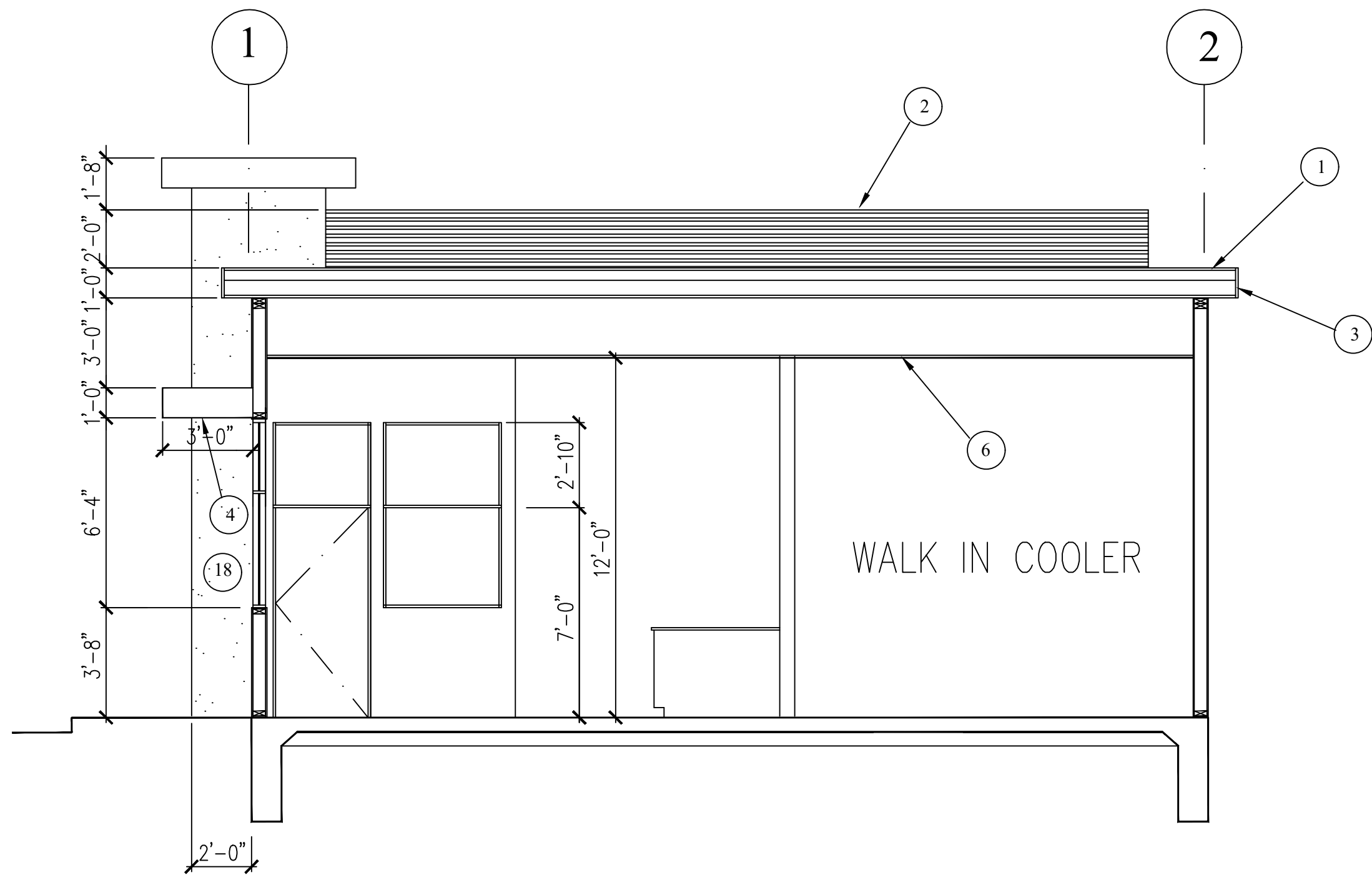
PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
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PROJECT NO:	DATE:
SCALE: AS SHOWN	07-6-16

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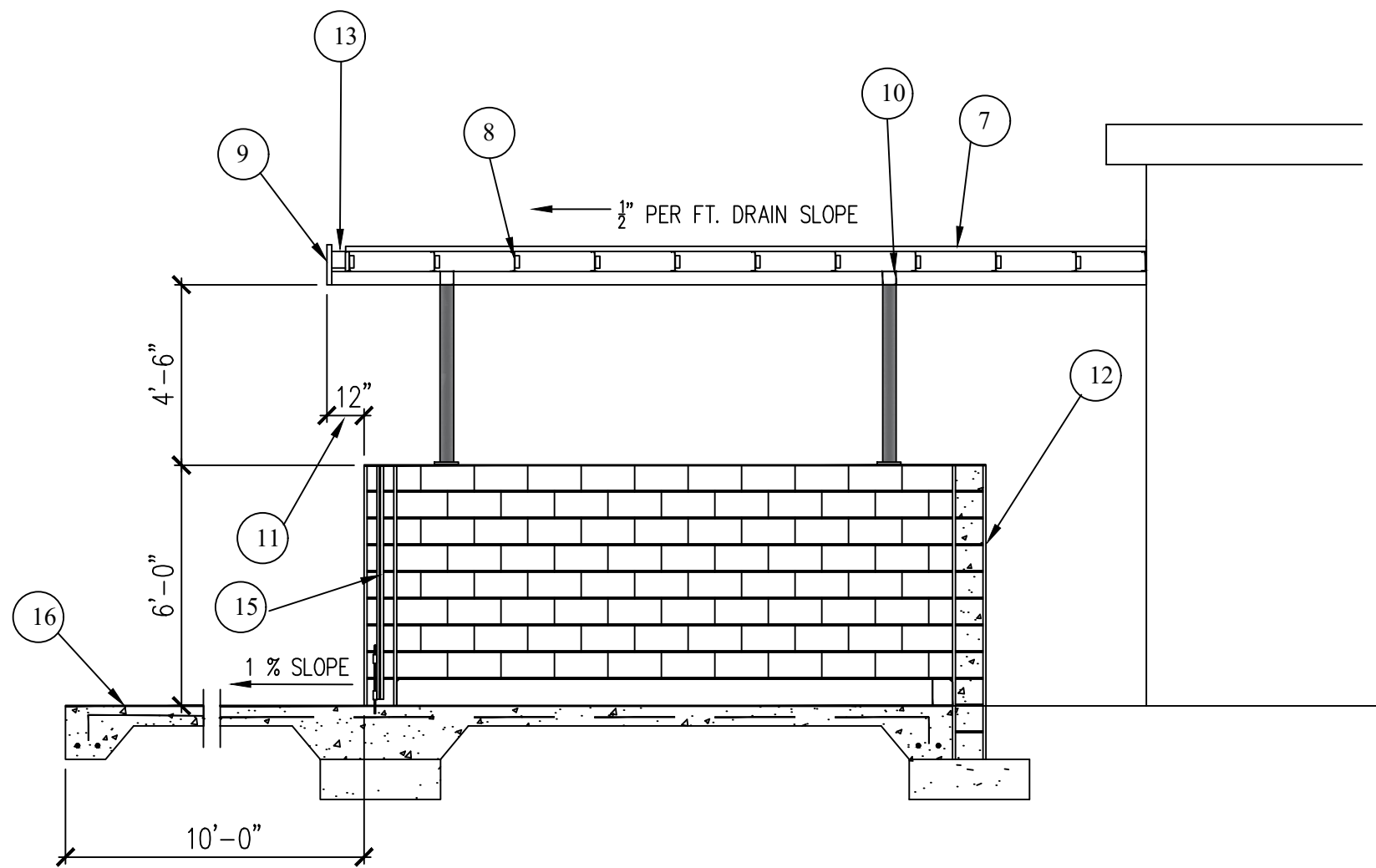
BUILDING SECTION A-A

1/4"=1'-0"



BUILDING SECTION B-B

1/4"=1'-0"



TRASH ENCLOSURE SECTION A-A

1/4"=1'-0"

GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS AND EXISTING EQUIPMENT, EXISTING ELECTRICAL & MECHANICAL UTILITIES, ROOF ELEMENTS, PIPING, CONDUIT AND CONDITION OF THE SPACE BEFORE CONSTRUCTION COMMENCES.
2. NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS.
3. CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL WORK, SUCH AS OUTLETS, SWITCHES, WIRING AND ALL DOCUMENTS WHICH ARE REQUIRED BY ALL AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.
4. CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL, HVAC WORK, AND ALL DOCUMENTS WHICH ARE REQUIRED BY AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.

KEY NOTES

- 1 FLAT ROOF (COLOR BD. # 2)
- 2 METAL PANEL SCREEN (COLOR BD. # 1)
- 3 METAL FASCIA (COLOR BD. # 9)
- 4 FLAT OVERHANG BELOW, SEE ELEVATION FOR LOCATION (COLOR BD. # 6)
- 5 STRUCTURAL JOIST
- 6 SUSPENDED CEILING
- 7 CORR. METAL ROOFING, COATED WITH RUST INHIBITED PAINT (COLOR BD. # 2)
- 8 WELD ANGLE STL. 1 1/2" x 6"x 3/8" PLATE TO STL JOIST, USE #8 SCREWS TO FASCIA BD.
- 9 GA 20,G.I EDGE FLASHING
- 10 4 x 4 x 1/4" HSS PERPEN. TO BEAM
- 11 12" ROOF OVERHANG TYP.
- 12 8" CMU WALL
- 13 GA 20, G.I. GUTTER
- 14 GATE HINGES INTO MTL. BOLLARD
- 15 MTL. GATE
- 16 DRIVEWAY LEVEL (CONC. APRON)
- 17 CEMENT PLASTER FINISH "KELLY MORE 237-L BLUE HARMONY" (COLOR BD. # B)
- 18 CEMENT PLASTER FINISH "KELLY MORE 45 WHITE SHADOW" (COLOR BD. # A OR # 9))

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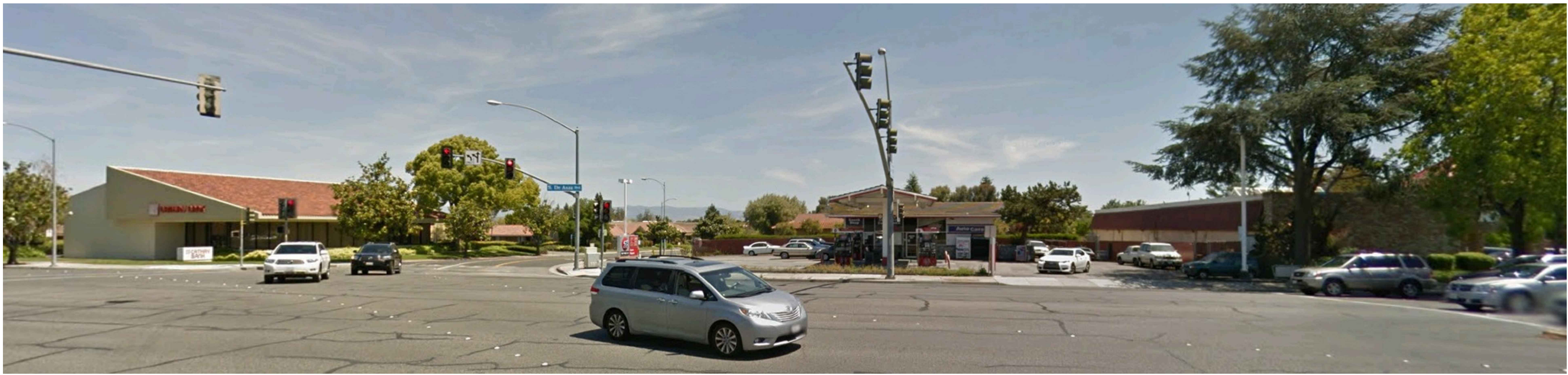
BUILDING SECTIONS
TRASH ENCLOSURE SECTIONS

10490 S. DE ANZA BLVD.
CUPERTINO, CA

REVISIONS		
NO.	ITEM	DATE
Planning Submittal		9/6/16
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Planning Submittal		3/7/18

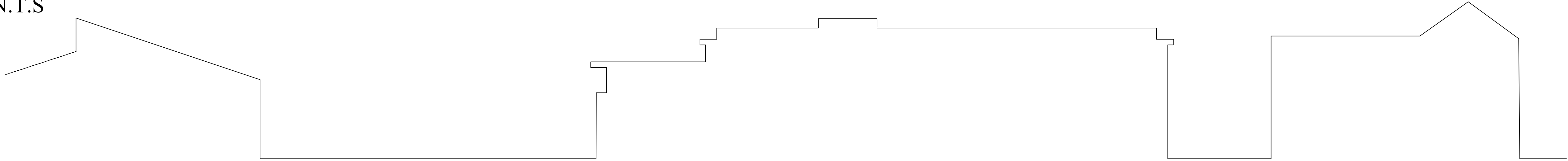
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DRAWN BY:	AK
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PROJECT NO:	DATE:
SCALE: AS SHOWN	07-6-16

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DE ANZA BLVD. - EXISTING EAST VIEW

N.T.S



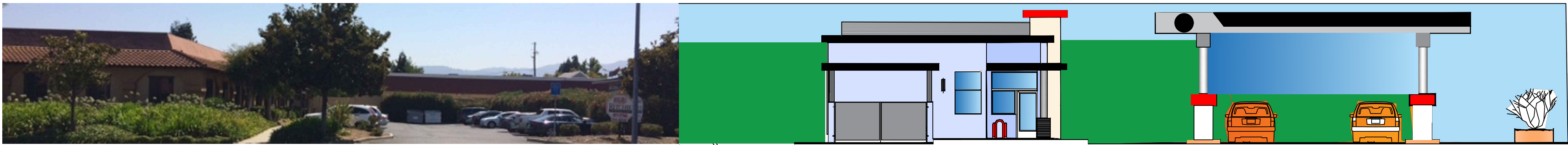
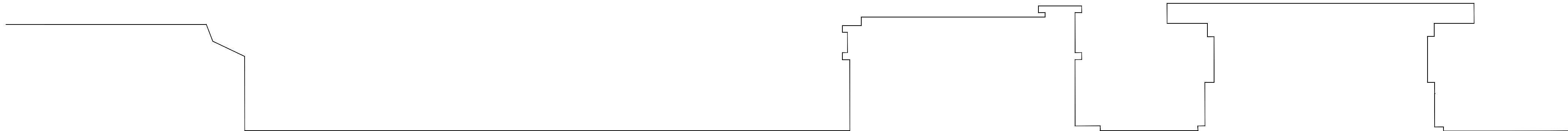
DE ANZA BLVD. - PROPOSED EAST VIEW

N.T.S



PACIFICA STRET - EXISTING SOUTH VIEW

N.T.S



PACIFICA STRET - PROPOSED SOUTH VIEW

N.T.S

LINE OF SIGHT

10490 S. DE ANZA BLVD.
CUPERTINO, CA

REVISIONS		
NO.	ITEM	DATE
Planning Submittal		12/11/17
Planning Comments		2/21/18
Planning Submittal		3/7/18

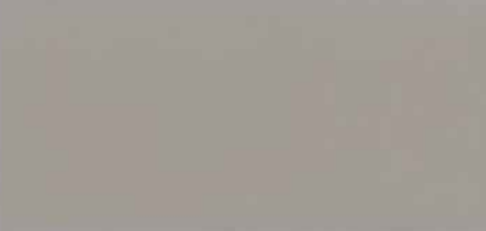
PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
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SCALE: AS SHOWN	07-6-16

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MATERIALS & COLORS LEGEND

COLORS BY KELY- MOORE OR EQUIVALENT

- A. KELLY- MOORE- #45 WHITE SHADOW
EXTERIOR- SMOOTH CEMENT PLASTER COLOR
(OPTION FOR ALUMINUM METAL COMPOSITE PANELS - BPS PEARL)



- B. KELLY- MOOR- KM237-L BLUE HARMONY
EXTERIOR- SMOOTH CEMENT PLASTER COLOR



MATERIALS:

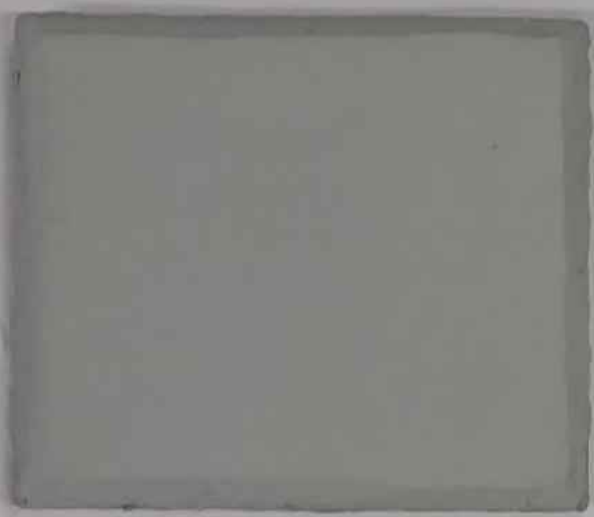
- CORRUGATED METAL PANEL
SILVER SMITH SR1: 51, BY ATAS INTERNATIONAL, INC.
- METAL ROOF
GALVANIZED SILVER, BY AEP SPAN.
- EXTERIOR BUILDING LIGHT (WALL MOUNTED)
"TEX" 30"L x 12"W x 4"D, BY ALVA LIGHT.
- CANOPY LIGHT
RECESSED "E CP2 SERIES" LED SQUARE SILVER, BY E-CONOLIGHT.
- EXTERIOR LIGHT POST
PROGRESS LIGHTING MODEL P5493 BLACK
- METAL CANOPY CEILING/ SOFFIT
SR1, 51, BY ATAS INTERNATIONAL, INC.
- ALUMINUM STOREFRONT DOOR & FRAME
"LT601-70 BLACK 3P", BY TUBELITE.
- STOREFRONT WINDOWS
"AA 250/ 425 THERMAL WINDOWS ENTRANCED & STOREFRONTS",
BY KAWNEER WINDOW.
- ALUMINUM METAL COMPOSITE PANELS
"BTR- RED, BPS- PEARL, BSM SLATE BLACK MATTE", BY ALPOLIC.
- BRUSHED ALUMINUM COLUMN COVER.



A



9



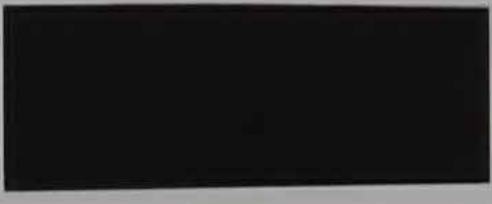
B



10



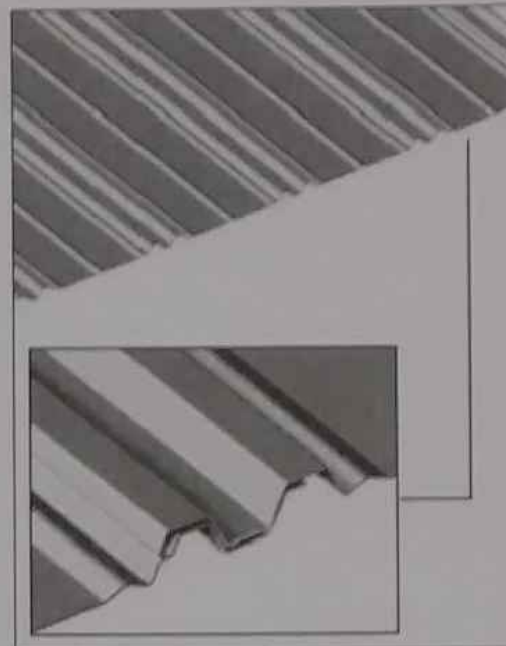
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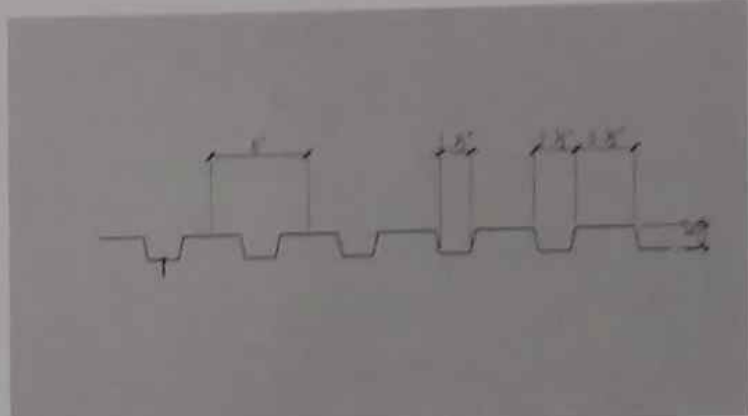
9



1



2



2



3



4



5



6



8



9

10490 S. DE ANZA BLVD.
CUPERTINO, CA

COLORS & MATERIAL BOARD

11. 25. 2017

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COLOR AND MATERIAL

10490 S. DE ANZA BLVD.
CUPERTINO, CA

REVISIONS	NO.	ITEM	DATE
Planning Submittal			12/11/17
Planning Comments			2/21/18
Planning Submittal			3/7/18

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SCALE: AS SHOWN	07-6-16

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RENDERING- 3D

10490 S. DE ANZA BLVD.
CUPERTINO, CA


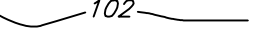

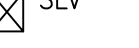

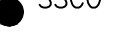









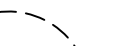

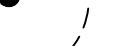
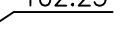
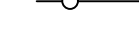
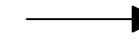







REVISIONS		
NO.	ITEM	DATE
1	Planning Submittal	12/11/17
2	Planning Comments	2/21/18
3	Planning Submittal	3/7/18

PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
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SCALE: AS SHOWN	07-6-16

A.11.0

ABBREVIATIONS		
	DESCRIPTION	DESCRIPTION
AB	AGGREGATE BASE	L/S LANDSCAPE AREA
AC	ASPHALT CONCRETE	LP LOW POINT
AD	AREA DRAIN	M/N MONUMENT
BC	BACK OF CURB	OG NEW
BFL	BACKFLOW PREVENTOR	OR ORIGINAL GROUND
BW	BOTTOM OF WALL	O.R. OVERLAND RELEASE
C&G	CURB AND GUTTER	PB PULL BOX
C&L	CENTERLINE	PCEV POCE VAULT
CLSW	CENTERLINE SWALE	R.P./L PROPERTY LINE
CO	CLEANOUT	PP POWER POLE
CHD	CHANNEL DRAIN	PPP PLASTIC PERFORATED PIPE
DWY	DRIVEWAY	PSE PUBLIC SERVICE EASEMENT
DI	DROP INLET	PVC POLYVINYL CHLORIDE
DTL	DETAIL	R/W RIGHT OF WAY
ELCT	ELECTRIC	RCP REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT ELEVATION	SD STORM DRAIN
EUC	EUCALYPTUS TREE	SDMH STORM DRAIN MANHOLE
(E).EX	EXISTING	STD STANDARD
FF	FINISH FLOOR	SS SANITARY SEWER
FG	FINISH GRADE	SSMH SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	BSW BACK OF SIDEWALK
FL	FLOWLINE	TC TOP OF CURB
FNC	FENCE	TF TOP OF FOUNDATION
FOC	FACE OF CURB	TG TOP OF GRATE
GB	GRADE BREAK	TOS TOP OF SLAB
GUY	GUY WIRE	TP TOP OF PAVEMENT
HP	HIGH POINT	TW TOP OF WALL
DIP	DUCTILE IRON PIPE	(TYP) TYPICAL
INV	INVERT	VCP VITRIFIED CLAY PIPE
JP	JOINT POLE	WL WHITE LINE STRIPE
JB	JUNCTION BOX (UTILITY)	WLK WALKWAY
LG	LIP OF GUTTER	WM WATER METER
		WV WATER VALVE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
— F —	— F —	FILL AREA LIMIT
— C —	— C —	CUT AREA LIMIT
 102	 102	CONTOUR
— W —	— W —	WATER LINE
— SD —	— SD —>	STORM DRAIN PIPE (SOLID)
— SS —	— SS —	SANITARY SEWER PIPE
— SUD —>	— SUD —>	SUBDRAIN PIPE (PERFORATED)
— OH — e,T,TV	— OH — e,T,TV	OVERHEAD UTILITIES WITH POLE
— G —	— G —	GAS LINE
— E —	— E —	ELECTRIC LINE (UNDERGROUND)
— JT —	— JT —	JOINT TRENCH (UNDERGROUND)
 SLV	 SLV	STREET LIGHT VAULT
 SSCO	 SSCO	SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		SURVEY CITY MONUMENT
		ELECTROLUIER
 WM	 WM	WATER METER
		TREE WITH TRUNK
— x — x —	— x — x —	6' WOODEN FENCE
x102.23	 102.23	SPOT ELEVATION
		TREE PROTECTION FENCE 5' TALL CHAIN LINK
— - - - ->		EARTHSWALE
		CONCRETE SWALE
		AREA DRAIN/ INLET
		OVERLAND RELEASE PATH
		GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE 1% MIN. FROM PROPERTY LINE TO SWALE
		(E) TREE TO BE REMOVE
		DOWN—SPOUT
		POP—UP EMITTER
		ROOF DOWN—SPOUT, CONNECTED TO STORM DRAIN SYSTEM

GRADING AND DRAINAGE PLANS

GAS STATION

PHASE ONE

10490 S. DE ANZA BLVD., CUPERTINO, CA

GENERAL NOTES

- All work shall be in accordance with the State of California Department of Transportation Standard Specifications (dated July 1992), Standard Plans (dated July 1992), and City of Cupertino Standard Details. The Contractor shall perform the work described in the specification, and as shown on the drawings, and to the satisfaction of the City Engineer.
- The Contractor is required to notify the Public Works Inspector two (2) working days prior to requiring an inspection. Two (2) working days prior to installing permanent striping, the Contractor shall call for review and approval of the proposed striping by the City Traffic Engineer. The City shall have the right to make changes in the locations of the alignment of lane stripes and pavement markings.
- All underground utilities shall be installed and adequately backfilled before placement of the base material and surface structures. If utilities are to be installed subsequently, a written notification from the affected utility company indicating its commitment to bore or tunnel shall be submitted to the City Engineer before proceeding with the work. Underground utilities, except storm and sanitary sewer, will not be permitted in pavement area, with the exception of street crossings, otherwise specifically approved and authorized by the City Engineer.
- The Contractor shall have all of the utilities, underground mains and services that may conflict with the project, located in the field. The Contractor shall contact Underground Service Alert (USA) two (2) working days in advance of any work, for location of the underground facilities, at (800) 642-2444.
- All trench backfill, fill areas, and base material shall attain a minimum 95 % compaction as per Standard Specifications. For typical trench sections, refer to the City Standard Details, with the exception of sanitary sewers.

- All trees, roots and foreign matter in existing or proposed Right of Way shall be removed to a depth of two (2) feet below subgrade and disposed of.

- All existing pavement removed or damaged shall be replaced as required by the City Engineer.

- All concrete used for all structures must be Class "A" (6 sacks per cubic yard) as per Standard Specifications and shall attain a strength of 3,000 p.s.i. in 28 days. Sidewalks, curbs and gutters shall be Class "B" (5 sacks per cubic yard) as per Standard Specification and shall attain a strength of 3,000 p.s.i. in 28 days.

- Drop inlets installed shall be City of Cupertino Standard unless otherwise noted on the plans. The boxes shall be installed at the same time the P.C.C. curb and gutter is installed. Class "A" P.C.C. shall be used.

- A minimum thickness of six (6) inches of P.C.C. shall be required for commercial driveway approaches and five (5) inches for residential. Locations shall be determined prior to the installation of curbs. The driveway shall be installed at the same time as the curb.

- All street curbs shall be vertical P.C.C. curbs.

- Install City of Cupertino street name signs, four (4) blades each per assembly as shown on the plans.

- Install City of Cupertino standard monument box (es) and monument(s) as shown on the plans.

- All grade stakes and laths required by the City Engineer shall be installed by the Subdivider's Engineer as directed. Minimum off-sets for cut stakes shall be five (5) feet.

- Prior to commencing work, the Contractor shall have cut sheets approved by the City Engineer. Notify the City Engineer two (2) working days prior to requiring inspection.

- The Contractor shall submit a written request for final inspection.

- One pound of dispersing black shall be mixed with each cubic yard of concrete at the batch plant.

- Grading of lots outside of R/W as per typical section and for cross-section, shall be completed and approved by the City Engineer before proceeding with preparation of the subgrade and placement of surface structures on lots. All lots shall be graded to the street elevation, or as shown on the plans, or as determined by the City Engineer.

- Notify the City Engineer (two) 2 working days in advance of requiring services for checking field staking. At this time, three (3) copies of the cut sheets will be furnished.

- All standard street monuments, lot corner pipes, and other permanent monuments disturbed during construction shall be replaced before acceptance of the improvements by the City of Cupertino.

- Manhole frames and covers shall be brought to finish grade before final paving.

- The Developer shall pay all costs for moisture-density curves (Calif. Test No. 216E) and any other tests required by the City Engineer during street construction.

- Approval of these plans does not release the Contractor of the responsibility for the corrections of mistakes, errors, or omissions contained therein. If, during the course of construction of improvements, public interest requires a modification of/or a departure from the City of Cupertino specification or these improvement plans, the City Engineer shall have the authority to require such modification or departure and to specify the manner in which the same is to be completed.

- Septic tanks shall be pumped and backfilled to the satisfaction of Santa Clara County Health Department prior to construction.

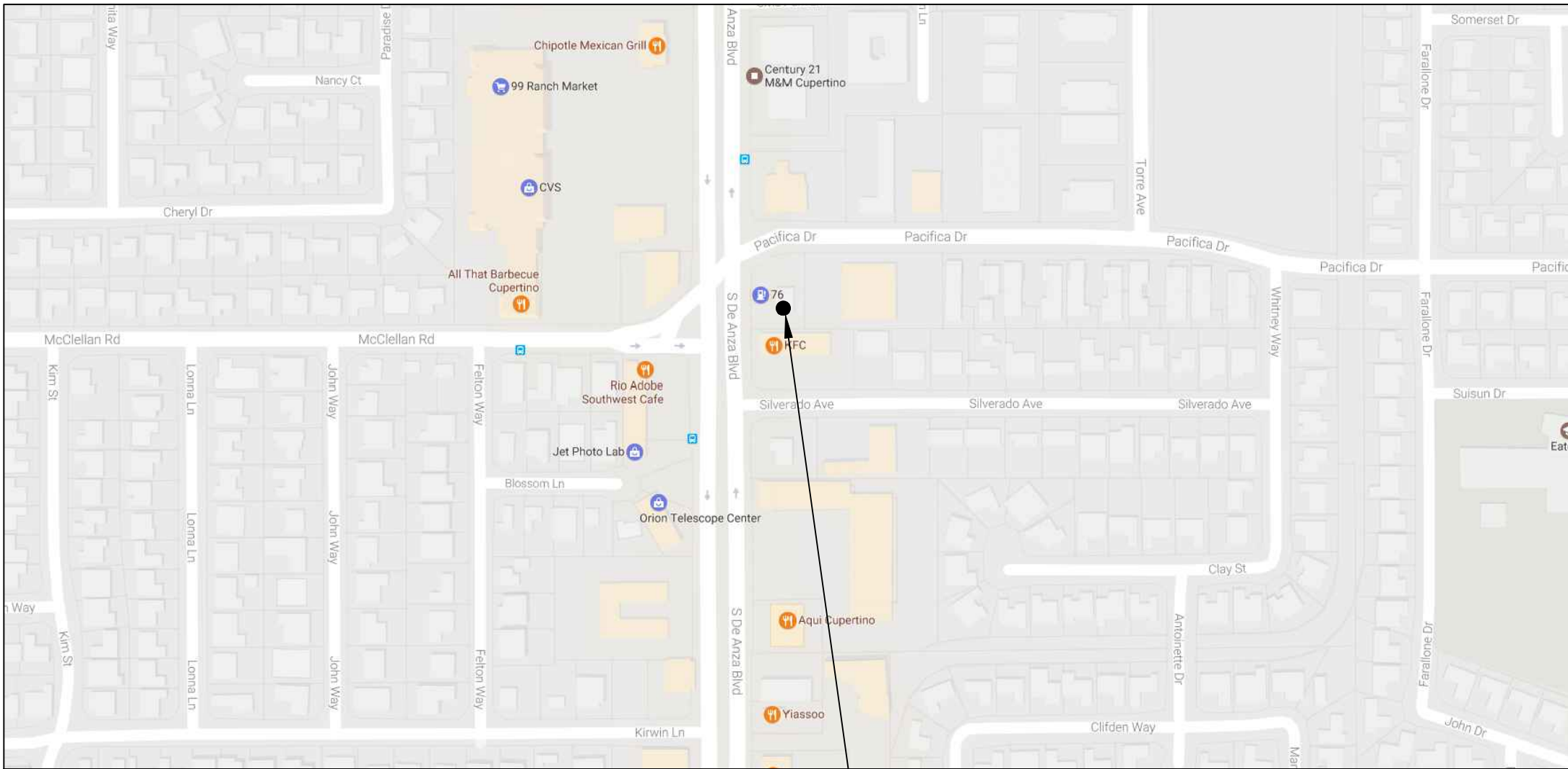
- For all five (5) foot monolithic sidewalks, all fire hydrants and electroluier shall be installed behind the sidewalk.

- Each sheet of the construction/modification plans shall be initialed by the City Engineer to be considered approved final plans. It shall be the responsibility of the Contractor, and all Subcontractors to insure they are furnished with approved plans or the latest revised plans.

- All water lines, valves, hydrants, and appurtenances thereto installed within the City of Cupertino Municipal Water Utility's services area, shall be the property of said water utility.

- Construction signing shall be installed prior to the beginning of work.

- Any and all storm lines installed as part of the work on these plans shall be cleaned of all excess material, debris and obstructions. Storm lines shall be flushed as directed by the City Engineer.



PROJECT SITE

LOCATION MAP
N.T.S.

SANITARY SEWER NOTES

- All work performed shall be installed to manufacturers specifications and all work shall comply with all current local, state and federal requirements.
- All work shall be constructed in accordance with these plans and the Standard Specifications of the Cupertino Sanitary District.
- All excavation and backfilling within street right-of-way shall be done in accordance with the requirements of the Engineer of the public agency having jurisdiction. Encroachment Permits shall be obtained and a copy shall be on the job during construction.
- Fill material shall be compacted to a minimum of two and one half (2.5) feet above the top of pipe elevation by methods that will not damage the pipe or substituted with gravel or one (1) slurry mix. Fill material must attain a minimum of ninety five percent (95%) relative compaction, as per State of California Standard Specifications.
- The District Engineer shall be notified two (2) working days in advance of starting construction on this project , 20065 Stevens Creek Boulevard, Building C, Cupertino, CA 95014 (408) 253-7071. At that time, traffic plans, encroachment permits and the sewer diversion plans shall be given to the District Engineer. Sewer diversion plans shall include sewage bypass and emergency plans. Work shall not begin until the District Engineer has provided written acceptance of these plans.
- One (1) sanitary sewer lateral shall be installed for each lot or building. Location of lateral and property corners to be staked in field at the same time the sewer main is staked for construction. Laterals shall not be laid on less than two percent (2%) grade and shall have a minimum cover of four and one half (4.5) feet at property line or edge of sanitary sewer easement. Laterals shall be deeper than four and one half (4.5) feet when directed by District Engineer. Laterals shall not be extended beyond the street right-of-way line or sanitary sewer easement line until the main has been tested. Lateral sewers constructed outside of the public street or Cupertino Sanitary District Easement shall be constructed in accordance with the requirements of, and shall be inspected by the City of Cupertino Building Department.
- The Contractor performing work on the sanitary sewers shall be required to register with the District and provide insurance as specified in Sections 1.39 and 1.40 of the District's Standard Specifications.
- The Developer and General Contractor shall be responsible for protection of all existing improvements including existing sanitary sewer facilities that are to remain and if damaged during construction of the proposed improvements, shall be repaired to the satisfaction of the Cupertino Sanitary District and other affected agencies.
- Channels of all District manholes within the construction area shall be protected by plywood covers, placed in the manholes and manhole castings shall be adjusted to final grade in accordance with the Standard Specifications of the Cupertino Sanitary District or as directed by the District Engineer.
- The Developer and General Contractor shall be responsible for the prevention of construction debris entering the existing sanitary sewer system due to the construction activities associated with this project and the Developer and Contractor shall pay all costs associated with the release of construction debris into the existing sanitary sewer system due to the construction activities associated with this project.
- The Developer and General Contractor shall be responsible for the prevention of a sewage spill associated the Contractors activities on this project and the Developer and Contractor shall pay all costs associated with the release of sewage into surface drainage system and downstream surface waters.
- Utility Notification (Contractor shall locate all utilities prior to start of excavation):
 - Underground Service Alert 800-227-2600
 - Storm Drains City of Cupertino
 - Sanitary Sewers Cupertino Sanitary District
- All Sanitary Sewer Pipes shall be PVC-SDR26 or approved equal, unless otherwise specified by the District Engineer.
- Access for pedestrians and vehicles shall be provided at all times unless approved in writing by District Engineer.
- VIDEOTAPE INSPECTION OF THE EXISTING/ (N) PROPERTY LINE CLEANOUT, POINT OF CONNECTION AND STREET LATERAL IS REQUIRED PRIOR TO PASSING THE CITY OF CUPERTINO FINAL INSPECTION. OWNER TO CALL DISTRICT 48 HOURS PRIOR TO VIDEO INSPECTION TO SCHEDULE A DISTRICT INSPECTOR. DISTRICT TO PROVIDE BUILDING DEPARTMENT WHIT WRITTEN NOTIFICATION UPON COMPLETION OF INSPECTION.

Approval of these plans by Cupertino Sanitary District does not relieve the installer of the responsibility for the correction of mistakes, errors, or omissions. If, during the course of construction of the sanitary sewers the public interest requires a modification of, or a departure from the District Specifications or these improvement plans, the District Engineer shall have the authority to require such modifications or departure and to specify the manner in which the modifications or departure is to be done.

Approved _____ 20____

CUPERTINO SANITARY DISTRICT

District Engineer

SHEET INDEX:

- | | |
|---|--------------------------------------|
| 1 | COVER SHEET, NOTES, DETAIL |
| 2 | GRADING AND DRAINAGE PLAN |
| 3 | DETAILS |
| 4 | STORMWATER CONTROL PLAN |
| 5 | STORMWATER CONTROL MEASURES/ DETAILS |
| 6 | EROSION CONTROL PLAN |

BASIS OF BEARINGS:

THE BEARING S 89°00'00" E OF CENTERLINE OF PACIFIC DR., AS SHOWN ON THAT CERTAIN RECORD MAP, RECORDED IN BOOK 154 OF MAPS, AT PAGE 4, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

SITE BENCHMARK:

SURVEY CONTROL SET MAG NAIL ELEVATION=248.00'

PROJECT BENCHMARK:

SANTA CLARA VALLEY WATER DISTRICT BM #57 (NAVD 88 DATUM)

CUPERTINO SANITARY SEWER DISTRICT NOTE:

- CUPERTINO SANITARY SEWER DISTRICT CONNECTION PERMIT IS REQUIRED PRIOR TO ISSUE OF ANY BUILDING PERMIT.
- SEE SANITARY SEWER NOTES ON SHEET C-2 FOR REQUIREMENTS AND RECOMMENDATIONS.

NOTE:

"THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, BASEMENT EXCAVATION, PIER DRILLING, FOOTING EXCAVATIONS, PREPARATION OF SUBGRADE AND PLACEMENT OF NON-EXPANSIVE FILL BENEATH THE BASEMENT SLAB AND SLABS-ON-GRADE, PAVEMENTS, RETAINING WALL BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED JANUARY 10, 2013. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-559-9980) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT."

DRAINAGE NOTES

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
- On site storm drain lines shall consist of solid PVC-SCH 40 OR PVC SDR-35 minimum or better. Use PVC SCH80 OR PVC SDR-26 for pipes running under driveway.
- Storm drain inlets shall be precast concrete, Christy U23 type or equivalent. Use traffic grade cover for inlets in driveways and stalls.

CITY ENGINEER'S SIGNATURE

APPROVED BY: TIMM D. BORDEN RCE 45512 Date _____
DIRECTOR OF PUBLIC WORKS EXP. 12/31/14



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LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER / DEVELOPER:

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COVER SHEET

GAS STATION , PHASE ONE
10490 S. DE ANZA BLVD.
CUPERTINO, CA

GRADING AND DRAINAGE PLANS

Revisions:

Date: 02/06/2017

Scale: AS SHOWN

PREPARED BY: S.P.

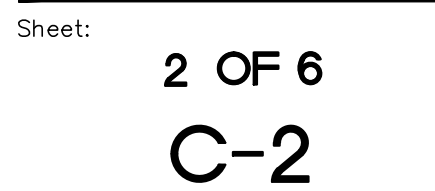
CHECKED BY: S.R.

Job #: 216069

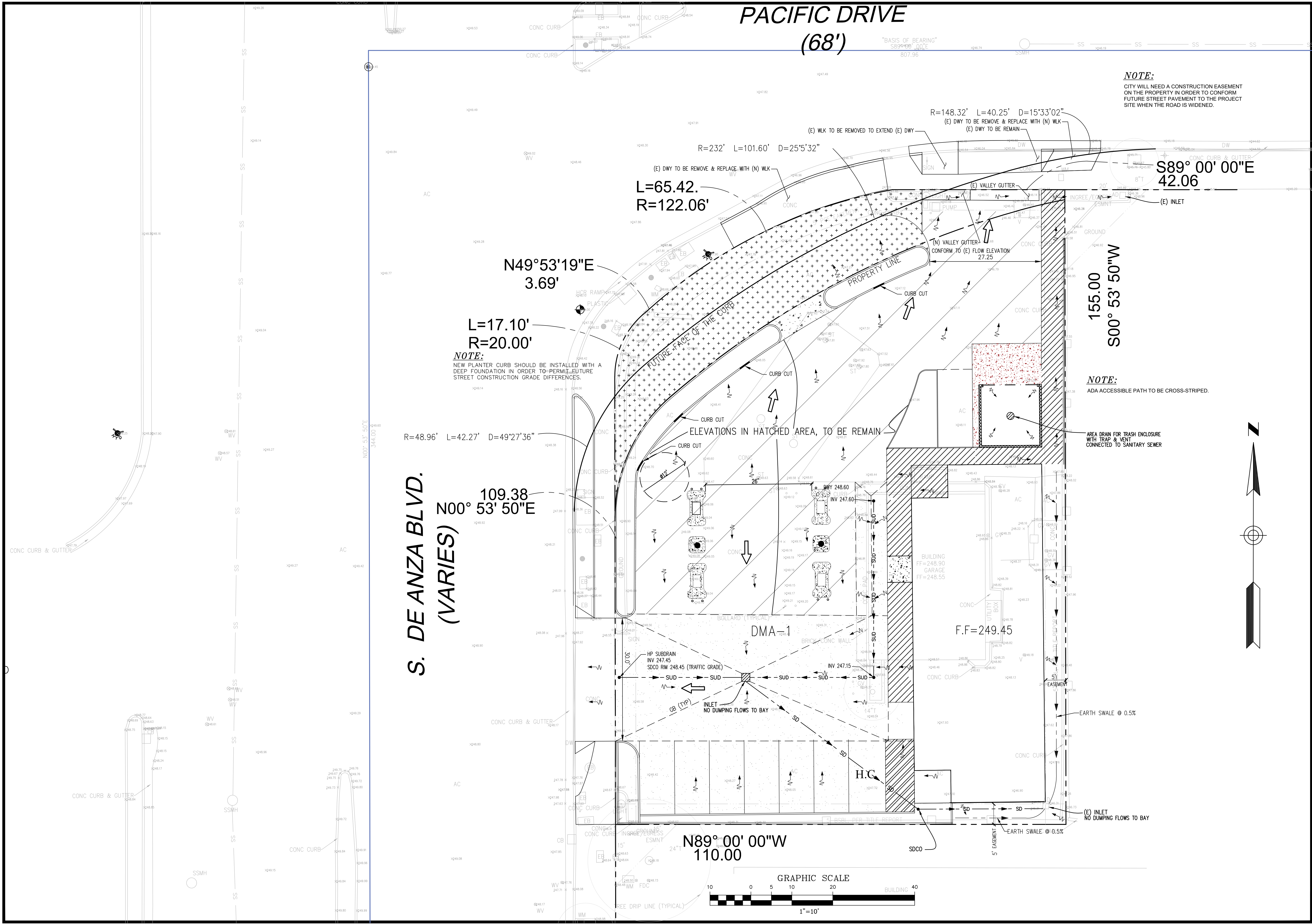
Sheet:

1 OF 6

C-1







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STORMWATER CONTROL PLAN/ MEASURES

GAS STATION , PHASE ONE
10490 S. DE ANZA BLVD.
CUPERTINO, CA

GRADING AND DRAINAGE PLANS

Revisions:

Date: 02/06/2017
Scale: AS SHOWN
PREPARED BY: S.P.
CHECKED BY: S.R.
Job #: 216069
Sheet: 4 OF 6
C-4

Compliance with NPDES Permit Provision C.3:

The San Francisco Bay Regional Water Quality Control Board (SFRWQCB) incorporated updated requirements into Santa Clara County's National Pollution Discharge Elimination System (NPDES) Permit in August 06. These updated stormwater quality control requirements are predominantly in the category of new development discharge controls. The Permit requires that permanent, post-construction stormwater quality control measures be implemented as part of development projects.

Updated stormwater quality control measures include:

- Source Control Measures
- Site Design Measures
- Treatment Control Measures

Beginning August 15, 2006, all projects creating or replacing 10,000 sq. ft. or more of impervious surface area must design and install a permanent post-construction stormwater treatment facility on the site. The system must be design and installed according to numeric sizing criteria.

All projects, regardless of size that create or replace impervious surface may be required to install stormwater quality controls to the maximum extent practicable.

This project proposes to implement appropriate source control and site design measures. The project creates/replaces LESS THAN 10,000 SQFT of impervious surface area, therefore, it is not required to provide stormwater treatment facilities based on numeric sizing criteria. However, the project proposes to implement stormwater treatment measures to maximize the removal of pollutants to the maximum extent practicable.

CONCRETE PAVEMENT MAINTENANCE :

- SWEEP THE PAVEMENT EVERY SIX MONTHS.
- PRESSURE WASH WITH WATER AFTER SWEEPING EVERY SIX MONTHS.

Source Control Measures:

- Covered material storage and Garage.

Site Design Measures:

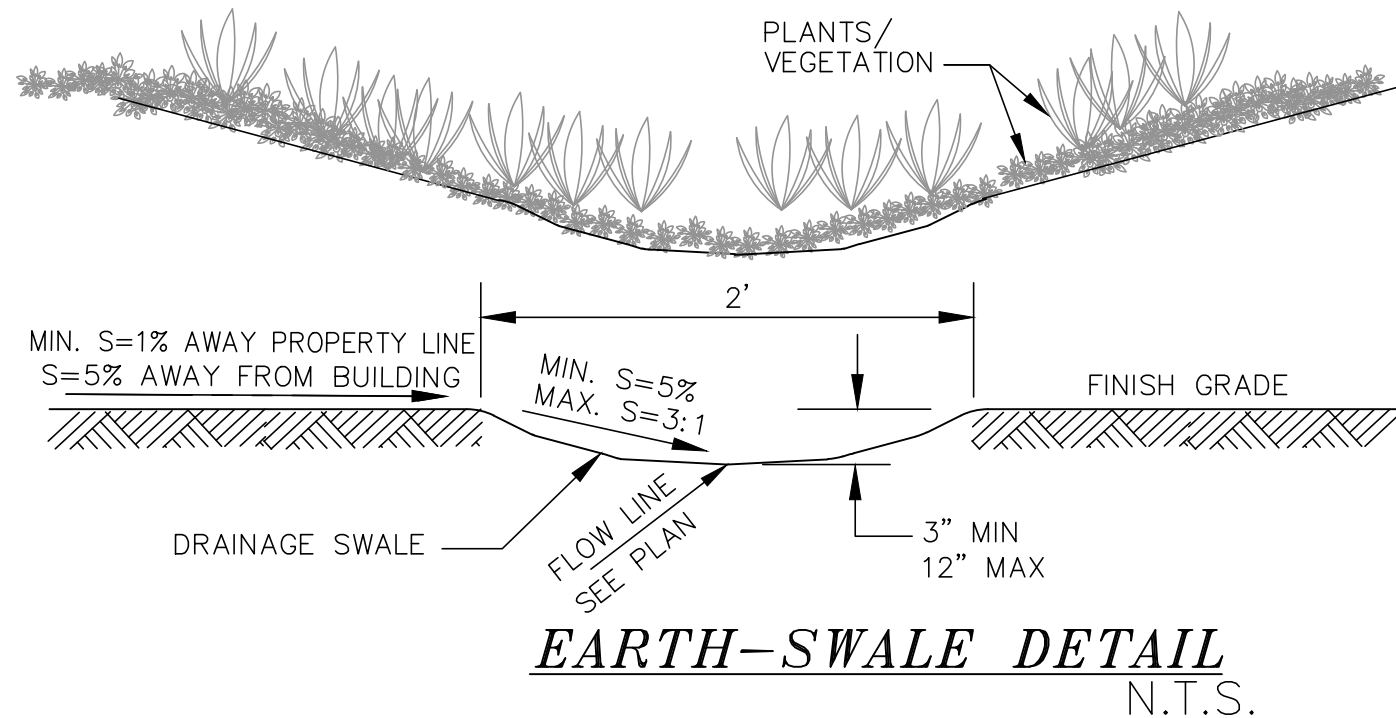
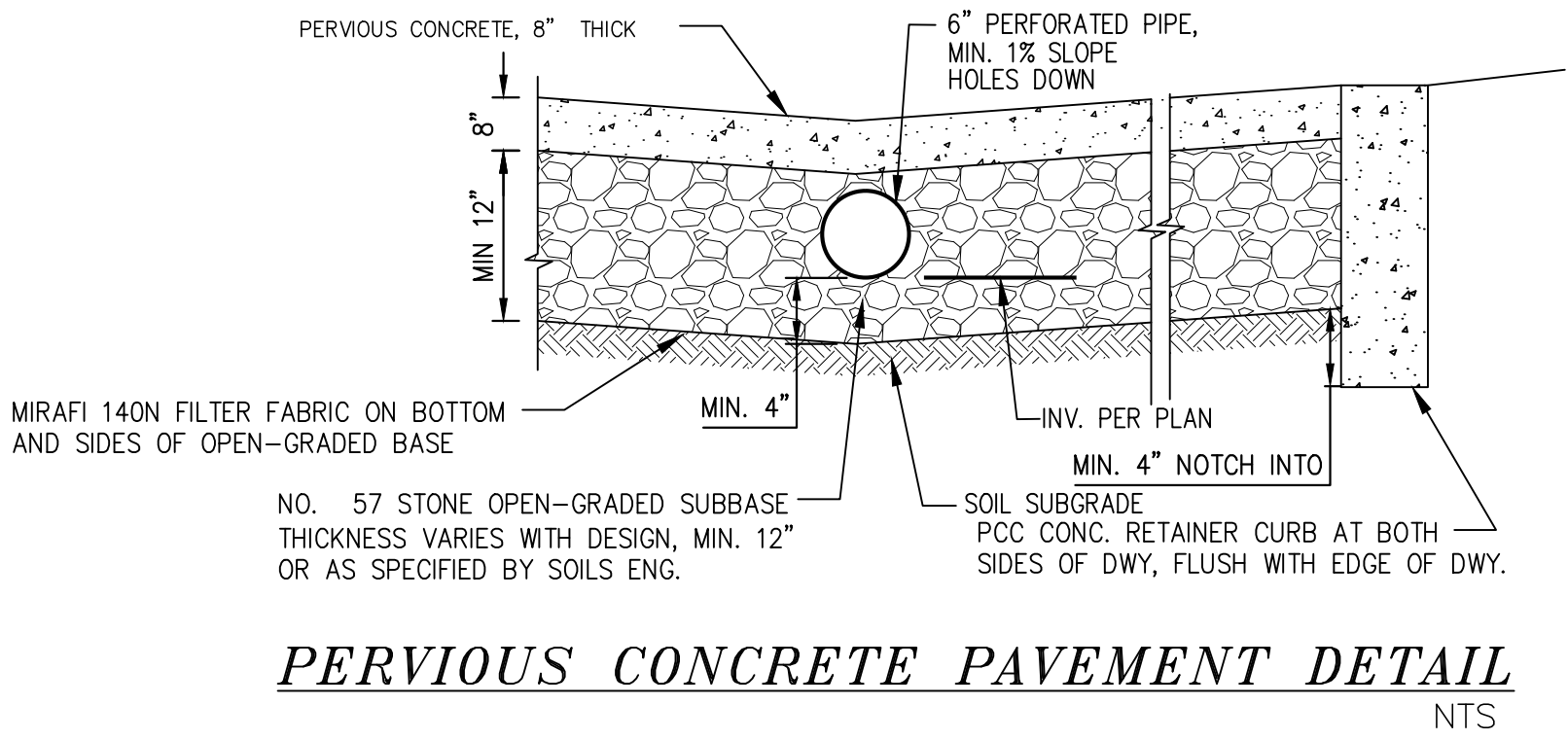
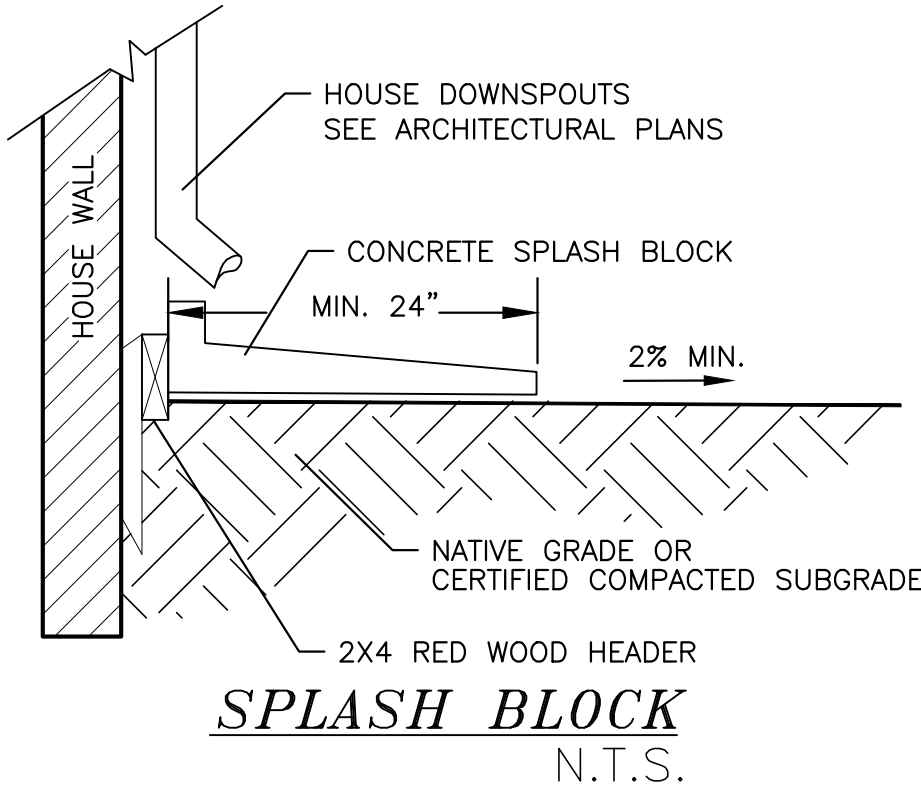
- Pervious Concrete driveway with underdrain,
- Maximized landscaping areas to promote on-site infiltration as much as possible.
- Disconnected Roof downspouts & splash blocks that deflect the water away from the building and flow to on-site landscaped areas and Earthswales.

Stormwater Treatment Measures:

NOT APPLICABLE

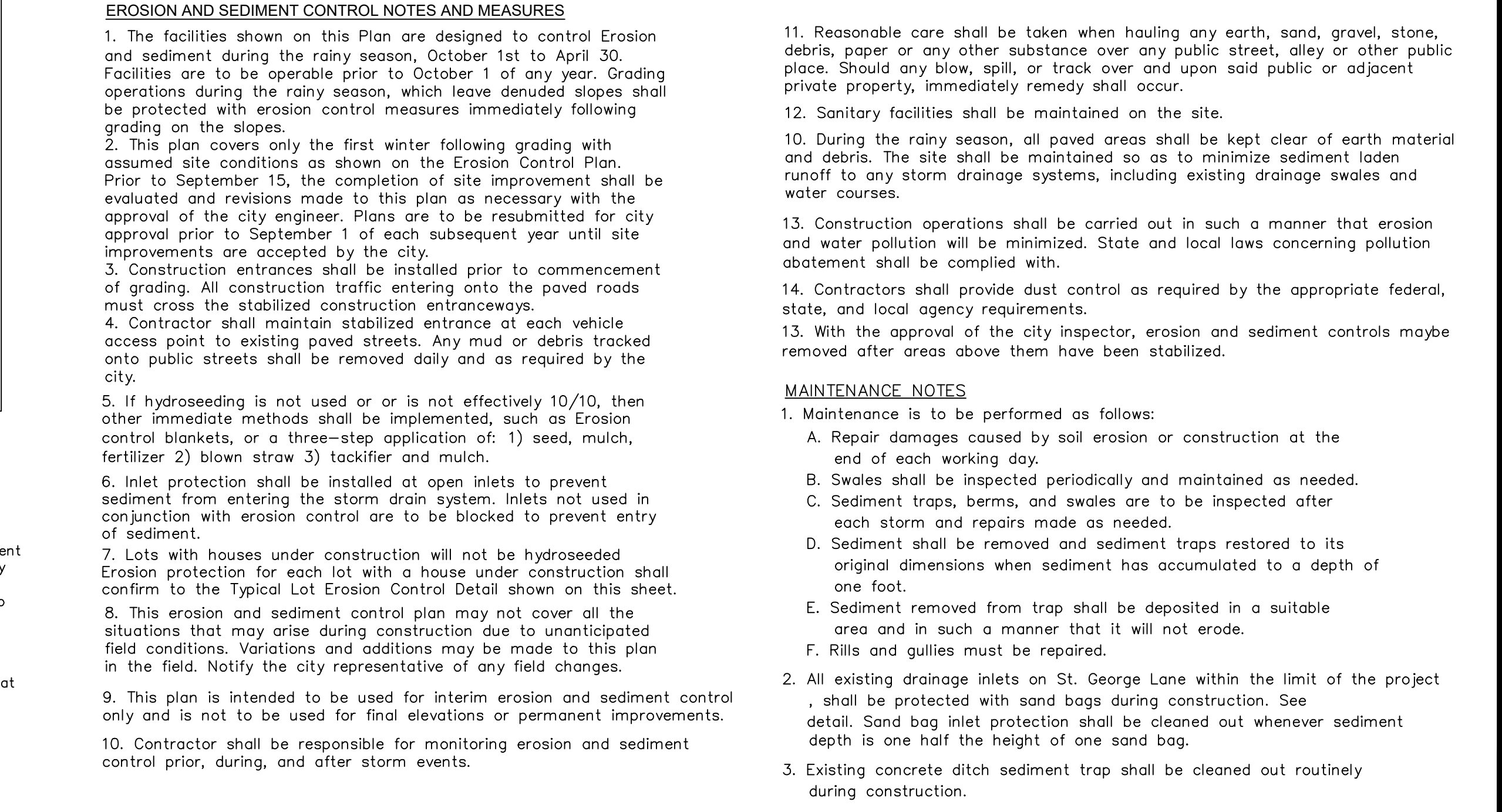
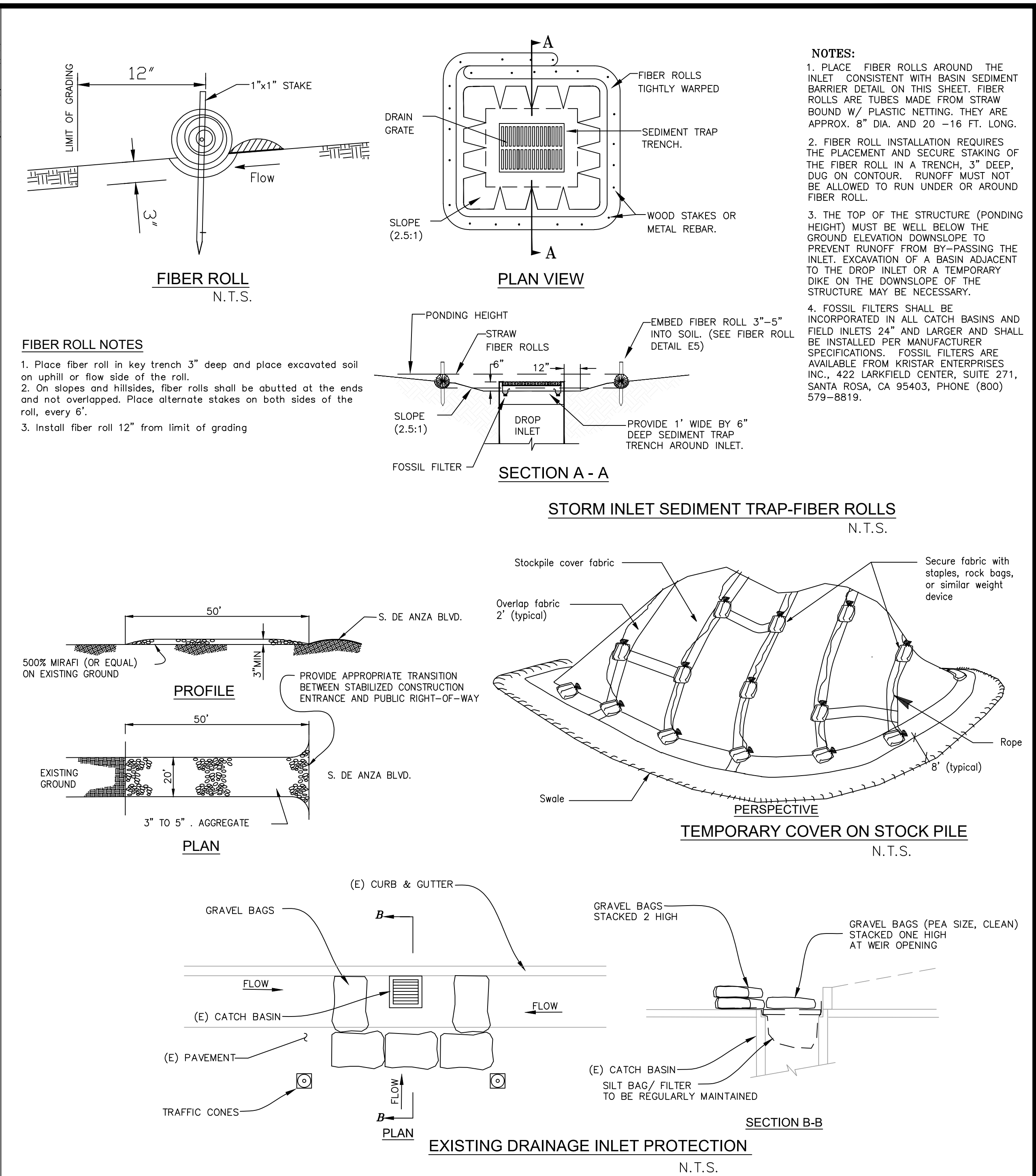
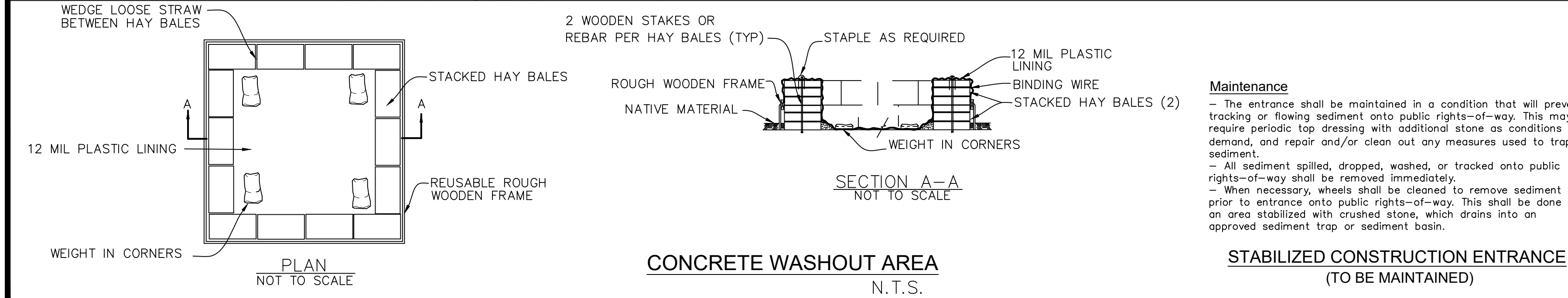
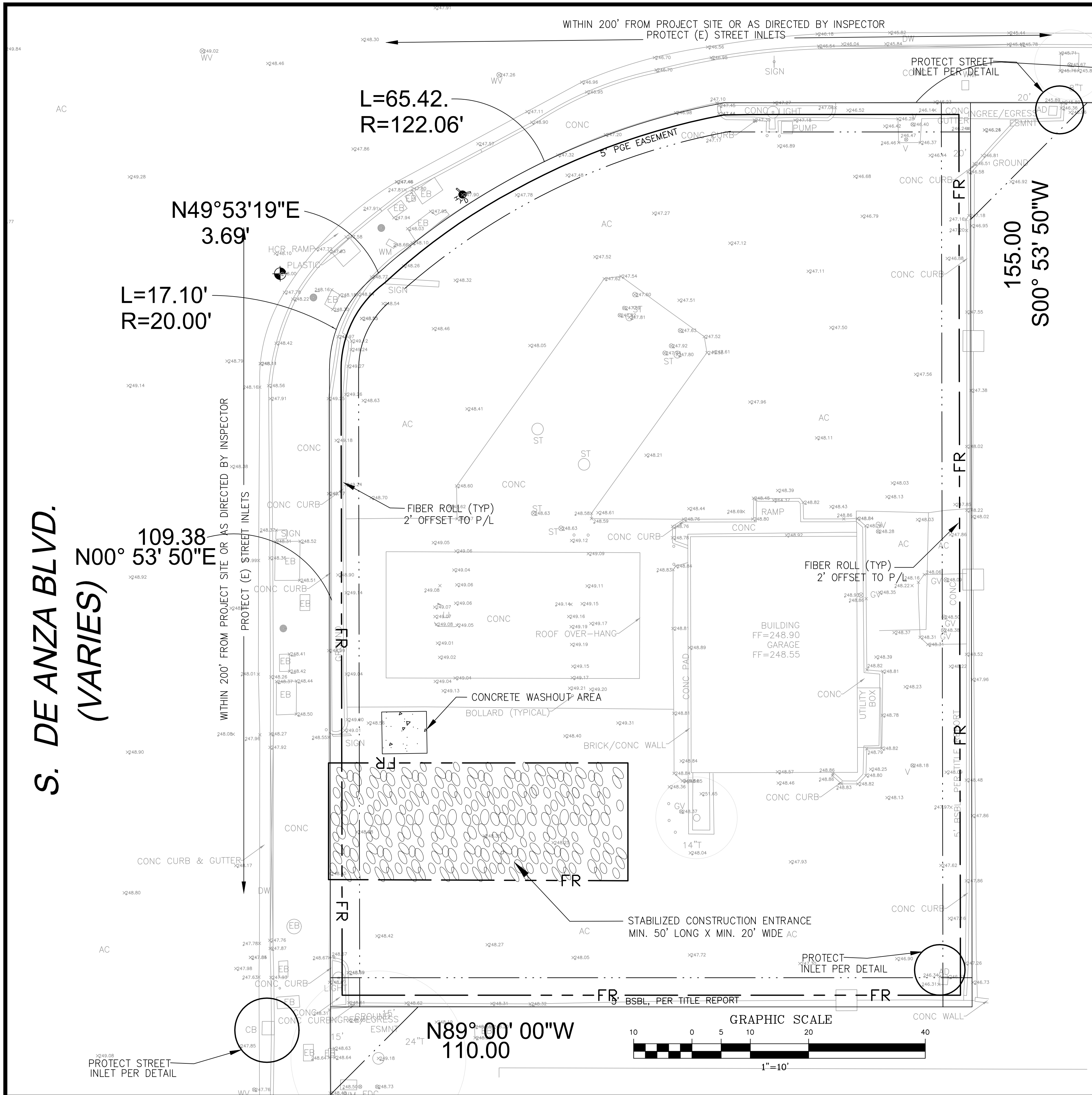
Perimeter Driveway

- Design shall be reviewed and approved by a licensed Geotechnical Engineer and the more conservative design shall govern.
- Design for pervious concrete pavement shall be reviewed by the concrete manufacturer and the National Ready Mixed Concrete Association (NRMCA). A report of the suitability of the design shall be given to the Project Engineer prior to placement of the concrete.
- Installation of pervious concrete shall only be done by contractors with celiification from NRMCA and such contractor shall have at least one foreman with this certification on the job site at all times.
- All new pervious pavement shall have an infiltration rate of 100 in/hr when tested in accordance with ASTM CI 701.
- Protect excavated area from excessive compaction due to construction traffic and protect the finished pavement from construction traffic.



PRE-CONSTRUCTION VS. POST-CONSTRUCTION IMPERVIOUS AREA COMPARISON				
TOTAL GROSS SITE AREA (BEFORE DEDICATION)	16,097	SQFT		
TOTAL NET SITE AREA (AFTER DEDICATION)	14,173	SQFT		
PRE-CONSTRUCTION IMPERVIOUS AREA CALCULATION				
DESCRIPTION	AREA (SQFT.)	AREA (ACRES)	PERCENTAGE	MATERIAL
BUILDINGS	1,154	0.026	8.1%	ROOFING
DRIVEWAY / WALKWAY	12,747	0.293	89.9%	AC/ CONCRETE
TOTAL PROJECT IMPERVIOUS AREA	13,901	0.319	98.1%	IMPERVIOUS
TOTAL PROJECT PERVIOUS AREA	272	0.006	1.9%	PERVIOUS
TOTAL SITE AREA	14,173	0.325	100.0%	
POST-CONSTRUCTION IMPERVIOUS AREA CALCULATION				
DESCRIPTION	AREA (SQFT.)	AREA (ACRES)	PERCENTAGE	MATERIAL
BUILDINGS	2,490	0.057	17.6%	ROOFING
COVERED PORCH	142	0.003	1.0%	ROOFING
TRASH PAD	235	0.005	1.7%	ROOFING
DRIVEWAY	5,446	0.125	38.4%	CONCRETE
WALKWAY, CURB	875	0.020	6.2%	CONCRETE
TOTAL PROJECT IMPERVIOUS AREA	9,188	0.211	64.8%	IMPERVIOUS
PERVIOUS DRIVEWAY	3,142	0.072	22.2%	PERVIOUS CONCRETE
LANDSCAPE	1,843	0.042	13.0%	PERVIOUS
TOTAL PROJECT PERVIOUS AREA	4,985	0.114	35.2%	PERVIOUS
TOTAL SITE AREA	14,173	0.325	100.0%	
PRE VS. POST COMPARISON	AREA (SQFT.)	AREA (ACRES)	PERCENTAGE	
PROJECT IMPERVIOUS AREA REDUCTION	4,713	0.108	33.3%	
DECREASE				

SIZING FOR VOLUME BASED TREATMENT	
Step 1: Drainage Area and % Impervious	DMA # 3142 s.f.
	A= 3142 s.f.
	Impervious Area = 321 s.f.
	Pervious Pavement Area = 2821 s.f.
Step 2: Calculate Correction Factor	MAPsite = 20
	MAPgage = 13.9
Step 3: Calculate Mean Storm Event at the Site.	P6(gage): 0.512 in
	P6(site)= P6(gage) x Correction Factor
Step 4: Calculate the Watershed Runoff Coefficient (Cw)	P6(site): 0.73669 in
	Cw= 0.858i^3 - 0.78i^2 + 0.774i + 0.04
Step 5: Calculate Maximized Detention Storage Volume (Po)	Cw: 0.1118488
	Regression Factor (a) a = 1.963 (48 hour draw down)
Step 6: Calculate Min. Storage Depth Required.	Po = a x Cw x P6(site)
	Po: 0.16175 in.
Step 7: Calculate Design Volume	Design Volume = Po x A x 1ft/12in
	Design Volume = 42.3508 ft^3
SELF RETAINING (PERVIOUS PAVEMENT)	
Step 8: Calculate Min. Storage Depth Required.	Porosity of Rock* 0.40
	Min. Storage Depth Required (in) 0.45
Step 9: Calculate Min. Storage Depth Required.	Pervious ≥ 1/2 Impervious** Yes
	Minimum Storage Depth = Design Volume (c.f.) / Pervious Pavement Area (s.f.) / rock porosity x 12 in/1 ft
Step 10: Calculate Min. Storage Depth Required.	* Porosity of Class II Permeable = 0.4 based on SCVUURP training.
	** If value = "No" increase size of pervious pavement.



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EROSION CONTROL PLAN

GAS STATION, PHASE ONE

10490 S. DE ANZA BLVD.

CUPERTINO, CA

GRADING AND DRAINAGE PLANS

Revisions:

Date: 02/06/2017

Scale: AS SHOWN

PREPARED BY: S.P.

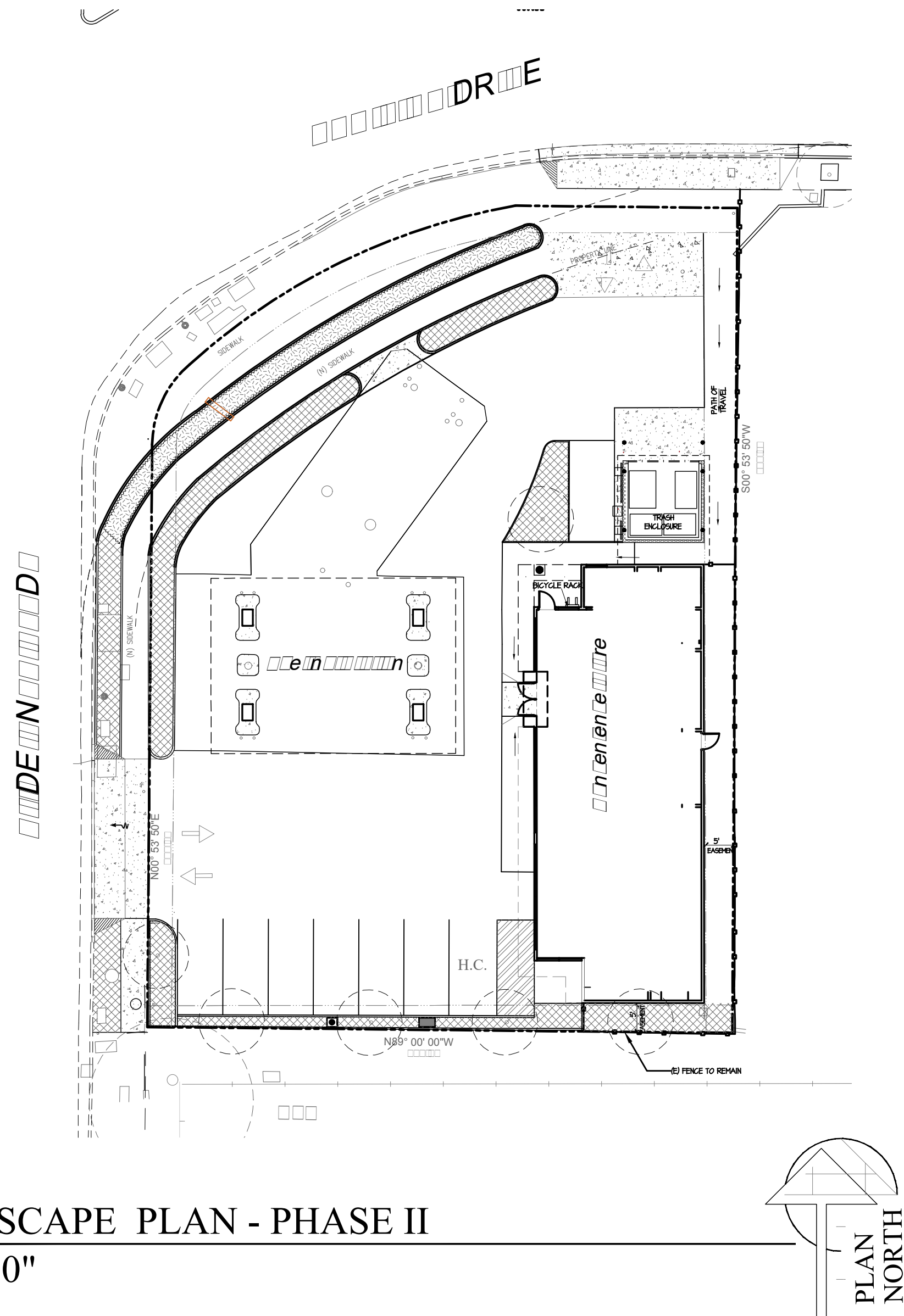
CHECKED BY: S.R.

Job #: 216069

Sheet: 6 OF 6

C-6

L.1.0



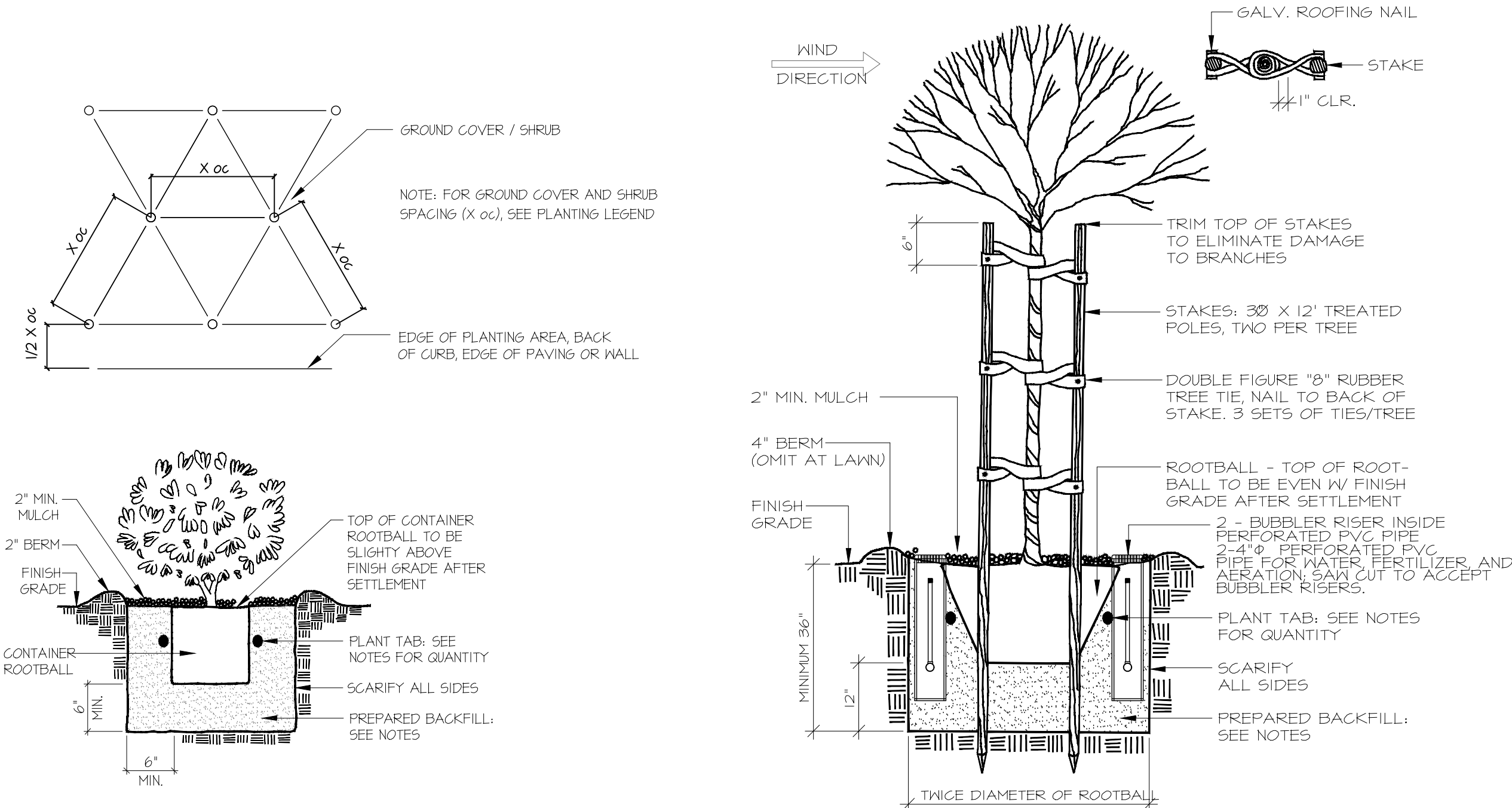
LANDSCAPE PLAN - PHASE II

1"=20'-0"

Maximum Applied Water Allowance				
Eto	X	45 X	Fltg S X	Gal./Sf
45.3	0.45	435	0.62	5,498

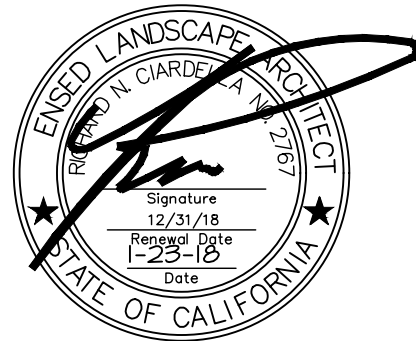
Proposed Landscape Water Use			
Plant Type	H2o Use	Fltg SF	Gallons
Low	0.30	435	100.0%
Medium	0.50	0	0.0%
High	0.90	0	0.0%
Totals		435	100%

Estimated Total Water Use									
Eto	Conv	Eto X 62	HA	FF	Irr	FF X HA	FF X HA / IRR	ETWU	
45.3	0.62	28,086	0	0.9	0.81	0	0	0	
45.3	0.62	28,086	0	0.5	0.81	0	0	0	
45.3	0.62	28,086	435	0.3	0.81	131	161	4,525	
Sub Total			435			131	Total	4,525	



Rosemarinus offic.

PLANT IMAGES



Ciardella associates 640 Menlo Ave, Suite 10 Menlo Park, CA 94025 Tel 650 326 6100 F 650 285 4537 ca@ciardella-assoc.com

PLANTING LEGEND

Symbol BOTANICAL NAME COMMON NAME H2O SIZE

Trees

Existing Tree to remain

Ground Cover

ROS Rosemarinus offic. 'Hunt.Car.' Huntington L 1 Gallon @ 30" oc

ROS Existing Landscape to Remain

PLANTING NOTES

1. All trees are to be staked as shown in the staking diagram per city requirement.
2. Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
3. All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch.
4. All ground cover planting shall be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
5. There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species an size as those damaged.
6. All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
7. Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect .
8. Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
9. All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
10. HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
11. Landscaping shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
12. CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.
13. A minimum of 8" of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas.
14. Incorporate compost or natural fertilizer into the soil to a minimum depth of 8" at a minimum rate of 6 cubic yards per 1000 square feet.
15. All Plantings shall be automatically irrigated utilizing state of the art system components and installation techniques and drip irrigation where appropriate and a weather based controller.
16. All planting and irrigation shall comply with the city of City of Cupertino Water Efficient Landscape Requirements for larger landscapes.
17. All details shall comply with city standard details.

A.G.P. Design Group 1296 Virginia Ave, Campbell, CA 95008 Tel:(408) 316.6168 E-Mail:agp@pacbell.net

LANDSCAPE PLAN - PHASE II

10490 S. DE ANZA BLVD. CUPERTINO, CA

REVISIONS	
ITEM NO.	DATE

PLOT SCALE:	12"=1'-0"
DRAWN BY:	RC
CHECKED BY:	RC
PROJECT NO:	DATE:
SCALE: AS SHOWN	11-15-17

L.2.0



SOUTH



SOUTH



WEST



EAST

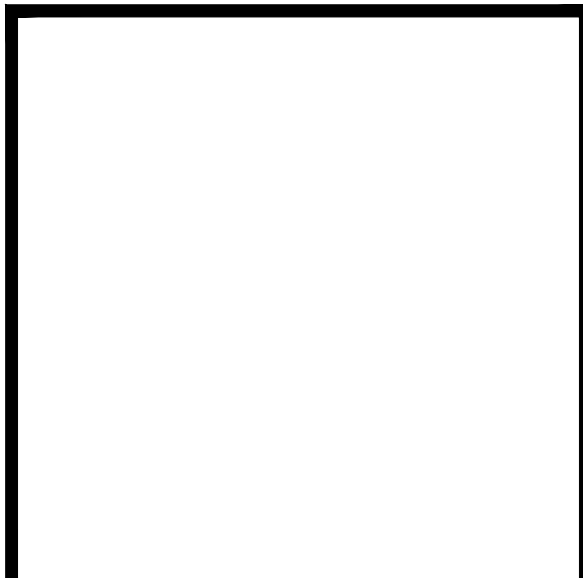


EAST



A.G.P.


Design Group
1296 Virginia Ave.
Campbell, CA 95008
Tel: (408) 316.6168
E-Mail: agp@pacbell.net



PHOTOS

10490 S. DE ANZA BLVD.
CUPERTINO, CA

REVISIONS		DATE
NO.	ITEM	

PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
CHECKED BY:	MF
PROJECT NO:	DATE:
SCALE: AS SHOWN	07-6-16

PH.0



PACIFIC ST./ DE ANZA BLVD.- NORTH



PACIFIC ST.- SOUTH



PACIFIC ST.- WEST



PACIFIC ST.- EAST



DE ANZA BLVD.- SOUTH



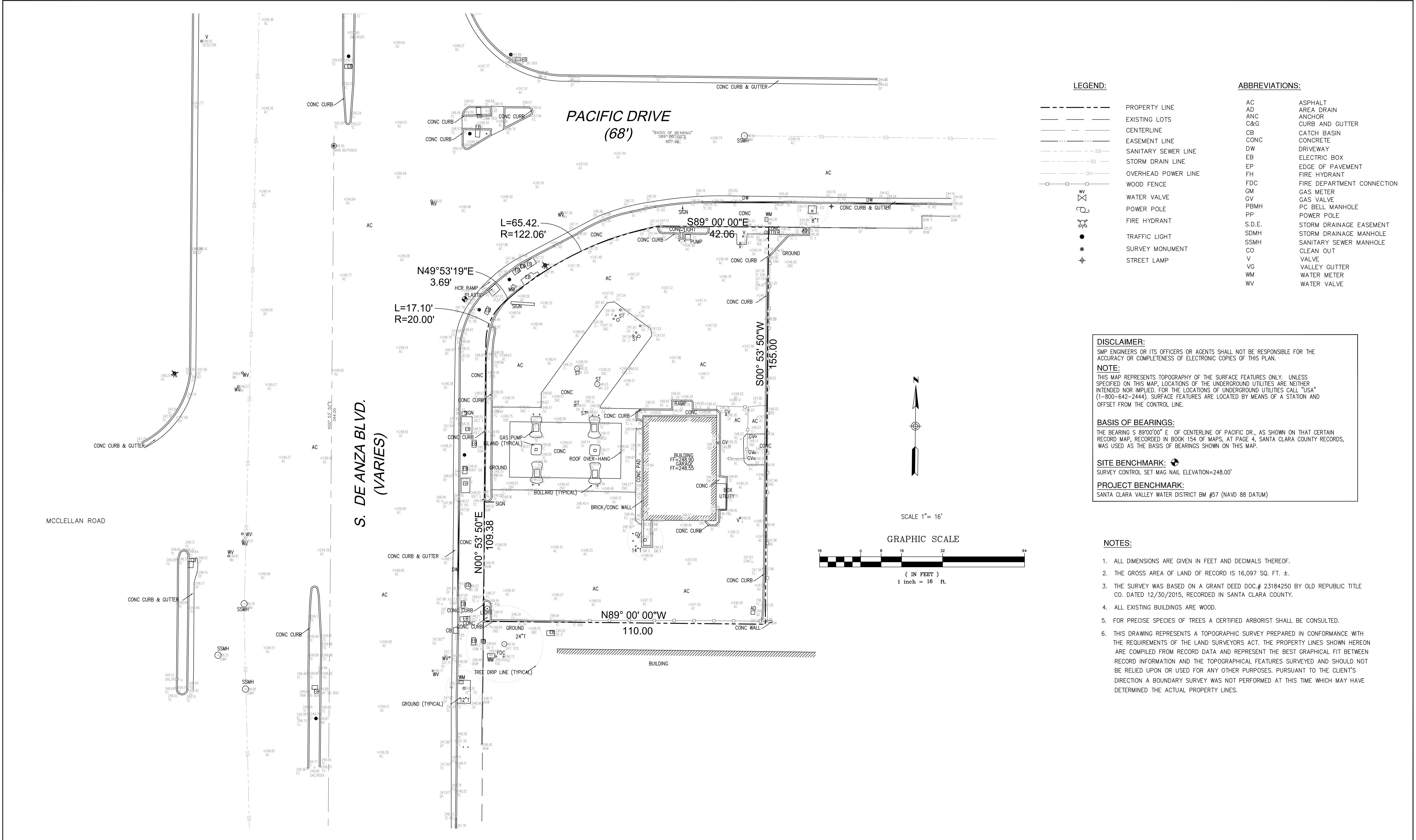
DE ANZA BLVD.- NORTH



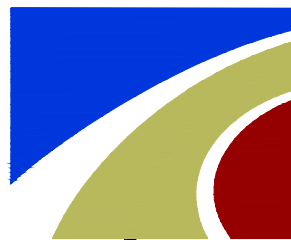
DE ANZA BLVD.- WEST



DE ANZA BLVD.- EAST



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SMP ENGINEERS

CIVIL ENGINEERS—LAND SURVEYORS

1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

Scale:
1" = 16'
Prepared by:
J.N.
Checked by:
S.R.
Date:
6/15/2016
Project No:
216069

R R E M

Sheet No:

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

ER IN