

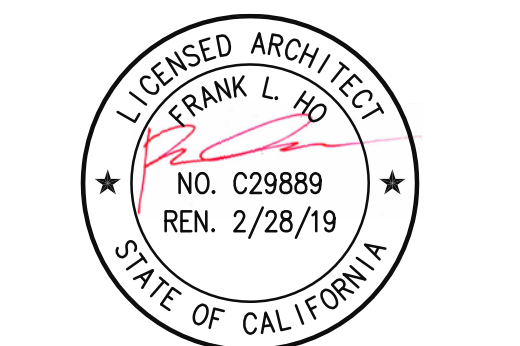


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New Custom Homes
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Cupertino, CA 95014

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STRUCTURE ENGINEER:

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Sheet Title:
PLOT PLAN

Sheet No.:

A0.1

- ### TREE PROTECTION MEASURE
- A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
 - ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
 - NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
 - IF TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
 - TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
 - THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
 - FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
 - THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE GRADING OR CONSTRUCTION. NO BRANCHES OR ROOTS SHALL BE CUT UNLESS AT FIRST REVIEWED BY THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
 - ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
 - NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
 - TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

- ### PROJECT SCOPE
- REMOVE (E) 862SF SINGLE STORY HOME
 - PROPOSE (N) 2 STORIES HOME AND 2 CARS GARAGE.
 - TOTAL 4 BEDROOMS, AND 3.5 BATHROOM.
 - PROVIDE NEW DRIVE WAY @ EXISTING ROLL UP CURB
 - PROPOSE TO PLANT (N) TREE IN FRONT YARD AS REQUIRED FROM CITY OF CUPERTINO.
 - PROVIDE PRIVACY PROTECTION PLAN IN REAR YARD.

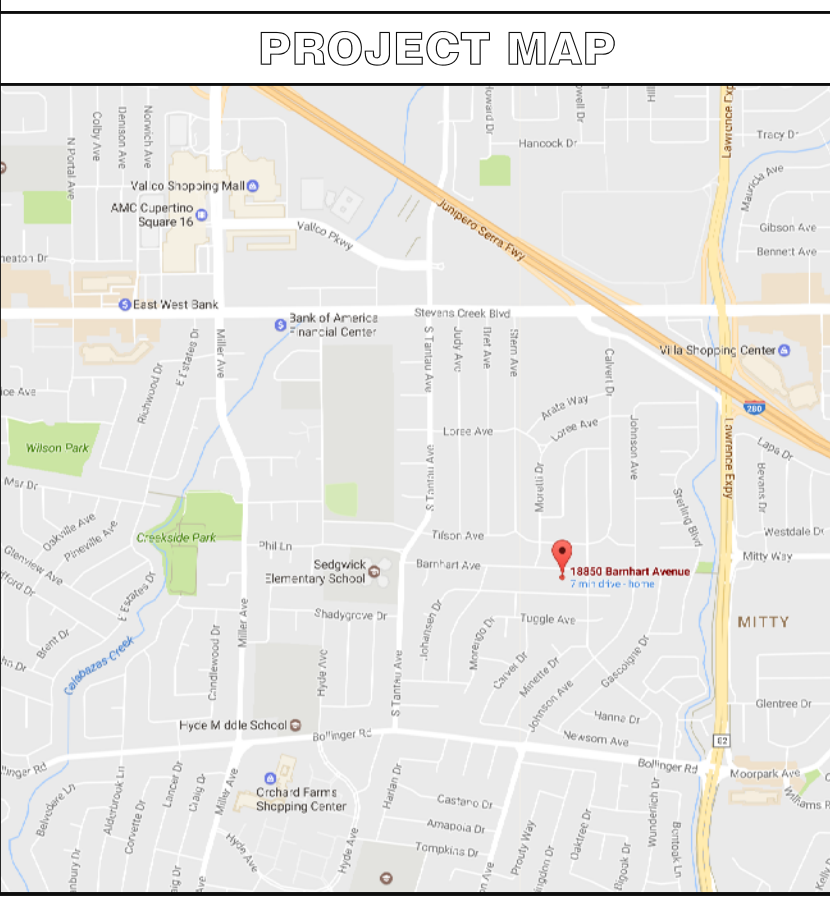
- ### FIRE NOTE
- AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL NEW BUILDINGS AND STRUCTURES EXCEEDING ONE THOUSAND SQUARE FEET. COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE. THE NEW DETACHED GARAGE DOES NOT REQUIRE FIRE SPRINKLERS. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC SEC. 903.2, AS ADOPTED AND AMENDED BY CUPMC.
 - PORTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE PORTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 1314.7
 - CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 14 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33
 - ADDRESS IDENTIFICATION: (N) AND (E) BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST W/ THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBER SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBER SHALL BE MIN. OF 4 INCHES HIGH W/ A MIN. STROKE WIDTH OF 0.5 INCH. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OF MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1

PROJECT DATA	
JOB LOCATION:	18850 BARNHART AVENUE
JURISDICTION:	CITY OF CUPERTINO
APN:	375-33-015
CONST. TYPE	VB
FIRE SPRINKLER	FULLY FIRE SPRINKLER
LOT SIZE:	5,355SF
ZONING:	R1-5
OCC GROUPS	R3/U
LAND USE	RESIDENCE LOW DENSITY (1-6 DU/AC) RANCHO RINCONADA
	2016 CBC, CPC, CMC, CEC, AND 2016 CRC CUPERTINO MUNICIPAL CODE 2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA GREEN BUILDING CODE
EXISTING HOUSE:	
REMOVE (E) LIVING AREA:	841SF
REMOVE (E) CARPORT	280SF
EXISTING BUILDING AREA	1,121SF
EXISTING F.A.R.	21%
(E) BUILDING COVERAGE	21%
PROPOSE:	
FIRST FLOOR LIVING:	1,162SF
FIRST FLOOR GARAGE:	415SF
SECOND FLOOR LIVING:	823SF
TOTAL (N) BUILDING	2,400SF
AREA NOT INCLUDE IN FAR	
FRONT PORCH	67SF
REAR PATIO	455SF
ROOF OVERHANG	318SF
TOTAL	840SF
BAY WINDOW	14.5SF
FIRE PLACE	8.5SF
2ND FLOOR DECK	81SF
TOTAL PROPOSE LIVING AREA:	1,985SF
TOTAL 1ST FLOOR AREA:	1,577SF
TOTAL 2ND FLOOR AREA:	823SF
2nd to 1st FLR. RATIO	$\frac{823SF}{1,577SF} = 53\% < 66\%$
F.A.R.:	$\frac{2,400SF}{5,355SF} = 44.82\%$
1ST FLR. BLD. COVERED:	$\frac{1,577+840+14.5+8.5}{5,355SF} = 2,440SF$
BLD. COVERAGE:	$\frac{2,440SF}{5,355SF} = 45.57\% < 50\%$
FRONT YARD AREA	=1,020SF
FRONT YARD IMPERVIOUS AREA	=427SF<50% FRONT YARD
TURF AREA = 362SF TOTAL NON-TURF = 1,890SF LANDSCAPE = 2,252SF<2,500SF TURF PERCENTAGE = 16.08%<25%	

PROJECT INDEX	
A0.1	PLOT PLAN AND DEMOLITION PLAN
A0.2	PRIVACY PROTECTION PLAN, BUILDING AREA DIAGRAM, AND ROOF PLAN
A2.1	1ST FLOOR PLAN, AND 2ND FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS AND SECTIONS
LA0	LANDSCAPE AREA DIAGRAM
LA1	PLANTING PLAN
LA2	IRRIGATION PLAN
C1	SURVEY PLAN

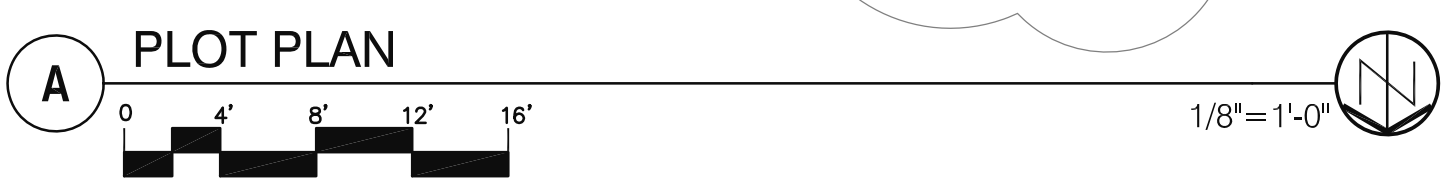
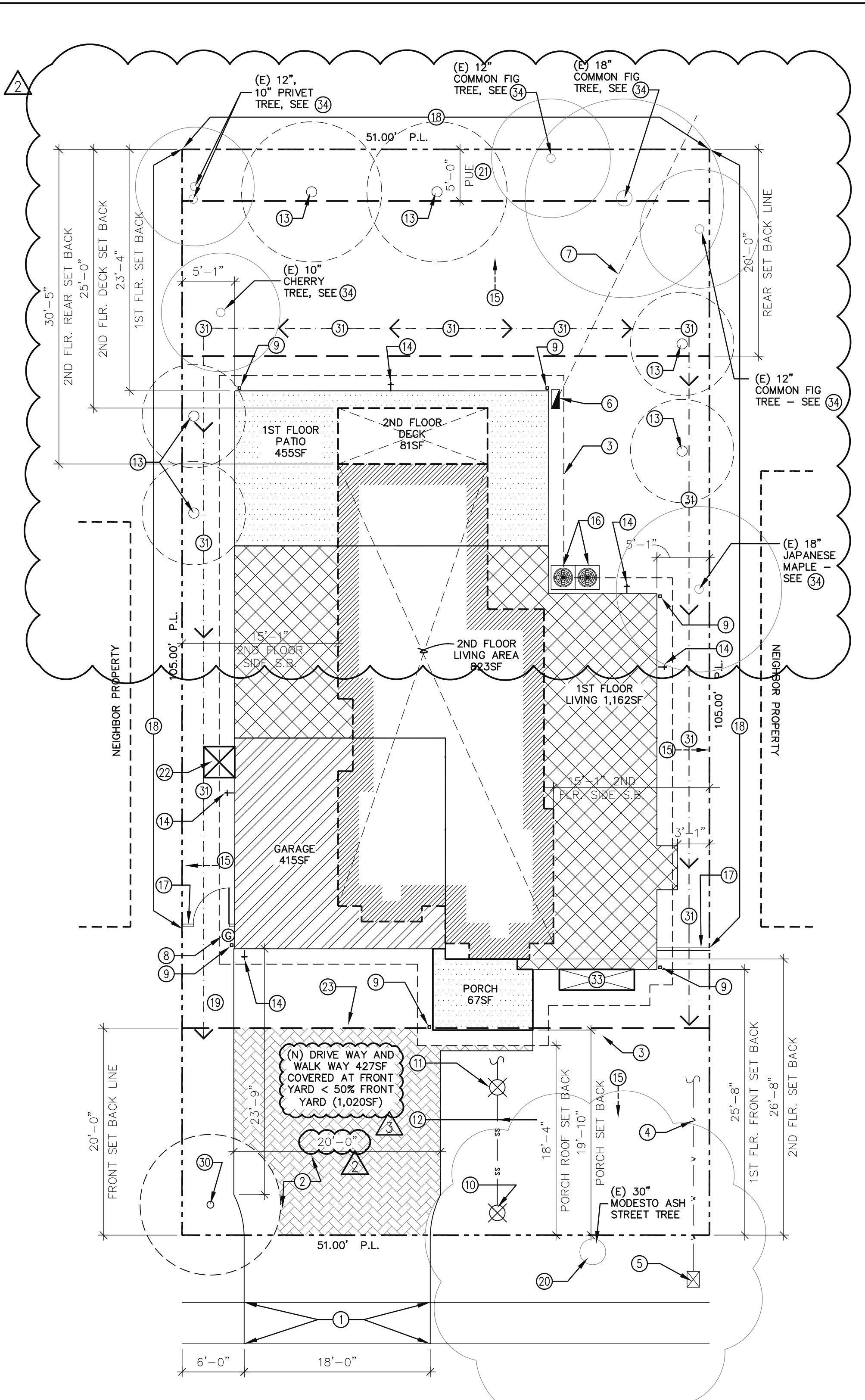
- ### PUBLIC WORKS NOTES
- APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTIONS OF MISTAKES, ERRORS, OR COMMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OF/OR A DEPARTURE FROM THE CITY OF CUPERTINO SPECIFICATION OR THESE IMPROVEMENT PLANS, THE CITY ENGINEERS SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME TO BE COMPLETED, AT THE SOLE EXPENSE OF THE OWNER AND/OR CONTRACTOR.
 - CONTACT PUBLIC WORKS, 777-3104, FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
 - ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
 - CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
 - THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
 - UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
 - A WORK SCHEDULE OF GRADING AND EROSION & SEDIMENT CONTROL PLAN SHALL BE PROVIDED TO THE CITY ENGINEER BY AUGUST 15. NO HILLSIDE GRADING SHALL BE PERFORMED BETWEEN OCTOBER 1 TO APRIL 15.
 - TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
 - ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPED AREAS.
 - PRIOR TO ROUGH FRAMING INSPECTION OR PRIOR ANY WORK TO COMMENCE WITHIN THE PUBLIC RIGHT OF WAY, WHICHEVER COMES FIRST, THE OWNER AND/OR THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT. CONTACT JO ANNE JOHNSON AT (408) 777-3245 FOR ENCROACHMENT REQUIREMENTS AND PERMIT. ALL ENCROACHMENT PERMITS REQUIRE A CERTIFICATE OF LIABILITY INSURANCE AND A SEPARATE ENDORSEMENT NAMING THE CITY OF CUPERTINO AS ADDITIONAL INSURED AS WELL AS A VALID CONTRACTOR LICENSE (NOTE: LICENSE B CONTRACTORS ARE ONLY PERMITTED TO PERFORM WORK ON-SITE AND WILL NOT BE PERMITTED TO PERFORM WORK IN THE PUBLIC RIGHT OF WAY).
 - PROVIDE 5% MIN. SLOPES FOR GRADE AWAY FROM FOUNDATIONS AND DRAINAGE ADJACENT FROM ADJACENT PROPERTY LINES.

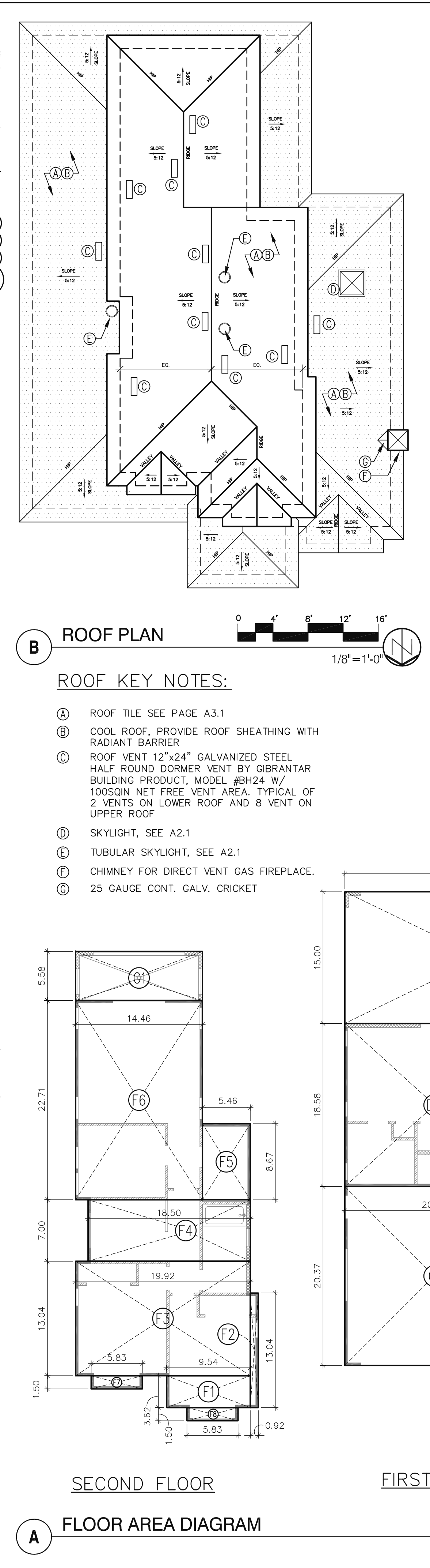
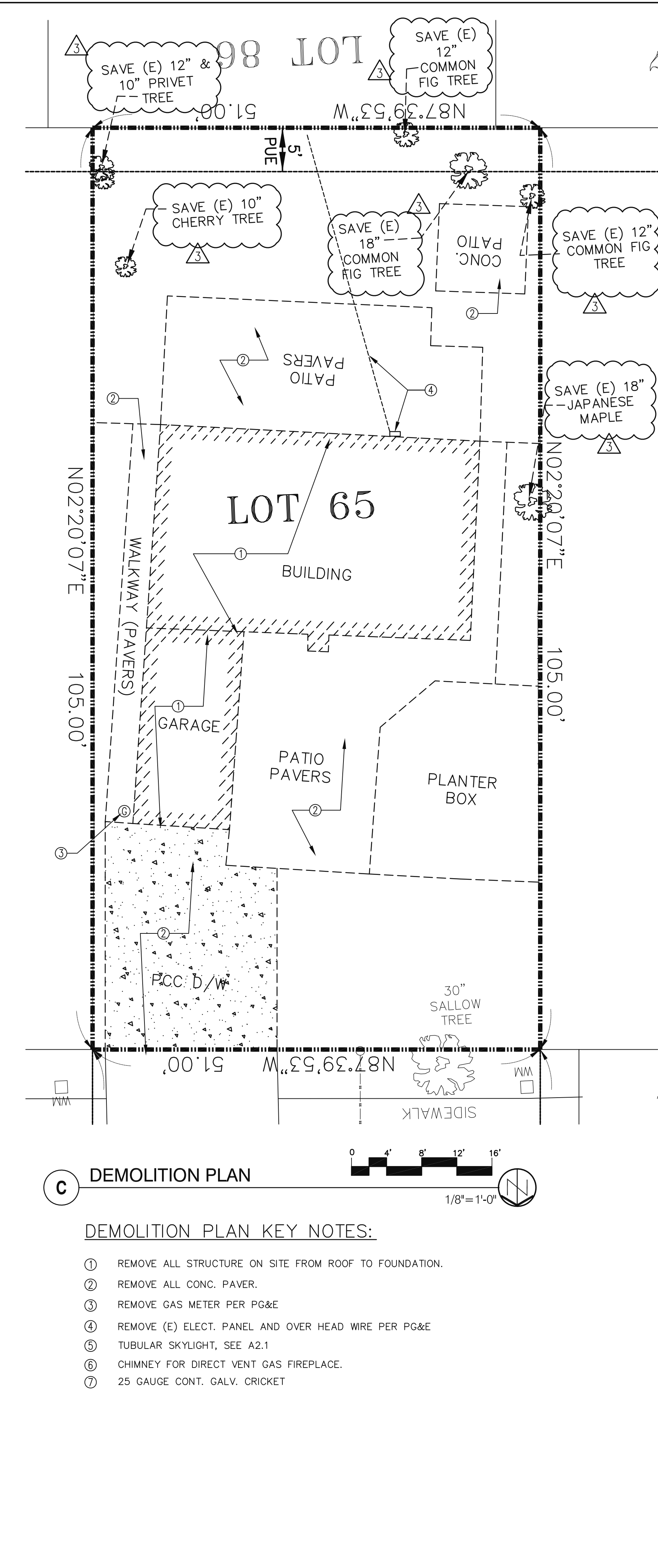
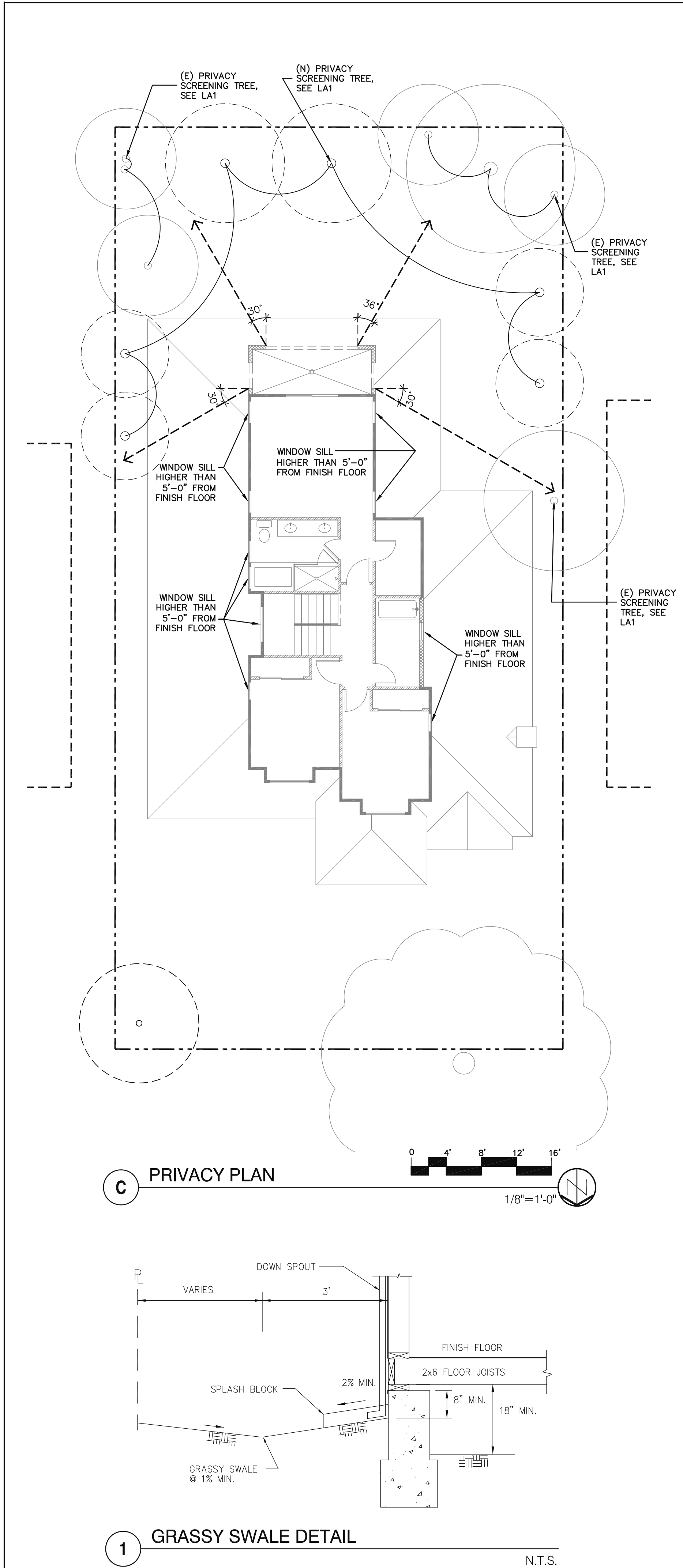
- ### GENERAL NOTES
- AN ENCROACHMENT PERMIT TO BE OBTAINED FOR ANY WORK DONE BEYOND THE PROPERTY LINE.
 - OWNER/CONTRACTOR TO OBTAIN J NUMBER FROM THE BAAQMD FOR DEMOLITION OF EXISTING STRUCTURE PRIOR OBTAIN DEMOLITION PERMIT.
 - THE PROPERTY OWNER SHALL RECORD A COVENANT ON THE PROPERTY FOR THE NEW TREES/SHRUBS PLANTED FOR PURPOSE OF REQUIRED PRIVACY PROTECTION, AND REQUIRED FRONT YARD TREE.
 - FOLLOWING COMPLETION OF CONSTRUCTION, AN AFFIDAVIT FROM AN ISA-CERTIFIED ARBORIST SHALL BE PROVIDED CONFIRMING THAT THE NEW TREE HAVE BEEN PLANTED PROPERLY AND ACCORDING TO PLAN.
 - A PLANNING DIVISION INSPECTION IS REQUIRED TO VERIFY EXTERIOR MATERIALS/FINISHES, TREES, LANDSCAPING, SITE WORK.
 - A CERTIFIED LANDSCAPE PROFESSIONAL SHALL CONDUCT A LANDSCAPE INSTALLATION AUDIT AFTER THE LANDSCAPING AND IRRIGATION SYSTEM HAVE BEEN INSTALLED PER CHAPTER 14.15 (LANDSCAPE ORDINANCE). THE FINDINGS OF THE ASSESSMENT SHALL BE CONSOLIDATED INTO A LANDSCAPE INSTALLATION REPORT PROVIDED TO THE PLANNING DIVISION.
 - THE PROPERTY OWNER SHALL SIGN A LANDSCAPE MAINTENANCE AGREEMENT PER CHAPTER 14.15 (LANDSCAPE ORDINANCE), PREPARED BY THE CITY, AND RECORD IT WITH COUNTY OF SANTA CLARA RECORDER'S OFFICE. THE PROPERTY OWNER SHALL CONTACT THE PLANNING DIVISION IN ADVANCE OF THE FINAL TO PREPARE THE AGREEMENT.
 - A CERTIFIED LANDSCAPE PROFESSIONAL SHALL PROVIDE A LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE PER CHAPTER 14.15 (LANDSCAPE ORDINANCE) TO THE PLANNING DIVISION.



- ### SITE KEY NOTES
- (E) SIDE WALK, CURB, GUTTER AND CURB CUT TO REMAIN AS IS.
 - (N) PERVIOUS STONE PAVER DRIVE WAY.
 - 18" ROOF OVER HANG, TOTAL AREA IS 318SF
 - (N) 1 1/2" WATER LINE
 - (E) 3" WATER METER TO REMAIN AS IS, V.I.F.
 - (N) ELECTRICAL MAIN PANEL, MIN. 200A
 - (N) OVER HEAD UTILITIES LINE
 - (N) GAS METER PER PG&E
 - (N) DOWN SPOUT WITH PROVIDE DIRECT ROOF RUNOFF AND ON-SITE SURFACE DRAINAGE TO LANDSCAPED AREAS OR GRASS SWALES FOR INFILTRATION TO THE GREATEST DEGREE POSSIBLE
 - (N) PROPERTY LINE C.O. MUST BE WITHIN 5 FEET OF THE PROPERTY LINE, CLEAN OUT SHALL BE THE SAME DIAMETER AS THE STREET PORTION OF THE SERVICE. LATERAL GRAVITY LATERAL IS 4" DIAMETER MIN. SEE C1
 - (N) 4" CLEAN OUT
 - (N) 4" ABS SEWER LINE
 - (N) PRIVACY SCREENING TREE, SEE PRIVACY PLAN ON A0.2 AND LOCATION OF TREE
 - (N) HOSE BIBB W/ NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE
 - GRADE TO SLOPE AWAY FROM STRUCTURE MIN. OF 5% WITHIN THE 1ST 10- FEET OF STRUCTURE. IF IMPERVIOUS SURFACES ARE WITHIN THE FIRST 10- FEET OF THE BUILDING, A MIN. OF 2% AWAY FROM STRUCTURE IS ALLOWED.
 - CONDENSER UNIT SHALL BE MORE THAN 5' SET BACK FROM SIDE PROPERTY.
 - (N) 6'-0" MAX. HIGH REDWOOD FENCE AND/OR GATE
 - (E) 6'-0" MAX. HIGH REDWOOD FENCE ALONG PROPERTY LINE.
 - FIRST FLOOR SIDE SET BACK
 - (E) 30" DIA. MODESTO ASH STREET TREE TO REMAIN AND PROTECTED DURING CONSTRUCTION PER CITY STANDARD 6-4. SEE 1 A0.2
 - PUE SHALL BE KEPT OPEN AND FREE FROM BUILDINGS AND STRUCTURES OF ANY KIND.
 - LANDING WITH MAX. 6" FROM NATURAL GRADE. LANDING WITH 18" HIGH FROM GRADE SHALL HAVE 10'-0" MIN. SET BACK
 - FRONT SET BACK LINE
 - REMOVE ALL CONC. PAVER DRIVE WAY AND SIDE WALK
 - REMOVE (E) GARAGE AND HOUSE STRUCTURE
 - REMOVE (E) CARPORT
 - REMOVE (E) GAS METER PER PG&E
 - REMOVE (E) ELECT. METER AND ELECT. SERVICE PER PG&E.
 - REMOVE (E) TREE
 - (N) AUTUMN PURPLE ASH TREE OR PER CUPERTINO FRONT YARD TREE REQUIREMENT, MIN. 24" BOX OR LARGER, WITH A MIN. HEIGHT 8'-0".
 - GRASSY SWALES MIN. 1% SLOPE, SEE DETAIL 1
 - BARNHART AVE. IS RECENTLY PAVED; THEREFORE, STREET CUT MORATORIUM IS IN PLACE FOR A PERIOD OF THREE YEARS. HOWEVER, EXCEPTIONS CAN BE GRANTED WITH PROPER PAVEMENT RESTORATION SUCH AS SLURRY SEAL. THEREFORE, ADDITIONAL COST MAY BE ADDED TO ANY UTILITY WORK IN THE PAVEMENT.
 - 14.5SF BAY WINDOW WITH WINDOW SEAT MIN. 24" FROM FINISH FLOOR
 - (E) TREE SHALL REMAIN TO PROVIDE PRIVACY SCREENING PER TREE REPORT BY MARK BEAUDOIN, CERT. ARBORIST WC 1050

- ### DEFERRED SUBMITTAL
- FIRE SPRINKLER DESIGN BY OTHER AND SUBMIT PRIOR TO INSTALLATION.
 - IRRIGATION PLAN WILL BE INCLUDE IN BUILDING PERMIT DRAWING SETS.





AREA DIAGRAM TABLE					
PORCH	FEET	X	FEET	=	SF
A1	1.21	X	7.50	=	9.08
A2	1.5	X	5.50	=	8.25
A3	6.96	X	6.50	=	45.24
TOTAL					62.57
REAR PATIO					
B1	30.33	X	15.00	=	454.95
GARAGE					
C1	20.37	X	20.37	=	414.94
AREA NOT COUNT IN F.A.R.					
D0	2.00	X	4.25	=	8.50
D1	7.25	X	2.00	=	14.50
TOTAL					23.00
FIRST FLOOR LIVING AREA					
D2	13.5	X	36.37	=	491.00
D3	6.96	X	35.37	=	246.18
D4	9.96	X	4.58	=	45.62
D5	20.37	X	18.58	=	378.47
TOTAL					1161.26
DECK					
G1	14.46	X	5.58	=	80.69
SECOND FLOOR					
F1	9.54	X	3.62	=	34.53
F2	0.92	X	13.04	=	12.00
F3	19.92	X	13.04	=	259.76
F4	18.50	X	7.00	=	129.50
F5	5.46	X	8.67	=	47.34
F6	14.16	X	22.71	=	321.57
F7	5.83	X	1.50	=	8.75
F8	5.83	X	1.50	=	8.75
TOTAL					822.19

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STRUCTURE ENGINEER:

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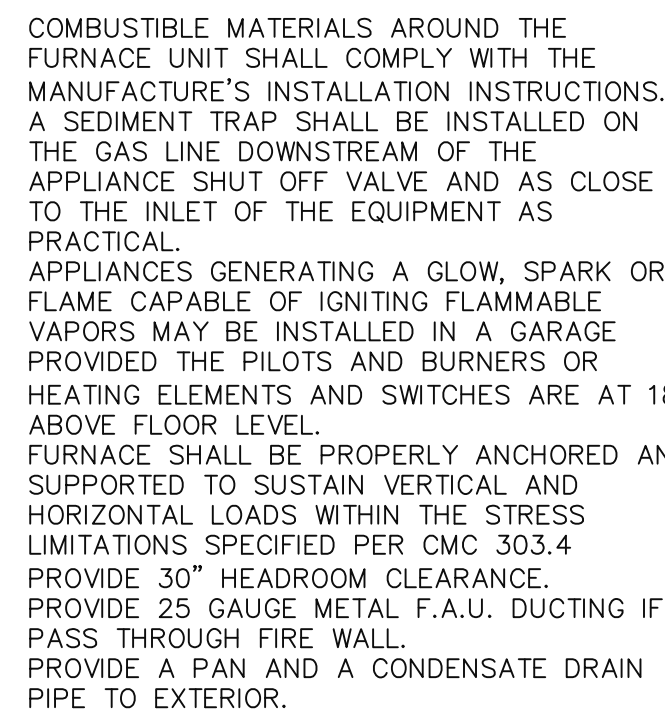
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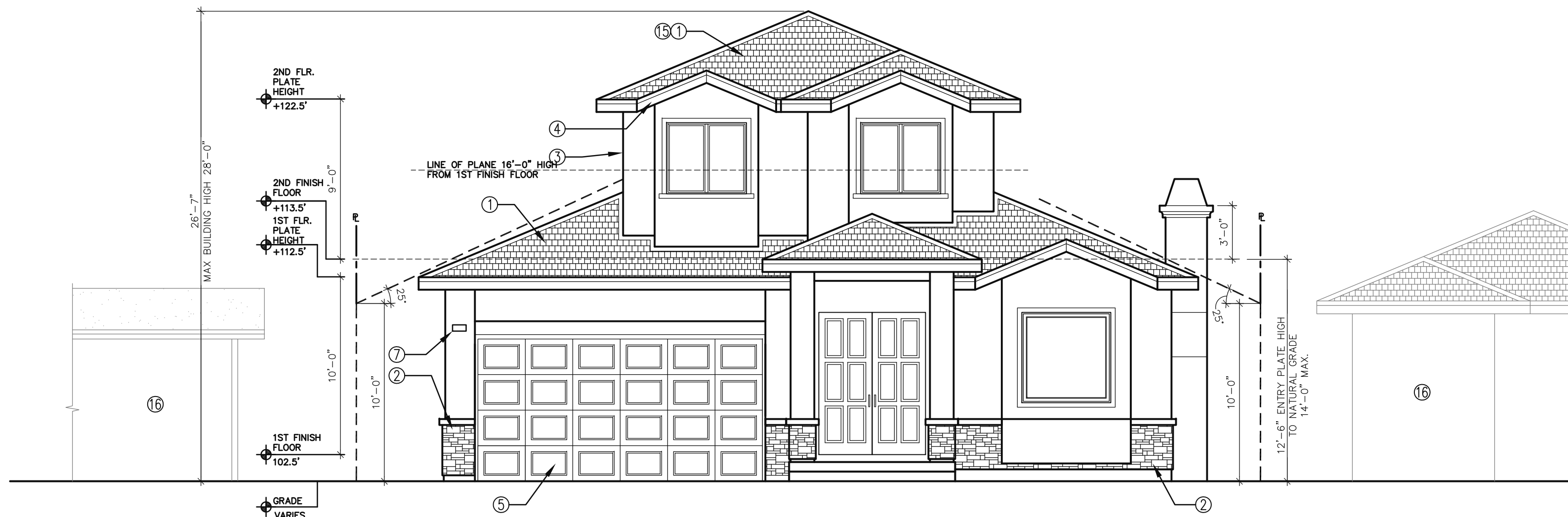
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LANDSCAPE AREA DIAGRAM

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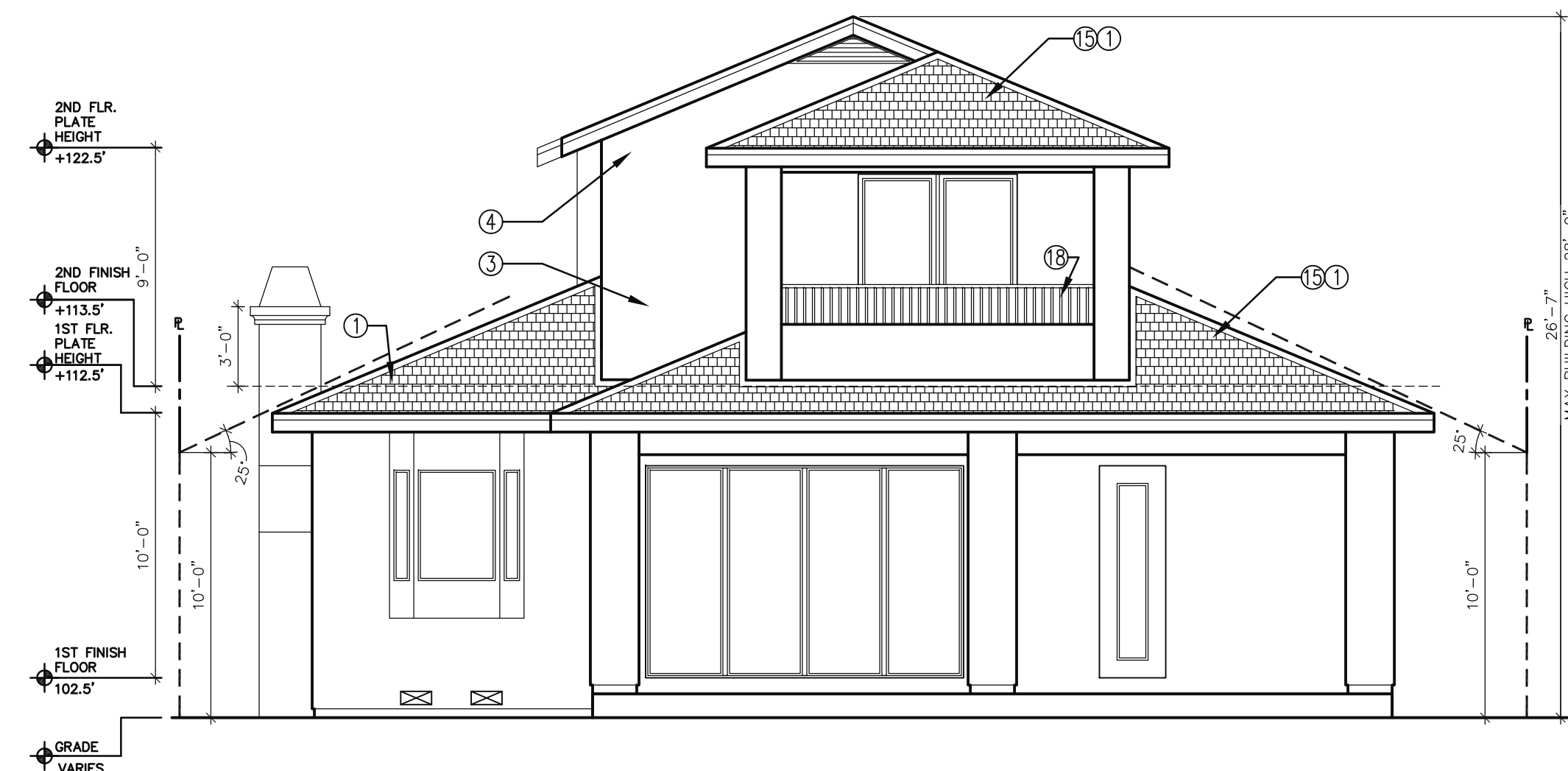
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- | | |
|---|---|
| T | TEMPERED GLASS |
| E | EGRESS DOOR OR WINDOW, OPENING HEIGHT NOT OVER 44" ABOVE FLOOR, 5.0SF OF OPEN AREA ON GROUND LEVEL, 5.7SF MIN. OPEN AREA FOR WINDOW ON SECOND FLOOR, 24" NET CLEAR OPENING HEIGHT, 20" NET CLEAR OPENING WIDTH. ALL EGRESS WINDOWS W/ TWO OR MORE LATCHES SHALL HAVE THE LATCHES INTERCONNECTED AND OPERABLE FROM THE LOWEST LATCH. |



A FRONT (NORTH) ELEVATION



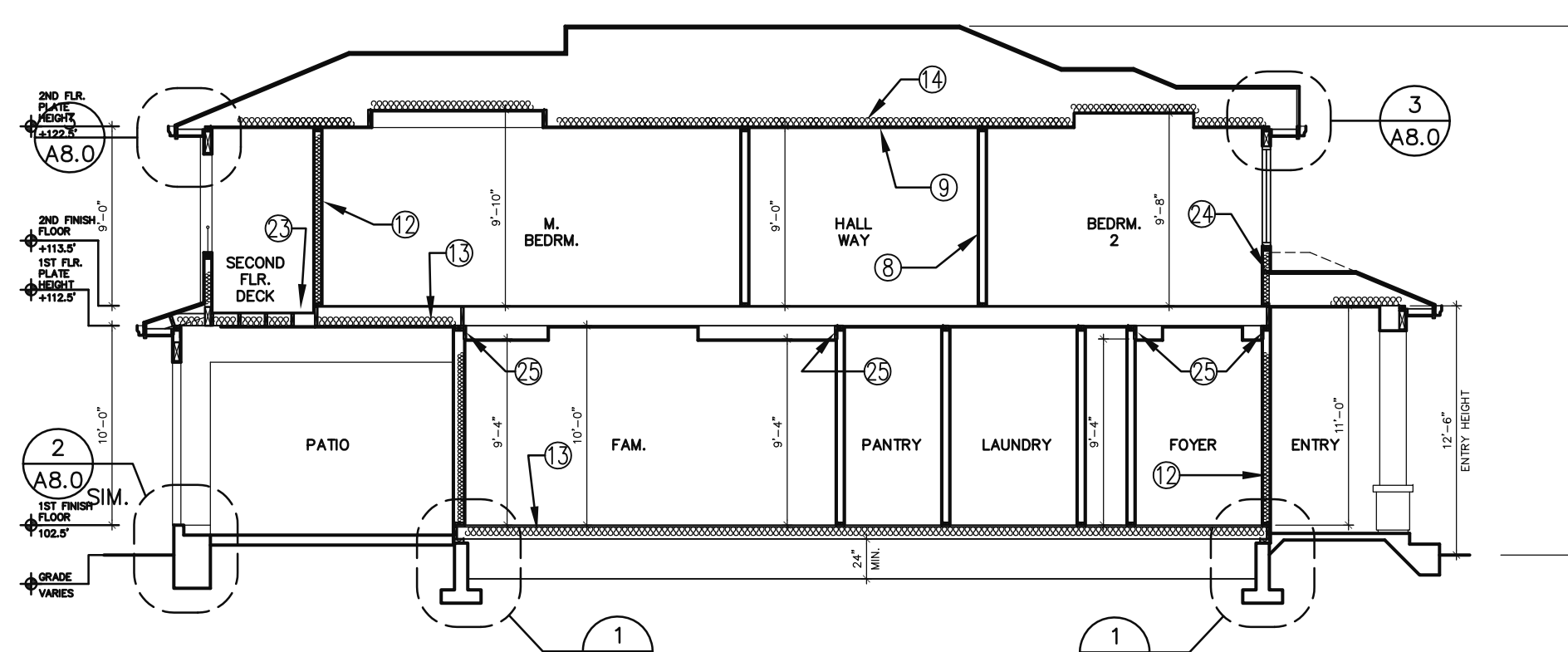
B REAR (SOUTH) ELEVATION



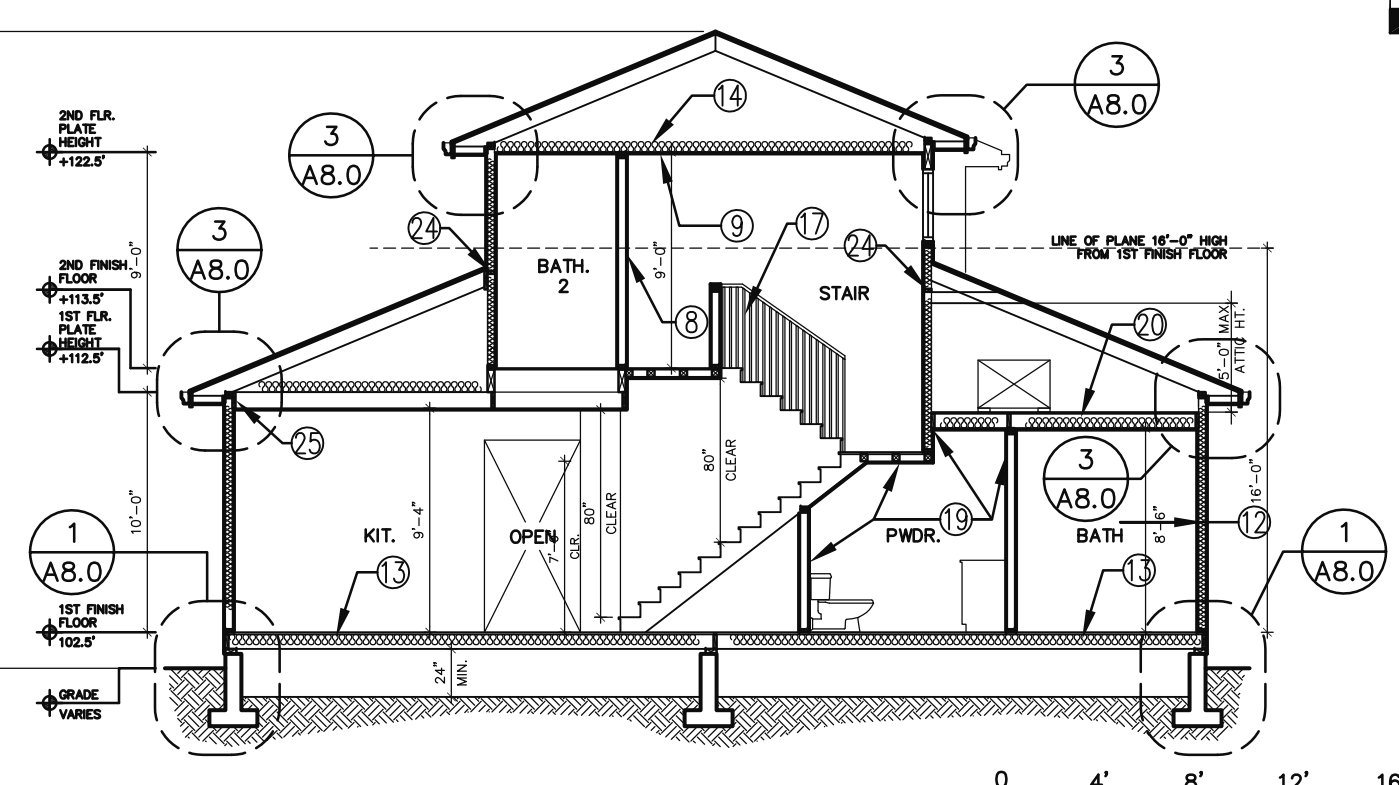
C LEFT (EAST) ELEVATION



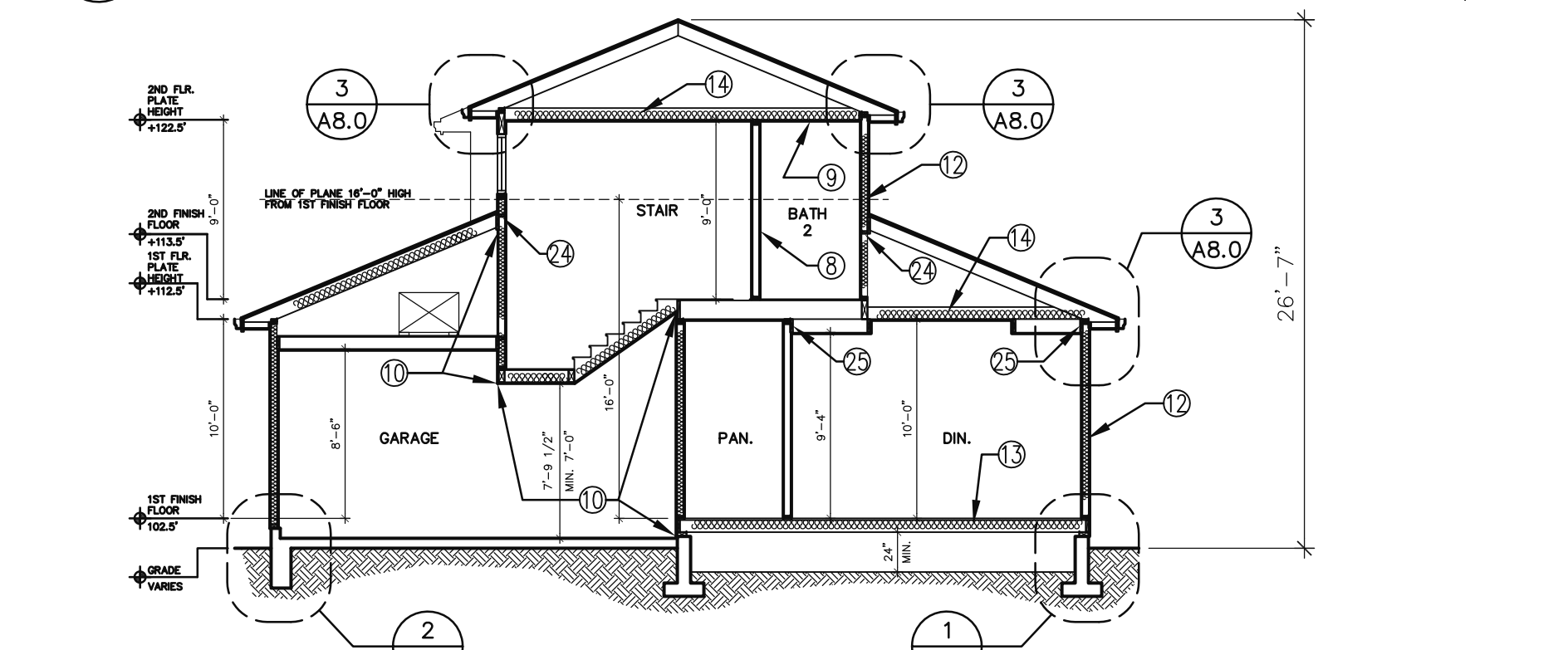
D RIGHT (WEST) ELEVATION



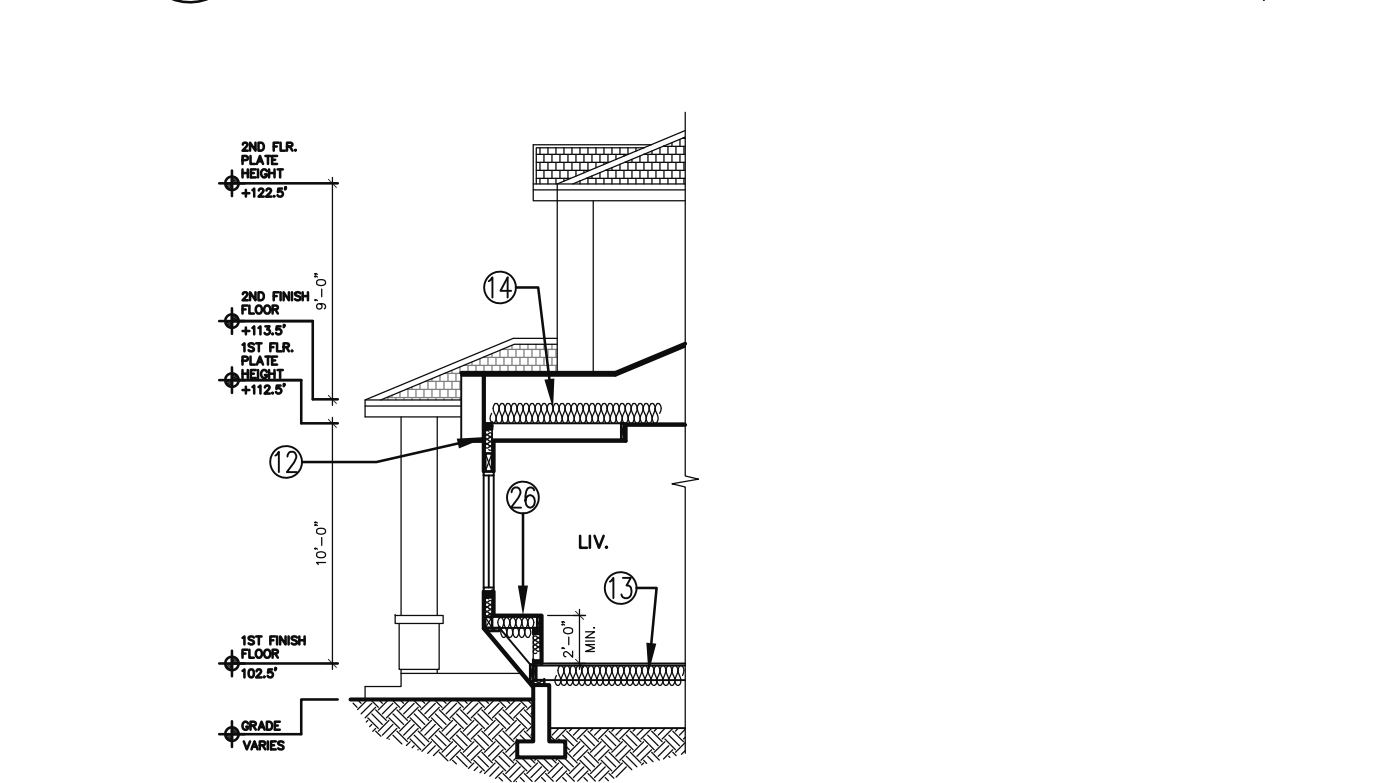
E SECTION



F SECTION



G SECTION



H SECTION

ELEVATIONS KEY NOTE:

- 1 ROOF TILE BY EAGLE ROOF, PRODUCT NAME MALIBU, COLOR WALNUT CREEK BLEND, PRODUCT #2773, STANDARD WEIGHT. CLASS 'A' MIN.
- 2 ELDORADO STONE, CASTAWAY STACKED STONE.
- 3 STUCCO PAINTED WITH KELLY MOORE, COLOR #41, SNIP OF TANNIN.
- 4 FACIA PAINTED WITH KELLY MOORE, COLOR #36, NAVAJO WHITE.
- 5 ROLL UP GARAGE DOOR.
- 6 6'-0" MAX. HIGH REDWOOD FENCE AND GATE
- 7 APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. CFC SEC. 505
- 8 1/2" GYP. BD. AT ALL INTERIOR WALL
- 9 5/8" GYP. BD. AT ALL CEILING
- 10 5/8" TYPE 'X' GYP. BD. FROM SILL PATE TO UNDERSIDE OF ROOF AT WALL BETWEEN GARAGE AND LIVING AREA AND AT ALL CEILING BETWEEN GARAGE AND SECOND FLOOR LIVING ROOM
- 11 5/8" TYPE 'X' GYP. BD. AT ALL WALL AND CEILING FOR BATH ROOM, STORAGE, LAUNDRY OR ANY USABLE SPACE UNDER STAIR.
- 12 R-13 AT ALL EXTERIOR WALL AND WALL BETWEEN GARAGE AND LIVING AREA.
- 13 R-30 INS. AT ALL CRAW SPACE
- 14 R-38 AT ALL ATTIC

- 15 COOL ROOF, PROVIDE ROOF SHEATHING WITH RADIANT BARRIER
- 16 HOUSE IN THE NEIGHBOR
- 17 BALUSTERS W/ EQUAL SPACE WHICH IS NOT ALLOW 4" SPHERE BALL TO PASS THROUGH.
- 18 DECORATIVE WOOD BALUSTERS DO NOT ALLOW 4" SPHERE TO PASS THROUGH.
- 19 POWDER ROOM UNDER STAIR SHALL HAS 1/2" TYPE 'X' GYP. BD. AT ALL WALL AND 5/8" TYPE 'X' GYP. BD. AT ALL CEILING.
- 20 R38 SPRAY FOAM INSULATION
- 21 14"x6" FLOOR JOIST VENT, COVER VENTS WITH 1/2" NON-CORROSIVE WIRE MESH. TYPICAL OF 16 VENTS THROUGH OUT ENTIRE FIRST FLOOR CRAW SPACE.
- 22 FURNACE IN ATTIC, SEE KEY NOTE 49 ON A2.1
- 23 MAX. 7 1/2" BETWEEN PATIO FINISH AND SECOND FLOOR FINISH.
- 24 FIRE BLOCK
- 25 2x8 LEDGER ALONG WALL WHERE CEILING MEET WALL TO ACT AS FIRE BLOCK FROM WALL TO DROP DOWN CEILING
- 26 WINDOW SEAT, MIN. 24" FROM FINISH FLOOR.
- 27 GAS METER, MIN. 36" CLR. FROM GARAGE WINDOW OPENING
- 28 200A ELECTRICAL METER

GENERAL NOTES:

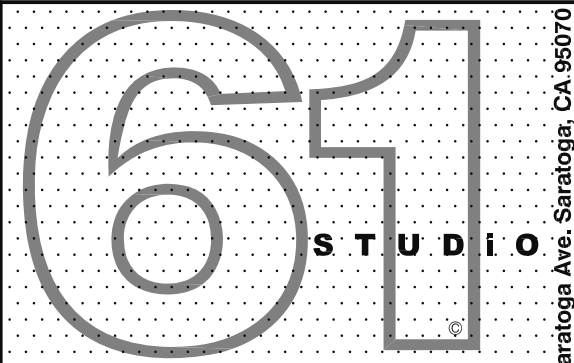
- INSTALLATION OF APPROVED CORROSION-REGISTANT FLASHING APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS: (R703.8)
- A. EXTERIOR WINDOW AND DOOR OPENINGS.
 - B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, W/ PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 - C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - D. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
 - E. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION.
 - F. AT WALL AND ROOF INTERSECTIONS.

NOTE:

ANY CHANGES TO THE APPROVED COLORS MATERIALS, AND EXTERIOR FINISHES SHALL BE REVIEWED AND APPROVED BY THE CITY OF CUPERTINO PLANNING DIVISION PRIOR TO INSTALLATION/ APPLICATION

(N) UNDER FLOOR VENT TABULATION:

TOTAL AREA OF CRAW SPACE:	= 1,177SF
ROOF VENT REQUIRED FREE OF NET:	$\frac{1,177SF}{150} = 7.85SF$
1. FLOOR JOIST VENT PROVIDE: $= 0.58(sf./blk.) \times 16 \times 90\%$	$= 8.35SF$
(14" x 6" W/ 1/4" NON-CORROSIVE WIRE MESH) SEE ELEVATIONS	
TOTAL:	$= 8.35SF > 7.85SF$



P: 408.892.5020, F: 408.871.6923

12480 Saratoga Ave. Saratoga, CA 95070

Project:

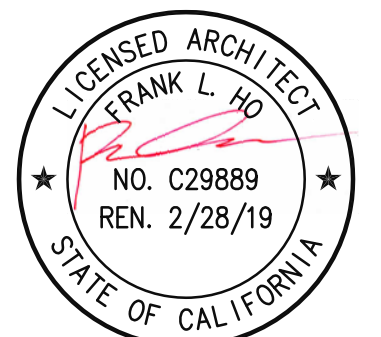
Hou's Residence
New Custom Homes
18850 Barnhart Ave.
Cupertino, CA 95014
Tel. 650.889.8643
Email: Houtun168@Google.com

Applicant/Owner:

Mr. Yunfeng Hou
18850 Barnhart Ave.
Cupertino, CA 95014
Tel. 650.889.8643
Email: Houtun168@Google.com

Architect:

STUDIO 61 ARCHITECTS, Inc.
12480 Saratoga Ave.
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STRUCTURE ENGINEER:

Plan Check Comment 9.4.17

Plan Check Comment 7.25.17

NO. Revision Date

Drawn By: Date:

File:

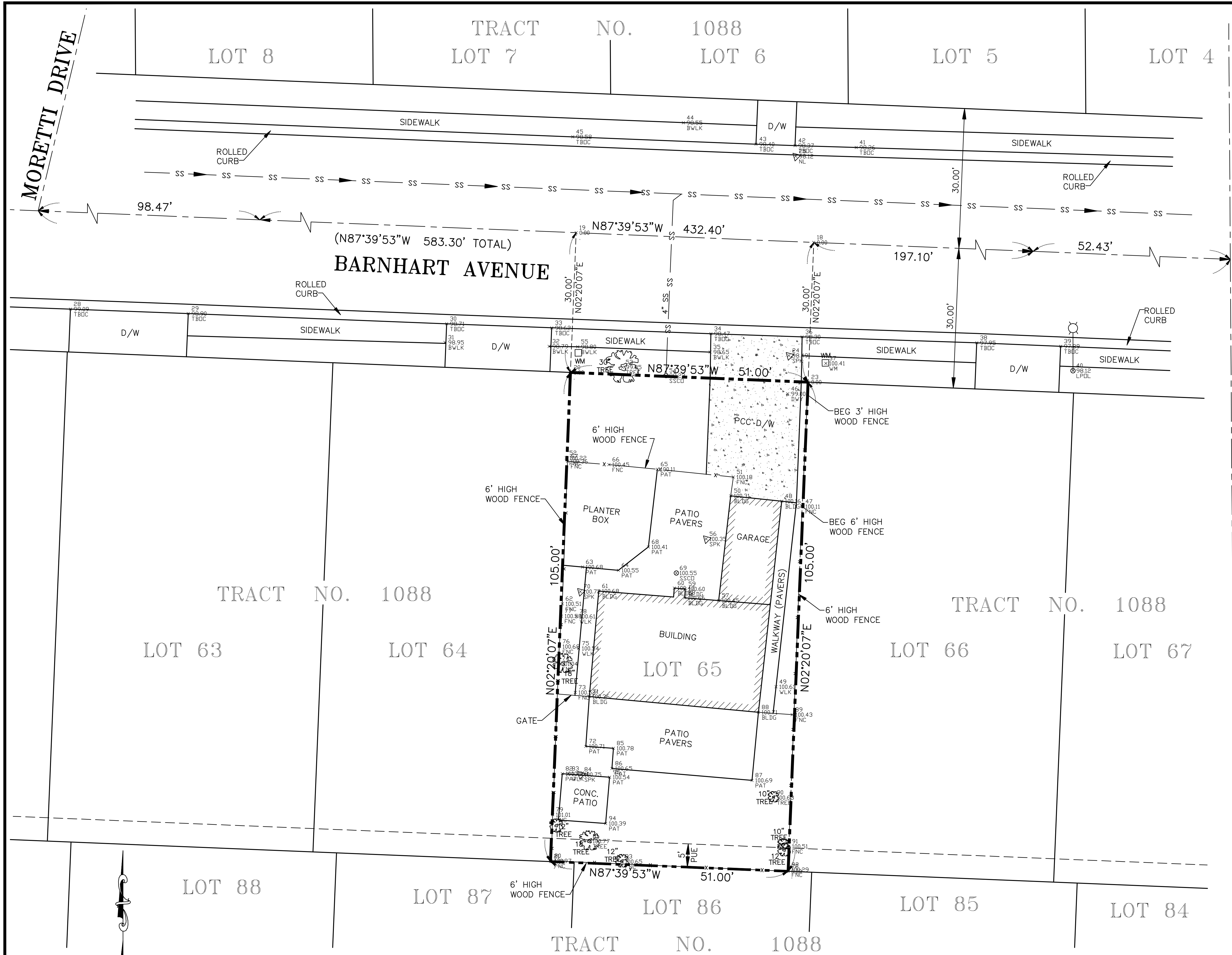
Issue:

Date: 7.25.2017

Sheet Title: ELEVATIONS

Sheet No.:

A3.1



LEGEND

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER		
STORM SEWER		
CENTER LINE		
PROPERTY LINE		
MATCH LINE		
GAS LINE		
WATER LINE		
JOINT TRENCH		
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		

ABBREVIATIONS

A.B.	AGGREGATE BASE
A.C.	ASPHALT CONCRETE
B.C.	BEGINNING OF CURVE(HORIZONTAL)
BLDG	BUILDING
BOW/BWLK	BACK OF WALK
B.V.C.	BEGINNING OF VERTICAL CURVE
C.B.	CATCH BASIN
CLF	CHAIN LINK FENCE
C.O.	CLEAN OUT
CONT.	CONTINUOUS
D.I.	DRAINAGE INLET
D/W	DRIVEWAY
E.C.	END OF CURVE(HORIZONTAL)
ELEV.	ELEVATION
EXIST.	EXISTING
E.V.C.	END OF VERTICAL CURVE
F.F.	FINISHED FLOOR ELEVATION
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.C.	FACE OF CURB
F.L.	FLOW LINE
FOC	FACE OF CURB
F.S.	FINISHED SURFACE
G.B.	GRADE BREAK
G.V.	GATE VALVE
H.P.	HIGH POINT
I.D.	INSIDE DIAMETER
INV.	INVERT
J.P.	JOINT POLE
L.F.	LINEAL FEET
L.P.	LOW POINT
L&T	LEAD & TACK
MAX.	MAXIMUM
M.H.	MANHOLE
MIN.	MINIMUM
M.V.C.	MIDDLE OF VERTICAL CURVE
M.W.	MONITORING WELL
NO.	NUMBER
N.T.S.	NOT TO SCALE
P.C.C.	PORTLAND CEMENT CONCRETE
P.C.R.	POINT OF CURB RETURN
P.P.B.	PEDESTRIAN PUSH BUTTON
PP&T	PLASTIC PLUG & TACK
P.V.C.	POLYVINYL CHLORIDE
P.V.I.	POINT OF VERTICAL INTERSECTION
R	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
S	SLOPE
S.D.	STORM DRAIN
S.D.M.N	STORM DRAIN MANHOLE
S.F.	SQUARE FEET
SHT.	SHEET
S.S.M.H.	SANITARY SEWER MANHOLE
S.S.	SANITARY SEWER
S/W	SIDEWALK
T.C.	TOP OF CURB
TFOC	TOP FACE OF CURB
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.	VERTICAL CURVE
V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
W	WATER
W.M.	WATER METER
W.V.	WATER VALVE

BASIS OF ELEVATION

TOP OF RIM OF SANITARY SEWER MANHOLE AT INTERSECTION OF BARNHART AVENUE AND MORETTI AVENUE.
TBM ELEVATION = 100.00

BASIS OF BEARINGS

THE BEARING N87°39'53"W OF THE MONUMENT LINE OF BARNHART AVENUE BETWEEN THE INTERSECTIONS OF WUNDERLICH DRIVE AND MORETTI DRIVE, AS SAID MONUMENTS AND BEARING ARE SHOWN ON SUBDIVISION MAP ENTITLED "TRACT 1088", FILED FOR RECORD IN BOOK 42 OF MAPS, PAGES 24, 25, 26 AND 27 OF SANTA CLARA COUNTY RECORD, WAS TAKEN AS BASIS OF BEARING FOR THIS MAP.

LEGAL DESCRIPTION

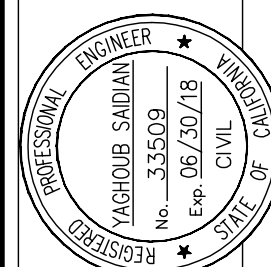
LOT 65, AS SHOWN ON THAT CERTAIN MAP OF "TRACT NO. 1088", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON APRIL 15, 1953, IN BOOK 42 OF MAPS, PAGES 24, 25, 26 AND 27. CONTAINS 5,355 NET AREA

ADVANCED DEVELOPMENT

2003 BENJAMIN COURT
SAN JOSE, CALIFORNIA 95124
(408) 376-0070
JACOB SAIDIAN
CIVIL ENGINEER

TOPOGRAPHICAL & RECORD BOUNDARY
FOR APN: 375-33-015
18850 BARNHART AVENUE
CUPERTINO CALIFORNIA

APPROVED BY:
JACOB SAIDIAN
RECORDED
No. 33503
Exp. 06/30/18
CIVIL
STATE OF



Checked: JS
Drawn: AC
Designed: JS
Surveyed: JS
Scale: 1"=10'
Date: 5-30-2017

Sheet No.
C1

Job No. 371

WATER-EFFICIENT LANDSCAPE CHECKLIST
Community Development Department
10300 Torre Avenue
Cupertino, CA 95014
408.777.3308 / Fax 408.777.3333
planning@cupertino.org
http://cupertino.org/planning

CUPERTINO

PART 1: CERTIFIED/LICENSED PROFESSIONAL INFORMATION
ISA ARBORIST-LANDSCAPE ARCHITECT
MARK BEAUDOIN
P.O. BOX 2032
SAN JOSE, CA 95109
mbeaudoin@cupertino.org
408-656-3580

PART 2: PROPERTY & PROPERTY OWNER INFORMATION
PROPERTY OWNER NAME: YUN FENG HOU
PROPERTY OWNER ADDRESS: 18850 BARNHART AVE.
PROJECT ADDRESS: Same
PROJECT TYPE (CHECK ALL THAT APPLY):
☒ New
☐ Rehabilitated
☐ Non-Residential
WATER SOURCE:
☒ Potable
☐ Recycled
☐ On-site captured rainwater
☐ Graywater
WATER PURVEYOR: 1929
TOTAL LANDSCAPE AREA: 2369 SQ. FT.
TURF PLANT AREA: 440 SQ. FT.
NON-TURF PLANT AREA: 1929 SQ. FT.
SPECIAL LANDSCAPE AREA: 0 SQ. FT.

PART 3: COMPLIANCE CHECKLIST

Landscape Parameter	Requirements	Compliance
TURF AREA <input type="checkbox"/> no turf	Turf shall not exceed 25% of the landscape area or 1,250 sq. ft., whichever is lesser in area. (No turf in non-residential area)	<input checked="" type="checkbox"/> YES
	Turf shall not be planted on slopes more than 25%.	<input checked="" type="checkbox"/> YES
	All portions of turf areas shall be wider than ten (10) feet (unless irrigated with subsurface irrigation or low volume irrigation system).	<input checked="" type="checkbox"/> YES
PLANTING AREA	At least 80% (100% for non-residential area) of non-turf area shall consist of native or low water use plants.	<input checked="" type="checkbox"/> YES
	No invasive and/or noxious plant species shall be planted.	<input type="checkbox"/> YES
	Plants with similar water needs shall be grouped within hydrozones. Each hydrozone shall be controlled by a separate valve.	<input checked="" type="checkbox"/> YES
SOIL MANAGEMENT	At least 4 cu. yds. of compost, six (6) inches deep, shall be applied per 1,000 sq. ft. of landscape area.	<input checked="" type="checkbox"/> YES
	A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas, except in areas of direct seeding application (e.g. hydro-seeding).	<input checked="" type="checkbox"/> YES
	Grading shall be designed to minimize soil erosion, run-off, and water waste.	<input checked="" type="checkbox"/> YES
IRRIGATION SYSTEM <input type="checkbox"/> no irrigation system	Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data and utilize a rain sensor.	<input checked="" type="checkbox"/> YES
	Irrigation controllers shall be a type which does not lose programming data in the event the primary power source is interrupted.	<input checked="" type="checkbox"/> YES

Page 1 of 2

WATER-EFFICIENT LANDSCAPE CHECKLIST
Community Development Department
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CUPERTINO

PART 1: CERTIFIED/LICENSED PROFESSIONAL INFORMATION
ISA ARBORIST-LANDSCAPE ARCHITECT
MARK BEAUDOIN
P.O. BOX 2032
SAN JOSE, CA 95109
mbeaudoin@cupertino.org
408-656-3580

PART 2: PROPERTY & PROPERTY OWNER INFORMATION
PROPERTY OWNER NAME: YUN FENG HOU
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PROJECT ADDRESS: Same
PROJECT TYPE (CHECK ALL THAT APPLY):
☒ New
☐ Rehabilitated
☐ Non-Residential
WATER SOURCE:
☒ Potable
☐ Recycled
☐ On-site captured rainwater
☐ Graywater
WATER PURVEYOR: 1929
TOTAL LANDSCAPE AREA: 2369 SQ. FT.
TURF PLANT AREA: 440 SQ. FT.
NON-TURF PLANT AREA: 1929 SQ. FT.
SPECIAL LANDSCAPE AREA: 0 SQ. FT.

PART 3: COMPLIANCE CHECKLIST

Landscape Parameter	Requirements	Compliance
IRRIGATION SYSTEM <input type="checkbox"/> no irrigation system	Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturer's recommended pressure range.	<input checked="" type="checkbox"/> YES
	Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close to possible to the point of connection of the water supply.	<input checked="" type="checkbox"/> YES
	All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.	<input checked="" type="checkbox"/> YES
WATER FEATURES <input type="checkbox"/> pool <input type="checkbox"/> other: <input type="checkbox"/> no water features	Dedicated irrigation meters are required for non-residential projects with more than 1,000 sq. ft. of landscape area.	<input type="checkbox"/> YES
	Pool and spa covers shall be installed.	<input type="checkbox"/> YES
	Recirculating water systems shall be used for all water features.	<input type="checkbox"/> YES
WATER FEATURES <input type="checkbox"/> pool <input type="checkbox"/> other: <input type="checkbox"/> no water features	Water features are limited to 10% of the landscaped area.	<input type="checkbox"/> YES

I am aware of available informational resources regarding native and low water use plants, irrigation efficiency, and other aspects of water-efficient landscaping. I certify that the information provided on this checklist is correct, and the installed landscape complies with the requirements of Chapter 14.15 and /or the requirements of the Prescriptive Compliance Option. I also understand that any changes to the project will necessitate a new checklist.

9/11/2017
DATE
9-11-2017
DATE

Applicant Comments
Use additional paper if necessary

Staff Evaluation
☐ Approved
☐ Not Approved

Permit #
SIGNATURE
DATE

Page 2 of 2

MARK BEAUDOIN
LANDSCAPE ARCHITECT ASLA

CERTIFIED ARBORIST I. S. A.

P. O. BOX 2032 SAN JOSE, CALIFORNIA 95109
TELEPHONE 408-656-3580

TREE REPORT
FILE NO. R-2017-27 ERIKA POVEDA

YUNFENG HOU
18850 BARNHART AVE.
CUPERTINO, CALIFORNIA

I HAVE INSPECTED AND SUBMITTED PHOTOGRAPHS OF THIS SITE WITH THE FOLLOWING FINDINGS VIEWING FROM THE STREET:

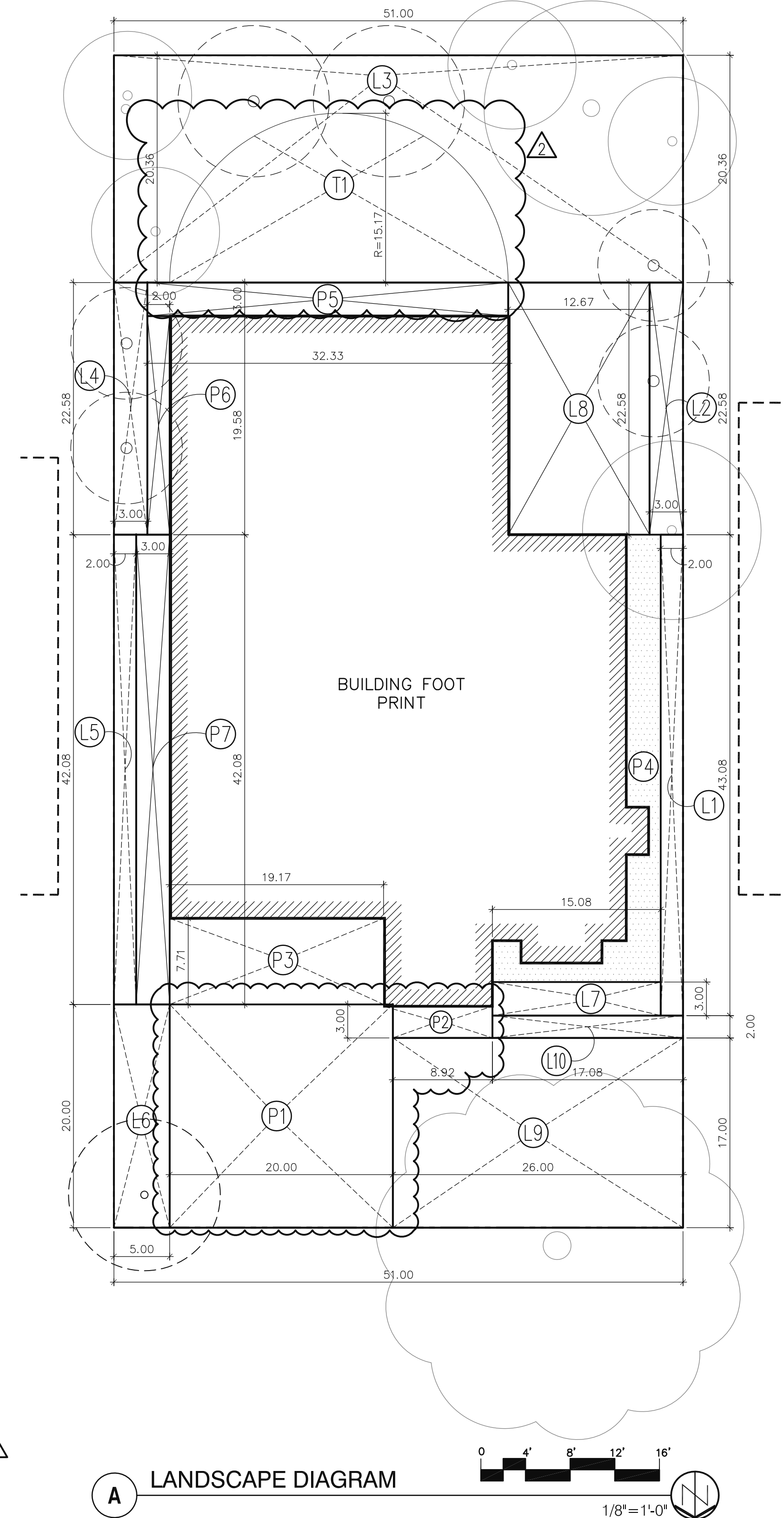
1. IN THE REAR RIGHT HAND CORNER THERE ARE EXISTING LARGE PRIVET TREES AND A FIG TREE THAT PROVIDE SCREENING.
2. ALONG THE REAR RIGHT HAND PROPERTY LINE THERE MORE PRIVET AND A LARGE JAPANESE MAPLE THAT PROVIDE SCREENING.
3. IN THE LEFT REAR CORNER THERE ARE EXISTING LARGE PRIVET TREES AND A CHERRY TREE THAT PROVIDE SCREENING.

4. THE COMBINATION OF THE NEW PLANTINGS AND THE EXISTING PLANTINGS WILL PROVIDE ADEQUATE PRIVACY PLANTINGS FOR THIS SITE.

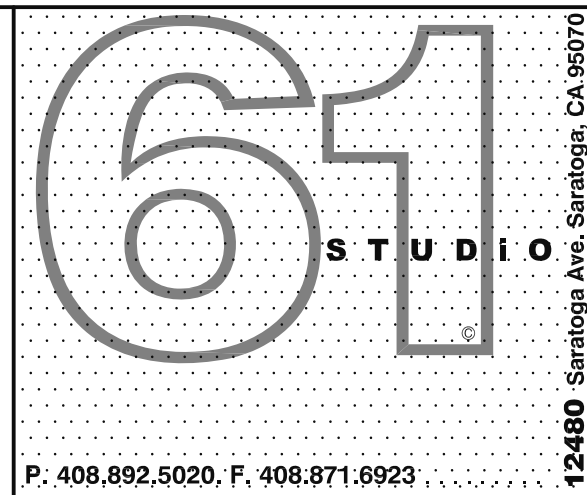
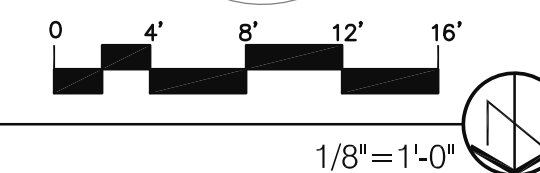
IF THERE ARE ANY QUESTIONS ON THIS REPORT, PLEASE CALL ME AT 408-656-3580.

SINCERELY YOURS
MARK BEAUDOIN
CERT. ARBORIST WC 1050

LANDSCAPE CALCULATION			
TURF AREA	FEET	FEET	SF
T1			= 362.00
LANDSCAPE NON TURF			
L1	2.00	X 43.08	= 86.16
L2	3.00	X 22.58	= 67.74
L3	51.00	X 20.36	= 1039.56
L4	3.00	X 22.58	= 67.74
L5	2.00	X 42.08	= 84.16
L6	5.00	X 20.00	= 100.00
L7	15.08	X 3.00	= 45.24
L8	12.67	X 22.58	= 286.09
L9	26	X 17	= 442.00
L10	17.08	X 2.00	= 34.16
TOTAL			1890
TOTAL LANDSCAPE AREA	362.00	+ 1890	= 2252
TURF PERCENTAGE	362.00	: 2252	= 16.08%
PAVER AT FRONT YARD			
P1	20.00	X 20.00	= 400.00
P2	8.92	X 3.00	= 26.76
TOTAL			= 426.76
FRONT YARD	51.00	X 20.00	= 1020.00
% PAVER @ FRONT YARD	427	: 1020	= 41.86%
OTHER PAVER AREA			
P3	19.17	X 7.71	= 147.80
P4			= 145.09
P5	32.33	X 3.00	= 96.99
P6	2.00	X 19.58	= 39.16
P7	3.00	X 42.08	= 126.24
TOTAL			555.28



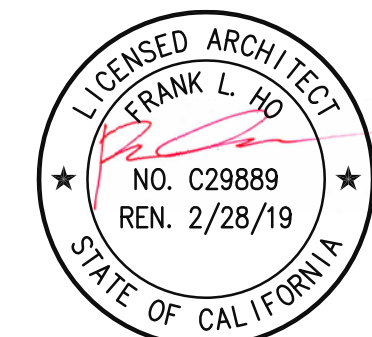
A LANDSCAPE DIAGRAM



Project:
Hou's Residence
New Custom Homes
18850 Barnhart Ave.
Cupertino, CA 95014
Tel. 650.889.8643
Email: Houtun168@Google.com

Applicant/Owner:
Mr. Yunfeng Hou
18850 Barnhart Ave.
Cupertino, CA 95014
Tel. 650.889.8643
Email: Houtun168@Google.com

Architect:
STUDIO 61 ARCHITECTS, Inc.
12480 Saratoga Ave.
Saratoga, CA 95070
T: (408) 892.5020
F: (408) 871.6923
Email: FRANKLHO@YAHOO.COM



STRUCTURE ENGINEER:

Plan Check Comment 9.4.17

Plan Check Comment 7.25.17

NO. Revision Date

Drawn By: Date:

File:

Issue:

Date:
7.25.2017

Sheet Title:
LANDSCAPE AREA DIAGRAM

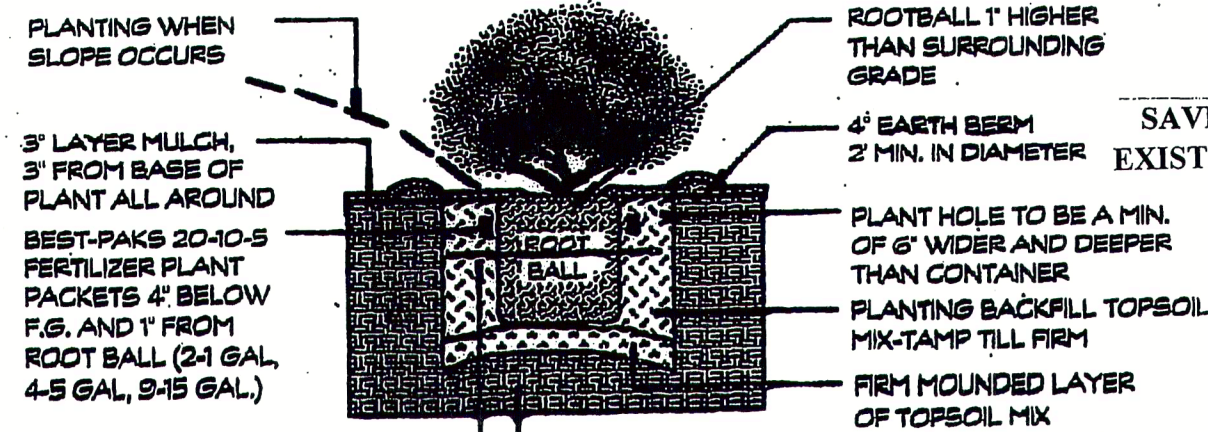
Sheet No.:

LAO

N= NATIVE DT= DROUGHT TOLERANT

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	NO.
1. NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL.	DT	15
2. DIETES VEGETA	FORTNIGHT LILY	1 GAL.	DT	6
9. ESCALLONIA FRADESI	PINK ESCALLONIA	5 GAL.	DT	4
6. PITTOSPORUM TOBIRA 'CREAM DE MINT'	TOBIRA	5 GAL.	DT	11
5. PITTOSPORUM WHEELER'S DWARF	TOBIRA	5 GAL.	DT	11
4. EPILOBIUM CALIFORNICA	CALIF. FUSCHIA	1 GAL.	N	16
3. NERIUM O. DWARF SINGLE PINK		5 GAL.	DT	4
7. LIMMONIUM PEREZII	SEA LAVENDER	5 GAL.	DT	10
8. ANIGOZANTHUS FLAVIDA KANGAROO PAW 'GIANT RED'		5 GAL.	DT	8
10. ROMNEYA COULTERI	MATILJA POPPY	5 GAL.	N	4
11. LAGERSTROEMIA I. 'TUSCARORA'	CRAPE MYTLE	15 GAL.	DT	2
12. PODOCARPUS GRACILIOR	FERN PINE	15 GAL.	DT	4
13. ARBUTUS 'MARINA'	MADRONE	15 GAL.	DT	2



SHRUB PLANTING

3" FINE FIR BARK MULCH
ALL PLANTING AREAS TYP.

SAVE E. PRIVET TREE
EXISTING SCREENING

SAVE E. CHERRY TREE

DWARF FESCUE TURF

EXISTING SCREENING
"SEE ARBORIST PHOTOS"

SAVE E. PRIVET TREE

SAVE E. JAPANESE
MAPLE TREE

CONCRETE STEPPING STONES

GROUND LEVEL
VEGETABLE PLANTER

FOOT PRINT
NEW RESIDENCE

GATE

GATE

TAN COLORED CONCRETE

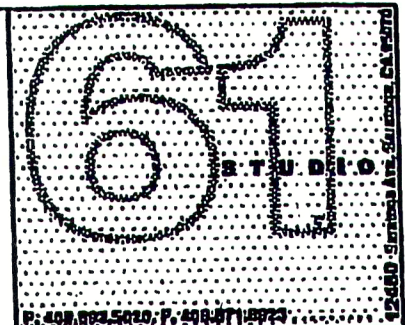
CITY DESIGNATED STREET TREE

SAVE E. MODESTO ASH
STREET TREE

1/8" = 1'-0"

PLANTING NOTES

- CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL REVIEW RELATED DRAWINGS AND SHALL COORDINATE WITH ALL APPLICABLE TRADES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK THE PLANTING PLAN AND VERIFY LOCATIONS AND SPACING OF PLANTS AND SHALL SUPPLY SUFFICIENT QUANTITY TO FULFILL THE INTENT OF THE PLAN(S). PLANT QUANTITIES ARE INDICATED FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY EXACT COUNT FROM THE LANDSCAPE PLANTING PLAN.
- EXTREME CAUTION SHALL BE TAKEN IN WORK AREAS WHERE THERE ARE EXISTING TREES AND SHRUBS AND THEIR ROOT SYSTEMS DESIGNATED TO REMAIN. ANY DAMAGE TO EXISTING PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPLACED AT HIS EXPENSE.
- RIP EXISTING SOIL TO A DEPTH OF 12" IN THE LANDSCAPE AREAS PRIOR TO SPREADING THE TOPSOIL OR FILL.
- CONTRACTOR SHALL PROVIDE A SUFFICIENT AMOUNT OF IMPORTED CLASS A TOPSOIL TO BRING THE GRADE OF THE PLANTING AREAS UP TO THE PROPOSED GRADE ON THE CIVIL DRAWINGS AND PER THESE SPECIFICATIONS CONTRACTOR SHALL PROVIDE CERTIFICATION THAT IMPORTED TOPSOIL IS CLASS A.
- SOIL AMENDMENT SHALL BE GROVERS WONDER GROW COMPOST SOIL, ORGANIC COMPOST OR EQUAL. CONTRACTOR SHALL SUBMIT ANALYSIS AND SAMPLE OF MATERIAL FOR APPROVAL PRIOR TO COMMENCEMENT OF SOIL PREPARATION OPERATIONS.
- AMEND ALL PLANTING AREAS WITH A MINIMUM OF 9 CUBIC YARDS SOIL CONDITIONER PER 1000 SQUARE FEET.
- ADD ADDITIVES TO EXISTING SOIL AS RECOMMENDED/SPECIFIED IN THE EXISTING SOIL FERTILITY ANALYSIS REPORT.
- ROTOTILL ADDITIVES THOROUGHLY INTO TOP 6" OF SOIL.
- AFTER INSTALLATION OF IRRIGATION SYSTEM, HEADERS, PAVING, ETC., RAKE SMOOTH ALL PLANTING AREAS TO CLEAR THEM OF ANY ROCK OR DEBRIS GREATER THAN ONE (1) INCH IN DIAMETER. REMOVE THESE MATERIALS FROM THE SITE.
- LEVEL OF PLANTING AREAS SHALL BE THREE INCHES (3") BELOW TOP OF HEADERS, PAVEMENTS, CURBS, WALKS, ETC. AND TO THE FINISH GRADE OF ADJACENT EXISTING PLANTING AREAS WITHOUT ABRUPT CHANGE IN GRADIENT EITHER IN THE SURFACE OF THE SOIL OR WHERE THE SOIL MEETS SUCH FEATURES. MINIMUM SLOPE FOR FINISHED SURFACES, UNLESS OTHERWISE INDICATED ON THE PLANS, SHALL BE TWO PERCENT (2%). PARTICULAR ATTENTION SHALL BE GIVEN TO THE CORRECT GRADING OF SURFACE DRAINAGE SWALES AND AREAS ADJACENT TO DRAINAGE STRUCTURES. DRAIN TO PAVING OR CATCH BASINS; DIRECT DRAINAGE AWAY FROM BUILDINGS, WALLS, ADJACENT PROPERTY, ETC. AT THE COMPLETION OF THE FINISH GRADING, NO LOW SPOTS THAT HOLD STANDING WATER WILL BE ACCEPTED AND THE SITE SHALL BE LEFT IN A CLEAN AND FINISHED CONDITION CONFORMING TO THE PLANS.
- CONTRACTOR SHALL DIG A 12" X 12" DEEP PERCOLATION HOLE AND FILL IT WITH WATER. IF WATER HAS NOT PERCOLATED OUT SO THAT NO WATER REMAINS AFTER 30 MINUTES, PROVIDE DRAIN HOLES FILLED WITH SOIL MIX FOR TREES SUFFICIENT TO ENSURE PERCOLATION OF ALL WATER IN 30 MINUTES. AUGER BORE DRAIN HOLES TO PENETRATE ANY HARDPAN AND A MINIMUM OF 12" INTO UNDISTURBED PREVIOUS SOIL. SCARIFY SIDES OF DRAIN HOLES.
- ALL PLANTS SHALL BE NURSERY GROWN, SYMMETRICAL, TYPICAL FOR VARIETY AND SPECIES, SOUND, HEALTHY, VIGOROUS, AND OF NORMAL HABIT OF GROWTH FOR THE SIZE SPECIFIED. THEY SHALL BE WELL FOLIATED FREE FROM DISEASE, INSECTS, INSECT EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALE, INJURIES, ABRASIONS, BROKEN LIMBS, DISFIGUREMENTS AND SHALL HAVE HEALTHY, NORMAL, WELL ROOTED SYSTEMS FILLING THEIR CONTAINERS, YET NOT ROOT BOUND. CONTAINER STOCK SHALL HAVE GROWN IN THE CONTAINERS IN WHICH DELIVERED FOR AT LEAST 3 MONTHS, BUT NOT OVER 2 YEARS.
- ALL PLANTS DELIVERED TO THE SITE MUST BE TAGGED WITH NURSERY TAGS LISTING GENUS, SPECIES, CULTIVAR, IF ANY, COMMON NAME, AND SIZE. PLANTS DELIVERED TO THE SITE WITHOUT TAGS WILL BE REJECTED.
- NO TREES WILL BE ACCEPTED THAT WILL NOT STAND ON THEIR OWN TRUNKS AFTER THE NURSERY STAKE HAS BEEN REMOVED. TREES SHALL HAVE STRAIGHT TRUNKS, UNLESS OTHERWISE SPECIFIED, WITH THE LEADER INTACT, UNDAUNAGED AND UNCUIT.
- PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO AND/OR ON SITE WITHOUT THE SPECIFIC APPROVAL AND/OR DIRECTION OF THE LANDSCAPE ARCHITECT.
- THE OWNERS REPRESENTATIVE SHALL INSPECT AND APPROVE ALL PLANT MATERIAL PRIOR TO THEIR INSTALLATION. DISEASED, ROOT BOUND, OR GIRDLING ROOTED PLANTS WILL BE REJECTED AND REPLACED AT THE CONTRACTORS EXPENSE.
- PLACE TREES AND SHRUBS ON SITE, WHILE STILL IN CONTAINERS, IN PROPER LOCATIONS AS INDICATED ON THE PLANS. LOCATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PLANT HOLES ARE DUG. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE TREES AND SHRUBS FROM POSITIONS ON THE PLAN(S). GROUND COVER TO EXTEND UNDER ALL SHRUB AREAS.
- PLANTING LOCATIONS WHICH INTERFERE WITH LINE OF SITE FOR VEHICULAR TRAFFIC, UNDERGROUND CONSTRUCTION, OR WHERE OBSTRUCTION CANNOT BE REMOVED, SHALL BE ADJUSTED AND THE NEW LOCATION APPROVED BY THE LANDSCAPE ARCHITECT.
- NOTIFY LANDSCAPE ARCHITECT IN WRITING OF SOIL OR DRAINAGE CONDITIONS ENCOUNTERED DURING PLANTING OPERATIONS WHICH ARE DETRIMENTAL TO GROWTH OF PLANT MATERIAL.
- TREES SHALL BE PLANTED AT LEAST 5' FROM ANY BUILDING, DRIVEWAY, DRAINAGE FLOW LINE, FIRE HYDRANTS AND UNDERGROUND UTILITIES SUCH AS SEWERS, WATERLINES AND GAS LINES.
- PLANTS SHALL BE PLANTED GREEN SIDE UP, SET VERTICALLY AND SOIL MIX FILLED IN TO HALF THE DEPTH OF THE BALL, TAMPED AND THOROUGHLY WATERED. REMAINDER OF PIT THEN SHALL BE FILLED WITH SOIL MIX, THOROUGHLY TAMPED AND WATERED, ALL WITHIN SAME DAY OF PLANTING.
- EXCAVATE PLANTING PITS AT LEAST TWICE AS WIDE AS THE DIAMETER OF THE ROOTBALL. SOIL IMMEDIATELY BELOW THE ROOT BALL SHOULD BE LEFT UNDISTURBED TO PROVIDE SUPPORT BUT THE SIDES AND THE BOTTOM AROUND THE SIDE SHOULD BE CULTIVATED TO IMPROVE POROSITY. THE TOP 12 INCHES OF BACKFILL AROUND THE SIDES OF THE ROOTBALL OF TREES AND SHRUBS MAY CONSIST OF THE ABOVE AMENDED SOIL. BACKFILL BELOW 12 INCHES REQUIRED FOR 24 INCH BOX OR LARGER SHOULD NOT CONTAIN AN ORGANIC AMENDMENT.
- PLANTING BACKFILL MIX SHALL CONSIST OF THOROUGHLY MIXED 1 PART SOIL AMENDMENT, 3 PARTS NATIVE ON-SITE SOIL AND TERRA-SORB SOIL POLYMER OR EQUAL AT THE FOLLOWING RATES: 1 GALLON PLANT - 1/2 OZ., 5 GALLON - 1 1/2 OZ., 15 GALLON - 4 OZ., 24" BOX - 8 OZ. (16 TBL SPOONS), 36" BOX - 4 LBS., 48" BOX - 9.5 LBS., 60" BOX - 15.5 LBS., 72" BOX - 23 LBS. FERTILIZE PLANTS AT TIME OF PLANTING WITH AGRIFORM 21 GRAM, SLOW RELEASE PLANT PACKETS (20-10-5) PER THE PLANTING DETAILS AND PER RECOMMENDATIONS OF SOIL FERTILITY TESTING LAB.
- TWO WEEKS PRIOR TO PLANTING OF ALL PLANTING AREAS, APPLY A PRE-PLANTING HERBICIDE, ROUNDUP OR EQUAL PER MANUFACTURERS RECOMMENDATIONS TO REMOVE OBNOXIOUS WEED GROWTH. IMMEDIATELY AFTER PLANTING, AND COMPLETION OF INITIAL WATERING, APPLY A PRE-EMERGENT HERBICIDE, RONSTAR-G, TREFLAN-DYND, EPTAM, VEGITEX, OR EQUAL PER MANUFACTURERS RECOMMENDATIONS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE USE OF ALL CHEMICAL PRODUCTS AND WILL SUPPLY OWNER WITH WRITTEN RECORD OF TYPE OF CHEMICAL(S) USED, DATE APPLIED AND RATE OF APPLICATION.
- TREE AND SHRUB PLANTING TO BE WATERED WITHIN 2 HOURS OF THE TIME OF PLANTING AND FLOODED TO ELIMINATE AIR POCKETS. PLANT ROOT BALL CROWNS SHALL BE 1" ABOVE FINISH GRADE AFTER WATERING AND SETTLING. ANY PLANTS WHICH HAVE ROOT BALL CROWNS BELOW FINISH GRADE AT FINAL INSPECTION, WILL BE REPLACED AT CONTRACTORS EXPENSE. PLANTS SHALL BE ERECT AFTER PLANTING AND ALL TREES SHALL BE SECURELY STAKED IMMEDIATELY AFTER PLANTING.



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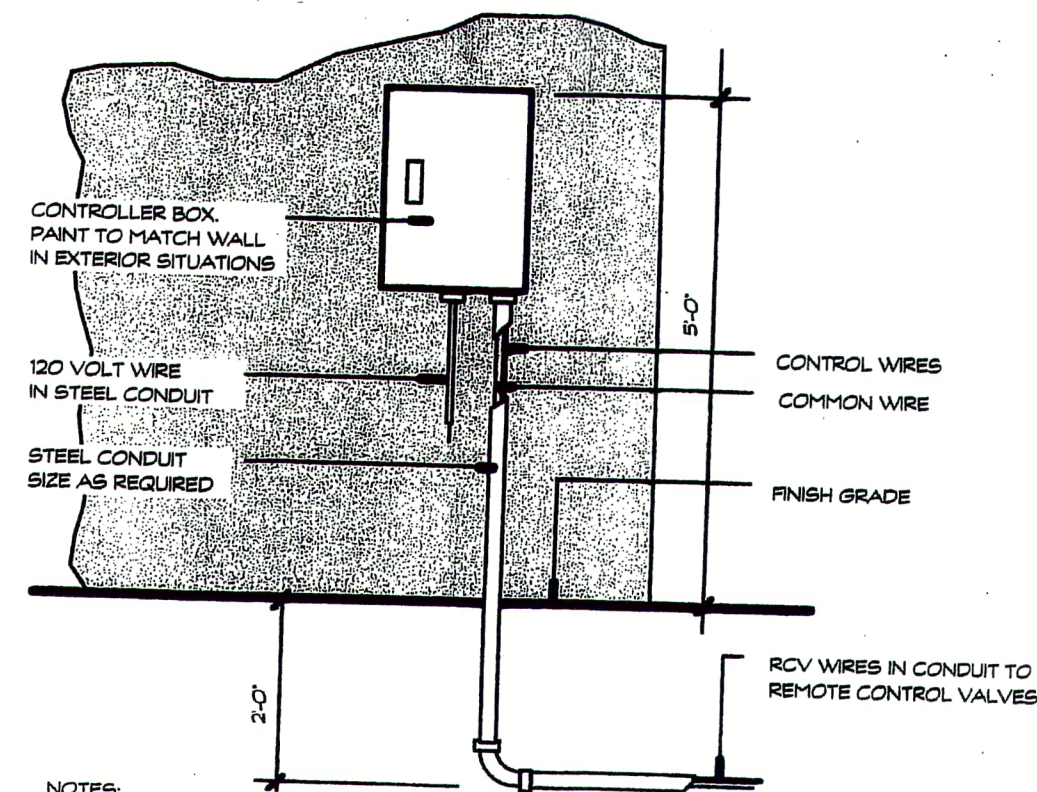
PLANTING PLAN

Sheet No.:

LA 1

IRRIGATION NOTES

1. CALL IRRIGATION ELEMENTS ARE SHOWN DIAGRAMMATICALLY. PIPES SHOWN WITHOUT SLEEVES SHALL BE LOCATED IN PLANTING AREAS. UNLESS OTHERWISE SHOWN, LOCATE ALL QUICK COUPLERS, REMOTE CONTROL VALVES, GATE VALVES AND FLUSH VALVES IN PLANTING AREAS.
2. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LOCAL BUILDING AND PLUMBING CODES HAVING JURISDICTION.
3. THE CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED FOR THIS PORTION OF WORK.
4. THE WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SERVICES AND TRANSPORTATION NECESSARY FOR AND PROPERLY INCIDENTAL TO THE INSTALLATION OF A COMPLETE SPRINKLER SYSTEM AS SHOWN ON THE IRRIGATION PLANS, INCLUDING TRENCHING, BACKFILLING, ETC.
5. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING UTILITIES, MAIN LINES, VALVES, ETC. PRIOR TO CONSTRUCTION. ALL WORK SHALL BE PROTECTED FROM DAMAGE AS A RESULT OF THIS WORK.
6. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
7. CONTRACTOR SHALL DISCUSS WITH LANDSCAPE ARCHITECT EXISTING WATER PRESSURE AND WHETHER PRESSURE REGULATOR SHALL BE INSTALLED. IF REQUIRED, PRESSURE REGULATOR SHALL BE SET FOR IRRIGATION DESIGN PRESSURE AS INDICATED IN THE IRRIGATION PLANS.
8. THE IRRIGATION CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES AND SHALL COORDINATE HIS WORK WITH OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES UNDER PAVING, ETC.
9. ALL EXCAVATIONS AND IRRIGATION RENOVATION OPERATIONS PERFORMED DURING EACH DAY SHALL BE COMPLETED. ALL HOLES SHALL BE FILLED, HEADS SET TO GRADE AND EXCAVATED TRENCHES BACKFILLED AND COMPACTED.
10. ALL HEADS SHALL BE STAKED BY CONTRACTOR TO DETERMINE WHICH HEADS WILL NEED TO BE MOVED INTO LATERAL ALIGNMENT. LANDSCAPE ARCHITECT TO APPROVE FINAL LOCATIONS.
11. PRIME AND SOLVENT WELD ALL PVC PIPE CONNECTIONS AND CAP ALL OPEN PIPE ENDS.
12. 120 VOLT ELECTRICAL POWER OUTLET AT THE AUTOMATIC CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER.
13. CONTROLLER SHALL BE PROGRAMMED SO THAT ONLY ONE VALVE OPERATES AT ONE TIME.
14. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL AS SHOWN IN THE DETAIL PERPENDICULAR TO ADJACENT ELEMENTS AS SHOWN.
15. PARALLEL PIPES MAY BE INSTALLED IN THE SAME TRENCH PROVIDED A 4" HORIZONTAL SEPARATION BETWEEN THEM IS MAINTAINED.
16. SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG THE RUN.
17. INSTALL PULL BOXES EVERY 150' OR LESS FOR IRRIGATION CONTROL WIRE CONDUIT.
18. INSTALL 6" CLEAN SAND BED AND COVER AROUND ALL CONDUIT AND MAINLINE.
19. INSTALL A SPARE CONTROL WIRE OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
20. BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER IRREGULARITIES.



- NOTES:
1. SEE MANUAL FOR MOUNTING INSTRUCTIONS
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODE.

WALL MOUNT CONTROLLER

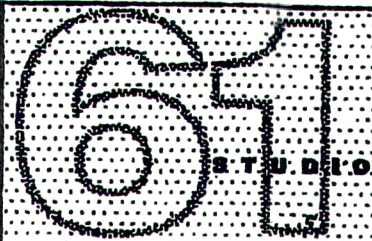
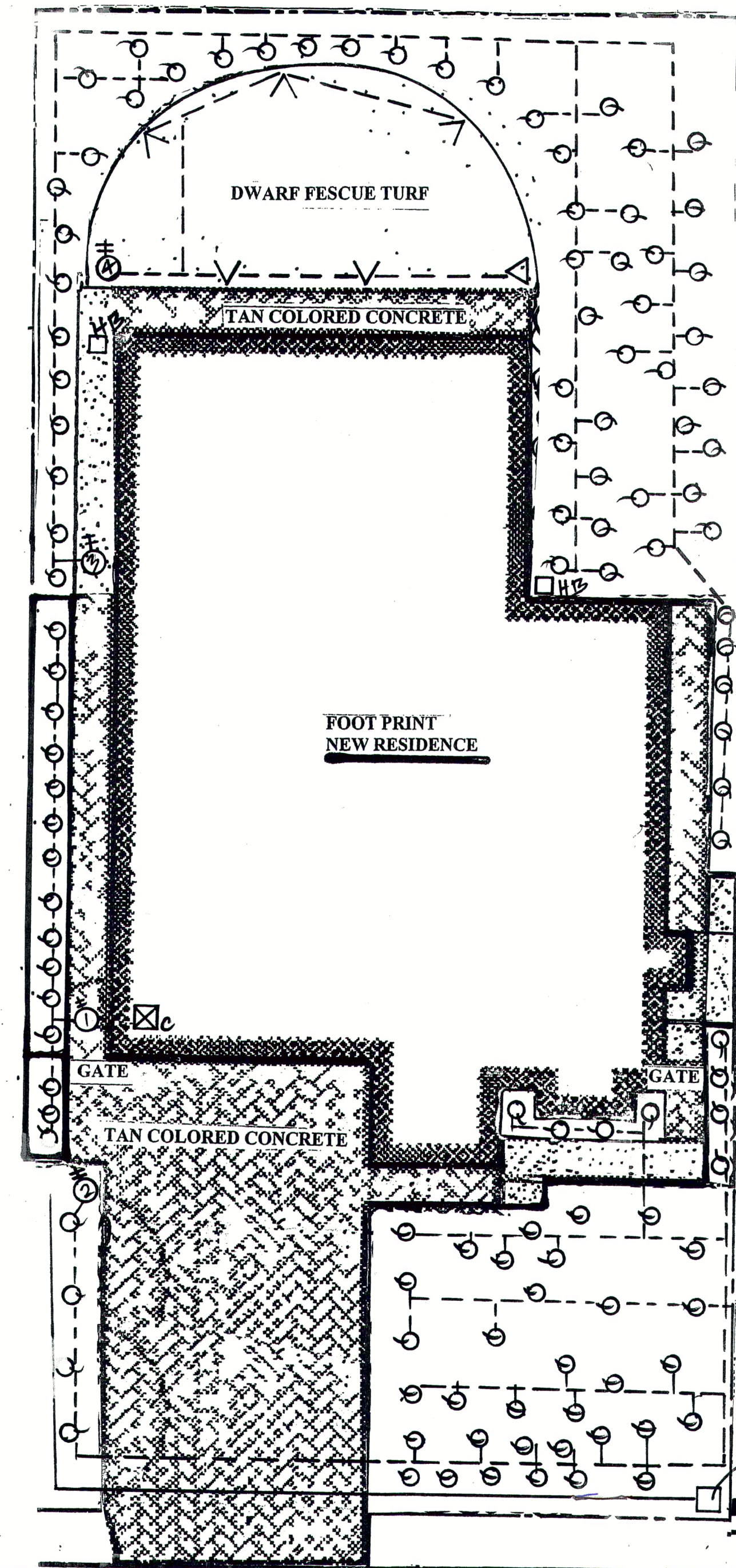
21. INITIAL BACKFILL ON PLASTIC LINES SHALL BE OF A FINE GRANULAR MATERIAL WITH NO FOREIGN MATTER LARGER THAN 1/2" SIZE.
22. THE IRRIGATION CONTRACTOR SHALL FLUSH MAINLINES BEFORE INSTALLING REMOTE CONTROL VALVES AND LATERAL LINES BEFORE INSTALLING SPRINKLERS. INSPECT MAINLINE FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO MINIMIZE OVERSPRAY ONTO ADJACENT PROPERTY, PAVING AND/OR BUILDINGS. SELECT THE BEST DEGREE OF ARC TO FIT EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
23. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS.
24. INSTALL A SPRING LOADED CHECK VALVE BELOW THOSE SPRINKLERS WHERE LOW HEAD DRAINAGE WILL CAUSE EROSION AND EXCESS WATER.
25. FOR MAINLINE PIPING INSIDE SLEEVES USE SCHEDULE 40 PVC PLASTIC PIPE.
26. EXTEND ALL SLEEVES 12" MINIMUM BEYOND EDGE OF PAVING INTO PLANTING AREAS.
27. ALL EMPTY IRRIGATION CONTROL WIRE SLEEVES/CONDUITS SHALL HAVE PULL ROPES INSTALLED.
28. CONTRACTOR IS RESPONSIBLE FOR LOCATION AND SIZE OF SLEEVES FOR IRRIGATION CONTROL WIRES SIZES SHOWN ARE FOR PIPE. SIZE SLEEVES PER CHART.
29. PIPE MAY NOT SHARE A SLEEVE WIRING MUST BE IN A SEPARATE SLEEVE.
30. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES AND SHRUBS, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND SHRUBS AND THEIR ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. ROOTS ONE (1) INCH AND LARGER IN DIAMETER SHALL BE PAINTED WITH TWO COATS OF TREE SEAL, OR EQUAL. TRENCHES ADJACENT TO TREES AND SHRUBS SHALL BE CLOSED WITHIN TWENTY-FOUR (24) HOURS; AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE AND/OR SHRUB SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.
31. IRRIGATION CONTRACTOR TO SUBMIT TO LANDSCAPE ARCHITECT A PROPOSAL DRAWING SHOWING PROPOSED MOUNTING OF CONTROLLER WITH CONDUITS. INSTALLATION SHALL BE COMPLETED AFTER APPROVAL OF PROPOSAL DRAWINGS BY LANDSCAPE ARCHITECT.
32. A COMPLETE SET OF REPRODUCIBLE 'AS BUILT' DRAWINGS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT UPON COMPLETION OF CONSTRUCTION.
33. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO INDICATE A COMPLETE SPRINKLER SYSTEM WHICH IS INSTALLED AND READY FOR USE WITHOUT FURTHER COST TO THE OWNER.
34. THE SPRINKLER SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. MANUFACTURER WARRANTIES SHALL NOT REPLACE THIS GUARANTEE. THE CONTRACTOR SHALL BE LIABLE FOR LABOR AND MATERIALS TO REPAIR THE SYSTEM AND RESTORE ANY OTHER ELEMENTS DAMAGED BY FAILURE OF IRRIGATION SYSTEM.

IRRIGATION LEGEND

- 3/4 INCH SCHEDULE 40 PVC MAIN
- - - 3/4 INCH CLASS 200 PVC LATERAL
- ▽ HUNTER MP 1000 ROTATOR HEAD 14'0" ADJUSTABLE RADIUS 90 DEGREE .2 GPM
- ✓ HUNTER MP 1000 ROTATOR HEAD 14'0" ADJUSTABLE RADIUS 180 DEGREE .4 GPM
- ⊙ PEPCO QUADRA CLUSTER BLUE DRIP HEAD (4 PORTS) 2 GPH PER PORT
- ⊗ IRRITROL RD600 6 STATION AUTOMATIC CONTROLLER WITH CLIMATE LOGIC ATTACHMENT
- ⊠ 3/4 INCH HOSE BIB
- ⊗ 3/4" FEBCO BACK FLOW PREVENTER IF REQUIRED
- ⊙ IRRITROL OR RAINBIRD ANTISIPHON REMOTE CONTROL VALVES 3/4 INCH SIZE

NOTES

1. BUILDER TO INSTALL 3/4 INCH SCHEDULE 40 PVC WATER MAIN IN APPROPRIATE LOCATION FOR IRRIGATION SYSTEM
2. THE CALIFORNIA GREEN STANDARDS CODE REQUIRES A WEATHER BASED AUTOMATIC IRRIGATION CONTROLLER, SWAT TESTED AND APPROVED SUCH AS IRRITROL SD 600 OR APPROVED EQUAL.



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IRRIGATION PLAN

Sheet No.:

LA 2

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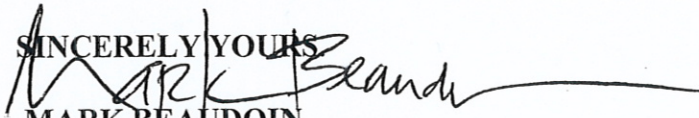
**TREE REPORT
FILENO. R-2017-27 ERIKA POVEDA**

**YUNFENG HOU
18850 BARNHART AVE.
CUPERTINO, CALIFORNIA**

**I HAVE INSPECTED AND SUBMITTED PHOTOGRAPHS OF THIS SITE
WITH THE FOLLOWING FINDINGS VIEWING FROM THE STREET:**

- 1. IN THE REAR RIGHT HAND CORNER THERE ARE EXISTING LARGE
PRIVET TREES AND A FIG TREE THAT PROVIDE SCREENING.**
- 2. ALONG THE REAR RIGHT HAND PROPERTY LINE THERE MORE
PRIVET AND A LARGE JAPANESE MAPLE THAT PROVIDE SCREENING.**
- 3. IN THE LEFT REAR CORNER THERE ARE EXISTING LARGE PRIVET
TREES AND A CHERRY TREE THAT PROVIDE SCREENING.**
- 4. THE COMBINATION OF THE NEW PLANTINGS AND THE EXISTING
PLANTINGS WILL PROVIDE ADEQUATE PRIVACY PLANTINGS FOR THIS
SITE.**

**IF THERE ARE ANY QUESTIONS ON THIS REPORT, PLEASE CALL ME AT
408-656-3580.**

SINCERELY YOURS

**MARK BEAUDOIN
CERT. ARBORIST WC 1050**



EXISTING SCREENING
JAPANESE MAPLE SIDE





**EXISTING SCREENING
FIG TREE SIDE**



**EXISTING SCREENING
CHERRY TREE SIDE**