Cupertino Village Boutique Hotel

CUPERTINO VILLAGE LP

CONCEPT DESIGN PACKAGE

May 12, 2017

Hornberger + Worstell

Architects & Planners

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KIMCO™ REALTY

May 12, 2017

CUPERTINO VILLAGE BOUTIQUE HOTEL
CONCEPT DESIGN PACKAGE

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Vicinity Map

Vicinity Map

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Overall Site Plan

Overall Site Plan: Cupertino Village Mixed-Use

Figure LU-2, Chapter 3: Land Use And Community Design Element . general plan (community vision 2015- 2040)
General Plan Land Use Designation: North Vallco Gateway, North Vallco Park Special Area, West of Wolfe Road- Commercial/ Residential

City of Cupertino Zoning Map
Zoning Designation: Mixed Use Planned Development- General Commercial (CG), Residential (Res).

Scale: 1"=60' 60 120 240 N

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Site Photos/Context

Site View: North

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Site View: Northeast

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Site View: East

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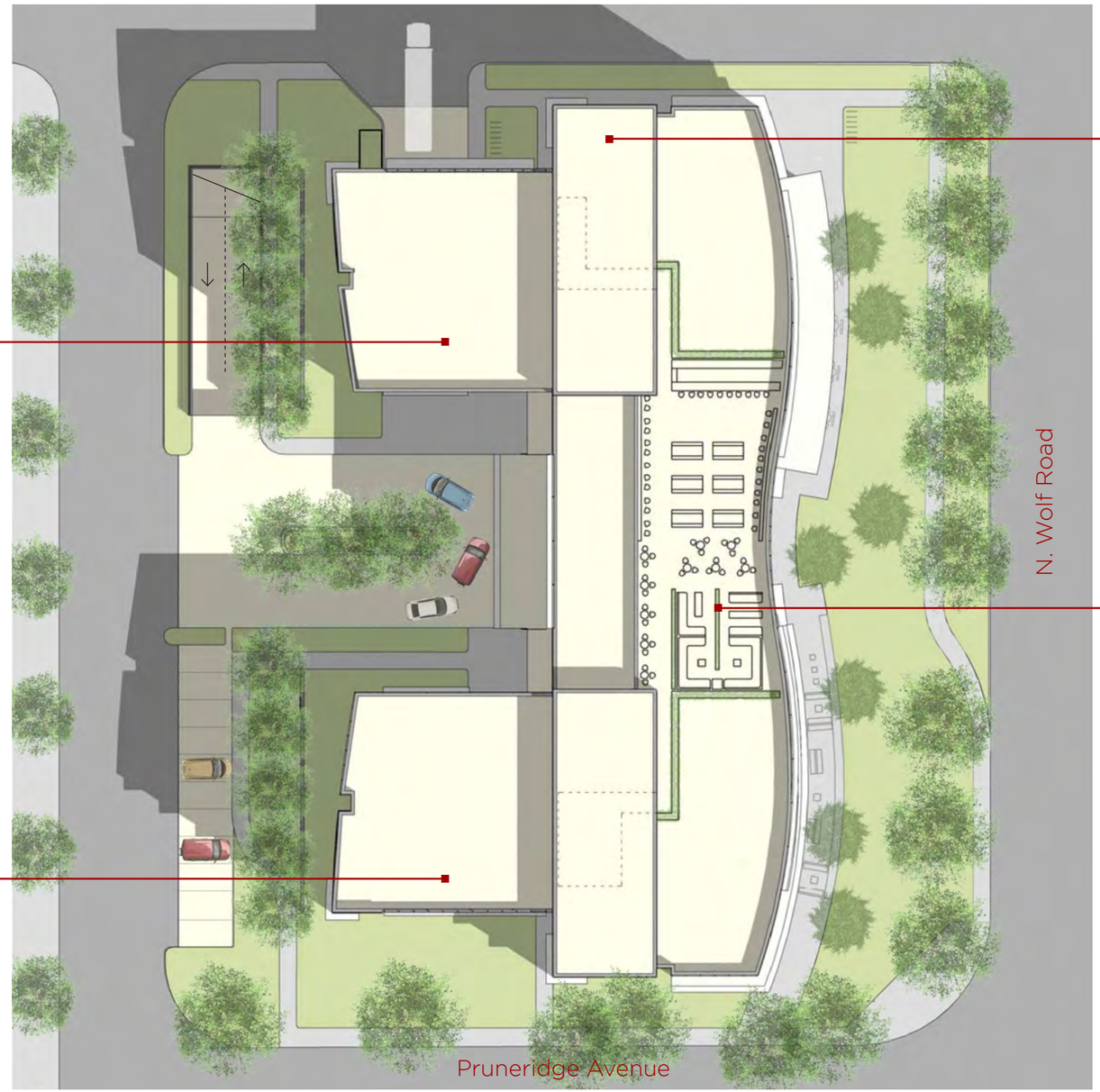
Plans

Site Plan/Roof Plan



Scale: 1"=20'

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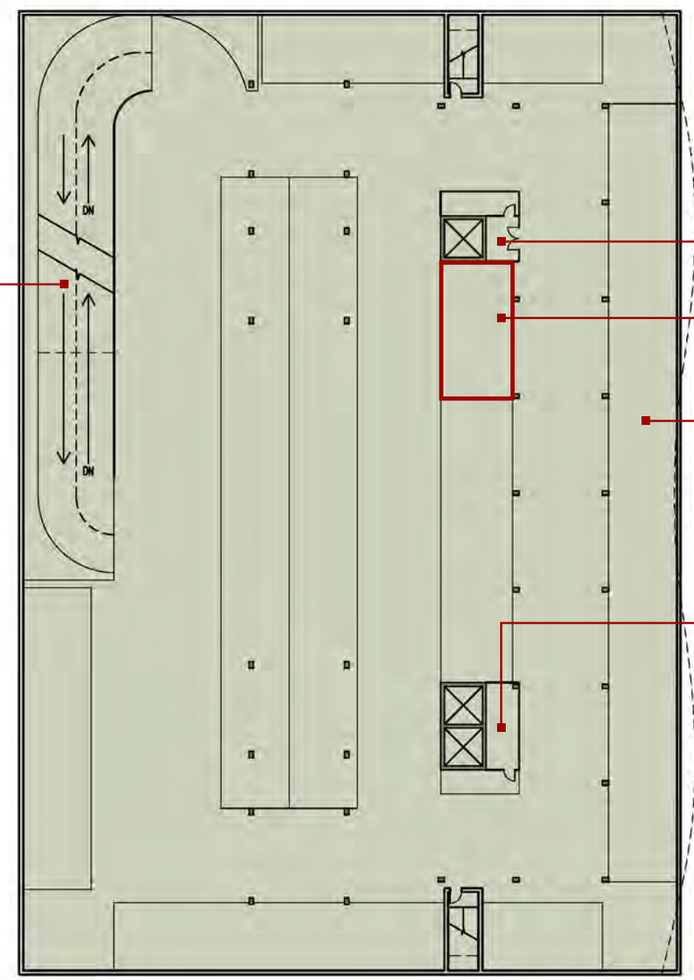
Floor Plan: Basement Parking Levels (B1, B2)



Parking Access Ramp

Service Elevator Core

Electric Vehicle Charging Stations

Head-In Parking Stalls 8.5'X18'

Passenger Elevator Core

Level B-1 = 114 Cars
Level B-2 = 126 Cars
240 Cars in Underground Garage
+11 On-Grade Cars
251 Parking Stalls Provided

Table 19.124.040: Regulations for Off- Street Parking of Cupertino, CA Municipal Code

A. Parking Ratio for CG Zones and Motel/Hotel/Lodging Land Use:

1/unit + 1/employee. Uni-size Stall Dimensions (185 Units x 1) + (66 Employees x 1) = 251 Parking Stalls Required

Bicycle Parking:

1/20,000 sq. ft. Class II

Scale: 1"=20' 20 40 80

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Floor Plan: Ground Level

Property Line

Back of House

Garage Ramp

Arrival/Porte Cochere

West Meeting Rooms
Banquet Capacity
180 Occupants
Lecture Capacity
385 Occupants

Restaurant/Bar

Lobby/Entry/ Circulation

Meeting Space

Back-of-House

Restaurant Entrance

Restaurant/Bar

Lobby/Reception

Passenger Core

East Meeting Rooms
Banquet Capacity
192 Occupants
Lecture Capacity
410 Occupants

Storage

Scale: 1"=20' 20 40 80

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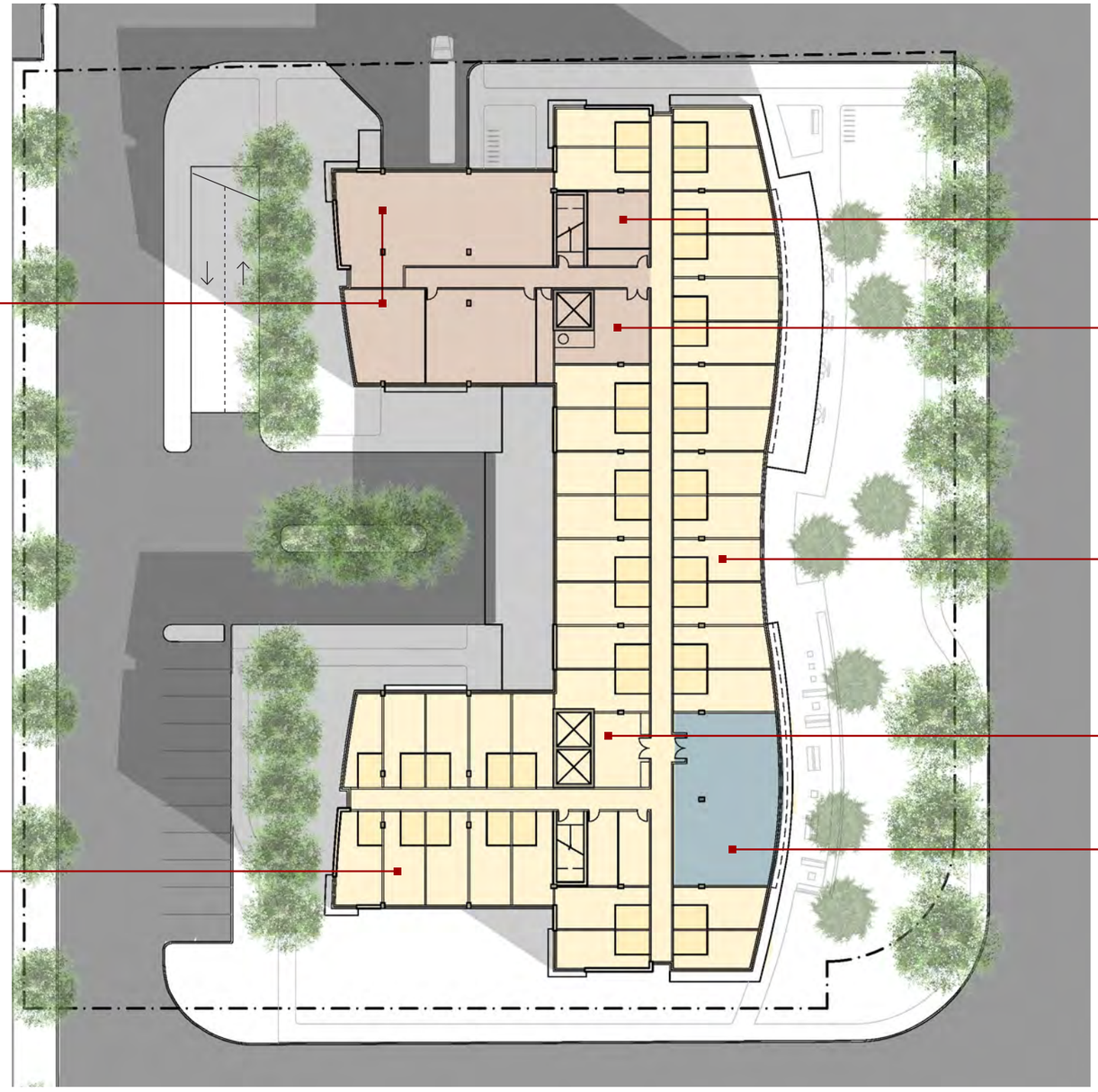
Floor Plan: Level 2



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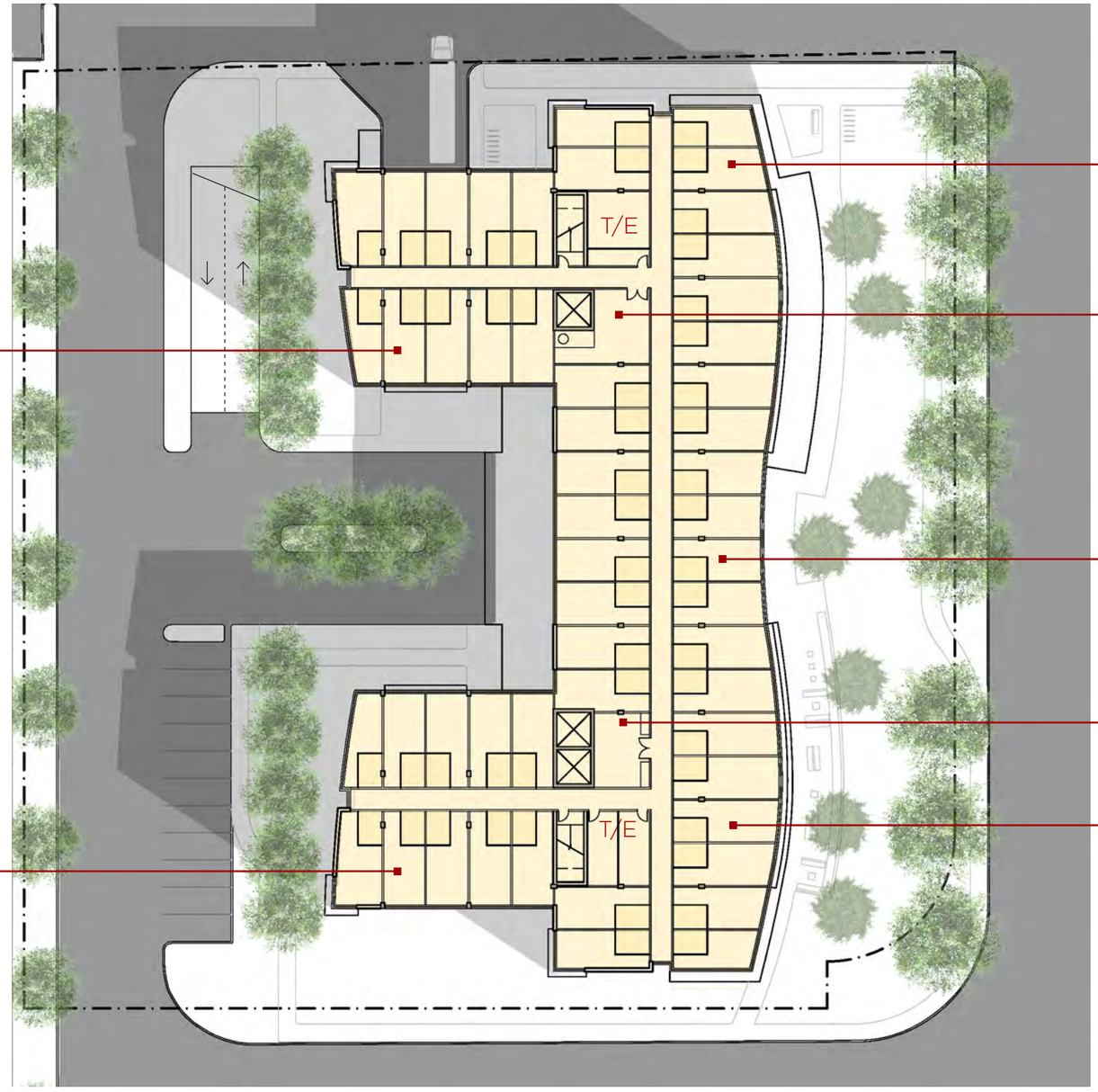
Floor Plan: Typical Guestroom Level (3,4)



Typical Guestroom Module
12-6"X27-0"

Service/Housekeeping

Guestrooms

Guestrooms

Passenger Elevator Core

52 Modules/Level

Guestrooms

Scale: 1"=20'

20 40 80

N

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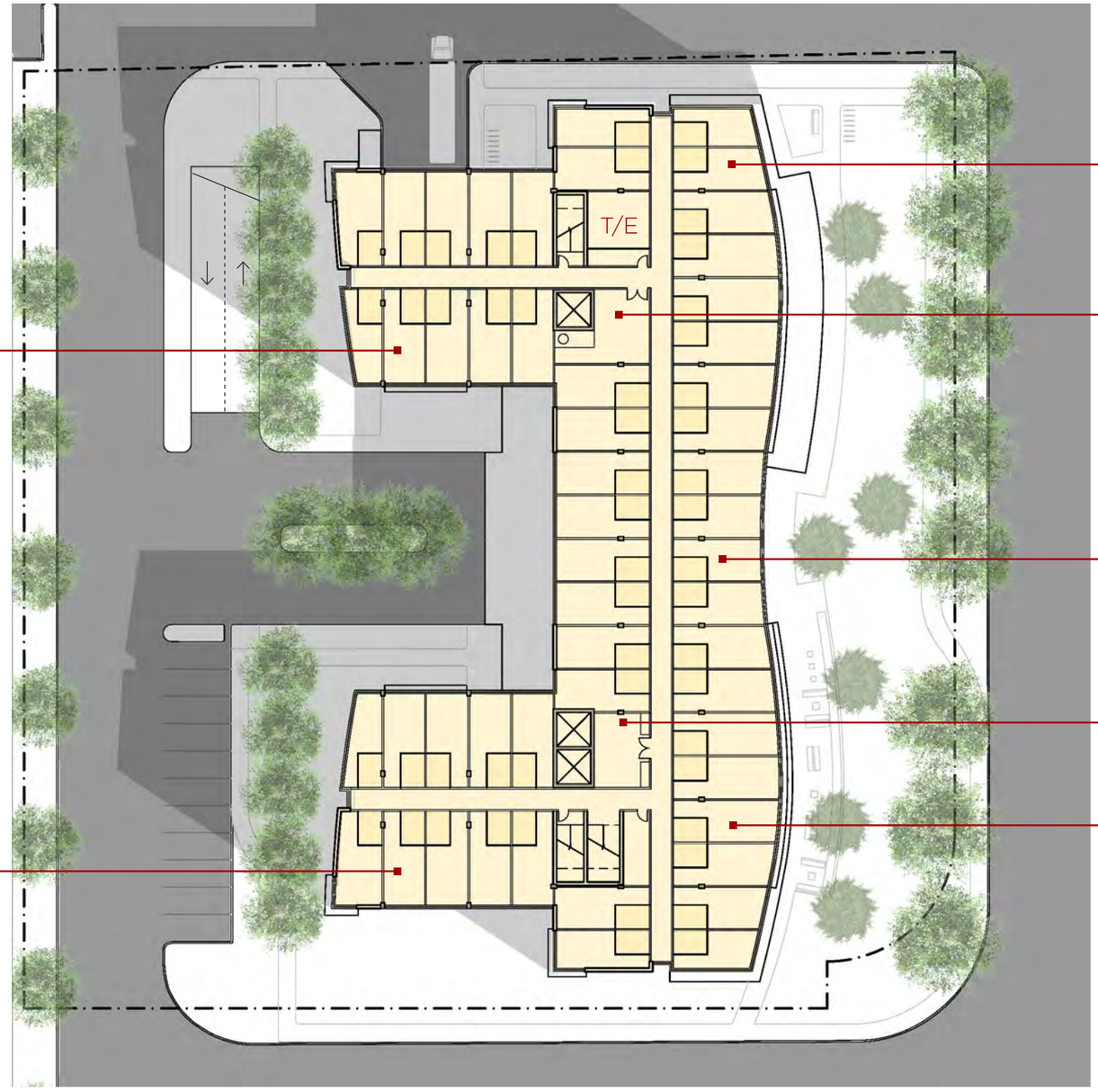
Floor Plan: Level 5



Typical Guestroom Module
12-6"X27-0"

Service/Housekeeping

Guestrooms

Guestrooms

Passenger Elevator Core

52 Modules/Level

Guestrooms

Scale: 1"=20'

20 40 80

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Preliminary Landscape Concept Plan

BUILDING FOOTPRINT	25575 SF (34% OF LOT AREA)
SITE AREA NOT COVERED BY BUILDING	49404-SF
TOTAL LOT AREA	74979-SF

Scale: 1"=20' 20 40 80

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Elevations

Elevations: North and East

North

East

Scale: 1"=20' 20 40 80

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Elevations: South and West

South

West

Scale: 1"=20' 20 40 80

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Color/Material Board

Color/Material Board

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Sections

Section: AA

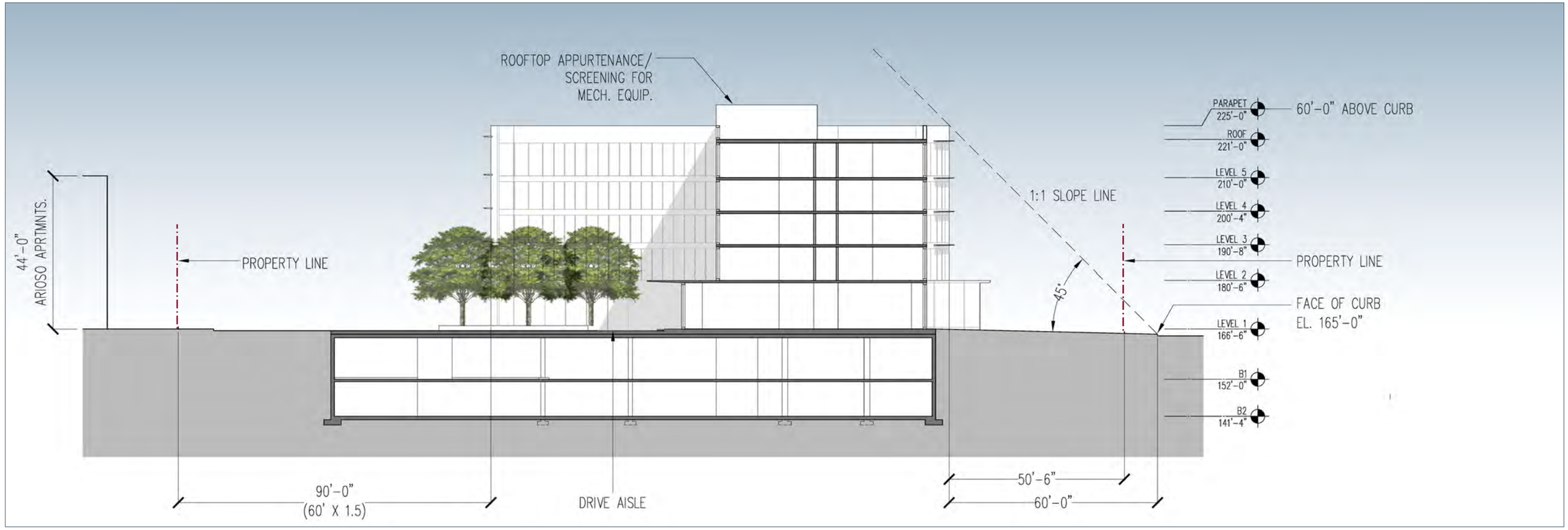


Table 19.60.060: Development Standards of Cupertino, CA Municipal Code

C. Required Setbacks for Buildings and enclosed Patio/ Atrium Space

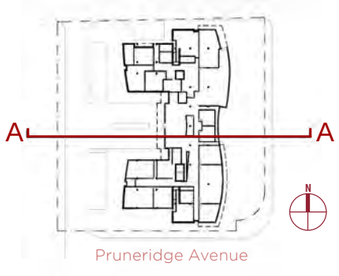
1. Front Yard- Established based upon special policies contained in the General Plan and/ or applicable specific plan... (See excerpt below from General Plan).
2. Minimum Side and Rear Yard- No side or rear yard setback required unless lot abuts residential or agricultural- residential zone in which case the following regulations apply:
b) Rear Yard Setback
20 feet, or a total setback equal to one and one- half feet of additional setback for each foot of height of a commercial building measured from its eave line or top of parapet, whichever is more restrictive.

Figure LU-2, Chapter 3: Land Use And Community Design Element . general plan (community vision 2015- 2040)

"North Vallco Gateway West of Wolfe Road: Maximum Height 60 feet"

"For the North and South Vallco Park areas maintain the primary building bulk below a 1:1 slope drawn from Wolfe Road and Tantau avenue curb line."

"Rooftop Mechanical Equipment: Rooftop mechanical equipment and utility structures may exceed stipulated height limitations if they are enclosed, centrally located on the roof and not visible from adjacent streets."



Scale: 1"=15' 15 30 60

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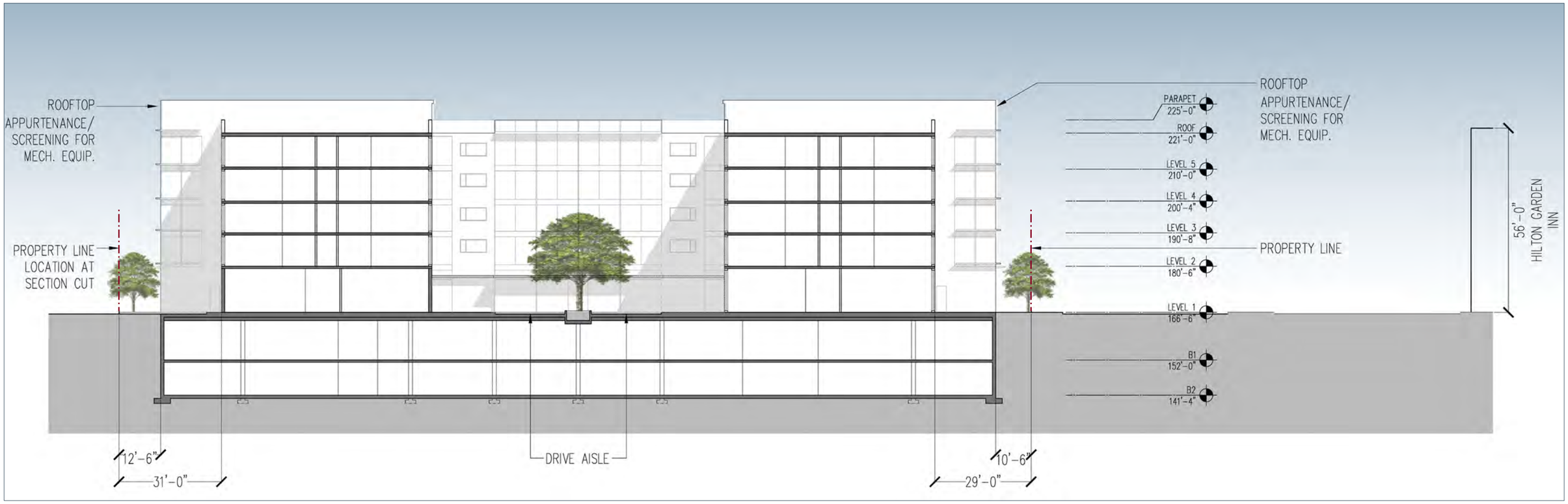
Section: BB



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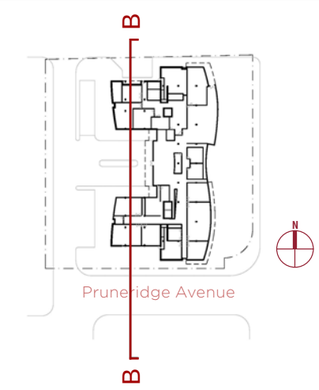

Scale: 1"=15' 15 30 60

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Renderings/Perspective Views

Aerial Perspective View

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Arrival Court View

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N. Wolfe View Looking West

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View Looking South

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Project Area Summary

PARKING GARAGE LEVELS	NSF	GSF
B1		44328
B2		44328
TOTAL OF GARAGE LEVELS		88656

Level B-1 = 114 Cars
Level B-2 = 126 Cars
On-Grade= 11 Cars
TOTAL 251 cars

HOTEL LEVELS

LEVEL 1		
RESTAURANT	2502	
MEETING	5568	
SUPPORT	9990	
CIRCULATION	6546	
TOTAL		25575
LEVEL 2		
FITNESS	1502	
GUESTROOMS	12935	
SUPPORT	4914	
CIRCULATION	3570	
TOTAL		24236
LEVEL 3		
GUESTROOMS	17874	
SUPPORT	1405	
CIRCULATION	3634	
TOTAL		24236
LEVEL 4		
GUESTROOMS	17874	
SUPPORT	1405	
CIRCULATION	3634	
TOTAL		24236
LEVEL 5		
GUESTROOMS	17874	
SUPPORT	1405	
CIRCULATION	3634	
TOTAL		24236
TOTAL OF HOTEL LEVELS		122519

OPTIONAL ROOFTOP BAR Up to Approx. 3600 SF

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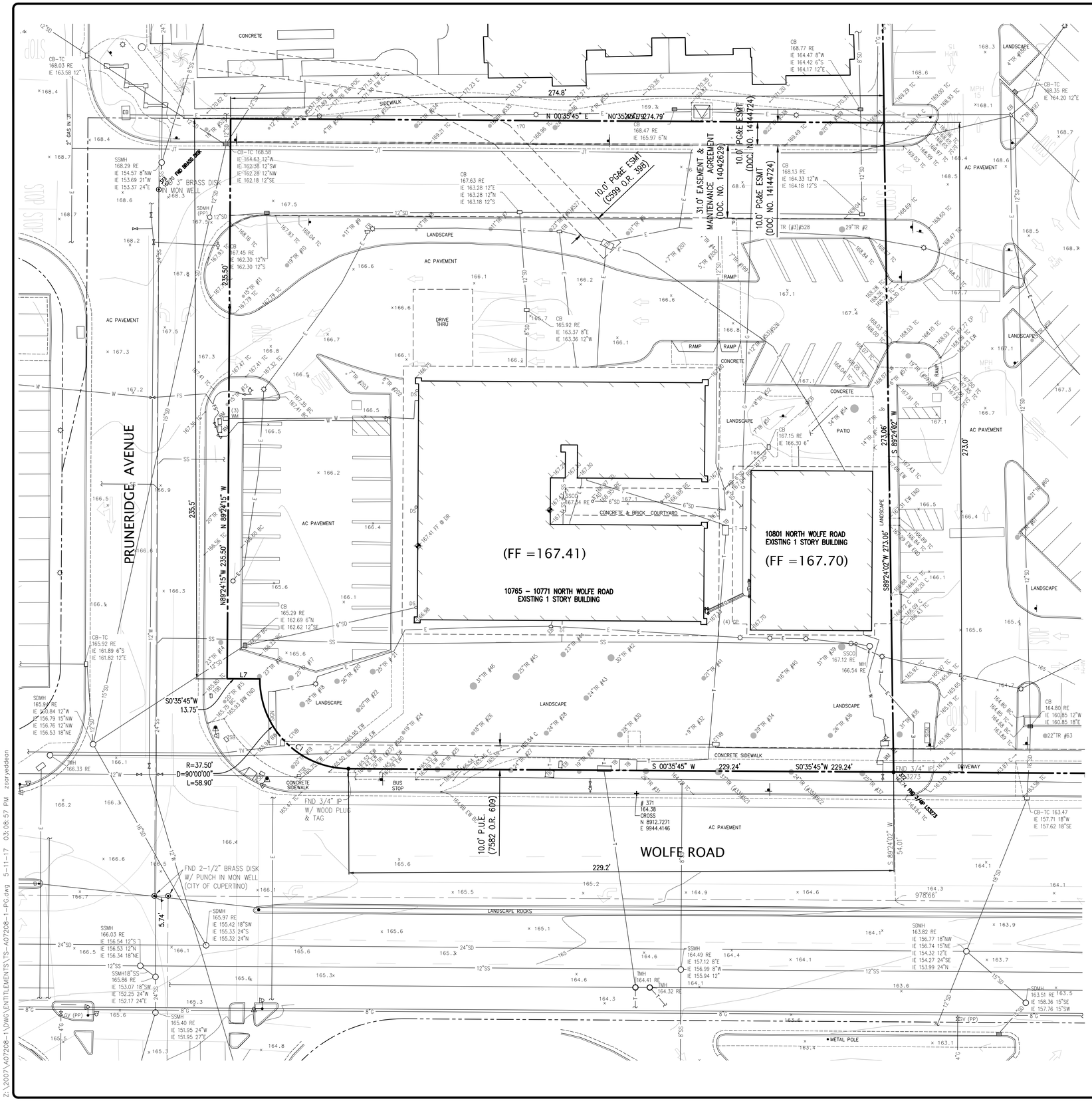
Civil Engineering Drawings



LEGEND

- BUILDING LINE
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- CONTOUR LINE
- OBSCURED CONTOUR LINE
- DRIVEWAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- EDGE OF WATER-FLOWLINE
- ELECTRIC LINE
- FIRE SERVICE & VALVE
- GAS LINE-VALVE & METER
- JOINT TRENCH
- LOT LINE
- MONUMENT/MONUMENT LINE
- PROPERTY LINE
- SANITARY SEWER-MANHOLE & CLEANOUT
- SANITARY SEWER FORCE MAIN
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN-MANHOLE & CATCH BASIN
- STORM DRAIN FORCE MAIN
- STREET LIGHT CONDUIT LINE
- TELEPHONE LINE
- TRAFFIC SIGNAL CONDUIT LINE
- TELEVISION LINE
- WATER LINE & VALVE
- BENCHMARK/TEMPORARY BENCHMARK
- ELECTROLIER
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- GUY ANCHOR
- GAS METER
- HOSEBIBB
- POST INDICATOR VALVE
- SURVEY CONTROL POINT
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- TREE
- UTILITY BOX
- UTILITY LINE MARKER
- WATER VALVE

ABBREVIATIONS

AC	ASPHALT CONCRETE
AD	AREA DRAIN
BC	BACK OF CURB
BEG	BEGIN
BLDG	BUILDING
BW	BACK OF WALK
C.	CONCRETE
CB	CATCH BASIN
CL	CENTER LINE
CO	CLEANOUT
CTV.	CABLE TELEVISION
CTVB	CABLE TV BOX
CTVL	CABLE TELEVISION LINE
DR	DOOR
DS	DOWN SPOUT
E	EAST
EB	ELECTRIC BOX
ELEC	ELECTRICAL LINE
EP	EDGE OF PAVEMENT
EW	EDGE OF WALK
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR
FH	FIRE HYDRANT
FS	FIRE SERVICE
GAS	GAS LINE
GM	GAS MARKER/METER
GP	GATE POST
GV	GAS VALVE
IE	INVERT ELEVATION
INTX	INTERSECTION
JT	JOINT TRENCH
MH	MANHOLE
N	NORTH
PIV	POST INDICATOR VALVE
POC	POINT OF CONNECTION
PP	POWER POLE
RE	RIM ELEVATION
S	SOUTH
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SL	STREET LIGHT
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
TB	TELEPHONE BOX
TC	TOP OF CURB
TELE	TELEPHONE LINE
TMH	TELEPHONE MANHOLE
TSB	TRAFFIC SIGNAL BOX
TSP	TRAFFIC SIGNAL POLE
TV	TELEVISION
W	WEST
WL	WALK LIGHT
WM	WATER METER
WV	WATER VALVE

GROSS AREA = 74,979 SF
NET AREA = 74,979 SF

NOTES

1. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED NOVEMBER 8, 2007, NUMBER 07–98203233–MC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE BOUNDARY LINES, EXCEPTIONS, OR EASEMENTS AFFECTING THE PROPERTY.

2. UTILITY INFORMATION HEROIN IS IN PROGRESS AT THIS TIME. A REQUEST WAS MADE TO THE RESPECTIVE AGENCIES, TO INCLUDE, ELECTRIC LINES, GAS LINES, WATER LINES, CABLE TELEVISION LINES, NITROGEN LINES, (IF ANY) FIBER OPTIC LINES (IF ANY), FOR INFORMATION REGARDING THEIR FACILITIES ON THIS SITE. AS OF 04–18–17. THEY HAVE NOT RESPONDED WITH THIS INFORMATION. UNTIL WE RECEIVE THIS INFORMATION AND WITH REGARDS TO THE LOCATION OF UTILITY FACILITIES. UPON RECEIPT OF THIS INFORMATION KIER & WRIGHT WILL UPDATE THIS SURVEY AND REVISE IT.

3. BENCHMARK:
U–1122 BRASS DISK IN T.C. AT NORTHWEST CORNER OF HOMESTEAD ROAD AND ROUTE 85 ON MID–POINT OF CURB RETURN NEAR CATCH BASIN.
ELEVATION: 201.46

4. BASIS OF BEARINGS:
THE BEARING OF SOUTH 00°35'45" WEST TAKEN ON THE CENTERLINE OF WOLFE ROAD AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON OCTOBER 25, 1977 IN BOOK 406 OF MAPS AT PAGE 27, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

5. THIS MAP WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY HJW GEOSPATIAL, INC., IN OAKLAND CALIFORNIA. THE DATE OF PHOTOGRAPHY WAS NOVEMBER 2, 2008 AS JOB NUMBER 07 – 358.

6. THE TOPOGRAPHY SHOWN HEREON AS AN INTERIM CONDITION. FINAL TOPOGRAPHY IS IN PROGRESS.

05/10/17
DATE

PREPARED BY OR UNDER THE SUPERVISION OF
JOSEPH D. THOMPSON, L.S. 8121
LICENSE EXPIRES: 12–31–18

LICENSED LAND SURVEYOR
JOSEPH D. THOMPSON
No. 8121
Exp. 12–31–18
STATE OF CALIFORNIA

NO.	REVISION	BY	NO.	REVISION	BY

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796

PARTIAL TOPOGRAPHIC SURVEY OF CUPERTINO VILLAGE FOR KIMCO

CUPERTINO, CALIFORNIA

DATE	05/11/2017
SCALE	1" = 20'
SURVEYOR	JDT
DRAWN BY	TB
JOB NO.	A07208-1
SHEET	C1.1
OF	_ SHEETS

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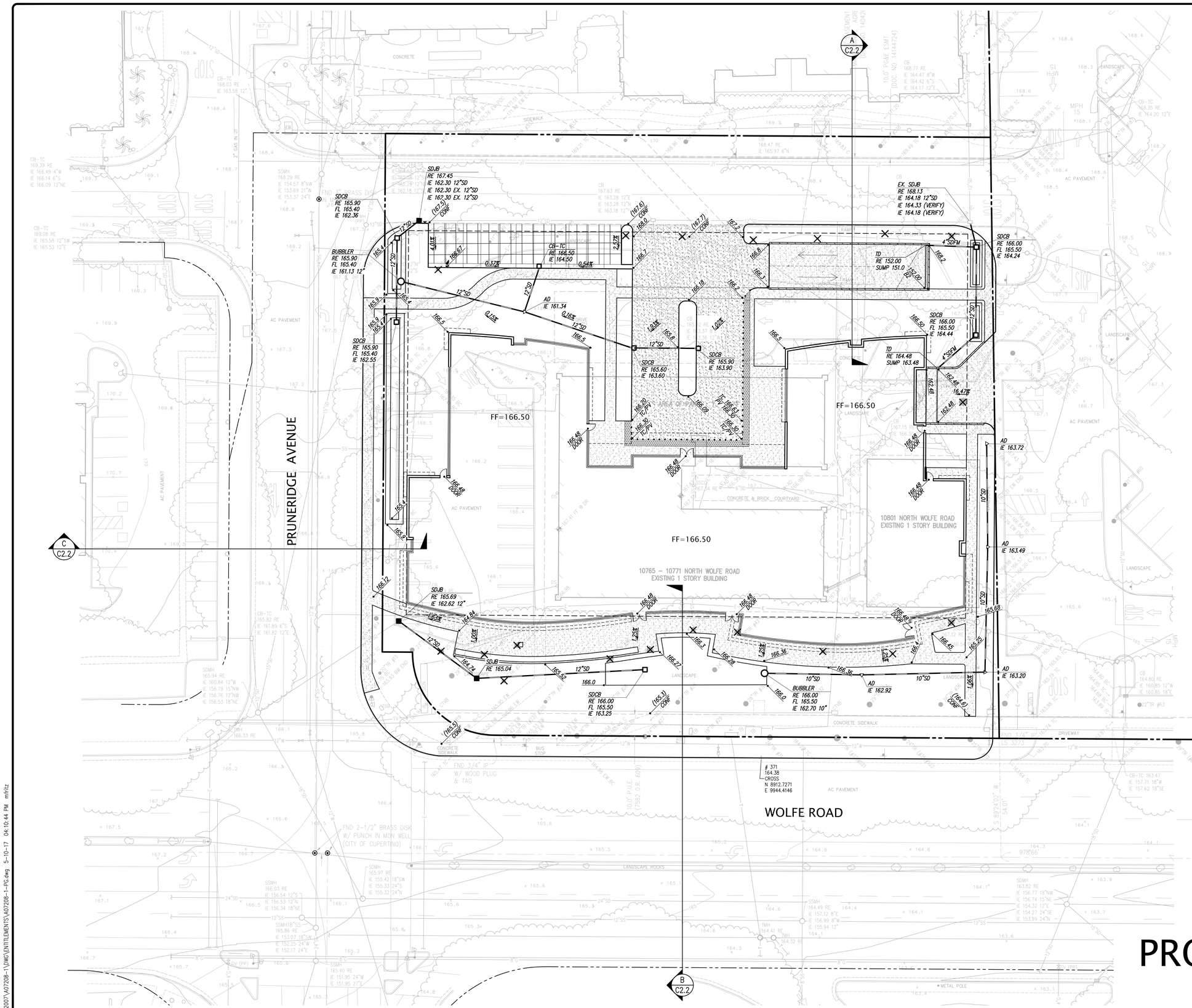

LEGEND

▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
■	STORM DRAIN JUNCTION BOX
●	STORM DRAIN MANHOLE
AD	AREA DRAIN
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
SDCB	STORM DRAIN CATCH BASIN
SDJB	STORM DRAIN JUNCTION BOX
TD	TRENCH DRAIN
23.8	SPOT ELEVATION
X"SD	STORM DRAIN LINE
TC	TOP OF CURB
▼	CURB CUT
	PERMEABLE MATERIAL
	WALL
	PROPERTY LINE
	LIMITS OF GARAGE
✕	EXISTING TREE TO BE REMOVED

PROGRESS SET

NO.	REVISION	BY

NO.	REVISION	BY

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road Phone (925) 245-8788
Livermore, California 94551 Fax (925) 245-8796

PRELIMINARY GRADING PLAN
OF
CUPERTINO VILLAGE
FOR
KIMCO

CUPERTINO, CALIFORNIA

DATE	MAY, 2017
SCALE	
DESIGNER	SMC
JOB NO.	A07208-1
SHEET	C2.1

33 OF 35 SHEETS

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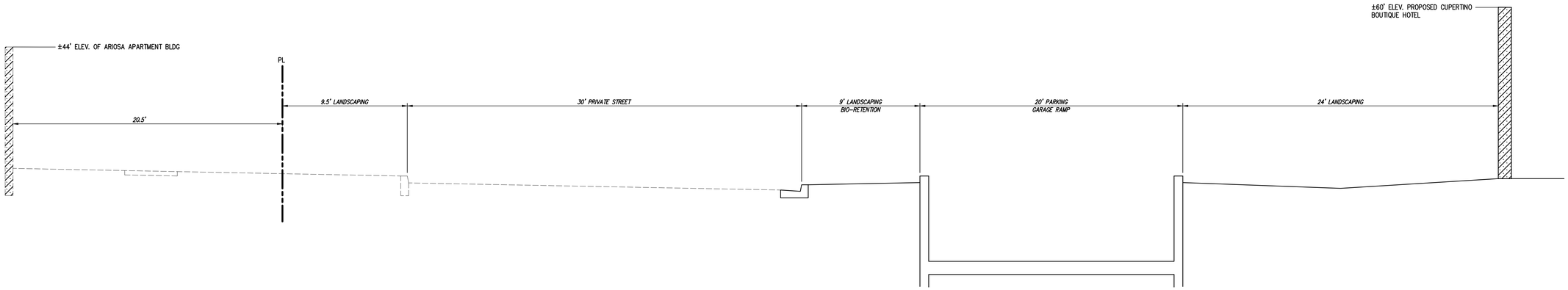
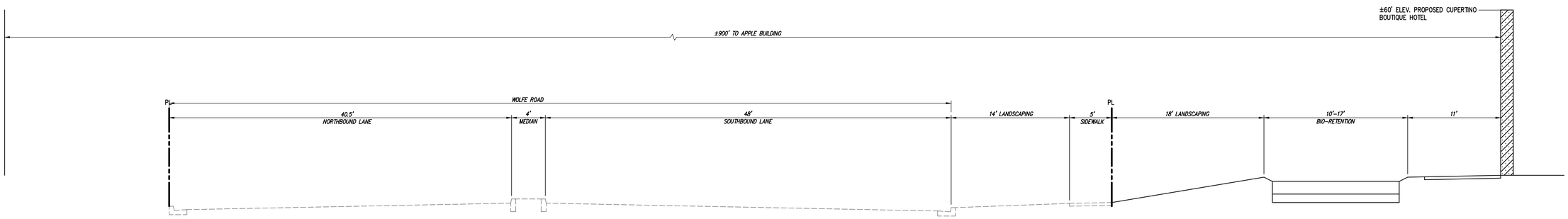
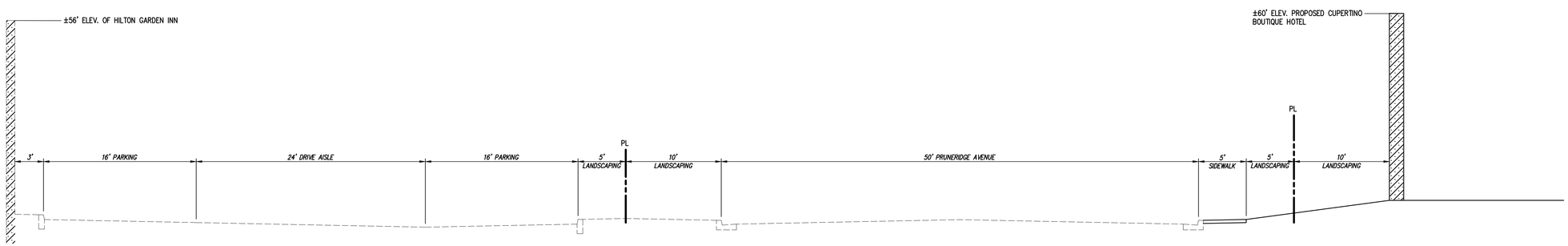


SECTION A
SCALE: 1" = 4'



SECTION B
SCALE: 1" = 6'



SECTION C
SCALE: 1"= 6'

PROGRESS SET

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NO.	REVISION	BY

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Phone (925) 245-8788
Fax (925) 245-8796

PRELIMINARY SECTIONS
OF
CUPERTINO VILLAGE
FOR
KIMCO

CUPERTINO, CALIFORNIA

DATE	MAY, 2017
SCALE	
DESIGNER	SMC
JOB NO.	A07208-1
SHEET	C2.2
34 OF 35	SHEETS

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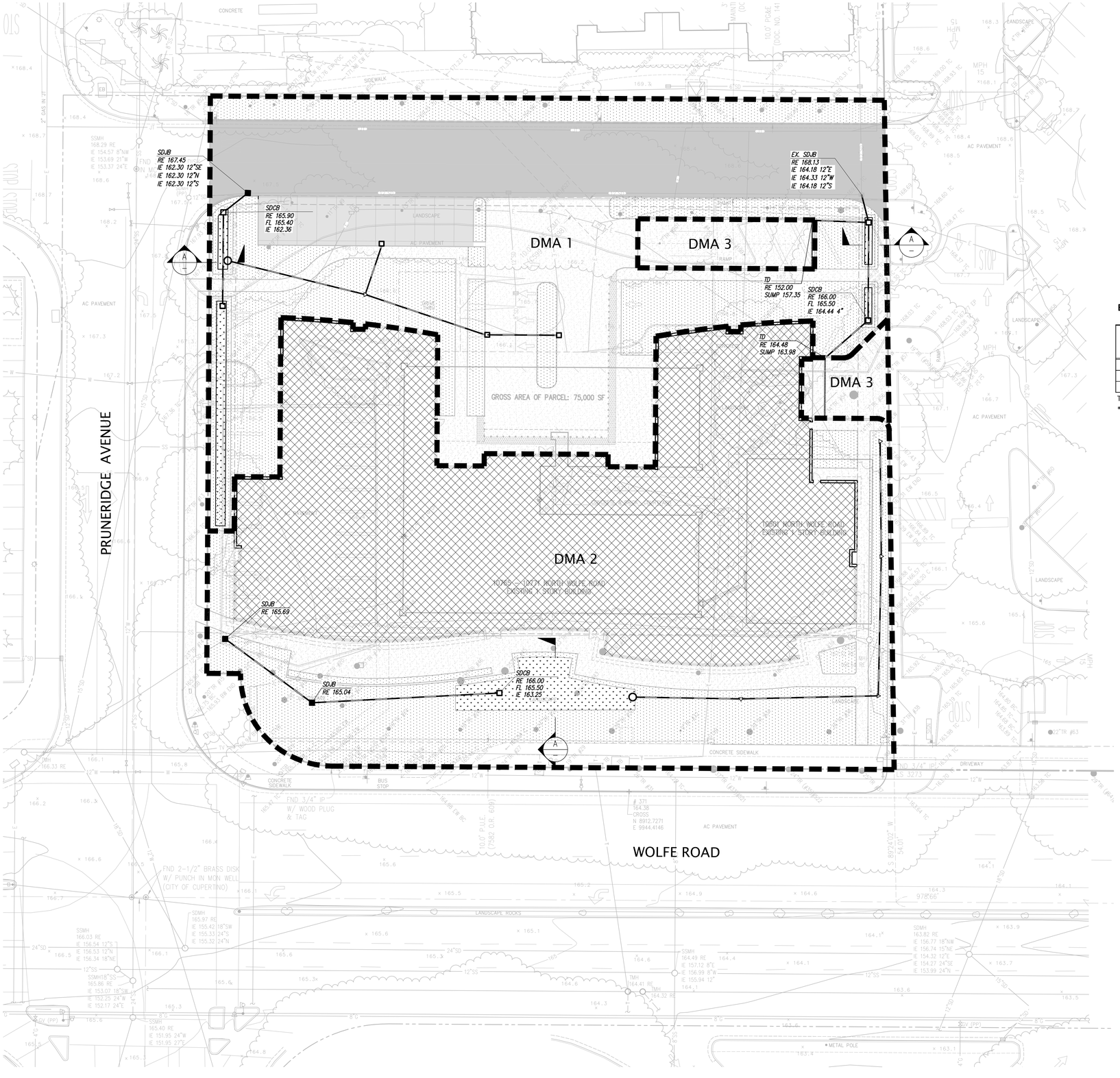
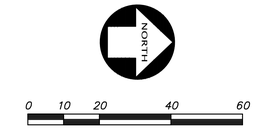




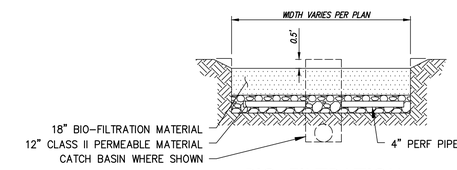
LEGEND

- TRIBUTARY AREA LIMITS
- LANDSCAPE AREA
- IMPERVIOUS ROOFTOP DRAINING TO BIO-SWALE
- IMPERVIOUS PAVEMENT DRAINING TO BIO-SWALE
- BIO-RETENTION TREATMENT AREA
- CONCRETE AREA
- PERMEABLE MATERIAL

BIO-RETENTION SIZING CALCULATIONS

Area No.	Area (SF)	Area (AC)	Landscape (SF)	Landscape (AC)	Imperv. (SF)	Imper. (AC)	Treatment Area* (SF)	Treatment Provided (SF)	Sizing Ratio (%)	Type of Planter
DMA 1	33,540	0.77	**11,536**	0.26	19,871	0.46	19,871	**690**	3.5%	Bio-Retention Planter
DMA 2	41,440	0.95	**10,321**	0.24	29,939	0.69	29,939	**1,180**	3.9%	Bio-Retention Planter
DMA 3	2,358	0.05	**0**	0.00	2,278	0.05	2,278	**80**	3.5%	Bio-Retention Planter
Totals	74,980	1.7	21,857	0.50	49,810	1.14	49,810	1,870		

*: Landscaped area is self treating. Only impervious area will be treated.



BIO-FILTRATION PLANTER

A

SITE DATA

PROPOSED COMBINED TOTAL OF LANDSCAPE, PERMEABLE AREAS AND BIO-RETENTION	+/- 24,306 SF (32.4% OF THE SITE)
PROPOSED BUILDING FOOTPRINT	25,575 SF
EXISTING LANDSCAPE AREA	+/- 16,701 SF (22.3% OF THE SITE)
EXISTING BUILDING FOOTPRINT	14,201 SF
TOTAL PARCEL AREA	74,979 SF

PROGRESS SET

NO.	REVISION	BY

NO.	REVISION	BY

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796

STORM WATER CONTROL PLAN OF CUPERTINO VILLAGE FOR KIMCO

CUPERTINO, CALIFORNIA

DATE	MAY, 2017
SCALE	1" = 20'
DESIGNER	SMC
JOB NO.	A07208-1
SHEET	C3.1

35 OF 35 SHEETS

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Cupertino Village Shopping Center Hotel Addition, 10765-10801 N Wolfe Rd, Cupertino, CA 95014
Comprehensive Project Description
May 12, 2017

Kimco Realty Corporation ("Kimco"), on behalf of Cupertino Village, LP (the "Owner"), is pleased to submit the attached GPA Authorization Application to the City for preliminary review of a proposed General Plan text amendment to provide for the hotel room allocation for a new boutique hotel to be located at 10765-10801 North Wolfe Road. Specifically, Kimco proposes that the City of Cupertino's General Plan, Chapter 3, Table LU-1: Citywide Development Allocation Between 2014-2040, be amended to increase the current allocation of hotel rooms in the North Vallco area by 185 rooms to allow for a new boutique hotel to be constructed on a portion of the existing Cupertino Village shopping center. Kimco, an NYSE-traded national Real Estate Investment Trust, has owned the Cupertino Village shopping center since 2005.

The project site is located within the City's North Vallco Park Special Area, which is envisioned by the General Plan to "become a sustainable office and campus environment surrounded by a mix of connected, high-quality and pedestrian-oriented neighborhood center, hotel, and residential uses." The proposed hotel project is consistent with the underlying General Plan and zoning designations for the project site (see General Plan Policy LU-20.1 ["Retail and hotel uses are allowed on the west side of Wolfe Road."]), and will adhere to the existing height, setback, density, and other development standards set forth in the City's General Plan and zoning ordinance.

The proposed project consists of a new 5-story full-service "Upper Upscale" boutique hotel with approximately 251 parking stalls both below-grade and at street level. The hotel will also include reception areas, fitness and amenity facilities, and a 3-meal per day +/- 2,500 square foot restaurant, to be open to hotel guests, onsite catering and banquet opportunities and the general public. An outdoor patio adjacent to the restaurant is also anticipated. Approximately 5,500 square feet of meeting room, conference and banquet space is also planned, with estimated maximum capacities in the largest single assembled space up to +/- 190 occupants in a banquet format and +/- 400 in a lecture format, based on the currently planned configuration. The hotel is expected to total approximately 122,519 square feet (gross). The 2-level garage is expected to total approximately 88,656 square feet, all below-grade. Demolition of an existing 10,044 square foot one-story commercial building, an existing 3,385 square foot restaurant building and +/- 66 parking stalls will be necessary to facilitate the project.

The hotel will be accessed from Wolfe Road primarily from Pruneridge Avenue, with the main entrance oriented toward the existing Arioso Apartments. Access from the main portion of the Cupertino Village shopping center will also be maintained. Loading will be handled on the north end of the building via dedicated loading facilities. The hotel room modules will be arranged in a horseshoe configuration, on levels 2-5. A complete concept design package and summary is included with the application.

The hotel meets the overall goals of the General Plan and will provide a variety of benefits to the community:

- *Site and architectural design and neighborhood compatibility* – The hotel is consistent with the existing land use designations for the site, and is compatible with the surrounding commercial and multi-family residential uses. The hotel is designed to create an attractive new gateway into the City of Cupertino, and to complement the iconic Apple Park facility located directly across Wolfe Road. The massing and articulation have modern, clean lines and the highest quality materials and colors. The ground level of the hotel is designed to create an active street edge whenever possible on all four sides of the building. Existing trees surrounding the site will be maintained wherever possible, and Kimco will attempt to relocate trees that cannot be retained in place, where practical. Kimco is also investigating the feasibility of including a viewing platform or rooftop lounge, which could offer the community another gathering spot and unparalleled views of Apple Park. The hotel is also a great complement to the existing portions of the Cupertino Village shopping center, which will share parking, vehicular and pedestrian connections, and shopping visits with its latest addition. The hotel's scale does not overwhelm the existing +/- 56' tall hotel use to the South, or the multi-story +/- 44' tall apartments to its West. Kimco's +/- 25' tall single story newly constructed "Retail A" shop building is located directly to the North of the project site, and to the South the Apple Park structure is across North Wolfe Road approximately 900' away. Parking onsite will meet or exceed all City requirements, and the benefits from shared parking with the adjacent retail uses will further ensure cars will not overflow onto surrounding properties.

- *Fiscal impacts, including a diverse economic base* – The project's fiscal impacts are positive for the City of Cupertino. The hotel use will be a net positive revenue generator, generating transient occupancy tax, sales tax, and property taxes that will directly benefit the City's General Fund and enhance the City's budget. In contrast, the existing single level office, bank, salon and restaurant space proposed for demolition is generally antiquated and of limited potential for tax generation. The project also diversifies the City's economic base by adding a new additional full-service hotel, which brings visitors, jobs and numerous other benefits, including reducing existing "leakage" of tax revenue from the City. Currently, the shortage of hotel rooms in Cupertino generates tax revenue for the benefit of adjacent jurisdictions, and it brings cars in from outside the city to access Cupertino companies. It should also be noted that Kimco recently invested more than $20 million in the property by adding 24,430 square feet of additional retail and restaurant space to Cupertino Village in two new shop buildings, and a new 240 stall parking garage at the rear of the site. Kimco is performing significant additional improvements to the shopping center's courtyards and public areas during Summer 2017. The hotel project is the next phase of investment proposed by Kimco for the Cupertino Village shopping center property.

- *Provision of affordable housing* – While the addition of the hotel doesn't directly provide or promote affordable housing in Cupertino, it does provide a higher quality alternative to visitors who may consider short term vacation rentals in the area, which could help encourage those rental units to be added back into the longer-term housing and affordable housing inventories. The project will also pay the City's affordable housing impact fees.

- *Environmental sustainability* – Kimco will design the project to meet LEED/CalGreen silver standards, and will pursue LEED and CalGreen certifications for the project. Built with environmentally-preferable building products with a high-recycled content and efficient state of the art mechanical and utility systems, the project will adhere to the best practices that minimize its carbon footprint and maximize its sustainability across the relevant disciplines. Since the largest energy user in a hotel in the Northern California temperate climate zone is the generation of hot water, the hotel will be designed to feature solar hot water panels behind the parapet on the roof. The hotel will feature electric vehicle charging stations in the garage and permeable pavers or concrete in select areas outside. The hotel's location directly across Wolfe Road from the Apple Park campus and adjacent and to the Cupertino Village shopping center will encourage pedestrian visits and shared trips to both locations, and the hotel will offer bicycle parking and bicycle sharing opportunities which will further reduce unnecessary motor vehicle trips. Shuttle service also is planned to be available to customers coming to and from the Norman Y. Mineta San Jose International Airport and to other major employment and destinations in the area. Subject to availability, the project anticipates allowing nearby residents and the general public to ride its shuttle service to and from the hotel. The hotel's porte cochere will also be perfectly suited to taxi and ride-share trips, further reducing single occupancy vehicle trips on the Cupertino street grid. The hotel's proximity to I-280 also will limit congestion on the Cupertino road network. Given the uses being replaced by the hotel, the preliminary traffic study for the project characterizes the project as essentially "traffic neutral from a capacity perspective."

The project will improve the overall quality of life for the residents of Cupertino by adding to the Wolfe Road gateway into the City, incorporating high quality design and landscape to enhance community identity and the pedestrian experience. The new, attractive, well-located, state of the art, boutique hotel will provide an exciting new hospitality option for residents' friends and business visitors, and will supply badly needed conference and meeting space. The hotel project will be a fitting complement to the newest retail and restaurants added next door at the Cupertino Village shopping center, all at a net gain to the City's supply of retail space. The transient occupancy tax revenue generated by the hotel will bolster the City's finances by adding to the General Fund, with no impact on local schools, and its freeway-adjacent location and limited trips will mean few additional trips and essentially no impact to the traffic in the area.

Cupertino Village Shopping Center Hotel Addition, 10765-10801 N Wolfe Rd, Cupertino, CA 95014
Voluntary Community Amenities
~~May 12, 2017~~ Revised July 24, 2017

Kimco Realty Corporation ("Kimco"), on behalf of Cupertino Village, LP (the "Owner"), is pleased to propose the following voluntary community amenities as part of its GPA Authorization Application to the City to increase the maximum citywide development allocation of hotel rooms to allow for a 185 room "Upper Upscale" boutique hotel to be constructed on a portion of the existing Cupertino Village shopping center property.

Beyond the merits of the project itself, to further enhance the quality of life in the City, the following **voluntary community amenities** are proposed to be included in a Development Agreement between Kimco and the City. The agreement is proposed to start with an initial five-year term. While the project will benefit the community by providing additional hotel rooms and transient occupancy tax revenue, the following additional voluntary community amenities will serve to further enhance the City's public facilities, transportation facilities, and school/community resources.

1. Complimentary Meeting/Performance Space – *Enhancement of Public Facilities*
   Kimco proposes to make the hotel's approximately 5,500 square feet of conference and meeting space available on a complimentary basis to the City of Cupertino and to qualified non-profits, school associations and other similar community-serving groups for regular meetings, special events, parties and other needs. It is anticipated that the meeting rooms will be configurable from under 1,000 square feet up to at least 3,000 square feet, with estimated maximum capacities in the largest single assembled space up to +/- 190 occupants in a banquet format and +/- 400 in a lecture format, based on the currently planned configuration. Discounts will also be available for catering services for these rent-free events. While the use of the facilities will be subject to availability, their utilization by the eligible groups will not be capped.

2. Local Negotiated Rates ("LNRs") – *Enhancement of Public Facilities*
   Kimco proposes to provide room night LNRs for dignitaries visiting Cupertino for governmental or cultural business, subject to availability. The rate will be published in advance and updated annually.

3. Shuttle Service – *Enhancement of Transportation Facilities*
   Kimco proposes to provide shuttle service to hotel customers coming to and from the Norman Y. Mineta San Jose International Airport and Caltrain, and to other major employment and destinations in the area. Subject to availability, Kimco proposes allowing nearby residents and the general public to ride its shuttle service to and from the hotel.

4. Robust Transportation Demand Management ("TDM") Program – *Enhancement of Transportation Facilities*
   Kimco proposes that the project will include a comprehensive transportation demand management program. While the specific measures to be included in the hotel's TDM program will be refined during the formal application review process, a preliminary list is included below.

   -Annual membership in the local Transportation Management Agency, should one be formed, not to exceed $10,000 per year.

-For Guests (in addition to shuttle services)

- Pre-loaded clipper cards for transit access
- Trained reservation staff to provide transit information
- Hotel confirmation email to include how to reach the hotel without a car
- Provide "getting around the area" brochure in each guest room
- Free access to bicycles/bike parking
- Car share program such as Zip Car
- Bike share program

-For Hotel Employees

- Subsidized transit passes (Caltrain and VTA)
- Cash allowances for carpooling, biking and walking to work
- Ride-matching assistance
- Emergency ride home program

5. Internships – *Enhancement of School Resources*

Cupertino-based high school and college students (including, but not limited to De Anza College students year-round or students home for the summer or other times of year), interested in careers in the hospitality industry will be offered non-paid educational internships. The hotel will perform outreach to advertise its program, it will solicit applications, and 1 to 5 students will be accommodated at a time. The hotel anticipates flexible durations for the program, but 10 week terms with 10 to 20 hours per week are anticipated.

6. Preferential Hiring – *Enhancement of Community/School Resources and Transportation*

The hotel proposes to seek out and give preferential treatment to Cupertino residents for Front-of-House and Back-of-House full-time and part-time positions.

7. Community Amenity Funding - ~~$250,000~~ $1,850,000,

To be used at the City Council's discretion, Kimco proposes to provide a contribution to the City in the amount of ~~$250,000~~ $1,850,000. Kimco proposes that the City Council spend these funds in the vicinity of the Cupertino Village shopping center, ideally on projects that could enhance and enrich the experience of the most proximate Cupertino residents, retail and restaurant customers, and hotel guests, as well as City's wider population. Options that Kimco would support for the use of the community amenity funding could include:

a. Transportation facilities
   Possibilities include I-280 Trail, Protected Bike Lanes on Stevens Creek Boulevard, or additional funding associated with the I-280/Wolfe Road Interchange project (above the likely required fair-share impact fee from the City's Public Works department)
b. Transportation Management Association (TMA) Pay a one-time fee to fund start-up costs.
c. Public facilities Pay for permanent local public art projects or temporary exhibitions.
d. Public open space Pay for local enhanced landscaping in Cupertino public parks, parkways and/or roadway medians to beautify the City.