



CUPERTINO

City of Cupertino
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Community Development Department

To: Mayor and City Council Members
From: Benjamin Fu, Director of Community Development
Date: November 19, 2019
Subj: REPORT OF PLANNING COMMISSION DECISIONS MADE November 12, 2019

**Chapter 19.12.170 of the Cupertino Municipal code provides for
appeal of decisions made by the Planning Commission**

- Application**
R-2017-33, RM-2017-39, Francis Kun (Tsai residence), Shayjan Huang/Eric & Cindy Fang, 21865 San Fernando Ave.

Appeal of Director's approval of a Residential Design Review application to allow the construction of a 520 square foot first floor addition and an 820 square foot second story addition with a second story setback less than 15 feet; and a Minor Residential Permit to allow a balcony on the new second story.

Action

The Planning Commission denied the appeal of the application(s) on a 4-0-1 vote

Enclosures: Planning Commission Report November 12, 2019
Planning Commission Resolution(s) 6887 & 6888
Plan Set



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

CITY HALL
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PLANNING COMMISSION STAFF REPORT

Agenda Date: November 12, 2019

SUBJECT

Consider an appeal of the Community Development Director's approval of a Residential Design Review Permit to allow the construction of a 520 square-foot first-floor addition and a new 820 square-foot second-story with a second-story setback less than 15 feet and a Minor Residential Permit to allow a second-story balcony. (Applications: R-2017-33 and RM-2017-39; Applicant: Francis Kun (Tsai residence); Project Location: 21865 San Fernando Avenue; A.P.N.: 357-15-043; Appellant(s): Shayjan Huang and Eric and Cindy Fang)

RECOMMENDED ACTION

Conduct the public hearing and deny the appeal and uphold the Director's decision to approve the applications per the Draft Resolutions (see Attachments 1 and 2).

DISCUSSION

Project Data:

General Plan Designation:	Residential (0-4.4 DU/AC)		
General Plan Special Area:	Monta Vista Village Special Area		
Zoning Designation:	R1-7.5 (Single-Family Residential)		
	Allowed	Existing	Proposed
Net Lot Area	-	9,966 sq. ft. (0.23 acres)	9,714 sq. ft.* (0.22 acres)
Floor Area Ratio (F.A.R.)	4,371 sq. ft. (45%)	2,834 sq. ft. (29%)	4,369 sq. ft. (44.9%)
Lot Coverage	4,857 sq. ft. (50%)	3,241 sq. ft. (33%)	4,217 (43.4%)

1st Floor Setbacks	Required	Existing	Proposed
Front	20'	12'-11"	7'-11" *
Rear	20'	81'-3"	48'
Side	Combined 15' (no side less than 5')	Combined 15'-4" (5' + 10'-4")	No change
2nd Floor Setbacks	Required	Existing	Proposed
Front	25'	N/A	77'-3"
Rear	25'	N/A	80'-9"
Side	Combined 25' (no side less than 10')	N/A	Combined 27'-5" (10' + 17'-5")
2nd Floor Balcony Setbacks	Required	Existing	Proposed
Front	20'	N/A	N/A
Rear	20'	N/A	60'-3"
Side	15' Each Side	N/A	18'-9" & 17'-5"
Total Building Height	28' max. allowed	19'-1"	27'-5"
Project Consistency with:			
General Plan:	Yes		
Zoning:	Yes		
Environmental Review:	Categorically Exempt per Section 15303, Class 3 of the California Environmental Quality Act (CEQA)		

* Required 5' dedication results in a reduction in the net lot area and front setback for the existing structure though the building location will not change.

Background:

On October 11, 2017, Francis Kun of Atelier Designs, representing the homeowners David and Yi Ting Tsai, applied for a Residential Design Review Permit to allow the construction of a 520 square-foot first-floor addition and a 820 square-foot second story and a Minor Residential Permit to allow a second-story balcony located at 21865 San Fernando Avenue (Figure 1).



Figure 1. Applicant's property outlined in red. Appellants' properties outlined in yellow.

The Single-Family Residential (R-1) Ordinance, Chapter 19.28 of the Cupertino Municipal Code (CMC) requires two-story additions to obtain a Residential Design Review Permit where a proposed second-story side-yard setback is less than 15 feet to any interior side property line. Since the proposed project has a second story setback of less than 15 feet, a Residential Design Review Permit was required and therefore, an architectural peer-review was conducted. Additionally, the R-1 Ordinance requires a Minor Residential Permit for new second-story balconies with views into neighboring residential side or rear-yards. Since the proposed project involves a second story balcony that will create views into neighboring side or rear-yards, a Minor Residential Permit was required.

The following is a summary of the project events leading up to the appeal:

- | | |
|--------------------|---|
| October 11, 2017: | Francis Kun (Tsai residence) applied for the Residential Design Review Permit and Minor Residential Permit. |
| November 11, 2017: | The Planning Division received a letter in opposition to the project signed by 11 neighbors. |
| November 17, 2017: | The property owner, David Tsai, met with adjacent neighbors to discuss the project concerns outlined in the letter. |
| February 21, 2018: | <p>To address the concerns identified by adjacent property owners, the applicant revised the proposed project by:</p> <ul style="list-style-type: none">• Reducing the proposed three-car (653 sq. ft.) garage to a two-car (498.5 sq. ft.) garage and converting the third car space to a carport;• Increasing the first-floor rear-yard setback from 41'-7" to 48';• Moving the location of the proposed second story closer to the street by approximately 12' thereby, increasing the second-story rear-yard setback from 68' to 80'-9" and the second-story balcony rear-yard setback from 44'-4" to 60'-3";• Reducing the area of the second-story balcony by approximately 235 sq. ft. resulting in an increase in the second-story balcony side-yard setback from 10' to 18'-9"; and |

- Removing a previously proposed exterior staircase to the second-story balcony

November, 2017 -
May, 2019:

Staff conducted multiple informal meetings at City Hall and on-site with adjacent property owners.

May 1 – 15, 2019:

Staff received multiple written comments during the public comment period, including a letter signed by 35 neighbors (re-submitted as part of the appeal packet).

June 24, 2019

In response to the comments received during the public comment period, the applicant revised the project by:

- Reducing the width of the proposed carport posts
- Incorporating a flat roof line by reducing the roof pitch of the carport resulting in a decrease in height by approximately 4'.

June 25, 2019:

The project underwent an architectural peer-review by the City's Consulting Architect and was approved as it was found to be consistent with all aspects of the R-1 Ordinance.

July 10, 2019:

The approval of the Design Review Permit (R-2017-33) and Minor Residential Permit (RM-2017-39) was appealed by Shayjan Huang and Eric and Cindy Fang (Attachment 4).

Basis of the Appeal:

The appellants' specific basis of appeal of the Director's decision is summarized below with related quotes in *italics*. Where appropriate, staff's response follows.

1. **Mass and Bulk:** *"This huge protruding expansion of the house with very short front setback, a second-story addition in the back part of the house, a huge 2nd floor balcony, and a big carport protruding into the backyard. It will destroy the harmony of the neighborhood."*

"The new expansion protruding into the backyard far exceeds the 2nd story lines of all the houses on the north side of San Fernando Avenue."

"This expansion is significantly longer than all the houses on San Fernando Ave. and immediate neighbors."

"Neighbors felt that this expansion looked like two connected houses [and] does not fit the single-family neighborhood..."

"The current 21865 San Fernando Ave. house (before expansion) with garage on the back is already longer than adjacent properties...After the addition of the first floor living area and two-car garage has already protrude into our backyard garden leisure area."

"21865's design will block all neighbors' backyard views and bring security threats. It will stand out in an aesthetically displeasing manner and devalue neighborhood properties' value."

The existing house was built when the property was in the County of Santa Clara's jurisdiction. Therefore, the existing front setback at the first floor is approximately 13', less than the current 20' foot standards. Due to the proposed development, a right of way dedication of five feet is required by the Public Works Department. This results in a front-yard setback for the existing structure of 7'-11". The City's Municipal Code recognizes that structures or portions of structures that were legally constructed and retain, unchanged, with a redevelopment project can remain "legal non-conforming." Therefore, the applicant can retain the existing front-yard setback and structure, despite their non-conforming status

It also appears from an aerial view (see Figure 2) that five adjacent properties along San Fernando Avenue (including the subject property) were all developed with the same/similar setbacks. These properties would also be allowed to retain the existing legal non-conforming first-floor front-yard setback should they redevelop or propose additions/improvements with no changes to the front of the building.

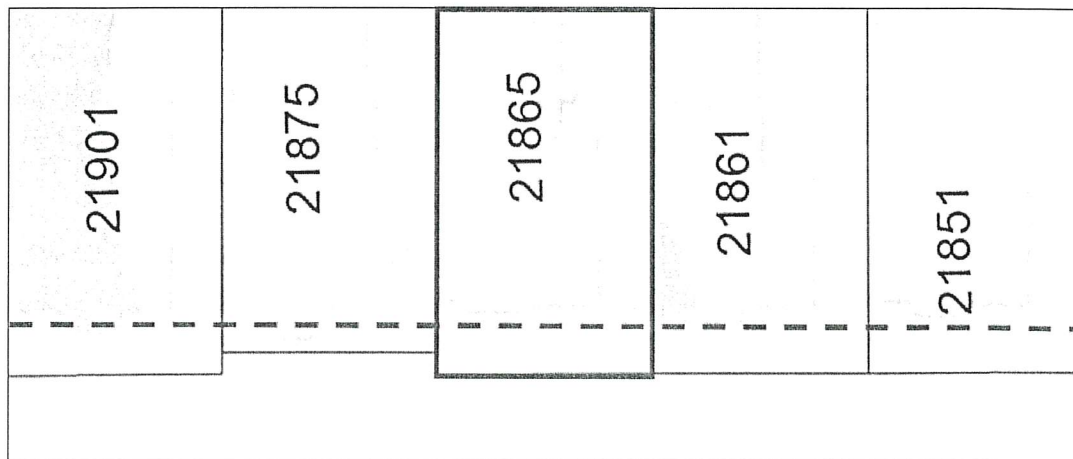


Figure 2. Aerial view of neighboring front-yard setbacks. Applicant's property outlined in red.

However, all remaining portions of the proposed project meet all other setback requirements for the first floor, second floor and second-story balcony and meet

all other the building development regulations including floor area ratio (FAR), lot coverage, and building height.

There are no regulations regarding length of buildings or placement of either the first or second story on the property other than the setbacks identified in the R-1 Ordinance. However, as part of the Residential Design Review, the project underwent an architectural peer-review by the City's Consulting Architect for design and neighborhood compatibility. The Consulting Architect made recommendations to better incorporate the new second-story into the existing structure, which the applicant complied with by amending the proposed plans.

As indicated in the summary of project revisions in the project timeline above, the applicant has voluntarily revised the scope of the project twice in order to address the concerns of adjacent property owners by not only relocating the second story, but also by reducing the size of the second-story balcony and decreasing the total building length. Furthermore, there are other two-story structures in the vicinity of the proposed project (see Attachment 5).

2. **Privacy Impacts:** *"The expansion will create privacy, security issues and obstructing the views of all neighbor's backyards."*

"We feel our family is entitled to privacy, safety, and comfort in our own backyard."

"Although there will be trees planted along the fence, it is very likely that the trees will not provide complete coverage and privacy."

One of the purposes of the R-1 Ordinance is to ensure the provision of light, air, and a reasonable level of privacy to individual residential parcels by implementation of the requirements in the ordinance. Setback requirements for the first and second floors ensure that a reasonable level of light and air is available for neighbors, while privacy protection plantings mitigate privacy impacts and the visual mass of two-story residences.

The proposal for 21865 San Fernando Avenue meets, and in some cases exceeds, all setback requirements for the R1-7.5 zoning district. The project proposes a first-floor rear-yard setback of 48' where only 20' is required; a second-story rear-yard setback of 80'-9" where 25' is required; and a rear-yard balcony setback of over 60' where 20' is required.

The project complies with the privacy screening requirements of the R-1 Ordinance by providing privacy screening plantings for all second-story balconies and second-story windows with a sill height below 5 feet along the western, eastern, and northern property lines. Per the R-1 Ordinance, the objective of

privacy protection plantings is to provide substantial (not complete) screening within three years of planting. Privacy protection plantings are considered Protected Trees under the City's Municipal Code (Chapter 14.18) and are recorded as such with a covenant against the property to inform current and future property owners about their protected status. Protected trees cannot be removed without obtaining a tree removal permit and providing replacement plantings.

Environmental Review:

This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15303.

PUBLIC NOTICING AND COMMUNITY OUTREACH

The following table is a brief summary of the noticing for this appeal:

Notice of Public Hearing & Site Signage	Agenda
<ul style="list-style-type: none">▪ Site Signage (<i>at least 10 days prior to hearing</i>)▪ 44 notices mailed to property owners adjacent to the project site (<i>at least 10 days prior to the hearing</i>)	<ul style="list-style-type: none">▪ Posted on the City's official notice bulletin board (<i>five days prior to hearing</i>)▪ Posted on the City of Cupertino's Web site (<i>five days prior to hearing</i>)

No public comments were received at the time of production of this staff report.

CONCLUSION

The proposed project complies with all aspects of Chapter 19.28 of the Cupertino Municipal Code. Further, the applicant has revised the scope of their project to reflect the concerns of surrounding property owners. Therefore, staff recommends that the Planning Commission deny the appeal and uphold the Community Development Director's decision to approve the Residential Design Review Permit via the Resolution for Application R-2017-33 and Minor Residential Permit via the Resolution for Application RM-2017-39.

NEXT STEPS

The Planning Commission's decision on this project is final unless appealed within 14 days of the decision. If appealed, the City Council will hear the final appeal.

Prepared by:

Erika Poveda, Associate Planner

Reviewed by:

Piu Ghosh, Planning Manager

Approved for Submission by:

Benjamin Fu, Director of Community Development

ATTACHMENTS

1. Draft Resolution for R-2017-33
2. Draft Resolution for RM-2017-39
3. Approved Plan Set
4. Appellant Letter and Supplemental Documents
5. Distribution of Two-Story Residences (exhibit)

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CITY OF CUPERTINO
10300 Torre Avenue
Cupertino, California 95014

RESOLUTION NO. 6887

OF THE PLANNING COMMISSION OF THE CITY OF CUPERTINO
DENYING AN APPEAL AND UPHOLDING THE DIRECTOR OF COMMUNITY
DEVELOPMENT'S DECISION TO ALLOW THE CONSTRUCTION OF A 520
SQUARE-FOOT FIRST-FLOOR ADDITION AND A NEW 820 SQUARE-FOOT
SECOND-STORY ADDITION WITH A SECOND STORY SETBACK LESS THAN
15 FEET, LOCATED AT 21865 SAN FERNANDO AVENUE

SECTION I: PROJECT DESCRIPTION

Application No.: R-2017-33
Applicant: Francis Kun (Tsai Residence)
Appellants: Shayjan Huang and Eric and Cindy Fang
Location: 21865 San Fernando Avenue (APN: 357-15-043)

SECTION II: FINDINGS FOR A RESIDENTIAL DESIGN REVIEW PERMIT:

WHEREAS, the City of Cupertino received an application for a Residential Design Review Permit to allow the construction of a 520 square-foot first floor addition and a new 820 square-foot second-story with a second story setback less than 15 feet to an existing single-family residence; and

WHEREAS, the project is determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines; and

WHEREAS, the necessary notices were given and the comment period for the application was provided as required by the Procedural Ordinance of the City of Cupertino; and

WHEREAS, the Director of Community Development made the findings required under Section 19.28.140(C) and approved the application with conditions on June 25, 2019; and

WHEREAS, the notice of decision was mailed to the appropriate parties, including the applicant and any person who contacted City staff with comments during the comment period, notifying them about the possibility of appealing a project; and

WHEREAS, the Planning Commission of the City of Cupertino received an appeal of the Community Development Director's approval of the Residential Design Review Permit; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Planning Commission has held at least one public hearing in regard to the appeal; and

WHEREAS, the appellants have not met the burden of proof required to support said appeal; and

WHEREAS, the Planning Commission finds as follows with regard to this application:

1. The project is consistent with the Cupertino General Plan, any applicable specific plans, zoning ordinance, and the purposes of the R-1 Ordinance; and

The proposed project is consistent with the existing residential land use designations of the Cupertino General Plan. There are no applicable specific plans that affect the project. The project has been found to be consistent with Chapter 19.28, Single-Family Residential (R-1) Ordinance, of the Cupertino Municipal Code for setbacks, lot coverage, floor area ratio, and other development standards.

2. The granting of the permit will not result in a condition that is detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety, or welfare; and

The granting of the permit will not result in a condition that is detrimental or injurious to property improvements in the vicinity, and will not be detrimental to the public health, safety or welfare as the project is located within the R1-7.5 (Single Family Residential) zoning district, and will be compatible with the surrounding uses of the neighborhood. The project meets the building development regulations of the R-1 Ordinance and complies with the privacy protection measures to ensure that visual impacts to adjacent neighbors are mitigated.

3. The project is harmonious in scale and design with the general neighborhood; and

The project is located within the R1-7.5 (Single Family Residential) zoning district and will be compatible with the surrounding uses of the neighborhood. The subject neighborhood contains a healthy mix of single-story and two-story homes, making the proposed project compatible with the neighborhood. The purpose of the R-1 Ordinance is to enhance the identity of residential neighborhoods, to ensure the provision of light, air, and a reasonable level of privacy to individual residential parcels, to ensure a reasonable level of compatibility in scale of structures within the neighborhood, and to reinforce the predominantly low-intensity setting in the community. The project meets the building development regulations of the R-1 Ordinance including floor area ratio, lot coverage, setbacks, and building height. Overall, the proposed project maintains a single-family home scale and is compatible with the general neighborhood.

4. The project is consistent with the two-story design principles and generally consistent with the single-family residential design guidelines; and

The project is consistent with the two-story design principles as well as the single-family residential design guidelines through the identification of an architectural style that is consistent

with the existing residence and incorporation of appropriate design features and high quality materials.

As part of the Residential Design Review, the project underwent an architectural peer-review by the City's Consulting Architect for design and neighborhood compatibility. The applicant complied with the Consulting Architect's recommendations to better incorporate the new second-story into the existing structure. Furthermore, the applicant has voluntarily revised the scope of the project twice in order to address the concerns of adjacent property owners by not only relocating the second story, but also by reducing the size of the second-story balcony and also by reducing the size of the carport.

5. Adverse visual impacts on adjoining properties have been reasonably mitigated.

Any potential adverse visual impacts on adjoining properties have been reasonably mitigated through adherence to the setback requirements and privacy protection measures of the R-1 Ordinance. The proposal for 21865 San Fernando Avenue meets, and in some cases exceeds, all setback requirements for the R1-7.5 zoning district. The project proposes a first-floor rear-yard setback of 48' where only 20' is required and a second-story rear-yard setback of 80'-9" where only 25' is required.

The R-1 Ordinance allows property owners the ability to construct second-story windows and balconies as long as privacy protection trees and/or shrubs are planted as required by the ordinance. The project complies with the privacy screening requirements of the R-1 Ordinance by providing privacy screening plantings for all second-story balconies and second-story windows with a sill height below 5 feet along the western, eastern, and northern property lines. Per the R-1 Ordinance, the objective of privacy protection plantings is to provide substantial screening within three years of planting. Privacy protection plantings are considered Protected Trees under the City's Municipal Code (Chapter 14.18) and are recorded as such with a covenant against the property to inform current and future property owners about their protected status. Protected trees cannot be removed without obtaining a tree removal permit and providing replacement plantings.

NOW, THEREFORE, BE IT RESOLVED:

That after careful consideration of the initial study, maps, facts, exhibits, testimony and other evidence submitted in this matter, subject to the conditions which are enumerated in this Resolution beginning on PAGE 4 thereof:

The Planning Commission DENIES the appeal of an application for a Design Review Permit (R-2017-33) and UPHOLDS the Administrative approval of the Design Review Permit. The Planning Commission also finds that the subconclusions upon which the findings and conditions specified in this resolution are based and contained in the Public Hearing record concerning Application no. R-2017-33 as set forth in the Minutes of Planning Commission Meeting of November 12, 2019 and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPT.

1. APPROVED EXHIBITS

The approval is based on a plan set entitled, "Residential Remodel and Addition for Mr. and Mrs. David and Yiting Tsai, 21865 San Fernando Avenue, Cupertino, CA 95014," consisting of 16 sheets labeled "A-1 through A-9, CB, FAD, L-1, L-2, and Boundary Topographic Survey Map" and the supplemental privacy screening documents consisting of two pages entitled "Existing Privacy Screening" and "Alternative Privacy Screening Used," except as may be amended by conditions in this resolution.

2. ANNOTATION OF THE CONDITIONS OF APPROVAL

The conditions of approval set forth shall be incorporated into and annotated on the building plans.

3. ACCURACY OF THE PROJECT PLANS

The applicant/property owner is responsible for verifying all pertinent property data including, but not limited to, property boundary locations, building setbacks, property size, building square footage, any relevant easements and/or construction records. Any misrepresentation of property data may invalidate this approval and may require additional review.

4. COMPLIANCE WITH PUBLIC WORKS CONFIRMATION FORM

The project shall comply with the requirements indicated on the Public Works Confirmation form dated October 17, 2017, including, but not limited to, dedications, easements, off-site improvements, undergrounding of utilities, all necessary agreements, and utility installations/relocations as deemed necessary by the Director of Public Works and required for public health and safety. The Public Works Confirmation is a preliminary review, and is not an exhaustive review of the subject development. Additional requirements may be established and implemented during the construction permitting process. The project construction plans shall address these requirements with the construction permit submittal, and all required improvements shall be completed to the satisfaction of the Director of Public Works prior to final occupancy.

5. DRIVEWAY GATE FENCE EXCEPTION

The electronic driveway gate fence indicated on the plans is not approved. Either a Fence Exception Permit must be obtained in compliance with Chapter 19.48: Fences, of the Cupertino Municipal Code, prior to issuance of any building permits indicating the fence or it must be eliminated/removed.

6. ACCESORY BUILDINGS/STRUCTURES

The location of all existing and proposed accessory buildings and/or structures shall be indicated on building permit plans and shall comply with Chapter 19.100, Accessory Buildings/Structures, of the Cupertino Municipal Code for review and approval prior to issuance of building permits.

7. EXTERIOR BUILDING MATERIALS/TREATMENTS

The final building exterior plan shall closely resemble the details shown on the original approved plans. Final building exterior treatment plan (including but not limited to details on exterior color, materials, architectural treatments, doors, windows, lighting fixtures, and/or embellishments) shall be reviewed and approved by the Director of Community Development prior to issuance of building permits to ensure quality and consistency. Any exterior changes determined to be substantial by the Director of Community Development shall either require a modification to this permit or a new permit based on the extent of the change.

8. FRONT YARD TREE

The applicant shall indicate on site and landscape plans the location of a front yard tree to be located within the front yard setback area in order to screen the massing of the second story. The front yard tree shall be a minimum 24-inch box and 6 feet planted height and otherwise be consistent with the City's requirements.

9. FRONT YARD TREE COVENANT

The property owner shall record a covenant on this property with the Santa Clara County Recorder's Office that requires the retention and maintenance of the required front yard tree. The precise language will be subject to approval by the Director of Community Development. Proof of recordation must be submitted to the Community Development Department prior to final occupancy of the residence.

10. PRIVACY PLANTING

The final privacy planting plan shall be reviewed and approved by the Planning Division prior to issuance of building permits. Privacy protection shall include alternative privacy plantings consistent with the City's requirements and balcony railing of at least 48", comprised of materials that provide sufficient privacy screening.

11. PRIVACY PROTECTION COVENANT

The property owner shall record a covenant on this property to inform future property owners of the privacy protection measures and tree protection requirements consistent with the R-1 Ordinance, for all windows with views into neighboring yards and a sill height that is 5 feet or less from the second story finished floor. The precise language will be subject to approval by the Director of Community Development. Proof of recordation must be submitted to the Community Development Department prior to final occupancy of the residence.

12. LANDSCAPE PROJECT SUBMITTAL

Prior to issuance of building permits, the applicant shall submit a full Landscape Documentation Package, per sections 14.15.050 A, B, C, and D of the Landscape Ordinance, for projects with landscape area 500 square feet or more or elect to submit a Prescriptive Compliance Application per sections 14.15.040 A, B, and C for projects with landscape area between 500 square feet and 2,500 square feet. The Landscape Documentation Package or

Prescriptive Compliance Application shall be reviewed and approved to the satisfaction of the Director of Community Development prior to issuance of building permits, and additional requirements per sections 14.15.040 D, E, F, and G or 14.15.050 E, F, G, H, and I will be required to be reviewed and approved prior to final inspections.

13. CONSULTATION WITH OTHER DEPARTMENTS

The applicant is responsible to consult with other departments and/or agencies with regard to the proposed project for additional conditions and requirements. Any misrepresentation of any submitted data may invalidate an approval by the Community Development Department.

14. DEMOLITION REQUIREMENTS

All demolished building and site materials shall be recycled to the maximum extent feasible subject to the Building Official. The applicant shall provide evidence that materials were recycled prior to issuance of final demolition permits.

15. DUST CONTROL

The following construction practices shall be implemented during all phases of construction for the proposed project to prevent visible dust emissions from leaving the site:

- a. Water all active construction areas at least twice daily and more often during windy periods to prevent visible dust from leaving the site; active areas adjacent to windy periods; active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard;
- c. Pave, apply water at least three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
- d. Sweep streets daily, or more often if necessary (preferably with water sweepers) if visible soil material is carried onto adjacent public streets.
- e. The applicant shall incorporate the City's construction best management practices into the building permit plan set.

16. GRADING AND CONSTRUCTION HOURS AND NOISE LIMITS

The applicant shall comply with the following grading and construction hours and noise limit requirements unless otherwise indicated.

- a. All grading activities shall be limited to the dry season (April 15 to October 1), unless permitted otherwise by the Director of Public works.
- b. Construction hours and noise limits shall be compliant with all requirements of Chapter 10.48 of the Cupertino Municipal Code.
- c. Grading, street construction, underground utility and demolition hours for work done more than 750 feet away from residential areas shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Grading, street construction, demolition or underground utility work within 750 feet of residential

areas shall not occur on Saturdays, Sundays, holidays, and during the nighttime period as defined in Section 10.48.053(b) of the Municipal Code.

- d. Construction activities shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Construction activities are not allowed on holidays as defined in Chapter 10.48 of the Municipal Code. Night time construction is allowed if compliant with nighttime standards of Section 10.48 of the Cupertino Municipal Code.
- e. Rules and regulations pertaining to all construction activities and limitations identified in this permit, along with the name and telephone number of an applicant appointed disturbance coordinator, shall be posted in a prominent location at the entrance to the job site.
- f. The applicant shall be responsible for educating all contractors and subcontractors of said construction restrictions.

17. INDEMNIFICATION

Except as otherwise prohibited by law, the applicant shall indemnify and hold harmless the City, its City Council, and its officers, employees and agents (collectively, the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant to attack, set aside, or void this Resolution or any permit or approval authorized hereby for the project, including (without limitation) reimbursing the City its actual attorneys' fees and costs incurred in defense of the litigation. The applicant shall pay such attorneys' fees and costs within 30 days following receipt of invoices from City. Such attorneys' fees and costs shall include amounts paid to counsel not otherwise employed as City staff and shall include City Attorney time and overhead costs and other City staff overhead costs and any costs directly related to the litigation reasonably incurred by City.

18. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d) (1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

PASSED AND ADOPTED this 12th day of November, 2019, at the Regular Meeting of the Planning Commission of the City of Cupertino, State of California, by the following roll call vote:

AYES: COMMISSIONERS: Chair Wang, Vice Chair Saxena, Moore, Fung

NOES: COMMISSIONERS: none

ABSTAIN: COMMISSIONERS: none

ABSENT: COMMISSIONERS: Takahashi

ATTEST:

APPROVED:

_____/s/Benjamin Fu
Benjamin Fu
Director, Community Development

_____/s/R Wang
R Wang
Chair, Planning Commission

CITY OF CUPERTINO
10300 Torre Avenue
Cupertino, California 95014

RESOLUTION NO. 6888

OF THE PLANNING COMMISSION OF THE CITY OF CUPERTINO
DENYING AN APPEAL AND UPHOLDING THE DIRECTOR OF COMMUNITY
DEVELOPMENT'S DECISION TO ALLOW THE CONSTRUCTION OF A
SECOND-STORY BALCONY AT AN EXISTING SINGLE-FAMILY RESIDENCE
LOCATED AT 21865 SAN FERNANDO AVENUE

SECTION I: PROJECT DESCRIPTION

Application No.: RM-2017-39
Applicant: Francis Kun (Tsai Residence)
Appellants: Shayjan Huang and Eric and Cindy Fang
Location: 21865 San Fernando Avenue (APN: 357-15-043)

SECTION II: FINDINGS FOR A MINOR RESIDENTIAL PERMIT:

WHEREAS, the City of Cupertino received an application for a Minor Residential Permit to allow the construction of a second-story balcony; and

WHEREAS, the project is determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines; and

WHEREAS, the necessary notices were given and the comment period for the application was provided as required by the Procedural Ordinance of the City of Cupertino; and

WHEREAS, the Director of Community Development made the findings required under Section 19.28.140(A) and approved the application with conditions on June 25, 2019; and

WHEREAS, the notice of decision was mailed to the appropriate parties, including the applicant and any person who contacted City staff with comments during the comment period, notifying them about the possibility of appealing a project; and

WHEREAS, the Planning Commission of the City of Cupertino received an appeal of the Community Development Director's approval of the Minor Residential Permit; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Planning Commission has held at least one public hearing in regard to the appeal; and

WHEREAS, the appellants have not met the burden of proof required to support said appeal; and

WHEREAS, the Planning Commission finds as follows with regard to this application:

1. The project is consistent with the Cupertino General Plan, any applicable specific plans, zoning ordinance, and the purposes of the R-1 Ordinance; and

The proposed project is consistent with the existing residential land use designations of the Cupertino General Plan. There are no applicable specific plans that affect the project. The project has been found to be consistent with Chapter 19.28, Single-Family Residential (R-1) Ordinance, of the Cupertino Municipal Code for setbacks, lot coverage, floor area ratio, and other development standards. The R-1 Ordinance allows property owners the ability to construct second-story balconies as long as either privacy protection trees and/or shrubs are planted as required by the ordinance. The project complies with the privacy protection plantings as required by the R-1 Ordinance to ensure that visual impacts to adjacent neighbors are mitigated.

2. The granting of the permit will not result in a condition that is detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety or welfare; and

The granting of the permit will not result in a condition that is detrimental or injurious to property improvements in the vicinity, and will not be detrimental to the public health, safety or welfare as the project is located within the R1-7.5 (Single Family Residential) zoning district, and will be compatible with the surrounding uses of the neighborhood. The project meets the building development regulations of the R-1 Ordinance and complies with the privacy protection measures to ensure that visual impacts to adjacent neighbors are mitigated.

3. The proposed project is harmonious in scale and design with the general neighborhood; and

The project is located within the R1-7.5 (Single Family Residential) zoning district and will be compatible with the surrounding uses of the neighborhood. The purpose of the R-1 Ordinance is to enhance the identity of residential neighborhoods, to ensure the provision of light, air, and a reasonable level of privacy to individual residential parcels, to ensure a reasonable level of compatibility in scale of structures within the neighborhood, and to reinforce the predominantly low-intensity setting in the community. The project meets the building development regulations of the R-1 Ordinance including floor area ratio, lot coverage, setbacks, and building height. Overall, the proposed project maintains a single-family home scale and is compatible with the general neighborhood.

4. Adverse visual impacts on adjoining properties have been reasonably mitigated.

Any potential adverse visual impacts on adjoining properties have been reasonably mitigated through adherence to the setback requirements and privacy protection measures of the R-1 Ordinance. The proposal for 21865 San Fernando Avenue meets, and in some cases exceeds, all setback requirements for the R1-7.5 zoning district. The project proposes a rear-yard second-story balcony setback of over 60' where 20' is required.

The R-1 Ordinance allows property owners the ability to construct second-story windows and balconies as long as privacy protection trees and/or shrubs are planted as required by the ordinance. The project complies with the privacy screening requirements of the R-1 Ordinance by providing privacy screening plantings for all second-story balconies and second-story windows with a sill height below 5 feet along the western, eastern, and northern property lines. Per the R-1 Ordinance, the objective of privacy protection plantings is to provide substantial screening within three years of planting. Privacy protection plantings are considered Protected Trees under the City's Municipal Code (Chapter 14.18) and are recorded as such with a covenant against the property to inform current and future property owners about their protected status. Protected trees cannot be removed without obtaining a tree removal permit and providing replacement plantings.

NOW, THEREFORE, BE IT RESOLVED:

That after careful consideration of maps, facts, exhibits, testimony, and other evidence submitted in this matter, subject to the conditions which are enumerated in this Resolution beginning on PAGE 3 thereof:

The Planning Commission DENIES the appeal of an application for a Minor Residential Permit (RM-2017-39) and UPHOLDS the Administrative approval of the Minor Residential Permit. The Planning Commission also finds that the subconclusions upon which the findings and conditions specified in this resolution are based and contained in the Public Hearing record concerning Application no. RM-2017-39 as set forth in the Minutes of Planning Commission Meeting of November 12, 2019 and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPT.

1. APPROVED EXHIBITS

The approval is based on a plan set entitled, "Residential Remodel and Addition for Mr. and Mrs. David and Yiting Tsai, 21865 San Fernando Avenue, Cupertino, CA 95014," consisting of 16 sheets labeled "A-1 through A-9, CB, FAD, L-1, L-2, and Boundary Topographic Survey Map" and the supplemental privacy screening documents consisting of two pages entitled "Existing Privacy Screening" and "Alternative Privacy Screening Used," except as may be amended by conditions in this resolution.

2. ANNOTATION OF THE CONDITIONS OF APPROVAL

The conditions of approval set forth shall be incorporated into and annotated on the building plans.

3. ACCURACY OF THE PROJECT PLANS

The applicant/property owner is responsible for verifying all pertinent property data including, but not limited to, property boundary locations, building setbacks, property size, building square footage, any relevant easements and/or construction records. Any misrepresentation of property data may invalidate this approval and may require additional review.

4. COMPLIANCE WITH PUBLIC WORKS CONFIRMATION FORM

The project shall comply with the requirements indicated on the Public Works Confirmation form dated October 17, 2017, including, but not limited to, dedications, easements, off-site improvements, undergrounding of utilities, all necessary agreements, and utility installations/relocations as deemed necessary by the Director of Public Works and required for public health and safety. The Public Works Confirmation is a preliminary review, and is not an exhaustive review of the subject development. Additional requirements may be established and implemented during the construction permitting process. The project construction plans shall address these requirements with the construction permit submittal, and all required improvements shall be completed to the satisfaction of the Director of Public Works prior to final occupancy.

5. DRIVEWAY GATE FENCE EXCEPTION

The electronic driveway gate fence indicated on the plans is not approved. Either a Fence Exception Permit must be obtained in compliance with Chapter 19.48: Fences, of the Cupertino Municipal Code, prior to issuance of any building permits indicating the fence or it must be eliminated/removed.

6. ACCESORY BUILDINGS/STRUCTURES

The location of all existing and proposed accessory buildings and/or structures shall be indicated on building permit plans and shall comply with Chapter 19.100, Accessory Buildings/Structures, of the Cupertino Municipal Code for review and approval prior to issuance of building permits.

7. EXTERIOR BUILDING MATERIALS/TREATMENTS

The final building exterior plan shall closely resemble the details shown on the original approved plans. Final building exterior treatment plan (including but not limited to details on exterior color, materials, architectural treatments, doors, windows, lighting fixtures, and/or embellishments) shall be reviewed and approved by the Director of Community Development prior to issuance of building permits to ensure quality and consistency. Any exterior changes determined to be substantial by the Director of Community Development shall either require a modification to this permit or a new permit based on the extent of the change.

8. FRONT YARD TREE

The applicant shall indicate on site and landscape plans the location of a front yard tree to be located within the front yard setback area in order to screen the massing of the second

story. The front yard tree shall be a minimum 24-inch box and 6 feet planted height and otherwise be consistent with the City's requirements.

9. FRONT YARD TREE COVENANT

The property owner shall record a covenant on this property with the Santa Clara County Recorder's Office that requires the retention and maintenance of the required front yard tree. The precise language will be subject to approval by the Director of Community Development. Proof of recordation must be submitted to the Community Development Department prior to final occupancy of the residence.

10. PRIVACY PLANTING

The final privacy planting plan shall be reviewed and approved by the Planning Division prior to issuance of building permits. Privacy protection shall include alternative privacy plantings consistent with the City's requirements and balcony railing of at least 48", comprised of materials that provide sufficient privacy screening.

11. PRIVACY PROTECTION COVENANT

The property owner shall record a covenant on this property to inform future property owners of the privacy protection measures and tree protection requirements consistent with the R-1 Ordinance, for all windows with views into neighboring yards and a sill height that is 5 feet or less from the second story finished floor. The precise language will be subject to approval by the Director of Community Development. Proof of recordation must be submitted to the Community Development Department prior to final occupancy of the residence.

12. LANDSCAPE PROJECT SUBMITTAL

Prior to issuance of building permits, the applicant shall submit a full Landscape Documentation Package, per sections 14.15.050 A, B, C, and D of the Landscape Ordinance, for projects with landscape area 500 square feet or more or elect to submit a Prescriptive Compliance Application per sections 14.15.040 A, B, and C for projects with landscape area between 500 square feet and 2,500 square feet. The Landscape Documentation Package or Prescriptive Compliance Application shall be reviewed and approved to the satisfaction of the Director of Community Development prior to issuance of building permits, and additional requirements per sections 14.15.040 D, E, F, and G or 14.15.050 E, F, G, H, and I will be required to be reviewed and approved prior to final inspections.

13. CONSULTATION WITH OTHER DEPARTMENTS

The applicant is responsible to consult with other departments and/or agencies with regard to the proposed project for additional conditions and requirements. Any misrepresentation of any submitted data may invalidate an approval by the Community Development Department.

14. DEMOLITION REQUIREMENTS

All demolished building and site materials shall be recycled to the maximum extent feasible subject to the Building Official. The applicant shall provide evidence that materials were recycled prior to issuance of final demolition permits.

15. DUST CONTROL

The following construction practices shall be implemented during all phases of construction for the proposed project to prevent visible dust emissions from leaving the site:

- a. Water all active construction areas at least twice daily and more often during windy periods to prevent visible dust from leaving the site; active areas adjacent to windy periods; active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard;
- c. Pave, apply water at least three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
- d. Sweep streets daily, or more often if necessary (preferably with water sweepers) if visible soil material is carried onto adjacent public streets.
- e. The applicant shall incorporate the City's construction best management practices into the building permit plan set.

16. GRADING AND CONSTRUCTION HOURS AND NOISE LIMITS

The applicant shall comply with the following grading and construction hours and noise limit requirements unless otherwise indicated.

- a. All grading activities shall be limited to the dry season (April 15 to October 1), unless permitted otherwise by the Director of Public works.
- b. Construction hours and noise limits shall be compliant with all requirements of Chapter 10.48 of the Cupertino Municipal Code.
- c. Grading, street construction, underground utility and demolition hours for work done more than 750 feet away from residential areas shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Grading, street construction, demolition or underground utility work within 750 feet of residential areas shall not occur on Saturdays, Sundays, holidays, and during the nighttime period as defined in Section 10.48.053(b) of the Municipal Code.
- d. Construction activities shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Construction activities are not allowed on holidays as defined in Chapter 10.48 of the Municipal Code. Night time construction is allowed if compliant with nighttime standards of Section 10.48 of the Cupertino Municipal Code.
- e. Rules and regulations pertaining to all construction activities and limitations identified in this permit, along with the name and telephone number of an applicant appointed

disturbance coordinator, shall be posted in a prominent location at the entrance to the job site.

- f. The applicant shall be responsible for educating all contractors and subcontractors of said construction restrictions.

17. INDEMNIFICATION

Except as otherwise prohibited by law, the applicant shall indemnify and hold harmless the City, its City Council, and its officers, employees and agents (collectively, the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant to attack, set aside, or void this Resolution or any permit or approval authorized hereby for the project, including (without limitation) reimbursing the City its actual attorneys' fees and costs incurred in defense of the litigation. The applicant shall pay such attorneys' fees and costs within 30 days following receipt of invoices from City. Such attorneys' fees and costs shall include amounts paid to counsel not otherwise employed as City staff and shall include City Attorney time and overhead costs and other City staff overhead costs and any costs directly related to the litigation reasonably incurred by City.

18. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d) (1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

PASSED AND ADOPTED this 12th day of November, 2019, at the Regular Meeting of the Planning Commission of the City of Cupertino, State of California, by the following roll call vote:

AYES: COMMISSIONERS: Chair Wang, Vice Chair Saxena, Moore, Fung
NOES: COMMISSIONERS: none
ABSTAIN: COMMISSIONERS: none
ABSENT: COMMISSIONERS: Takahashi

ATTEST:

APPROVED:

/s/Benjamin Fu
Benjamin Fu
Director, Community Development

/s/R Wang
R Wang
Chair, Planning Commission



Community Development Department
Planning Division - Cupertino
APPROVED
1. This architectural site plan is not intended as a boundary
2. This architectural site plan does not guarantee accurate
3. This architectural site plan is not intended as a boundary
4. Homeowner and/or his/her authorized agent/
representative shall verify the location of all legal
boundaries, property lines, setbacks, easements, buildings and
other legal requisites of the property prior to start of
construction.
5. Homeowner and/or his/her authorized agent/
representative shall verify the location of all legal
boundaries, property lines, setbacks, easements, buildings and
other legal requisites of the property prior to start of
construction.
6. Should the city determine that this project requires
additional information, such as site survey, geotechnical
report, soils report, environmental assessments or reports
and any other reports, research or additional information as
determined by the local city planning/building department as
required items in order to process the plans, the owner shall
employ the services of licensed professionals that can supply
such information and services.

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other legal requisites of the property prior to start of
construction.
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and any other reports, research or additional information as
determined by the local city planning/building department as
required items in order to process the plans, the owner shall
employ the services of licensed professionals that can supply
such information and services.

FIRE SPRINKLER NOTES:
1. FIRE SPRINKLER SYSTEM IS NOT REQUIRED.

CONSTRUCTION SHALL
CONFORM TO THE FOLLOWING
CODES:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA GREEN BUILDING CODE
(CALGREEN)
2016 CALIFORNIA FIRE CODE (WITH LOCAL
AMENDMENTS)
2015 INTERNATIONAL PROPERTY
MAINTENANCE CODE
2016 STATE OF CALIFORNIA TITLE 24
ENERGY REGULATIONS,
AND ANY ADDITIONAL LOCAL CITY PLANNING
AND BUILDING CODE AND REQUIREMENTS.

SHEET INDEX:

- A-1 PROJECT DATA, LOCATION
MAP, GENERAL NOTE,
ARCHITECTURAL SITE PLAN,
PARCEL MAP
A-1b 'BEFORE' and 'AFTER'
SITE PLAN
BMP CONSTRUCTION BEST
MANAGEMENT PRACTICES
GB-1 MANDATORY CALIFORNIA
GREEN BUILDING CHECKLIST
CB COLOR BOARD, STREET SCAPE
ELEVATION
FAD FLOOR AREA CALCULATION
DIAGRAM
A-2 AS-BUILD/ DEMOLITION PLAN
A-2a EXISTING EXTERIOR
ELEVATIONS
A-3 NEW FIRST FLOOR PLAN, NEW
SECOND FLOOR PLAN
A-4 NEW EXTERIOR ELEVATIONS
A-5 NEW EXTERIOR ELEVATIONS
A-6 BUILDING SECTION A, C, D
A-7 BUILDING SECTION B
A-8 BUILDING SECTION E
A-9 ROOF PLAN

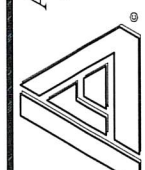
SCOPE OF WORK:

1. ADDITION AT FIRST FLOOR TO INCLUDE
THE FOLLOWING:
a. NEW FAMILY ROOM
b. NEW 2-CAR GARAGE
c. NEW 1-CAR CARPORT SPACE
2. NEW SECOND FLOOR ADDITION TO
INCLUDE:
a. NEW MASTER SUITE w/ MASTER
BATHROOM AND WALK-IN CLOSET.
b. NEW DEN/ OFFICE.
c. NEW DECK.
d. DEMOLISH EXISTING 2-CAR ATTACHED
GARAGE.
e. REMODEL EXISTING LAUNDRY ROOM.
f. REPLACE EXISTING TANKED HOT WATER
HEATER AND RELOCATE TO NEW
2-CAR GARAGE.
3. INSTALL NEW F.A.U. TO SERVICE NEW
SECOND FLOOR AREA.
4. INSTALL NEW A.C. UNITS (2).
ATTIC VENTILATION CALCULATION:
FAMILY ROOM, GUEST BEDROOM ADDITION AREA = 00.00 SF
UNIT ATTIC VENT = 25" (14.4 SQ IN)
UNIT VENT ROOM VENT = 12 SQ INCH
14"x24" WINDOW VENT UNIT = 936 SQ INCH
14"x18" WINDOW VENT UNIT = 252 SQ INCH
14"x6" VENT UNIT = 180 SQ INCH
REQUIRED ATTIC VENTILATION = 1/50TH OF ATTIC SPACE:
00 SF / 150 = 00 SF (00 SQ INCH)
00 SQ INCH / 25 SQ INCH = 00 UNITS OF 25" EAVE
VENT REQUIRED.
UNDERFLOOR VENTILATION CALCULATION:
(FAMILY ROOM = 000 SF)
1 UNIT FLOOR VENT = 004 VENT SIZE
= 84 SQ INCH OR 82 SQ INCH (LESS AREA
APPROX. AREA OF INSECT MESH)
REQUIRED UNDERFLOOR VENTILATION = 1/50TH OF CRAWL SPACE:
(FAMILY ROOM = 000 SF)
CRAWL SPACE AT NEW ADDITION = 00 SF / 150
= 00 SF (00 SQ INCH)
= 0 OR 0 VENT UNITS
REQUIRED**
**CURRENTLY, THE PLAN AT NEW ADDITION SHOWS VENT UNITS,
PROPORTIONATELY DISTRIBUTED.

PROJECT DATA:

OWNER: DAVID and
YITING TSAI
ADDRESS: 21865 SAN FERNANDO AVE.
CUPERTINO, CA 95014
APN: 951-15-043
CONSTRUCTION TYPE: V-B
ZONING DISTRICT: RI-15
DESIGNATED LAND USE: RES 0-4.4
LOT AREA: 9,966.00 SF
LOT AREA AFTER
DEDICATION: 9,714.9 SF
EXISTING MAIN FLR
LIVING AREA: 2,306.25 SF
EXISTING 2-CAR
ATTACHED GARAGE: 525.0 SF
TOTAL EXISTING
BUILDING AREA: 2,831.9 (24%)
EXISTING EAVES: 408.0
TOTAL EXISTING
LOT COVERAGE: 9,241.5 (93%)
NEW LIVING AREA
ADDITION 1st FLOOR: 546.5 SF
NEW 2-CAR GARAGE: 448.5 SF
EXISTING 2-CAR GARAGE
TO BE REMOVED: -525.0 SF
ATTIC AREA OVER 16' HT: 144.4 SF.
TOTAL NEW FIRST
FLOOR BUILDING AREA: 9,548.3 SF (100%)
NEW LIVING AREA
ADDITION 2nd FLOOR: 821.1 SF (23% OF
FIRST FLR BLDG AREA)
TOTAL NEW FLOOR
AREA RATIO (F.A.R.): 4,364.4 SF (44%)
PROPOSED LOT COVERAGE
w/ NEW EAVES, CARPORT,
PORCH: 4,322.1 SF
EXISTING EAVES AT 2-CAR
GARAGE TO BE REMOVED: -105.00 SF
TOTAL NEW LOT COVERAGE: 4,217.1 SF (43%)
MAXIMUM ALLOWED
FLOOR AREA RATIO
(F.A.R.): 4,371.70 SF (45%)
MAXIMUM LOT
COVERAGE w/ EAVES: 4,257.45 SF (50%)
MAXIMUM 2nd
FLOOR AREA: 2,306.25 SF (66% OF 1st
FLOOR BUILDING AREA)

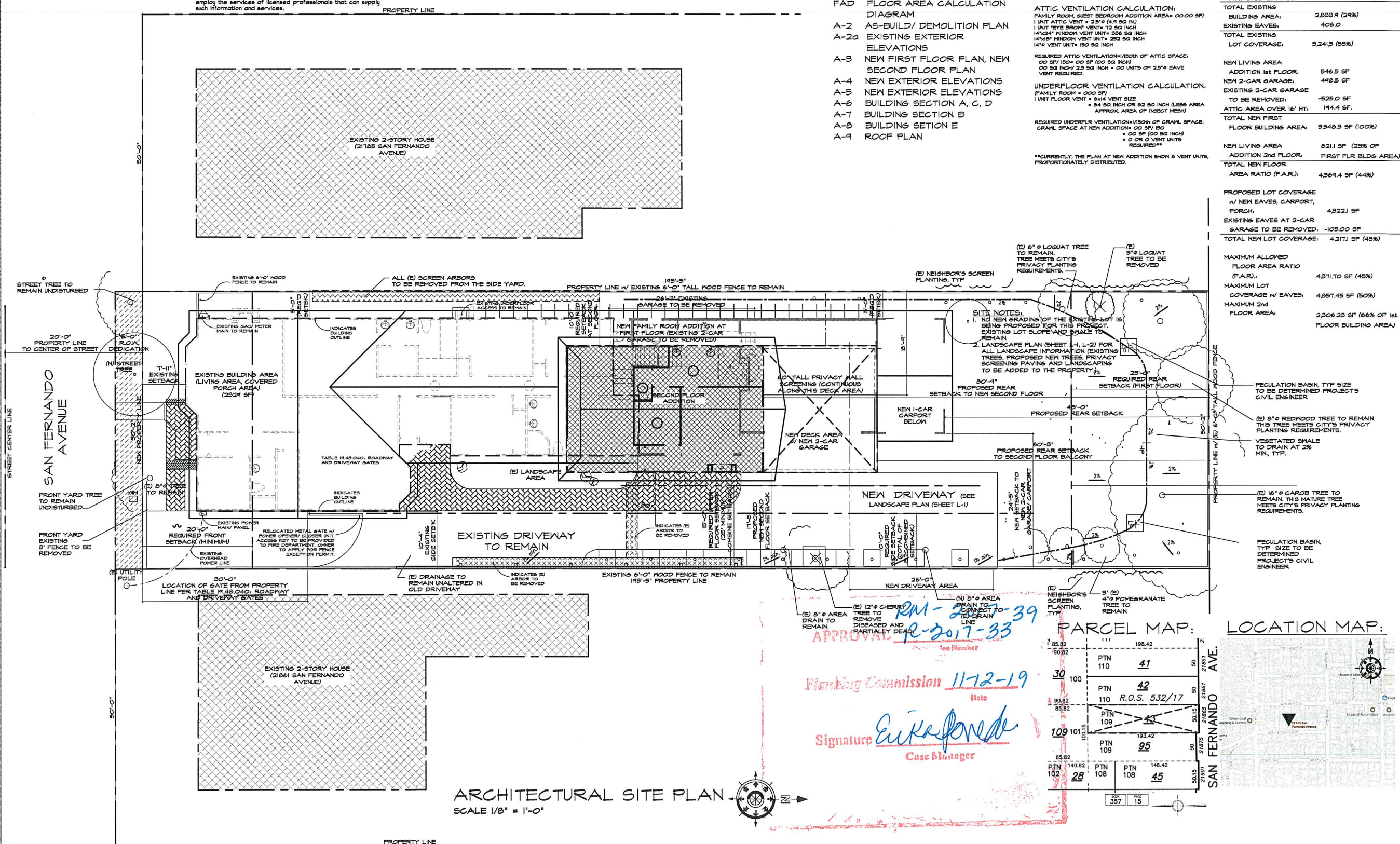
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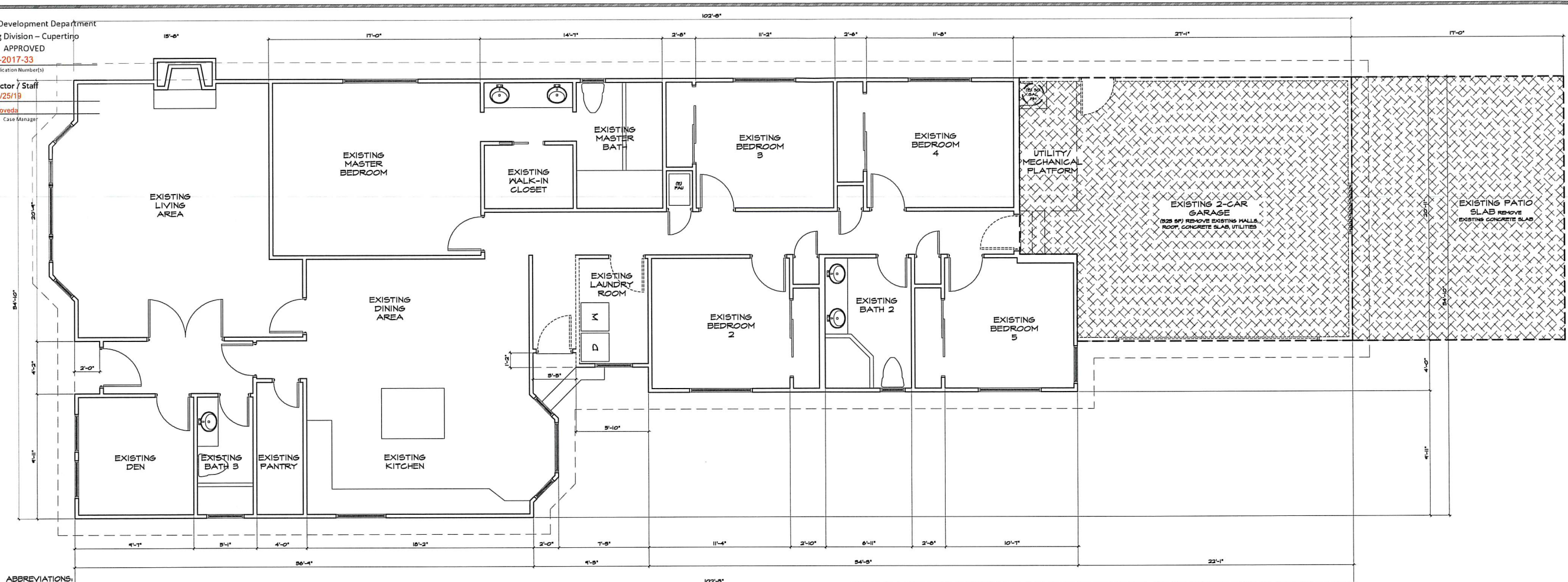


RESIDENTIAL REMODEL AND ADDITION FOR:
MR. and MRS. DAVID
and YITING TSAI
21865 SAN FERNANDO AVENUE
CUPERTINO, CA 95014

DATE: 6/20/2019
DRAWN BY: PT Kun
SCALE: AS NOTED

A-1





ABBREVIATIONS:

A/C	AIR CONDITIONER
AL	ALUMINUM
A.B.	ANCHOR BOLT
A.F.A.	ASSOCIATION
A.P.N.	ASSESSOR PARCEL NUMBER
BM	BEAM
BLKS	BLOCKING
BLDS	BUILDINGS
BOIT	BOTTOM
CAB	CABINET
CLO	CLOSET
C.J.	CEILING JOIST
C.O.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
D.	DRYING MACHINE
DET.	DETAIL
DIA.	DIAMETER
DIA.	DIAGRAM
D.W.	DISH WASHER
DBL	DOUBLE
DR.	DOOR
D.S.	DOWN SPOUT
D.F.	DOUGLAS FIR
D.H.	DOUBLE HUNG
EA.	EACH
ELECT.	ELECTRICITY
ELEV.	ELEVATION
ENCL.	ENCLOSED
EQ.	EQUAL
EXT.	EXTERIOR
(E), EX.	EXISTING
F.	FOR
F.F.	FACE FRAMED
FIN. FLR.	FINISH FLOOR
F.O.C.	FACE OF CURB or FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.G.	FIBERGLASS
FIX.	FIXTURE
FLASHING	FLASHING
FLOR.	FLOURESCENT
FLR.	FLOOR
FTG.	FOOTING
F.A.U.	FORCED AIR UNIT
G.I.	GALVANIZE IRON
GA.	GAUGE
GLS.	GLASS
GLU. LAM.	GLUE LAMINATED
GLZ.	GLAZING
G.P.F.	GALLONS PER FLUSH
GR.	GRADE
GYP. BD.	GYPSUM BOARD
HDR.	HEADER
H.V.	HEAT VENT
H.D.	HOLD DOWN
I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
INSUL.	INSULATION
JST.	JOIST
LINO.	LINOLEUM
M.B.	MACHINE BOLT
MFR.	MANUFACTURER
M.C.	MEDICINE CABINET
MTL.	METAL

MIN.	MINIMUM
(N)	NOT TO SCALE
NTS.	NOT TO SCALE
O.V.	OVER
O.C.	ON CENTER
O.	OVER
O.H.	OVER HANG
PR.	PAIR
P.C.	PAINT GRADE
P.F.	PLYWOOD
PKT.	POCKET
P.B.	PUSH BUTTON
P.T.	PRESSURE TREATED
REF.	REFRIGERATOR
RDWD.	REDWOOD
REQ'D.	REQUIRED
R.S.	RESAWN
REV.	REVERSE
SEL.	SELECT STRUCTURAL
STR.	STRENGTH
S.H.	SINGLE HUNG
SL. GLS.	SLIDING GLASS
DR.	DRYING MACHINE
SHTS.	SHEATHING
SHT.	SHEET
S & P	SHELF & POLE
SHWR.	SHOWER
S.C.	SOLID CORE
S/CLO.	SELF CLOSER
S.S.	STAIN GRADE
SPEC'S	SPECIFICATIONS
SQ.	SQUARE
STD.	STANDARD
SURR.	SURROUND
SIM.	SIMILAR
TEMP.	TEMPERED
GLS.	GLASS
T & G	TONGUE & GROOVE
THK.	THICK
TYP.	TYPICAL
UNO.	UNLESS NOTED OTHERWISE
U.B.C.	UNIFORM BUILDING CODE
U.P.C.	UNIFORM PLUMBING CODE
U.M.C.	UNIFORM MECHANICAL CODE
VERT.	VERTICAL
N	WASHING MACHINE
W/G	WATER PROOF
N.H.	WATER HEATER
W	WITH
W.D.	WOOD
W.I.	WROUGHT IRON
WIND.	WIND
W.P.	WATER PROOF
W.M.	WELDED WIRE MESH

GENERAL NOTES:

- The following architectural specifications shall conform with the 2016 CBC, 2016 CEC, and local ordinances. The California Building Standards is based on the current CBC, CEC, and CEC in use.
- Civil, Soil and Structural Engineers Specifications take precedence over the following architectural specifications.
- The contractor and/or subcontractor shall verify all dimensions on the drawings and shall notify the Designer of any discrepancies prior to starting the work.
- Trade names and manufacturers referred to are for quality standards only. Specifications will be permitted as approved by the owner.
- The contractor shall be responsible for the satisfactory completion of all work in accordance with the project plans and specifications and to meet and/or exceed standard construction industry building practice.
- All doors and windows to the outside or unconditioned areas shall be weather stripped. All manufacturers products shall be approved by the American National Standard Institute (ANSI).
- Pre-fab fireplace manufacturer shall provide details and approvals to the City Building Department.
- Skylight manufacturers shall submit the design detail with engineer's calculations and brochure to the City Building Department for review and approval. Provide ICC listings or equal.
- Guardrails shall be built to resist 200 lb. per ft. in any direction. Guardrails shall be 42" high with intermediate members 4" o.c.
- Provide 30" min. clear width at water closets (15" min. each way from center of water closet).
- Provide underfloor access 18" x 24"
- Provide underfloor ventilation not less than 1/50th of the underfloor area.
- Provide attic ventilation not less than 1/50th of the area of the attic.
- Veneer anchors shall be design per 2015 CRC.
- Stairway design shall per 2015 CRC.
- Tempered safety glass typical at all exterior sliding doors, sidelights adjacent to doors, any glass less than 18" from floor, interior shower enclosures and any window above tub or inside shower enclosures or any hazardous location for which glazing can be subject to human impact.
- Smoke detectors shall be installed in every room and at a point centrally located in the corridor or area giving access to each separate sleeping areas. In new construction, all smoke detectors shall be hardwired with a battery back-up. Smoke detectors installed in existing buildings may be solely battery operated.
- All lath and plaster shall conform to 2015 CRC R703.6.3. Exterior lath and plaster (stucco) shall be applied 1/2" thick min. in less than 5 coats over wire mesh lath, over 2 layer 1/8" grade 10" felt with neoprene screeds (typical unless noted otherwise).
- Provide approved flashing at all openings in the exterior walls such as doors, windows, skylights, vents, pipes, ducts, etc. in such a manner as to make them water proof. All metal flashing shall be 6a, 26 6i, unless noted otherwise.
- Provide a min. 12" x 12" access to all tie shot off.
- All dimensions are given as face of stud unless noted otherwise.
- All dimensions take precedence over scale. Do not scale drawings.
- These documents were prepared for a negotiated contract between owner and builder / contractor. Not all conditions and details are shown. It shall be the owner and builder / contractor's responsibility to select all finishes and fixtures.

CONCRETE AND FOUNDATION (refer to Structural General Notes for additional information)

- Slabs on grade shall be 4" min. thickness. See drawings for sand, rock base and reinforcement. Slab on grade shall be placed in alternate panels. No panel shall exceed 25 linear feet in width or 600 sq. ft. in area, unless separated by control joints.
- All exterior concrete slabs (Patios, driveways, and walkways) to have a minimum slope of 1/8" per foot to prevent ponding of water.
- Construction joints shall be thoroughly air and wet / or cleaned and roughened to expose coarse aggregates. Surface to receive concrete shall be maintained continuously wet at least three hours in advance of pouring.
- For footing ultimate compressive strength at 28 days shall be 2500 PSI, max. aggregate size 1-1/2", slump 4" and min. cement of 4-1/2 sacks per yard of mix, max. water content 7 gallons per sack. Slab on grade ultimate compressive strength at 28 days shall be 2500 PSI, max. aggregate size 3/4", slump 3-1/2" and min. cement content of 5-1/2 sacks per yard of mix, max. water content of 6-1/2 gallons per sack.
- Transit mixed concrete shall conform to ASTM specification C-44 and above provision.
- Concrete strength to be verified by standard cylinder tests made by an approved testing laboratory.
- The excavated bottom of all footings shall extend to elevation marked on Foundation Detail sheet.
- Footing shall be poured in neat excavation without side forms whenever possible.
- Anchors, bolts, inserts and other hardware to be set in concrete shall be firmly set in position before concrete is placed.
- Stepped foundations shall be used where the ground slopes more than 1 foot vertical to 10 feet horizontal. Top and bottom of foundation to be level.
- Reinforcing steel shall be grade 60 with deformation per ASTM specification A-615 and welded wire mesh per ASTM specification A-185.
- Splices in reinforcing shall lap 32 diameters in concrete and 48 diameters in concrete block. Reinforcing shall be bent 18" min. around corners in walls and pilasters.
- No. 4 rebars continuous top and bottom of all concrete slabs shall be 1/2" lap at all joints and corners. Horizontal rebars to be placed 3" from respective top or bottom of concrete foundation.
- Smaller electric ground w/ 2 no. 4 rebars 20' long embedded in footing in opposite directions. Install GEC continuous from UFER to water pipe, but not to gas pipe.
- Provide 5/8" diameter x 10" (min) anchor bolts w/ 3" sq. x 1/4" thick steel plate washer and nut at 4'-0" o.c. one-story and at 4'-0" o.c. two-story, unless noted otherwise on shear wall schedule. Locate anchor bolts within 12" from corners and ends.
- See Shear Wall Schedule for anchor bolt spacing at shear walls.
- Install 6" x 14" galvanized screen foundation vents.
- Provide 6" x 14" galvanized screen foundation vent per car space in garage exterior wall. For additions, extend existing utilities (i.e. pipes, hose bibs, etc.) removed due to placement of new addition, to exterior wall of new addition.
- For cold joints, drill 1/2" dia holes into existing concrete, brush and air clean hole, pack and epoxy grout (use 'Adhesive Engineer's concrete or equal). Provide 24" min. lap into new concrete and tie to continue rebar at top and bottom of new footing.

CARPENTRY:

- Rafters, joists, beams, girders, posts and mullions to be Douglas Fir, Coast region graded based on Standard Grading and dressing rules no. 16 of the West Coast Lumber Inspection Bureau.
- Minimum grade to be used except as noted on drawings:
- Structural Joists #2
- Plank and Rafters #2
- Structural light framing #2
- Light framing and Wall studs Std. Grade.
- Beams and stringers #1
- Posts and timber #1
- Nailing for framing shall be with box nails, number and size per 2015 CRC Nailing Table, except as noted on plans and details. Nails shall not be driven closer together than 1/2 of their length nor closer to the edge of member than 1/4 their length except for sheathing. Min. penetration of 1/2 their length.
- Fill plates on concrete shall be 3/8" (min.) Foundation Grade Redwood, or treated DF. Fill plates shall be bolted to the concrete w/ 5/8" dia x 10" (min) anchor bolts w/ 3"x3"x1/4" thick washer. Bolts shall not be placed more than 12" from and on plates.
- Metal framing devices shall be as manufactured by Simpson's company or as approved equal.
- Framing clips (i.e. PC & FB) shall be provided top and bottom of all posts, mullions and double studs at edges of openings.
- Provide double joists under all parallel partition.
- Where plywood sheathing is used on roof or floor, sheets shall be laid perpendicular direction of joists. Plywood sheets shall be staggered. Min. area of sheet to be 16 sq. ft. All plywood is to be DF structural II grade or exterior use C-C or C-D grade.
- Edge of plywood sheet not nailed to stud, joist or solid blocking shall be blocked by 2 x 4 and nailed with edge nailing, unless tongue and groove is used.
- Subfloor to be 5/4" DF C-D T & B plywood, nailed perpendicular to floor joists with 8d at 8" o.c. edges and 10" o.c. field.
- Subfloor applied directly over girders to be 1-1/8" DF C-D T & B plywood, nailed with 10d at 8" o.c.
- Provide rafter ties at 48" o.c. where ceiling joists are perpendicular to rafters.
- Furline shall be 2x6 min. or the same size as rafter, whichever is greater.
- Batts bearing on wood shall have standard cast iron or malleable washers. Bolt holes shall be drilled 1/16" larger than bolt diameter. Threads shall not bear on wood. Lag screws pre-drill holes same as diameter of root thread. Enlarge to shank diameter for length of shank.
- Columns and posts at exterior locations or subject to water splash shall be 1" above finished floor and shall bear on a metal base plate or a foundation plate or sill as specified Sec. 2304.11.2.7, CBC.
- Where stud nail cut masonry walls the stud shall be 2 x 4 DF member and anchored with 1/8" x 5" Ranset's driveways at 24" o.c.
- All studs shall be continuous and uninterrupted for the entire full height of the wall unless supported laterally by ceiling, floor or rafter joists perpendicular to the wall. The max. allowed stud height shall be per Sec. 2308.9, CBC.

AS-BUILD/ DEMOLITION PLAN
SCALE 3/16" = 1'-0"

- Provide freestop to cut off all concealed draft openings (both vertical and horizontal) not to exceed 10'-0".
- No cripple wall studs supporting a floor shall be less than 14" high. For cripple walls exceeding 4'-0" in height, such walls shall be framed of studs having the size required for an additional story.
- Plaster, metal lath and drywall shall comply w/ current CBC requirements.
- MECHANICAL:
- All mechanical shall be installed per Uniform Mechanical Code and City ordinances currently in use.
- Solid fuel, oil, gas require outside / attic / underfloor combustion air. Size and location of combustion air vents determined by 2016 IMC.
- Furnace rooms shall comply w/ 2016 CMC.
- Provide automatic night setback thermostats on all furnaces. Total output for all furnaces shall not exceed 125,000 BTUs.
- Provide 6" clearance in combustion air side of furnace room and 30" working space in front of all heating controls.
- Where there is a water heater or gas furnace located in the garage and a door from the garage to dwelling, provide min. 1 sq. ft. outside combustion air per 1000 BTU w/ 1/2 high and 1/2 low vents for water heater.
- Garage applications shall have flame ignition 16" above floor and protected from auto impact.
- Venting of appliances shall comply w/ 2016 CMC.
- Provide clearance of range top to combustible materials per 2016 CMC. For exception, see 2016 CMC for requirements.
- All appliances shall be approved by a recognized testing agency.
- Provide seismic strapping for water heater, top and bottom.
- All interior bathroom fans shall provide 5 air changes per hour.
- Provide automatic dampener at all ventilation fans.
- Gas piping shall not be embedded in or below slabs within building or pass under foundation.
- Sheet metal to be a minimum of 26 Ga. g.l. unless otherwise noted. Provide valley flashing.
- Provide spark arrestors on all chimneys.
- FUMBLING:
- All plumbing installation shall conform to the California Plumbing Code 2016 and City ordinances currently in use.
- Provide approval from the Sanitary District.
- Provide a 1/2" sand bed and cover it plastic or VCP is used for sewer line.
- A 4" cleanout to grade shall be installed within the first 4 feet from property line, where lateral enters the property, and shall be housed in a concrete box with removable cover.
- Backflow device shall be installed if required by Sanitary District.
- Condensate drain shall not enter sanitary system.
- Regulators are required for pressures in excess of 80 lbs.
- Floor drains shall be equipped with trap primers.
- Water heaters located within the building shall have drain from heater to exterior location.
- Water closets installed in any building within the City shall be limited to not more than 125 gallons per flush. EXCEPTION: Excessive long sewer laterals or other unforeseen circumstances that would impair the proper removal of wastes need not comply.

- Shower heads shall meet the following flow rate requirements in accordance to C6BSC Section 4.303.1:
- a. Single Showerhead- 2.0 gpm at 80 PSI.
- b. Multiple showerheads serving one shower- Combined flow rate of all showerheads and/or other shower outlets controlled by a single valve- 2.0 gpm at 80 PSI (C6BSC 4.303.1.3.2)
12. Faucets shall have flow rate requirements in accordance to C6BSC Section 4.303.1:
- a. Lavatory faucet- 1.5 gpm at 60 psi (minimum shall not be less than 0.8 gpm at 20 psi). C6BSC Section 4.303.1.4.1
- b. Kitchen faucets- 1.8 gpm at 60 psi. C6BSC Section 4.303.1.4.4
13. Toilet drains over living, dining, family rooms to be cast iron for sound control.

NOTES and LEGEND:

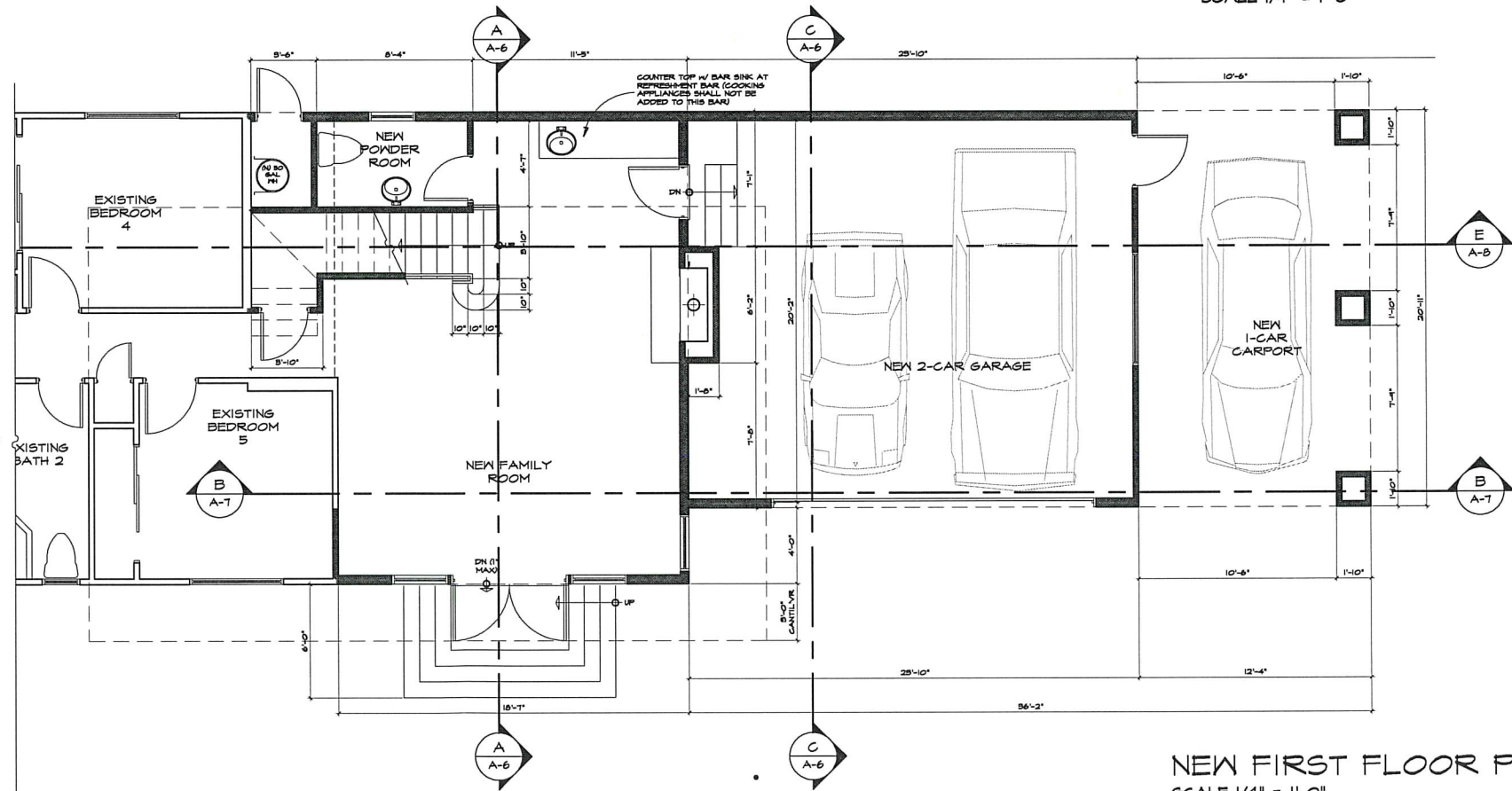
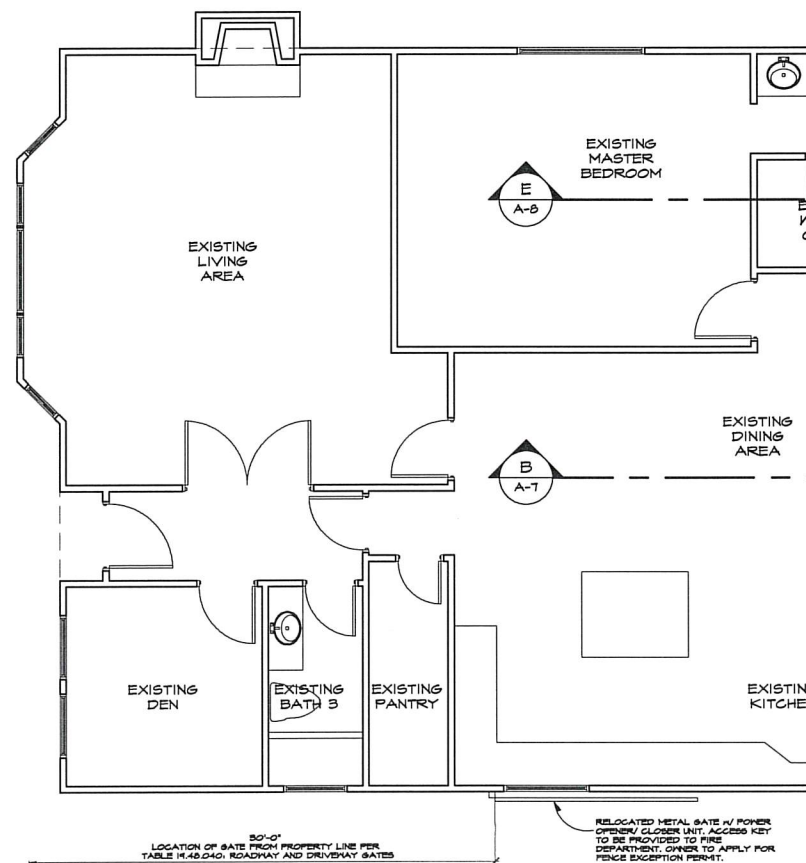
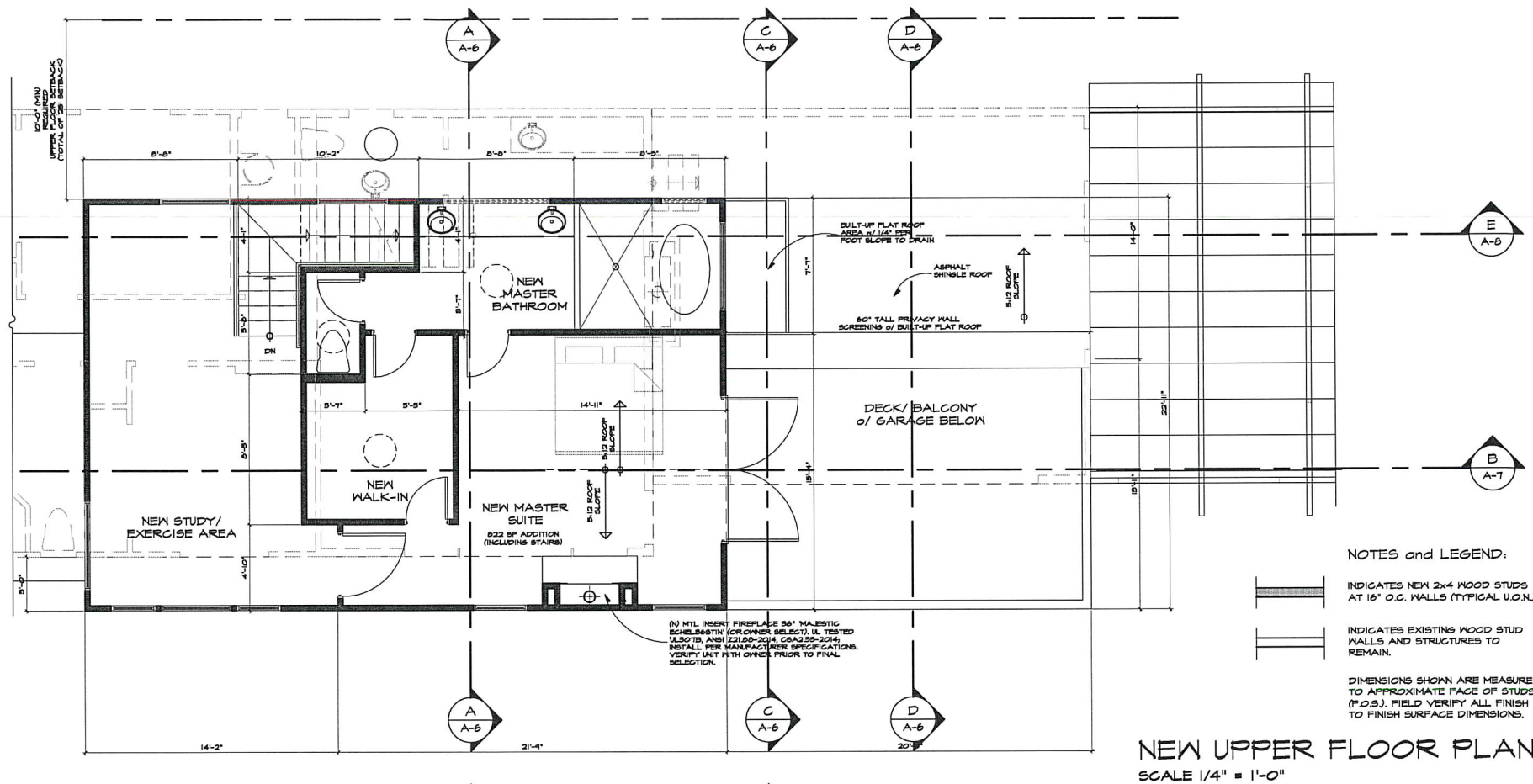
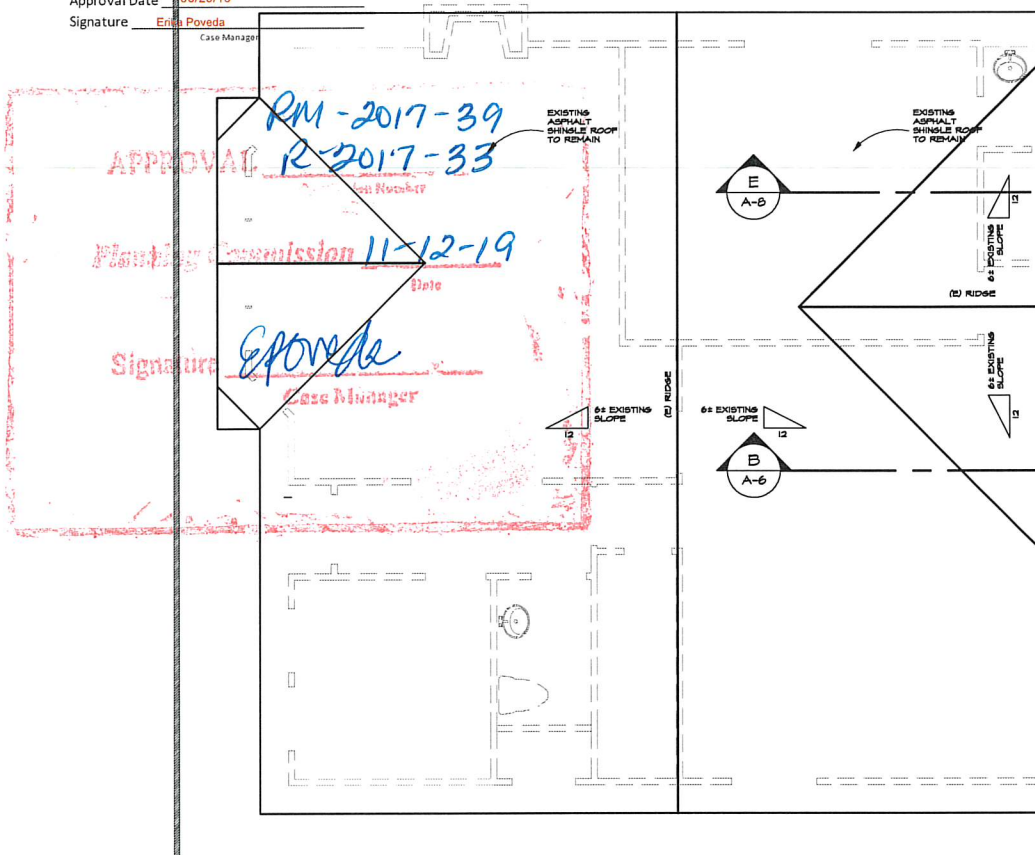
- INDICATES EXISTING WOOD STUD WALLS AND STRUCTURES TO REMAIN.
- INDICATES EXISTING WALLS AND STRUCTURES TO BE DEMOLISHED, REMOVED OR REPLACE (AS NOTED ON THE PLANS)
- DIMENSIONS SHOWN ARE MEASURED TO APPROXIMATE FACE OF STUDS (F.O.S.). FIELD VERIFY ALL FINISH TO FINISH SURFACE DIMENSIONS.

APPROVAL
RM-2017-39
12-2017-33

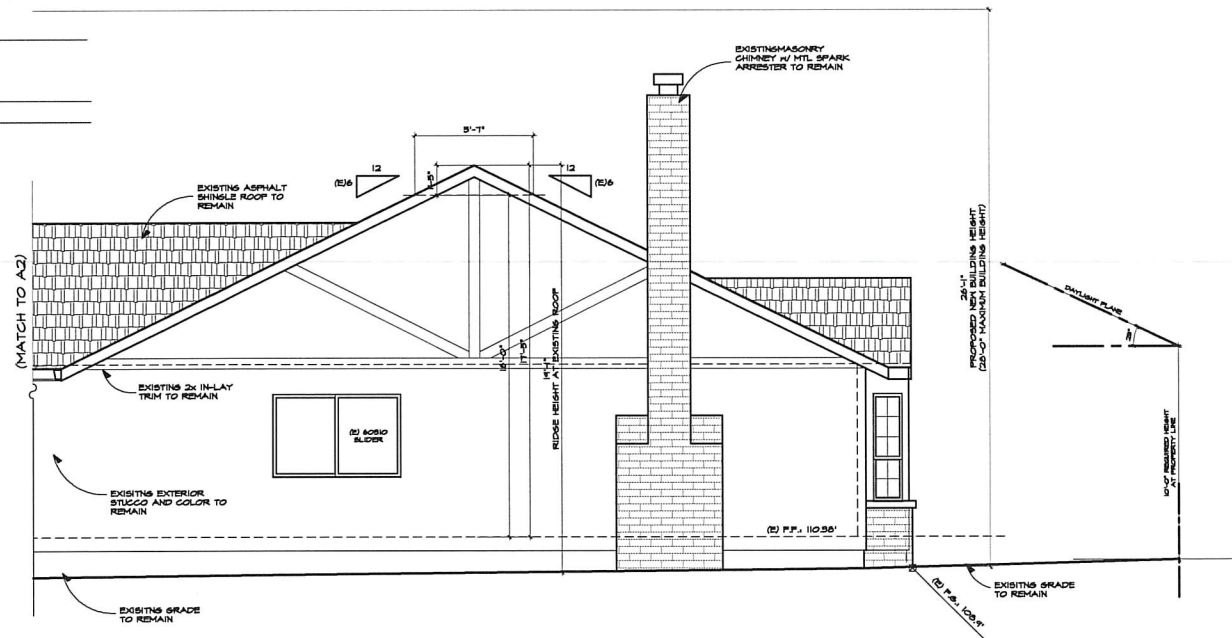
Planning Commission 11-12-19

Signature [Signature]
Case Manager

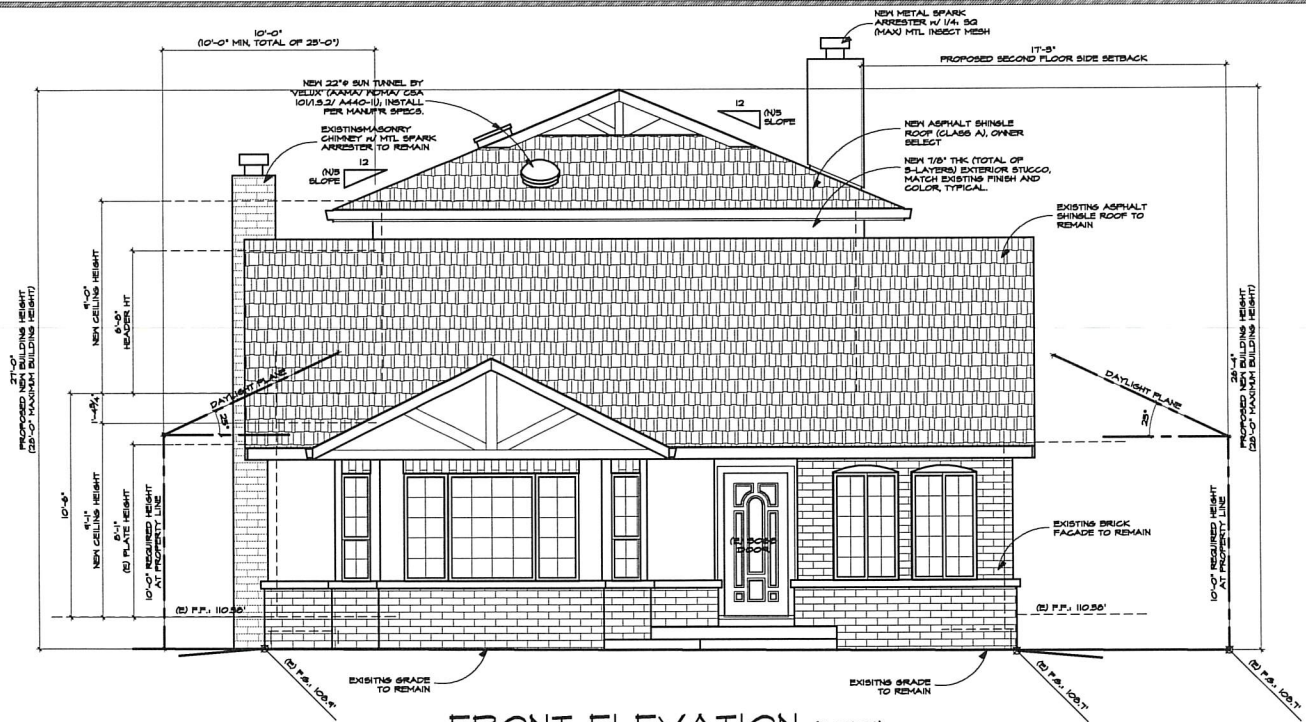




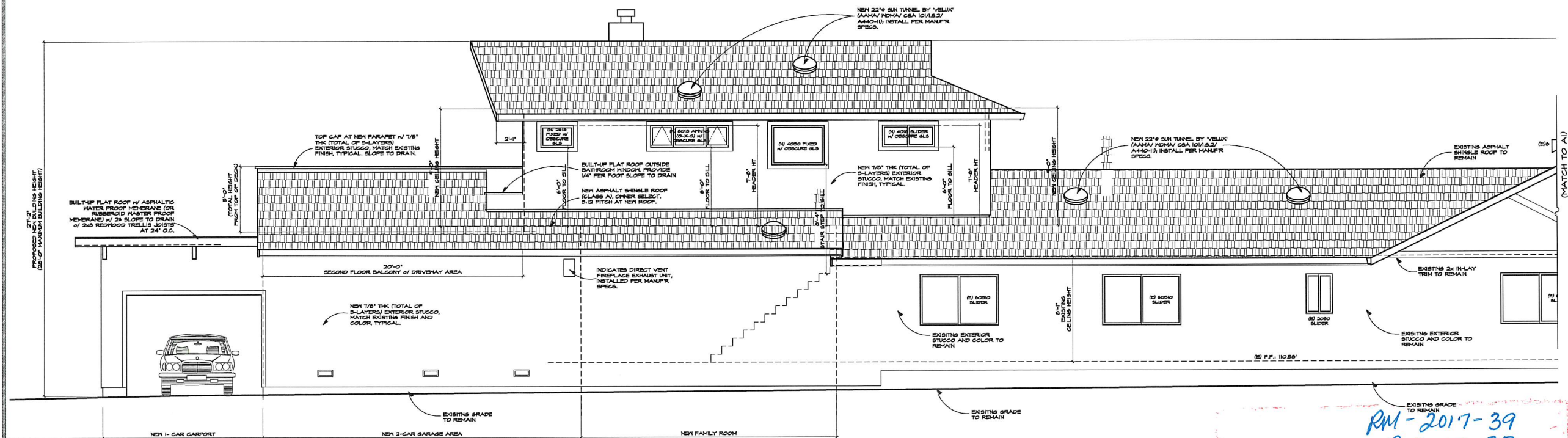
NEW FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION (WEST)
 SCALE 1/4" = 1'-0" (MATCH A1)



FRONT ELEVATION (SOUTH)
 SCALE 1/4" = 1'-0"

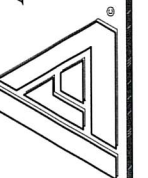


LEFT SIDE ELEVATION (WEST)
 SCALE 1/4" = 1'-0" (MATCH A2)

APPROVAL **RM-2017-39**
R-2017-33
 Application Number

Planning Commission **11-12-19**
 Date

Signature **E. Poveda**
 Case Manager



RESIDENTIAL REMODEL AND ADDITION FOR:
MR. and MRS. DAVID
and YITING TSAI
 21865 SAN FERNANDO AVENUE
 CUPERTINO, CA 95014

DATE: **6/20/2019**
 DRAWN BY: **PT. KUN**
 SCALE: **AS NOTED**



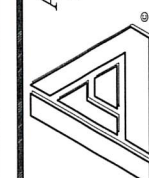
Erhard
Königsberger

REVISIONS:

N O T I C E

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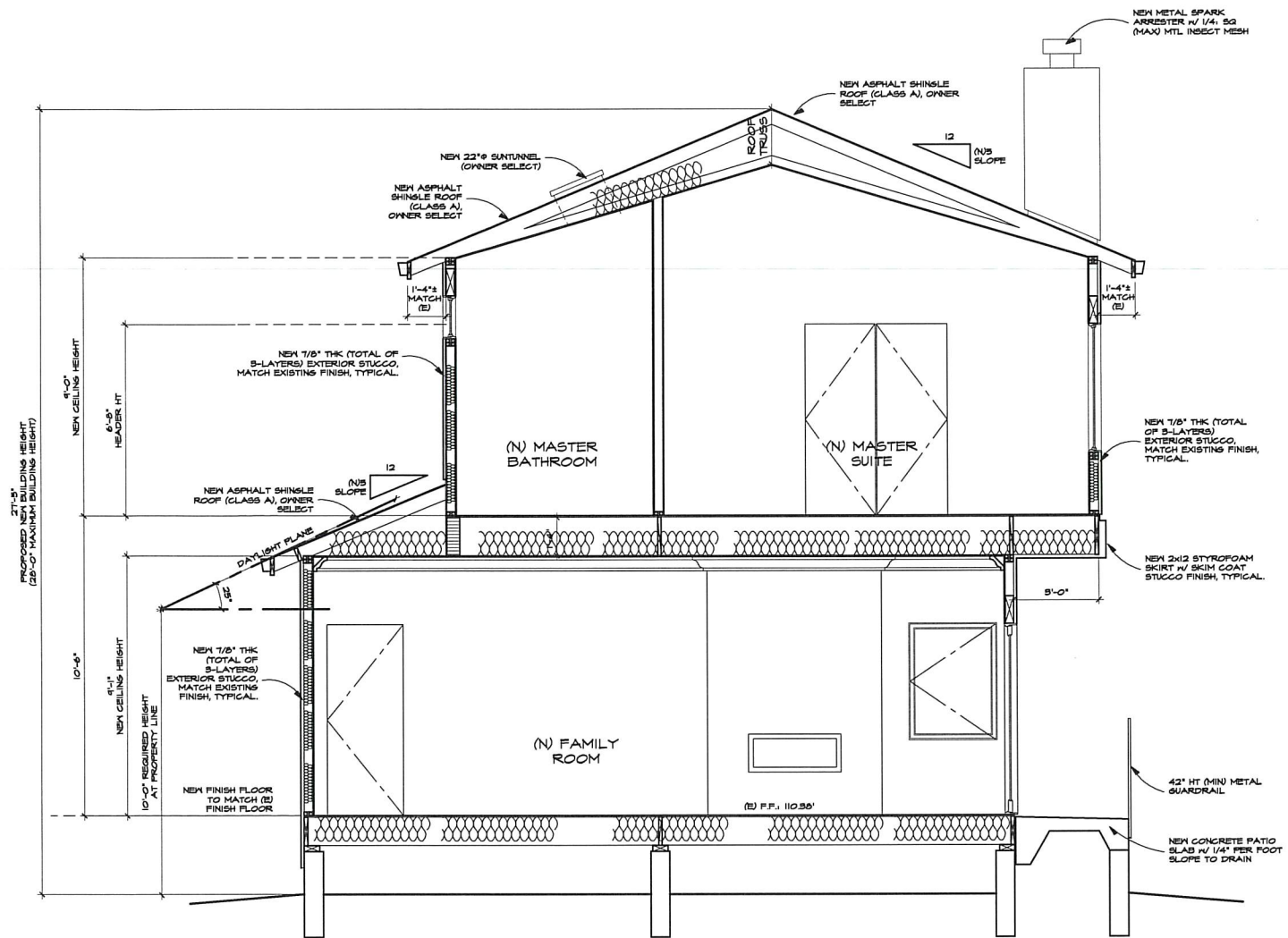


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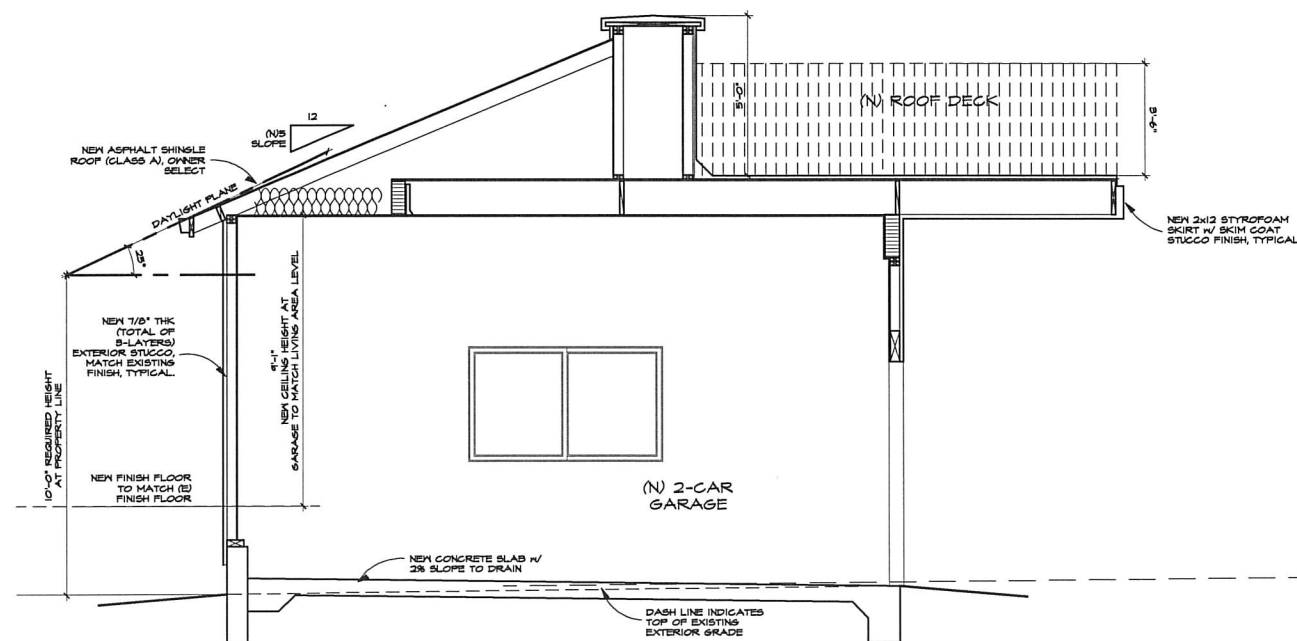
RESIDENTIAL REMODEL and ADDITION
MR. and MRS. DAVID
and YITING TSAI
2121865 SAN FERNANDO AVENUE
CUPERTINO, CA 95014

JOB NO.	TSAI
DATE:	6/20/2019
DRAWN BY:	FT Kun
SCALE:	AS NOTED

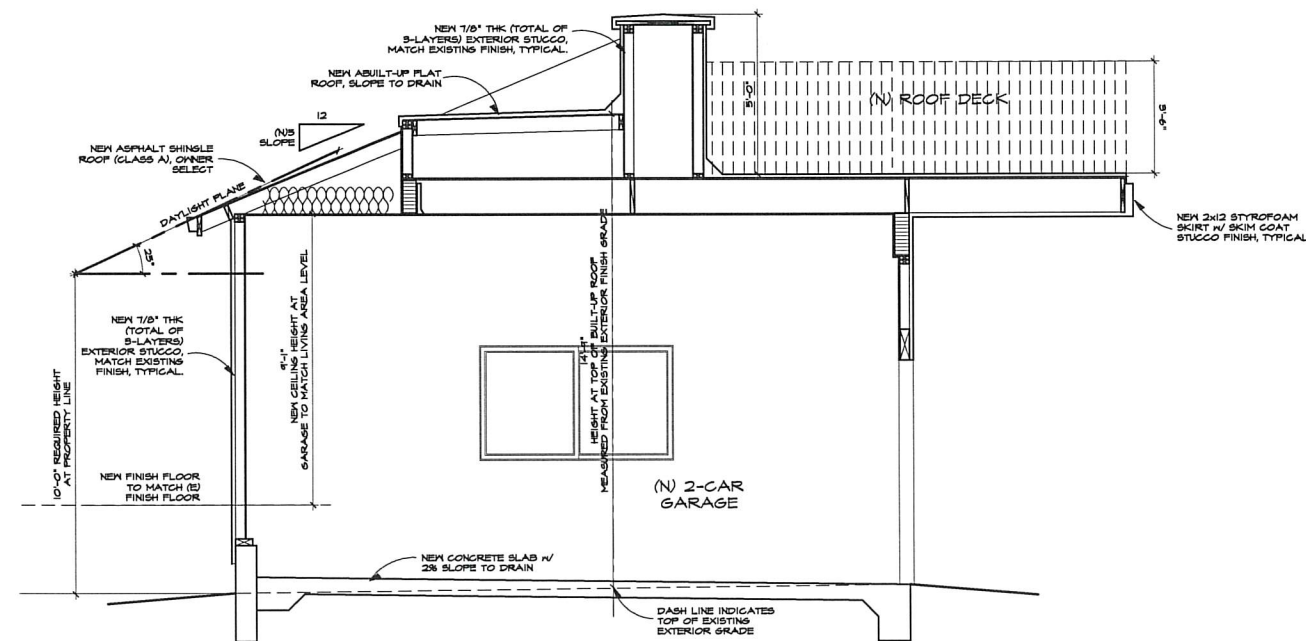
A-5



BUILDING FRAMING SECTION
SCALE 3/8" = 1'-0"



BUILDING FRAMING SECTION
SCALE 3/8" = 1'-0"



BUILDING FRAMING SECTION
SCALE 3/8" = 1'-0"

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MR. and MRS. DAVID
and YITING TSAI
21865 SAN FERNANDO AVENUE
CUPERTINO, CA 95014

DATE: 6/20/2019
DRAWN BY: FT Kun
SCALE: AS NOTED
A-6

APPROVAL *R* 2017-33
 Planning Commission 11-12-19
 Date
 Signature *E. Pineda*
 City Manager

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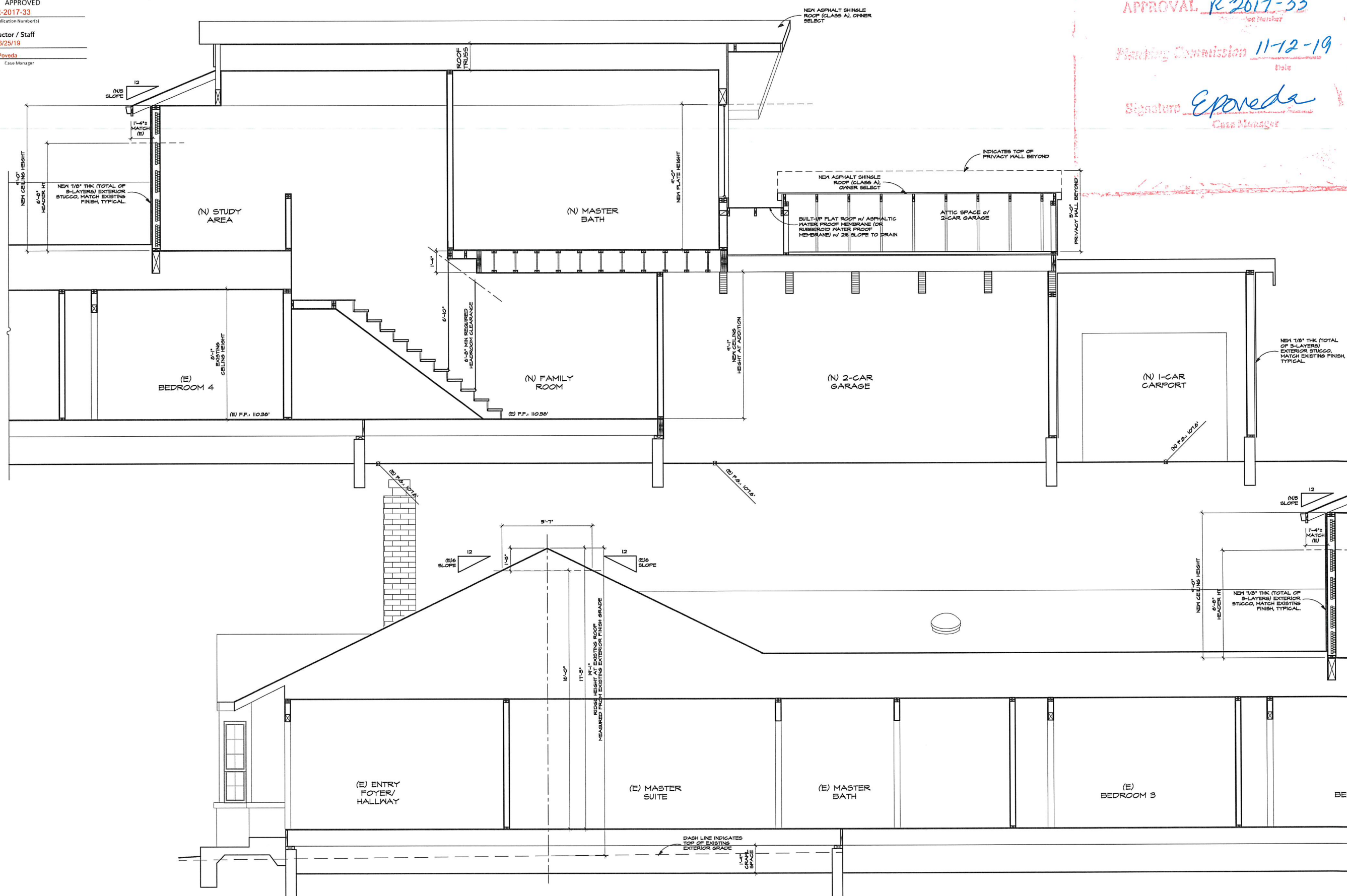
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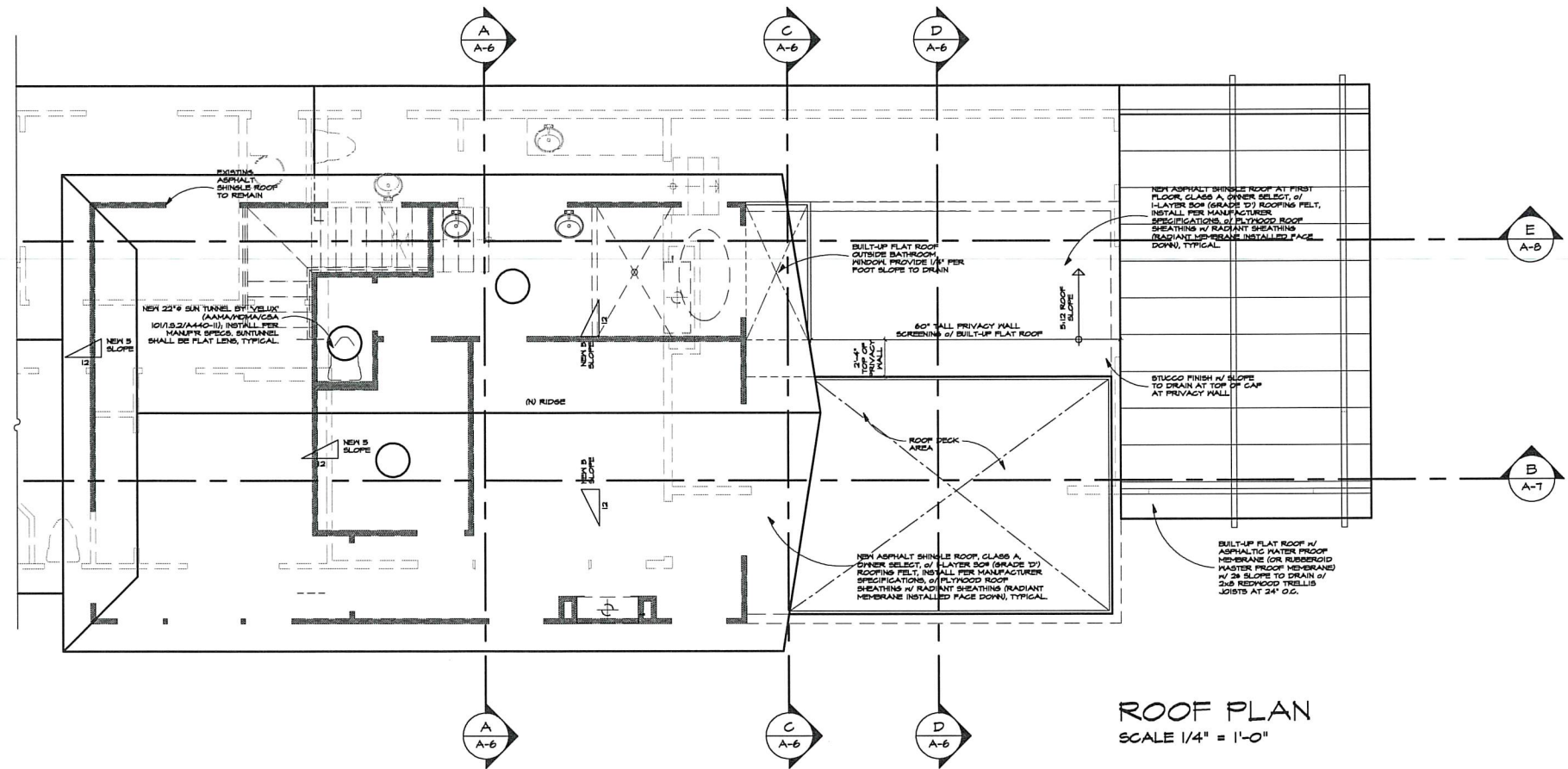
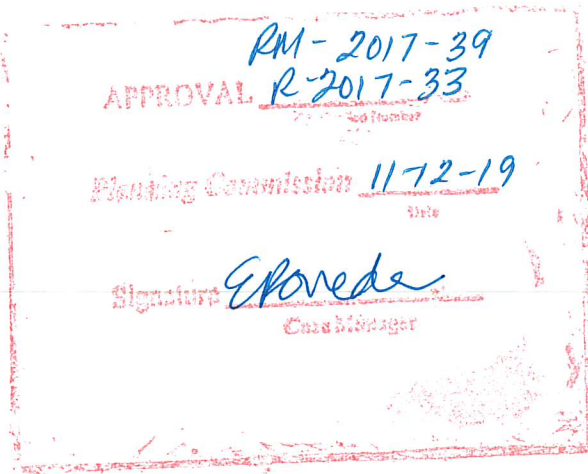
RESIDENTIAL REMODEL and ADDITION for:
MR. and MRS. DAVID
and YITING TSAI
21065 SAN FERNANDO AVENUE
SANTA CLAY, CALIF. 94588

JOB NO.	TSAI
DATE:	6/20/2019
DRAWN BY:	PT Kun
SCALE:	AS NOTED

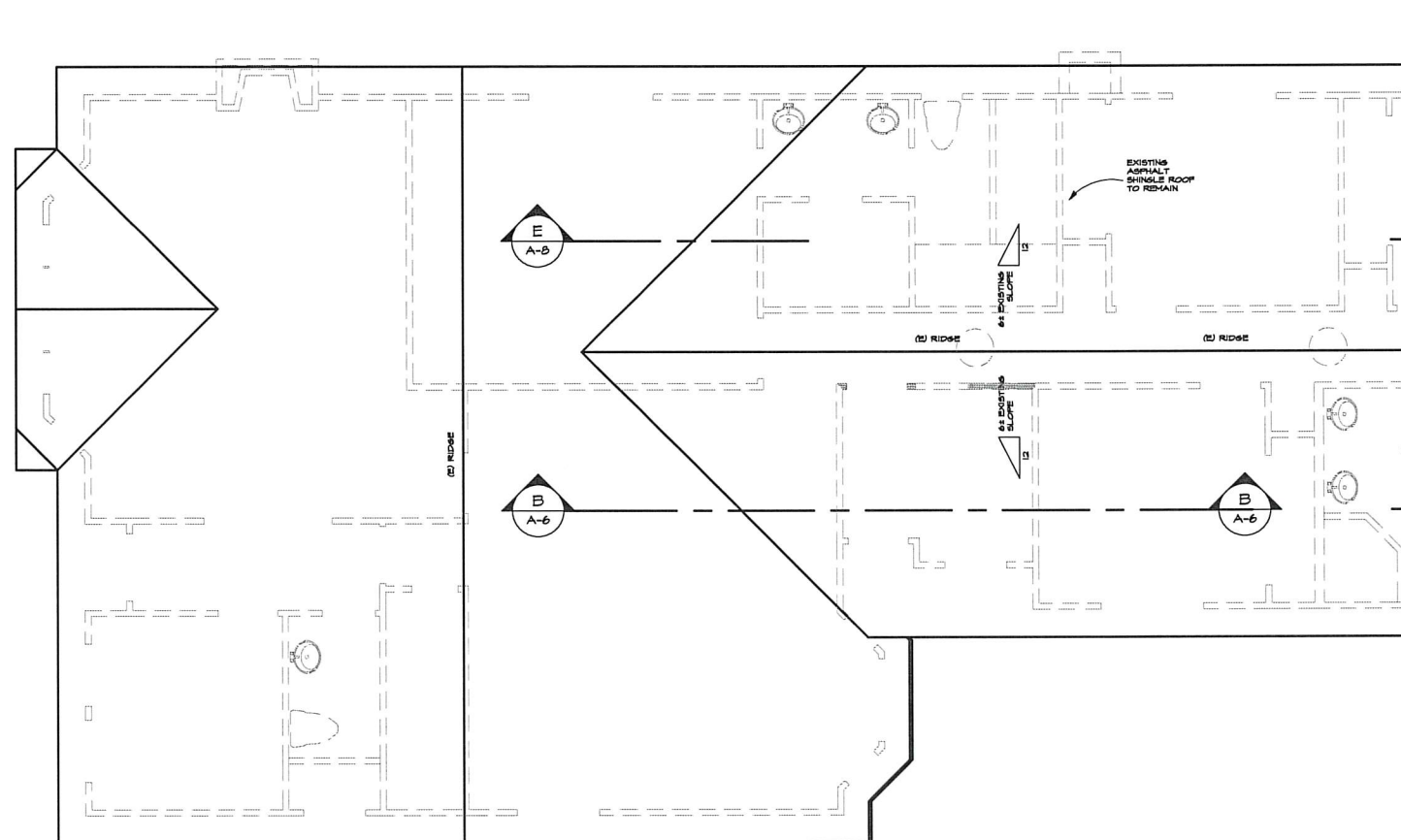
A-ε



 BUILDING FRAMING SECTION
SCALE 3/8" = 1'-0"



ROOF PLAN
SCALE 1/4" = 1'-0"



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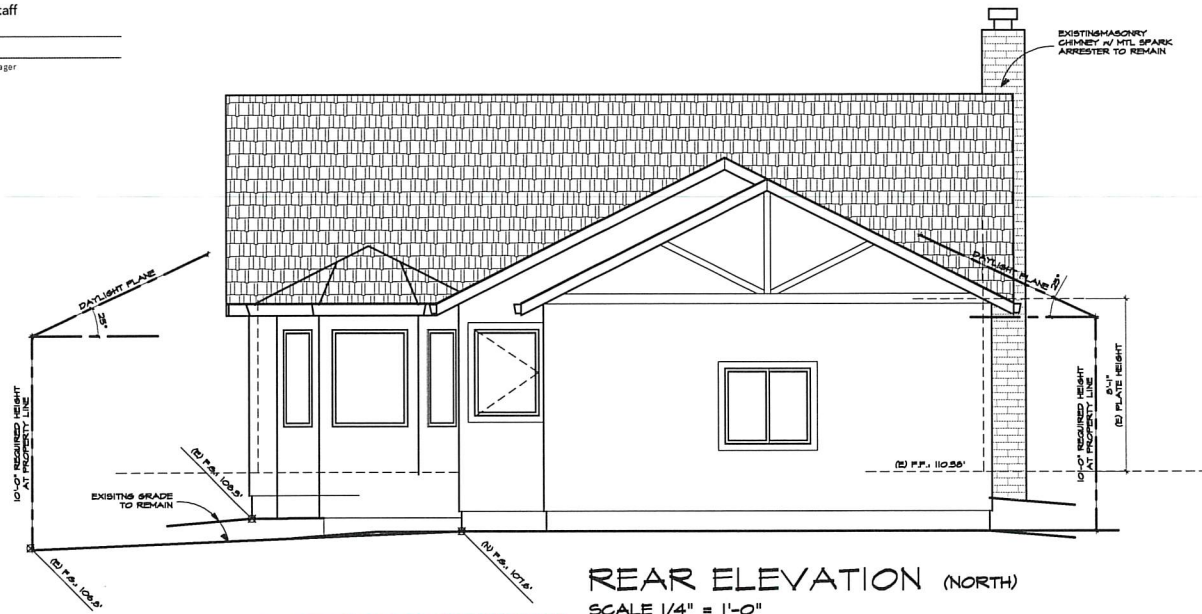
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and YITING TSAI
21865 SAN FERNANDO AVENUE
CUPERTINO, CA 95014

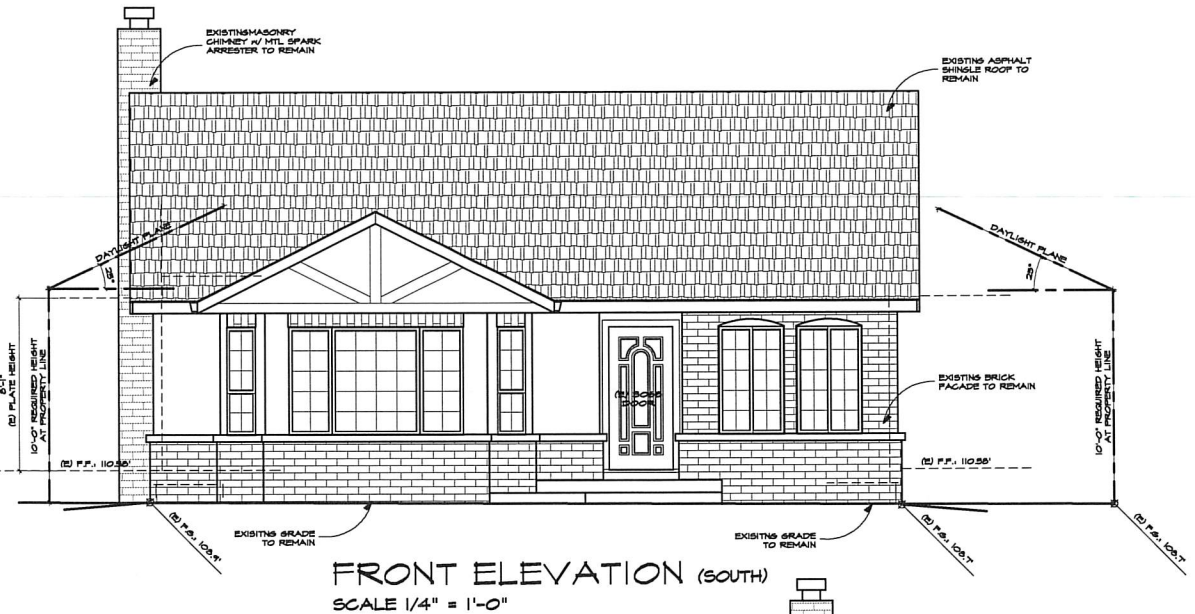
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DRAWN BY: PT Kun
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A-9

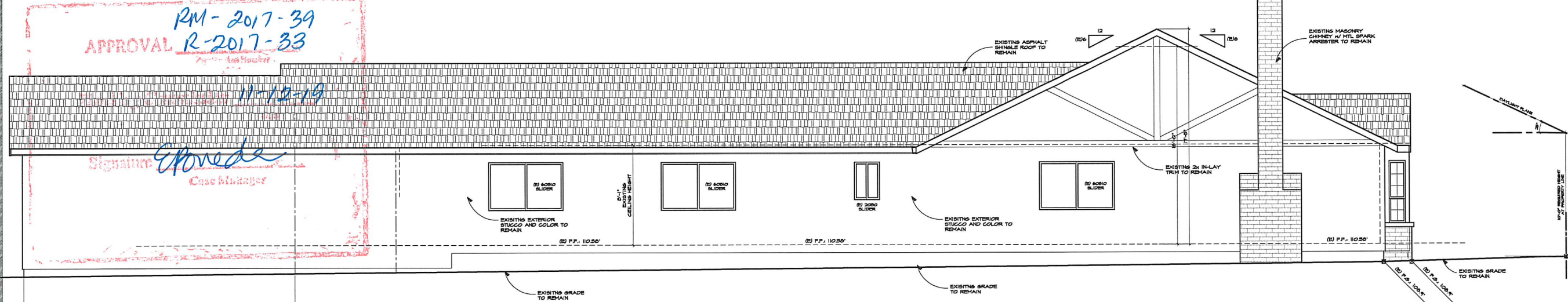
EXISTING EXTERIOR ELEVATIONS



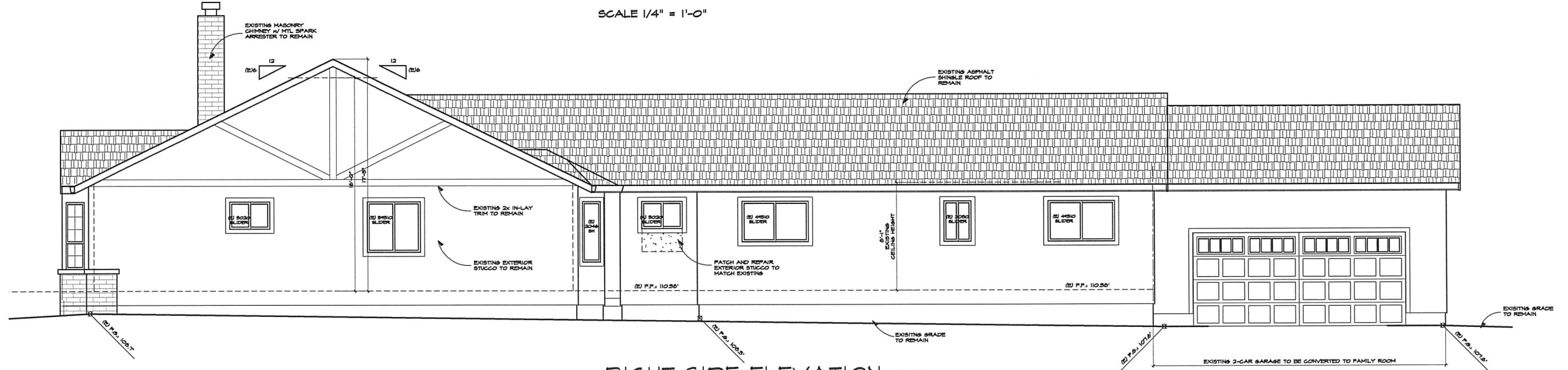
REAR ELEVATION (NORTH)
SCALE 1/4" = 1'-0"



FRONT ELEVATION (SOUTH)
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION (WEST)
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION (EAST)
SCALE 1/4" = 1'-0"

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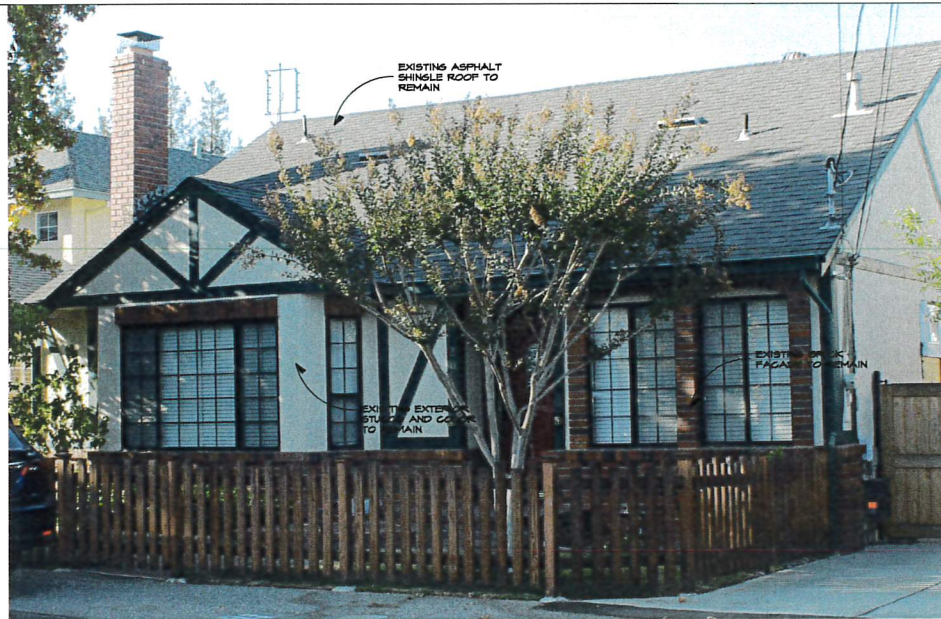
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RESIDENTIAL REMODEL AND ADDITION FOR:
MR. and MRS. DAVID and YITING TSAI
21865 SAN FERNANDO AVENUE
CUPERTINO, CA 95014

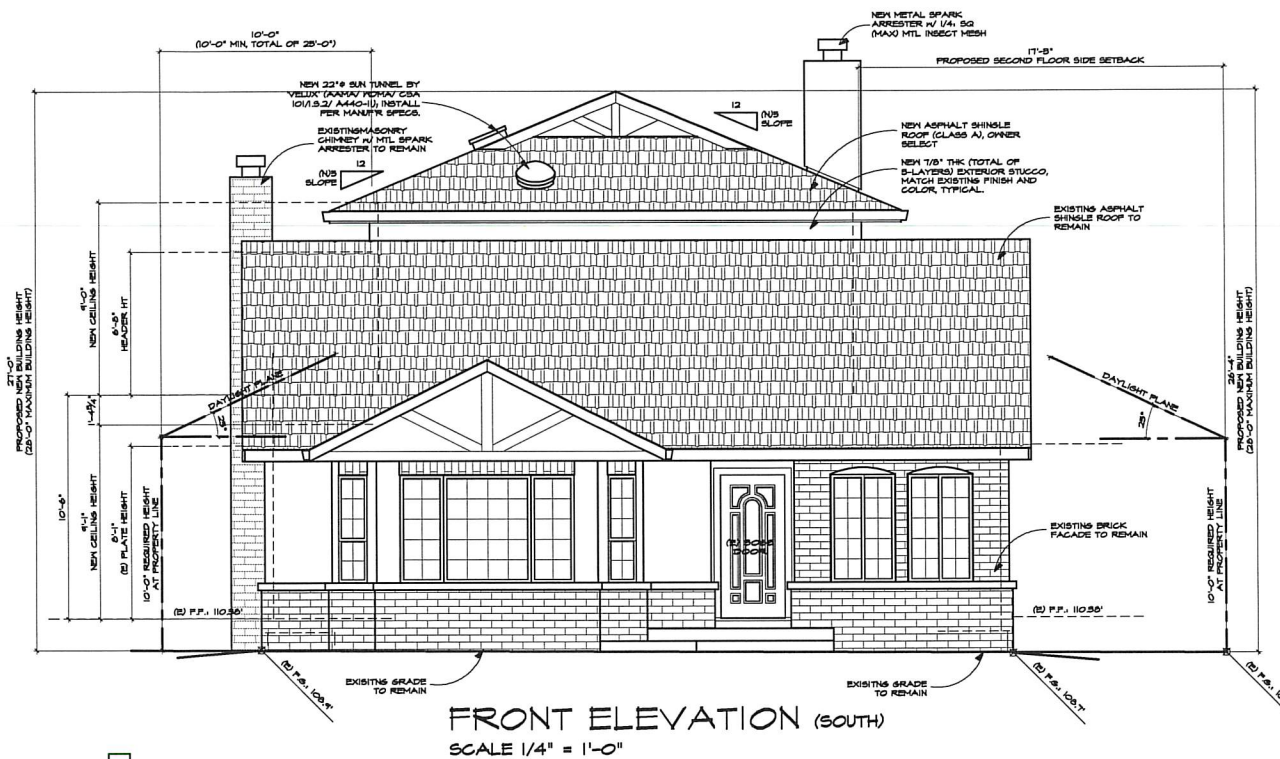
JOB NO. **TSAI**
DATE: **2/1/2019**
DRAWN BY: **PT. KUN**
SCALE: **AS NOTED**

A-2a

COLOR BOARD



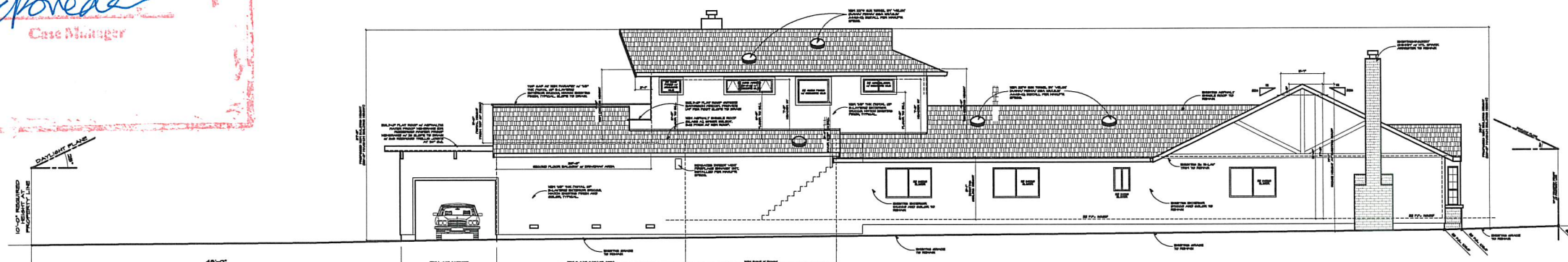
EXISTING FRONT ELEVATION
NO SCALE (COLOR BOARD)



FRONT ELEVATION (SOUTH)
SCALE 1/4" = 1'-0"



STREET SCAPE ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"

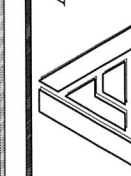


LEFT SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

REVISIONS

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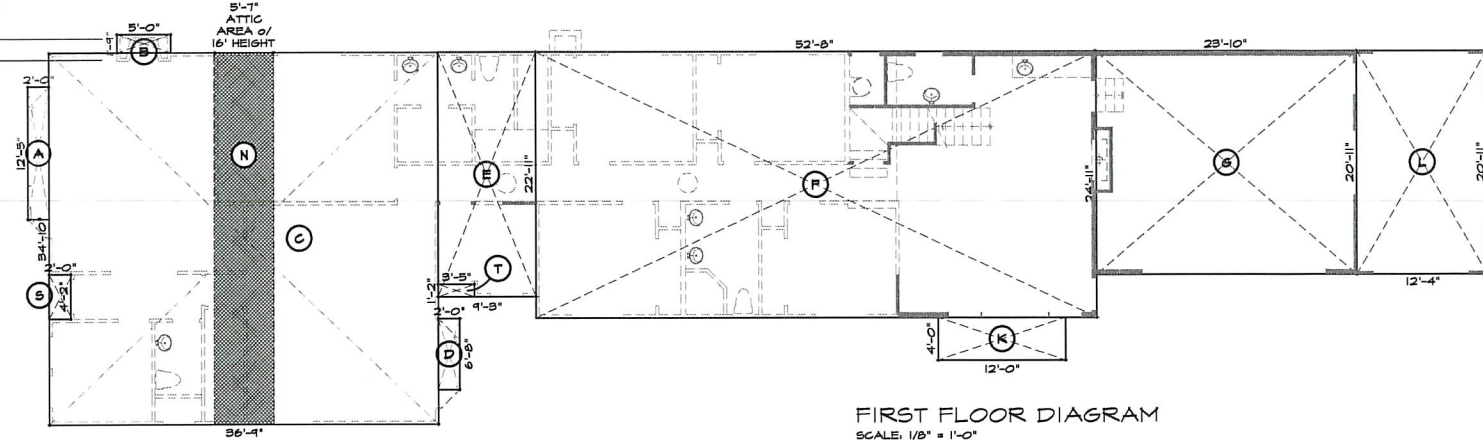
RESIDENTIAL REMODEL AND ADDITION FOR:
MR. and MRS. DAVID
and YITING TSAI
21865 SAN FERNANDO AVENUE
CUPERTINO, CA 95014

DATE: 6/24/2019
DRAWN BY: PT Kun
SCALE: AS NOTED

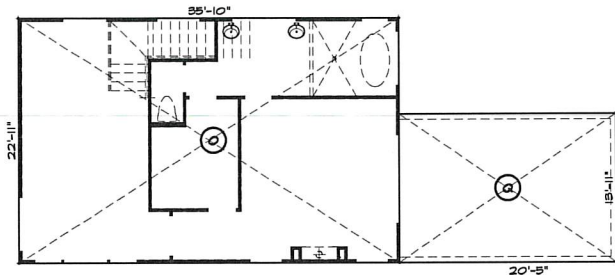
CB

Approval Body: Director / Staff
Approval Date: 06/25/19
Signature: Enma Poveda
Case Manager

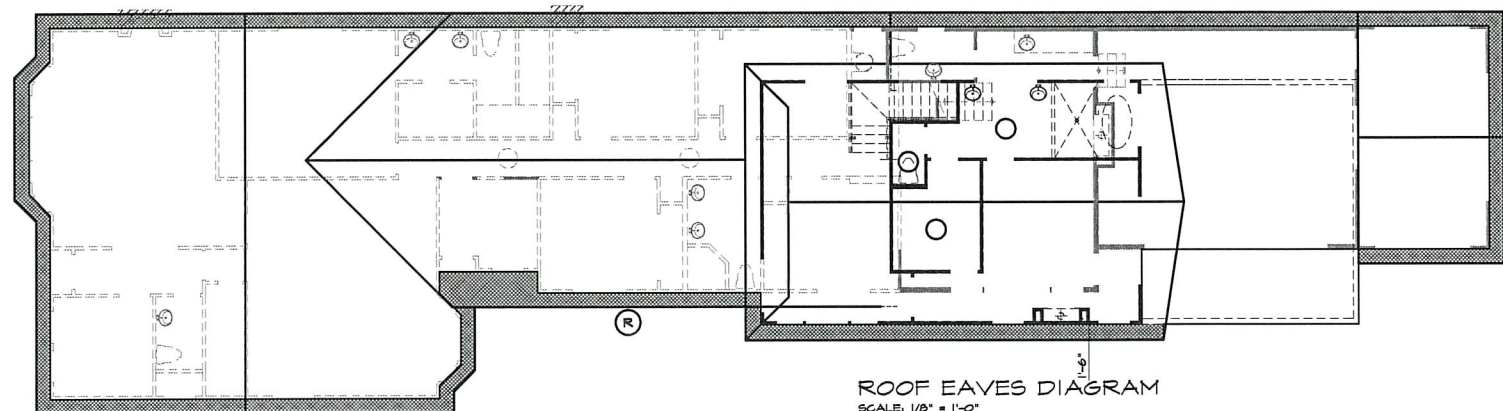
FLOOR AREA CALCULATION DIAGRAM



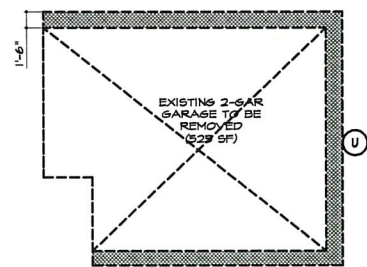
FIRST FLOOR DIAGRAM
SCALE: 1/8" = 1'-0"



SECOND FLOOR DIAGRAM
SCALE: 1/8" = 1'-0"



ROOF EAVES DIAGRAM
SCALE: 1/8" = 1'-0"



ROOF EAVES AT EXISTING
2-GAR GARAGE TO BE
REMOVED
SCALE: 1/8" = 1'-0"

A 2'-0" x 12'-5" = 24.8 SF	K 12'-0" x 4'-0" = 48.0 SF
B 5'-0" x 1'-4" = 6.7 SF	L 12'-4" x 20'-11" = 251.4 SF
C 56'-4" x 54'-10" = 1,250.1 SF	T 5'-5" x 1'-2" = 6.6 SF
D 2'-0" x 6'-8" = 13.3 SF	R TOTAL PATIO/ CARPORT/ COVERED PORCH AREA: 504.5 SF
E 4'-8" x 22'-11" = 111.4 SF	U TOTAL EAVES AREA: 464.00 SF
F 52'-8" x 24'-11" = 1,282.2 SF	U EAVES AT (U) 2-CAR GARAGE TO BE REMOVED: -109.00 SF
S 2'-0" x 4'-2" = 8.3 SF	TOTAL BUILDING COVERAGES: 4,311.1 SF
N 5'-7" x 54'-10" = 144.4 SF (EXISTING ATTIC SPACE OVER 16' HEIGHT)	
TOTAL FIRST FLOOR AREA: 3,255.7 SF	
G 23'-10" x 20'-11" = 469.5 SF (GARAGE)	
T 5'-5" x 1'-2" = 6.6 SF	
TOTAL FIRST FLOOR AREA: 3,546.3 SF	

O 55'-10" x 23'-11" = 821.1 SF	Q 20'-5" x 15'-11" = 284.15 SF
SECOND FLOOR LIVING AREA: 821.1 SF	SECOND FLOOR DECK AREA: 284.15 SF
TOTAL BUILDING FLOOR AREA: 4,367.4 SF	

RM-2017-39
APPROVAL R-2017-33
Planning Commission 11-12-19
Signature: Epoveda
Case Manager

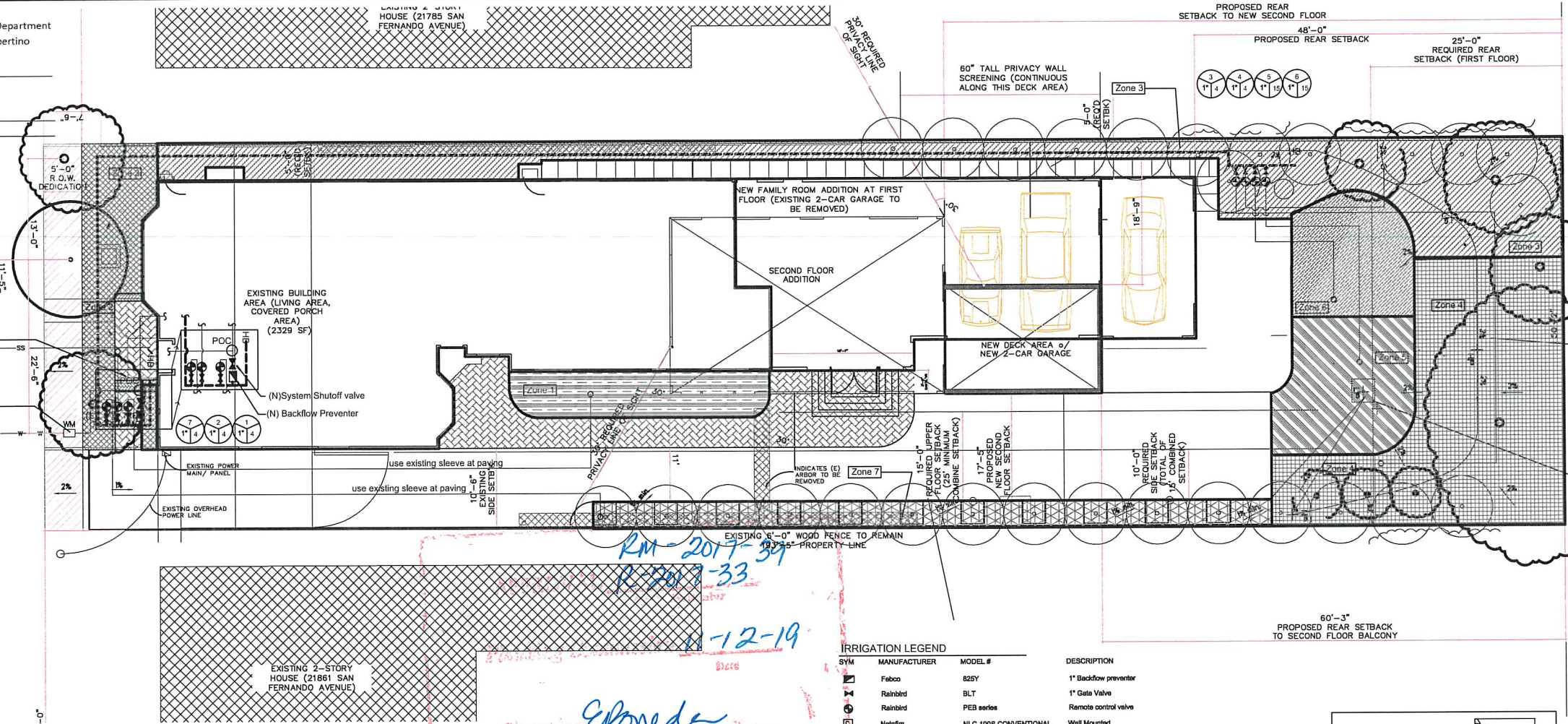
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RESIDENTIAL REMODEL AND ADDITION FOR:
MR. and MRS. DAVID
and YITING TSAI
21865 SAN FERNANDO AVENUE
CUPERTINO, CA 95014

JOB NO. TSAI
DATE: 2/1/2019
DRAWN BY: PT. KUN
SCALE: AS NOTED
FAD

SAN FERNANDO AVENUE



- SITE NOTES:**
- NO NEW GRADING OF THE EXISTING LOT IS BEING PROPOSED FOR THIS PROJECT. EXISTING LOT SLOPE AND SWALE TO REMAIN
 - LANDSCAPE PLAN (SHEET L-1, L-2) FOR ALL LANDSCAPE INFORMATION (EXISTING TREES, PROPOSED NEW TREES, PRIVACY SCREENING PAVING AND LANDSCAPING TO BE ADDED TO THE PROPERTY.)



SCALE: 1/8" = 1'-0"
NORTH

Call Before you Dig!
1-800-227-2600

IRRIGATION NOTES

- POINT OF CONNECTION - CONNECT TO NEW HOUSE SUPPLY LINE IN FRONT YARD. THIS IRRIGATION SYSTEM IS DESIGNED TO OPERATE ON A STATIC PRESSURE OF 55 PSI PROVIDED BY THE CITY(45 PSI FOR DRIP WITH PRESSURE REGULATOR).IF A DISCREPANCY EXISTS PLEASE NOTIFY THE LANDSCAPE ARCHITECT.
- LOCATE, DISCONNECT AND CAP OFF IRRIGATION TO BE ABANDONED.
- CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 642-2444 PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF EXISTING AND FUTURE UNDERGROUND SERVICES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGES CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO EXTRA COST TO THE OWNER. CONTACT LANDSCAPE ARCHITECT SHOULD ANY CONFLICTS ARISE.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
- CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH OTHER TRADES. CONTRACTOR TO COORDINATE AND VERIFY ALL SLEEVING, PIPING, ELECTRICAL SUPPLY, POINT OF CONNECTION, ETC.
- THIS IRRIGATION DESIGN IS DIAGRAMMATIC IN NATURE AND DOES NOT REPRESENT AN EXACT LAYOUT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS IN HEAD, VALVE, AND PIPING LAYOUT.
- CONTRACTOR IS RESPONSIBLE FOR COMPLETE AND UNIFORM COVERAGE OF ALL PLANTING AND TURF AREAS. CONTRACTOR TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN OPTIMUM OPERATING PRESSURE OF REACH CIRCUIT. ADJUST SPRAY HEADS AND NOZZLES FOR OPTIMUM COVERAGE WHILE PREVENTING OVER SPRAY ONTO WALKWAYS AND STRUCTURES.
- CONTRACTOR SHALL VERIFY NUMBER OF STATIONS IN CONTROLLER. ANY INADEQUACIES TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- INSTALL NO. 14 UF DIRECT BURIAL IRRIGATION WIRE. USE EPOXY CONNECTORS AND BURY WIRE WITH MAINLINE, BUNDLED AND TAPED TOGETHER EVERY TEN FEET.
- FIELD VERIFY EXACT LOCATION OF CONTROLLER WITH OWNER/LANDSCAPE ARCHITECT. PROGRAMMING OF THE CONTROLLER IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE ENTIRE PROJECT.
- REMOTE CONTROL VALVES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND SHOULD BE INSTALLED IN PLANTING AREAS ONLY.
- WHERE PIPE PASSES UNDER DRIVING SURFACES, PROVIDE PVC SLEEVES AS NOTED ON PLANS. SLEEVE SIZE TO BE MINIMUM OF TWO PIPE SIZES LARGER THAN THE PIPE IT IS INTENDED FOR.
- NO FITTINGS SHALL BE LOCATED UNDER PAVEMENT OR IN SLEEVES.
- INSTALL ELECTRIC ANTI-SIPHON VALVES. DRIP VALVES SHALL INCLUDE PRESSURE REGULATOR AND Y FILTER.
- INSTALL SWING JOINTS FOR ALL SPRAY HEADS.
- ALL EQUIPMENT INSTALLATION SHALL MEET THE REQUIREMENTS OF THESE NOTES AND THE CALIFORNIA LANDSCAPE STANDARDS, PUBLISHED BY THE CLCA (LATEST EDITION).
- INSTALL SCHEDULE 40 LATERALS AND MAINLINES. MAINLINES SHALL BE INSTALLED AT A DEPTH OF 18". LATERALS SHALL BE INSTALLED AT A DEPTH OF 12".
- SPRAYHEADS TO BE RAINBIRD, OR APPROVED EQUAL. LAWN SPRAYS TO HAVE 6" POP-UP. ALL OTHER PLANTING AREAS TO BE IRRIGATED BY A DRIP SYSTEM.
- TEST SYSTEM FOR AT LEAST THREE HOURS BEFORE BACK FILLING, ESPECIALLY THE MAINLINE.
- 3" OF MULCH TO BE PLACED OVER THE ON-SURFACE IRRIGATION TUBING IN ALL PLANTING AREAS AFTER INSTALLATION AND PERFORMANCE OF THE IRRIGATION SYSTEM IS VERIFIED BY OWNER AND CONTRACTOR.
- All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.85 or higher using the protocol defined in ASABE/ICC 802-2014.
- Landscape contractor to install a privately owned meter or submeter for landscape use only (at POC to irrigation).

IRRIGATION HYDRO-ZONE LEGEND

	ZONE 1: SHRUBS, TREES, AND GC - DRIP IRRIGATION	MODERATE WATER USE
	ZONE 2: SHRUBS, TREES, AND GC - DRIP IRRIGATION	LOW WATER USE
	ZONE 3: SHRUBS, TREES, AND GC - DRIP IRRIGATION	LOW WATER USE
	ZONE 4: SHRUBS, TREES, AND GC - DRIP IRRIGATION	LOW WATER USE
	ZONE 5: LAWN - SPRAY IRRIGATION	HIGH WATER USE
	ZONE 6: LAWN - SPRAY IRRIGATION	HIGH WATER USE
	ZONE 7: TREE - BUBBLER	LOW WATER USE

IRRIGATION LEGEND

SYM	MANUFACTURER	MODEL #	DESCRIPTION
	Fabco	825Y	1" Backflow preventer
	Rainbird	BLT	1" Gate Valve
	Rainbird	PEB series	Remote control valve
	Netafirm	NLC-100S CONVENTIONAL	Wall Mounted ET MANAGER
	Netafirm	ET MANAGER	With Rain Gauge
	Netafirm	HYDROMETER 1-1/2" MNPT	With Submeter
	New City Water meter		
	Sch. 40 pvc mainline	(1-1/4")	
	Sch. 40 pvc lateral line		
	Class 315 sleeve	- size per plan	
	Hose Bib		
	Irrigation Zone		

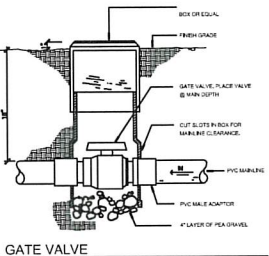
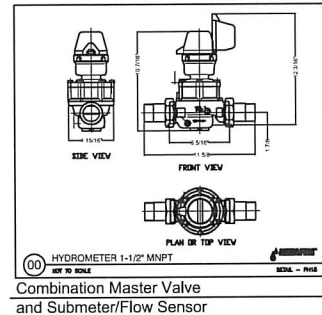
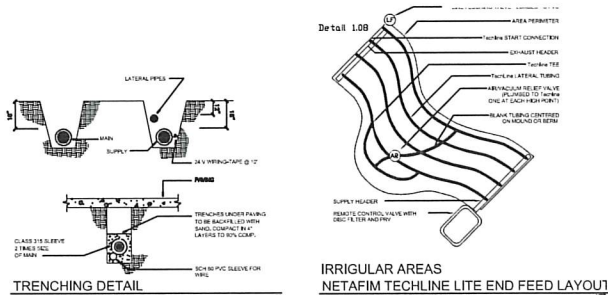
SPRAY PRODUCTS - FOR LAWN - DRIP PRODUCTS - ALL OTHER PLANTING

MANUFACTURER	MODEL #	DESCRIPTION
Rainbird	Rainbird 1806 PRS	8", 10", 12", 15", 6" Pop up adjustable lawn spray lawn spray

NOTE: ALL SPRINKLER NOZZLES ARE ADJUSTABLE UNLESS NOTED

Drip Irrigation Valve Assemblies:

- VALVE/FILTER/PRESSURE REGULATOR MEDIUM FLOW KIT (3.0GPM TO 15.0GPM): XCZ-100-PRF INCLUDES 1" VALVE, 1" RBY FILTER, 45 PSI PRESSURE REGULATOR
- NETAFIM TECHLINE® CV ON-SURFACE LAYOUT
- NETAFIM TECHLINE® CV ON-SURFACE LAYOUT - 12" DRIPPER SPACING, 4 GPH FLOW RATE. THE ROW SPACING TO FLUCTUATE BETWEEN 12" TO 18" AS PER PLANT LAYOUT.
- INSTALL 120 MESH FILTER AS SPECIFIED BY THE MANUFACTURER.
- PROVIDE MANUAL FLUSH VALVES AT END OF DRIP LINE (OPPOSITE SIDE OF VALVE) AIR RELIEF VALVE AT THE HIGH POINT OF EACH CIRCUIT.
- REFER TO SHEET L-2 FOR LAYOUT DETAILS



NOTE: REQUIREMENT PRIOR TO FINAL OCCUPANCY

- THE PROPERTY OWNER SHALL RECORD A COVENANT ON THE PROPERTY FOR THE NEW TREES/SHRUBS PLANTED FOR PURPOSE OF REQUIRED REPLACEMENT TREES, PRIVACY PROTECTION, AND REQUIRED FRONT YARD TREE. THE PROPERTY OWNER SHALL CONTACT THE PLANNING DIVISION IN ADVANCE OF THE FINAL TO PREPARE THE AGREEMENT.
- FOLLOWING COMPLETION OF CONSTRUCTION, AN AFFIDAVIT FROM AN ISA-CERTIFIED ARBORIST SHALL BE PROVIDED CONFIRMING THAT THE NEW TREES HAVE BEEN PLANTED PROPERLY AND ACCORDING TO PLAN.
- A PLANNING DIVISION INSPECTION IS REQUIRED TO VERIFY EXTERIOR MATERIALS/FINISHES, TREES, LANDSCAPING, AND SITE WORK.
- A CERTIFIED LANDSCAPE PROFESSIONAL SHALL CONDUCT A LANDSCAPE INSTALLATION AUDIT AFTER THE LANDSCAPING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED PER CHAPTER 14.15 (LANDSCAPE ORDINANCE). THE FINDINGS OF THE ASSESSMENT SHALL BE CONSOLIDATED INTO A LANDSCAPE INSTALLATION REPORT PROVIDED TO THE PLANNING DIVISION.
- THE PROPERTY OWNER SHALL SIGN A LANDSCAPE MAINTENANCE AGREEMENT AND WELD COMPLIANCE CERTIFICATE PER CHAPTER 14.15 (LANDSCAPE ORDINANCE), PREPARED BY THE CITY, AND RECORD IT WITH THE SANTA CLARA CO. RECORDER'S OFFICE. THE PROPERTY OWNER SHALL CONTACT THE PLANNING DIVISION IN ADVANCE OF THE FINAL TO PREPARE THE AGREEMENT.
- A CERTIFIED LANDSCAPE PROFESSIONAL SHALL PROVIDE A LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE PER CHAPTER 14.15 (LANDSCAPE ORDINANCE) TO THE PLANNING DIVISION.

REVISIONS	BY

AF LANDSCAPE ARCHITECTURE

Sunnyvale, California
(408) 242 - 3054
email: aflandscapearchitecture@gmail.com
www.aflandscape.com

TSAI RESIDENCE
21865 SAN FERNANDO AVE.,
CUPERTINO, CA 95014

PLANNING AND
BUILDING PERMIT
SUBMITTAL
IRRIGATION
HYDROZONE PLAN

DRAWN
AF
CHECKED
AF
DATE
2-14-2019
SCALE
1/8" = 1'-0"
JOB NO.
1817
SHEET

L-2



		Community Development Department Planning Division - Cupertino APPROVED
Case #	R-2017-33	
	(Application Number(s))	
Approval Body:	Director / Staff	
Approval Date	06/25/19	
Signature	Erika Poveda	
	Case Manager	

RM - 2017 - 39
APPROVAL R-2017-33
11-12-19
Signature *Eponede*
Card Manager



DISCLAIMER:
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THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
THE BEARING N 01°2'35" E OF CENTERLINE OF ORANGE AVE.
AS SHOWN ON RECORD OF SURVEY MAP, RECORDED IN BOOK 532 OF
MAPS, AT PAGE 17, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

REFERENCED ASSUMED BENCHMARK:
TOP OF SANITARY SEWER MANHOLE LOCATED AT SAN FERNANDO AVE.,
IN FRONT OF PROPERTY EL: 109.21'

NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. THE GROSS AREA OF LAND OF RECORD IS 9,966 SQ. FT. ±.
3. THE MAP WAS BASED ON A GRANT DEED DOC.# 20053885 DATED 11/25/2008, RECORDED IN SANTA CLARA COUNTY.
4. ALL EXISTING BUILDINGS ARE WOOD.
5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.

SCALE 1" = 10'

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

21865 San Fernando Avenue
Cupertino
APN: 357-15-043



SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Garb Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8133

Date: 10/10/2007
 Prepared by: [Signature]
 Checked by: [Signature]
 Page: 10/10
 Report for: [Signature]



BOUNDARY
TOPOGRAPHIC SURVEY MAP

T-1

◇	REVISIONS	DESIGN BY..	DESIGN DATE	CITY APPR.	APP. DATE

CITY OF CUPERTINO