



**CUPERTINO**

**OFFICE OF COMMUNITY DEVELOPMENT**

CITY HALL

10300 TORRE AVENUE • CUPERTINO, CA 95014-3255

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**To:** Mayor and City Council Members  
Planning Commissioners

**From:** Benjamin Fu, Director of Community Development

**Date:** July 19, 2019

**Subj:** REPORT OF DESIGN REVIEW COMMITTEE FINAL DECISIONS MADE  
July 18, 2019

**Chapter 19.12.170 of the Cupertino Municipal code provides for  
Appeal of decisions made by the Design Review Committee**

1. **Application**  
R-2019-03, Kanagaraj residence, 10713 Larry Way

**Description**

Residential Design Review for a new 4,170 square foot, two-story single family residence with a rear facing balcony located in an R1-A district

**Action**

The Design Review Committee approved the application on a 2-0-0 vote. This is effective July 18, 2019. The fourteen-calendar day appeal will expire on August 1, 2019.

**Enclosures:**

Design Review Committee Report of July 18, 2019  
Resolution No(s). 332  
Plan set



**COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION**

CITY HALL  
10300 TORRE AVENUE • CUPERTINO, CA 95014-3255  
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**DESIGN REVIEW COMMITTEE STAFF REPORT**

Meeting: July 18, 2019

Subject

Residential Design Review for a new 4,170 s.f. two story house with a rear-facing balcony in a R1-a district. (Application No.: R-2019-03; Applicant: Alfred Devaraj and Usha Kanagaraj; Location: 10713 Larry Way.; APN: 316-02-007)

Recommended Action

That the Design Review Committee approve the proposed draft resolution (Attachment 1) to:

1. Find the project exempt from CEQA; and
2. Approve the Residential Design Review permit (R-2019-03).

Discussion

*Project Data:*

|  |   |                    |
|--|---|--------------------|
| <b>General Plan Designation:</b>                     | Low Residential 1-5   |                    |
| <b>Zoning Designation:</b>                           | R1-a Single Family Residential District with Semi-Rural Characteristics |                    |
| <b>Property Area:</b>                                | 9,429 s.f.  |                    |
|  | <b>Allowed</b>  | <b>Proposed</b>    |
| <b>Floor Area Ratio:</b>                             | 4,243 s.f. (45%)  | 4,170 s.f. (44.2%) |
| <b>Lot Coverage:</b>                                 | 4,715 s.f. (45% + 5% for roof overhangs)                                | 3,217 s.f. (34.1%) |
| <b>Building Height:</b>                              | 28'-0"  | 27'-0"             |
| <b>2<sup>nd</sup> to 1<sup>st</sup> Floor Ratio:</b> | 40%   | 38.4%              |
| <b>1<sup>st</sup> Floor Setbacks:</b>                |   |                    |
| Front  | 30'-0"  | 30'-0"             |
| Side   | 10'-0" both sides   | 10'-0" both sides  |
| Rear   | 20'-0"  | 40'-0"             |
| <b>2<sup>nd</sup> Floor Setbacks:</b>                |   |                    |
| Front  | 30'-0"  | 30'-0"             |

|                                  |   |   |
|----------------------------------|---|---|
| Side                             | 35'-0" combined; no side less than 15'-0" | 35'-0" combined; no side less than 15'-0" |
| Rear                             | 40'-0"                                    | 40'-0"                                    |
| <b>Project Consistency with:</b> |   |   |
| General Plan:                    | Yes                                       |   |
| Zoning:                          | Yes                                       |   |
| Environmental Assessment:        | Categorically Exempt                      |   |

### *Background:*

In 2003, the City Council enacted an ordinance that rezoned the Linwood Acres neighborhood from A1-43 Agricultural-Residential Zone and R1-7.5 Single Family Residential Zone to the R1-a Single Family Residential Zone. The rezoning affected 68



Figure 1 – Property Location

parcels on Randy Lane and Larry Way bounded by Lucille Avenue to the north and Merritt Drive to the south shown on the map by a green dashed line. The R1-a district is intended to reinforce the semi-rural setting in neighborhoods with large lots.

The subject site currently has an existing second-story home with a 550 sq. ft. second story; is located across the

street from another two-story home; and shares its rear property line with the Apple Campus located at 1 Infinite Loop. There currently exist seven two-story homes in the Linwood Acres neighborhood.

### *Analysis:*

The project is consistent with the Cupertino General Plan as the development maintains the single family use and is designed to conform with the Single-Family Residence zoning regulations for R1-a districts.

### Floor Area

The proposed residence's floor area ratio is 4,170 square feet and within the 45% allowance for a 9,429 s.f. lot (please refer to the data chart above). In addition to the overall home size, the R1-a district allows a second story to be up to 40% of the first floor, not to exceed 1,100 square feet, and at least 750 square feet. The proposed second floor consists of a master bedroom and two bedrooms with attached bathrooms and closets for each room that totals 1,069 square feet in area.

### Balcony

Second story balconies are permitted on R1-a lots but must conform to the second story building setbacks and limited to the front and rear yards only. A rear balcony is required to be setback 40'-0" from the rear property line and setback a combined 35'-0" with no side less than 15'-0" to the side property line. The proposed second story balcony is located at the rear of the home – 40'-0" away from the rear property line, 25'-9" from the southern property line and 32'-0" from the northern property line; therefore, meets the required rear yard and exceeds the combined side yard setbacks.

### Architectural Design

The new residence is designed in a Mediterranean Style and includes the following features:

1. Stucco walls
2. Tiled hip roof with wide overhangs with decorative brackets
3. Deep set windows and garage doors
4. Arched heads above garage and entries
5. Decorative metal carriage lights and railings
6. Decorative columns and details with caps

The proposal was reviewed by the City's consulting architect and his comments were incorporated into subsequent revised plans. Furthermore, a condition of approval has been added to the draft resolution specifying the distinguishing features required as part of this approval.

### Privacy Impacts

Proposed second story windows and balconies with views into neighboring residential side or rear yards are required to mitigate potential privacy impacts. During the review process the property owner obtained a privacy waiver from their northern neighbor at 10727 Larry Way and the western neighbor is a non-residential property thus privacy plantings is not required and not proposed along those property lines. As shown on the

plans (Attachment 2), the property owner proposes to install screening trees along the southern property line to comply with the landscape screening requirement.

### Tree Protection

At this time, the property owner has stated that they intend on protecting the existing oak tree located along the northern property line in the rear yard. A condition of approval is included in the draft resolution specifying that the tree is to remain and a request for removal would need to be reviewed and approval beforehand.

### Environmental Review

This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15301 Existing Facilities (Class 1) consisting of new copy on existing on and off-premise signs.

### Public Noticing and Community Outreach

The following table is a brief summary of the noticing for this project:

| Notice of Public Hearing  | Agenda   |
|---|--|
| <ul style="list-style-type: none"> <li>▪ Site Signage (<i>at least 10 days prior to the hearing</i>)</li> <li>▪ Seven (7) public hearing notices mailed to adjacent property owners (<i>at least 10 days prior to the hearing</i>)</li> </ul> | <ul style="list-style-type: none"> <li>▪ Posted on the City's official notice bulletin board (<i>one week prior to the hearing</i>)</li> <li>▪ Posted on the City of Cupertino's website (<i>one week prior to the hearing</i>)</li> </ul> |

Staff received an e-mail comment from a neighbor requesting information about mitigating privacy impacts of the rear-facing balcony. Staff responded with a clarification on the privacy planting requirements and received no further follow-up.

### Permit Streamlining Act

This project is subject to the Permit Streamlining Act (Government Code Section 65920 – 65964). The City has complied with the deadlines found in the Permit Streamlining Act.

*Project Received:* February 8, 2019; *Deemed Incomplete:* March 7, 2019

*Project Received:* April 12, 2019; *Deemed Incomplete:* May 7, 2019

*Project Received:* May 30, 2019; *Deemed Incomplete:* June 4, 2019

*Project Received:* June 11, 2019; *Deemed Complete:* June 13, 2019

Since this project is Categorical Exempt, the City has 60 days (until August 30, 2019) to make a decision on the project.

### Conclusion

Staff recommends approval of the project since the project and conditions of approval address all concerns related to the proposed development and all of the findings for approval of the proposed project, consistent with Chapter 19.28.140 of the Cupertino Municipal Code, may be made.

### Next Steps

Should the project be approved, the Design Review Committee's decision on this proposal is final unless an appeal is filed within 14 calendar days of the date of the mailing of the decision, on August 4, 2019. The applicant may apply for building and other permits at the end of the appeal period to complete installation of the proposed signs.

This approval expires on July 18, 2020, at which time the applicant may apply for a one-year extension.

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Prepared by: Ellen Yau, Associate Planner

Reviewed and Approved by: Benjamin Fu, Director of Community Development

### **ATTACHMENTS:**

1 – Draft Resolution for R-2019-03

2 – Plan Set

CITY OF CUPERTINO  
10300 Torre Avenue  
Cupertino, California 95014

RESOLUTION No. 332

OF THE DESIGN REVIEW COMMITTEE OF THE CITY OF CUPERTINO APPROVING  
A NEW 4,170 S.F. TWO-STORY HOUSE WITH A REAR-FACING BALCONY IN THE  
R1-A ZONING DISTRICT LOCATED AT 10713 LARRY WAY.

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SECTION I: PROJECT DESCRIPTION

Application No.: R-2019-03  
Applicant: Alfred Devaraj and Usha Kanagaraj  
Location: 10713 Larry Way (APN: 316-02-007)

SECTION II: FINDINGS:

WHEREAS, the Design Review Committee of the City of Cupertino received an application for a Residential Design Review Permit as described in Section I. of this Resolution; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Design Review Committee has held at least one public hearing in regard to the application; and

WHEREAS, the project is determined to be categorically exempt from the California Environmental Quality Act (CEQA); and

WHEREAS, the applicant has met the burden of proof required to support said application; and

WHEREAS, the Design Review Committee finds as follows with regard to this application:

1. The project is consistent with the Cupertino General Plan and Title 19 of the Cupertino Municipal Code.

*The project is consistent with the Cupertino General Plan as the development maintains the single family use and is designed to conform with the Single-Family Residence zoning regulations for R1-a districts. There are no applicable specific plans that affect the project.*

2. The granting of this permit will not result in detrimental or injurious conditions to the property or improvements in the vicinity, or to the public health, safety, or welfare.

*The single-family home is an existing two-story home and is proposed to increase in size and height as permitted by the single-family residential development regulations. Therefore, the granting of the permit will not result in a condition that is detrimental or injurious to property improvements in the vicinity, and will not be detrimental to the public health, safety or welfare as the project is designed to conform with the Single-Family Residence zoning regulations for R1-a districts.*

3. The project is generally compatible with the established pattern of building forms, building materials, and designs of homes in the neighborhood.

*The neighborhood intent to maintain a semi-rural aesthetic is met through the wide lots with deep front yard setbacks, and larger side yard setbacks. The home is designed using the Mediterranean style which appears in several single-story homes and maintains the general scale of two-story homes that exist in the neighborhood.*

4. The project is generally compatible with the City's single-family residential design guidelines and the guidelines in this chapter and any inconsistencies have been found to not result in impacts on neighbors.

*The home is identified as Mediterranean style and provides features and details consistent with that style, such as roof tiling and exterior stucco, and muted earth tone colors. The home is consistent with the Two-Story and Residential Design Guidelines by maintaining the current pattern of side setbacks and garage orientation in the neighborhood, including wall offsets to provide relief for the second story portion, utilizing a hipped roof to create articulation between the two floors, and proposing that second-story windows along the side walls have sill heights of at least five feet.*

5. Significant adverse visual and privacy impacts as viewed from adjoining properties have been mitigated to the maximum extent possible.

*In meeting with the R1-a design guidelines, windows along the side elevations are fixed and have sill heights of five feet which mitigate intrusion into adjacent residential properties. In addition, where there may be impacts from those high windows and the rear*

*facing balcony, the property owner is required to and proposes to install privacy trees along the southern property line. The property owner provided a waiver from their northern neighbor that waived the need for plantings along the northern property line, yet will maintain and protect the existing oak tree (Quercus agrifolia) and Victorian Box (Pittosporum undulatum) as mitigation measures.*

NOW, THEREFORE, BE IT RESOLVED:

That after careful consideration of maps, facts, exhibits, testimony and other evidence submitted in this matter, subject to the conditions which are enumerated in this Resolution beginning on Page 3 thereof,

The application for a Residential Design Review, Application no. R-2019-03, is hereby approved and that the subconclusions upon which the findings and conditions specified in this Resolution are based and contained in the Public Meeting record concerning Application no. R-2019-03 as set forth in the Minutes of Design Review Committee Meeting of July 18, 2019, and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPT.

1. APPROVED EXHIBITS

Approval is based on the plan set dated December 12, 2018 entitled, "Devaraj Residence Proposed New Single Family Home," drawn by Professional Engineers Inc., consisting of 21 sheets labeled A0, A1, A2, A3, A4, A5, A6, A7, A7.1, A8, A9, A10, A11, A12, A13, 1, 2, L0, L1.0, L2.0, and L3.0; except as may be amended by conditions in this resolution.

2. ACCURACY OF PROJECT PLANS

The applicant/property owner is responsible to verify all pertinent property data including but not limited to property boundary locations, building setbacks, property size, building square footage, any relevant easements and/or construction records. Any misrepresentation of any property data may invalidate this approval and may require additional review.

3. ANNOTATION OF THE CONDITIONS OF APPROVAL

The conditions of approval set forth shall be incorporated into and annotated on the first page of the building plans.

4. SECOND STORY AREA

The maximum second story area shall be 1,100 sq. ft.

5. PROTECTED TREES

The existing oak tree (*Quercus agrifolia*) and Victorian Box (*Pittosporum undulatum*) in the rear yard along the north property line are protected trees and shall be protected during construction. The property owner shall record a covenant on this property with the Santa Clara County Recorder's Office that requires the retention and maintenance of these required trees. A tree removal permit is required prior to the removal of any protected trees.

6. ARCHITECTURAL REVIEW COMPLIANCE

The project shall remain in substantial conformance with the recommendations outlined in Cannon Design Group's architectural review letter dated March 15, 2019. The following features shall be shown on the construction plans prior to issuance of building permits and verified prior to final occupancy:

- a. Deeply recess the garage doors
- b. Deep set all windows from the outside wall face a minimum of 3 inches
- c. Use true or simulated divided lite panes in all windows
- d. Increase roof overhangs to 18 inches minimum
- e. Maintain rafter tails throughout the exterior

7. COMPLIANCE WITH PUBLIC WORKS CONFIRMATION FORM

The project shall comply with the requirements indicated on the Public Works Confirmation form dated April 25, 2019, including, but not limited to, dedications, easements, off-site improvements, undergrounding of utilities, all necessary agreements, and utility installations/relocations as deemed necessary by the Director of Public Works and required for public health and safety. The Public Works Confirmation is a preliminary review, and is not an exhaustive review of the subject development. Additional requirements may be established and implemented during the construction permitting process. The project construction plans shall address these requirements with the construction permit submittal, and all required improvements shall be completed to the satisfaction of the Director of Public Works prior to final occupancy.

8. PRIVACY PLANTING

The final privacy planting plan shall be reviewed and approved by the Planning Division prior to issuance of building permits. The variety, size, and planting distance shall be consistent with the City's requirements.

9. PRIVACY PROTECTION COVENANT

The property owner shall record a covenant on this property to inform future property owners of the privacy protection measures and tree protection requirements

consistent with the R-1 Ordinance, for all windows with views into neighboring yards and a sill height that is 5 feet or less from the second story finished floor. The precise language will be subject to approval by the Director of Community Development. Proof of recordation must be submitted to the Community Development Department prior to final occupancy of the residence.

10. FRONT YARD TREE

The applicant shall indicate on site and landscape plans the location of a front yard tree to be located within the front yard setback area in order to screen the massing of the second story. The front yard tree shall be a minimum 24-inch box and 6 feet planted height and otherwise be consistent with the City's requirements.

11. FRONT YARD TREE COVENANT

The property owner shall record a covenant on this property with the Santa Clara County Recorder's Office that requires the retention and maintenance of the required front yard tree. The precise language will be subject to approval by the Director of Community Development. Proof of recordation must be submitted to the Community Development Department prior to final occupancy of the residence.

12. LANDSCAPE PROJECT SUBMITTAL

Prior to issuance of building permits, the applicant shall submit a full Landscape Documentation Package, per sections 14.15.050 A, B, C, and D of the Landscape Ordinance, for projects with landscape area 2,500 square feet or more. The Landscape Documentation Package shall be reviewed and approved to the satisfaction of the Director of Community Development prior to issuance of building permits, and additional requirements per sections 14.15.050 E, F, G, H, and I will be required to be reviewed and approved prior to final inspections.

13. CONSULTATION WITH OTHER DEPARTMENTS

The applicant is responsible to consult with other departments and/or agencies with regard to the proposed project for additional conditions and requirements. Any misrepresentation of any submitted data may invalidate an approval by the Community Development Department.

14. EXTERIOR BUILDING MATERIALS/TREATMENTS

The final building exterior plan shall closely resemble the details shown on the original approved plans. Final building exterior treatment plan (including but not limited to details on exterior color, materials, architectural treatments, doors, windows, lighting fixtures, and/or embellishments) shall be reviewed and approved by the Director of Community Development prior to issuance of building permits to ensure quality and consistency. Any exterior changes determined to be substantial

by the Director of Community Development shall either require a modification to this permit or a new permit based on the extent of the change.

#### 15. DUST CONTROL

The following construction practices shall be implemented during all phases of construction for the proposed project to prevent visible dust emissions from leaving the site:

- a. Water all active construction areas at least twice daily and more often during windy periods to prevent visible dust from leaving the site; active areas adjacent to windy periods; active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard;
- c. Pave, apply water at least three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
- d. Sweep streets daily, or more often if necessary (preferably with water sweepers) if visible soil material is carried onto adjacent public streets.
- e. The applicant shall incorporate the City's construction best management practices into the building permit plan set.

#### 16. GRADING AND CONSTRUCTION HOURS AND NOISE LIMITS

- a. All grading activities shall be limited to the dry season (April 15 to October 1), unless permitted otherwise by the Director of Public works.
- b. Construction hours and noise limits shall be compliant with all requirements of Chapter 10.48 of the Cupertino Municipal Code.
- c. Grading, street construction, underground utility and demolition hours for work done more than 750 feet away from residential areas shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Grading, street construction, demolition or underground utility work within 750 feet of residential areas shall not occur on Saturdays, Sundays, holidays, and during the nighttime period as defined in Section 10.48.053(b) of the Municipal Code.
- d. Construction activities shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Construction activities are not allowed on holidays as defined in Chapter 10.48 of the Municipal Code. Night time construction is allowed if compliant with nighttime standards of Section 10.48 of the Cupertino Municipal Code.

- e. Rules and regulations pertaining to all construction activities and limitations identified in this permit, along with the name and telephone number of an applicant appointed disturbance coordinator, shall be posted in a prominent location at the entrance to the job site.
- f. The applicant shall be responsible for educating all contractors and subcontractors of said construction restrictions.
- g. The applicant shall comply with the above grading and construction hours and noise limit requirements unless otherwise indicated.

#### 17. INDEMNIFICATION

Except as otherwise prohibited by law, the applicant shall indemnify and hold harmless the City, its City Council, and its officers, employees and agents (collectively, the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant to attack, set aside, or void this Resolution or any permit or approval authorized hereby for the project, including (without limitation) reimbursing the City its actual attorneys' fees and costs incurred in defense of the litigation. The applicant shall pay such attorneys' fees and costs within 30 days following receipt of invoices from City. Such attorneys' fees and costs shall include amounts paid to counsel not otherwise employed as City staff and shall include City Attorney time and overhead costs and other City staff overhead costs and any costs directly related to the litigation reasonably incurred by City.

#### 18. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d) (1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

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PASSED AND ADOPTED this 18th day of July 2019, Regular Meeting of the Design Review Committee of the City of Cupertino, State of California, by the following vote:

AYES: COMMISSIONERS: Chair Saxena, Fung

NOES: COMMISSIONERS: none

ABSTAIN: COMMISSIONERS: none

ABSENT: COMMISSIONERS: none

ATTEST:

APPROVED:

/s/Ellen Yau

Ellen Yau  
Associate Planner

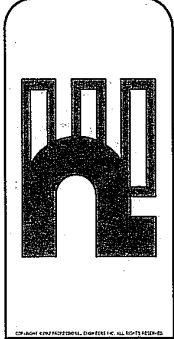
/s/Vikram Saxena

Vikram Saxena,  
Chair, Design Review Committee

DEVARAJ RESIDENCE  
PROPOSED NEW SINGLE FAMILY HOME  
10713 LARRY WAY  
CUPERTINO, CA 95014

| PARCEL MAP                            | PROJECT CONTACTS  | PROJECT DATA   | AREA CALCULATIONS  | DRAWINGS INDEX  |
|---------------------------------------|---|--|--|---|
|                                       | <p>OWNER:<br/>ALFRED DEVARAJ<br/>10713 LARRY WAY<br/>CUPERTINO, CA 95014</p> <p>DESIGNER/ENGINEER:<br/>PROFESSIONAL ENGINEERS INC.<br/>10435 WUNDERLICH DRIVE<br/>CUPERTINO, CA 95014<br/>650-644-7674</p> <p>LANDSCAPE DESIGNER:<br/>LANDSCAPE PROS INC.<br/>1098 S. 6TH STREET<br/>SAN JOSE, CA 95112</p> <p>LAND SURVEYOR/CIVIL ENGINEER:<br/>OSCAR OSUNA, PE, PLS<br/>OSUNA ENGINEERING INC.<br/>117 BERNAL ROAD SUITE 70-336<br/>SAN JOSE, CA, 95119</p> | <p>APN: 316-02-007<br/>OCCUPANCY GROUP: R-3 &amp; U<br/>CONSTRUCTION TYPE: VB-FULLY SPRINKLERED<br/>ZONING: R1-A<br/>LAND USE: LOW DENSITY (1-5)</p> <p>NUMBER OF FLOORS:<br/>EXISTING: 2 (TWO)<br/>PROPOSED: 2 (TWO)<br/>BUILDING HEIGHT:<br/>EXISTING: 24'-0"±<br/>PROPOSED: 27'-0"</p> <p>LOT COVERAGE:<br/>EXISTING: 26.2%<br/>PROPOSED: 30.5%</p> <p>PROPOSED SETBACKS:<br/>1ST FLOOR:<br/>FRONT: 30'<br/>REAR: 40'<br/>SIDES: 10' (20' COMBINED)<br/>2ND FLOOR:<br/>FRONT: 30'<br/>REAR: 40'<br/>SIDES: 19.5'/15.5' (35' COMBINED)</p> <p>EXISTING SETBACKS:<br/>1ST FLOOR:<br/>FRONT: 19'<br/>REAR: 46'<br/>SIDES: 8' (16' COMBINED)<br/>2ND FLOOR:<br/>FRONT: 19'<br/>REAR: 78'<br/>SIDES: 8.5'/48' (56.5' COMBINED)</p> | <p>A) LOT: 9,429± SF<br/>B) NEW 1ST FLOOR: 2,172 SF<br/>C) NEW GARAGE: 500 SF<br/>D) NEW 2ND FLOOR: 1,067 SF<br/>E) DOUBLE HEIGHT: 329 SF<br/>F) NEW PORCH: 103 SF<br/>G) NEW COVERED PATIO: 102 SF<br/>H) NEW COVERED BALCONY: 158 SF<br/>H.a) NEW OVERHANG (18"): 340 SF<br/>I) TOTAL AREA:<br/>B+C+D+E+G= 4,170 SF<br/>F.A.R:<br/>(I/A)X100= (4,170/9,429)X100= 44.2%<br/>LOT COVERAGE:<br/>[(B+C+F+G+H.a)/A]X100= (3,217/9,429)X100= 34.1%<br/>2ND TO 1ST FLOOR RATIO:<br/>[(B+C+G)/D]X100= (1,067/2,774)X100= 38.4%</p> | <p>ARCHITECTURAL</p> <p>A0 COVER SHEET<br/>A1 PROPOSED SITE PLAN<br/>A2 EXISTING SITE PLAN<br/>A3 EXISTING 1ST FLOOR PLAN<br/>A4 EXISTING 2ND FLOOR PLAN<br/>A5 PROPOSED 1ST FLOOR PLAN<br/>A6 PROPOSED 2ND FLOOR PLAN<br/>A7 PROPOSED ROOF PLAN<br/>A7.1 FLOOR AREA CALCULATION DIAGRAM<br/>A8 PROPOSED ELEVATIONS<br/>A9 PROPOSED ELEVATIONS<br/>A10 STREETSCAPE ELEVATION<br/>A11 BUILDING SECTION<br/>A12 BUILDING SECTION<br/>A13 MATERIAL BOARD</p> <p>CIVIL</p> <p>1 BOUNDARY AND TOPOGRAPHIC MAP<br/>2 BOUNDARY AND TOPOGRAPHIC MAP</p> <p>LANDSCAPE</p> <p>L0 LANDSCAPE PLAN<br/>L1.0 LANDSCAPE PLAN<br/>L2.0 LANDSCAPE PLAN<br/>L3.0 LANDSCAPE PLAN</p> |
| DEFERRED SUBMITTAL / SEPARATE PERMITS | APPLICABLE CODES  | SCOPE OF WORK  | FIRE PROTECTION REQUIREMENTS   |   |
|                                       | <p>2016 CALIFORNIA BUILDING CODE<br/>2016 CALIFORNIA RESIDENTIAL CODE<br/>2016 CALIFORNIA MECHANICAL CODE<br/>2016 CALIFORNIA PLUMBING CODE<br/>2016 CALIFORNIA ELECTRICAL CODE<br/>2016 CALIFORNIA ENERGY CODE<br/>2016 CALIFORNIA FIRE CODE<br/>2016 CALIFORNIA GREEN BUILDING STANDARDS CODE<br/>CUPERTINO MUNICIPAL CODE<br/>ALL APPLICABLE COUNTY OF SANTA CLARA CODES &amp; REGULATIONS</p>   | <p>1) FULLY DEMOLISH EXISTING 2-STORY STRUCTURE TO BUILD A NEW 2-STORY HOUSE</p>   | <p>APPROVAL<br/>DRC<br/>Signature</p>  | <p>R-2019-03<br/>Application Number<br/>7-18-19<br/>Date<br/>Case Manager</p>   |

| NO. | REVISION            | DATE     | BY |
|-----|---------------------|----------|----|
| 1   | PLAN CHECK COMMENTS | 04-10-19 | MM |
| 2   | PLAN CHECK COMMENTS | 05-20-19 | MM |
| 3   | PLAN CHECK COMMENTS | 06-05-19 | MM |
| 4   |                     |          |    |
| 5   |                     |          |    |
| 6   |                     |          |    |
| 7   |                     |          |    |
| 8   |                     |          |    |
| 9   |                     |          |    |
| 10  |                     |          |    |



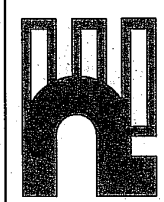
DEVARAJ RESIDENCE  
PROPOSED NEW HOME  
10713 LARRY WAY  
CUPERTINO, CA 95014

PROFESSIONAL ENGINEERS INC.  
10435 WUNDERLICH DRIVE  
CUPERTINO, CA 95014  
TEL: 650-644-7674  
INFO@PROENG.COM  
WWW.PROENG.COM

| DRAWN      | MM         |
|------------|------------|
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

A0

| REVISION          | DATE     | BY |
|-------------------|----------|----|
| PLANCHER COMMENTS | 04-10-19 | MM |
| PLANCHER COMMENTS | 05-20-18 | MM |
| PLANCHER COMMENTS | 08-05-19 | MM |

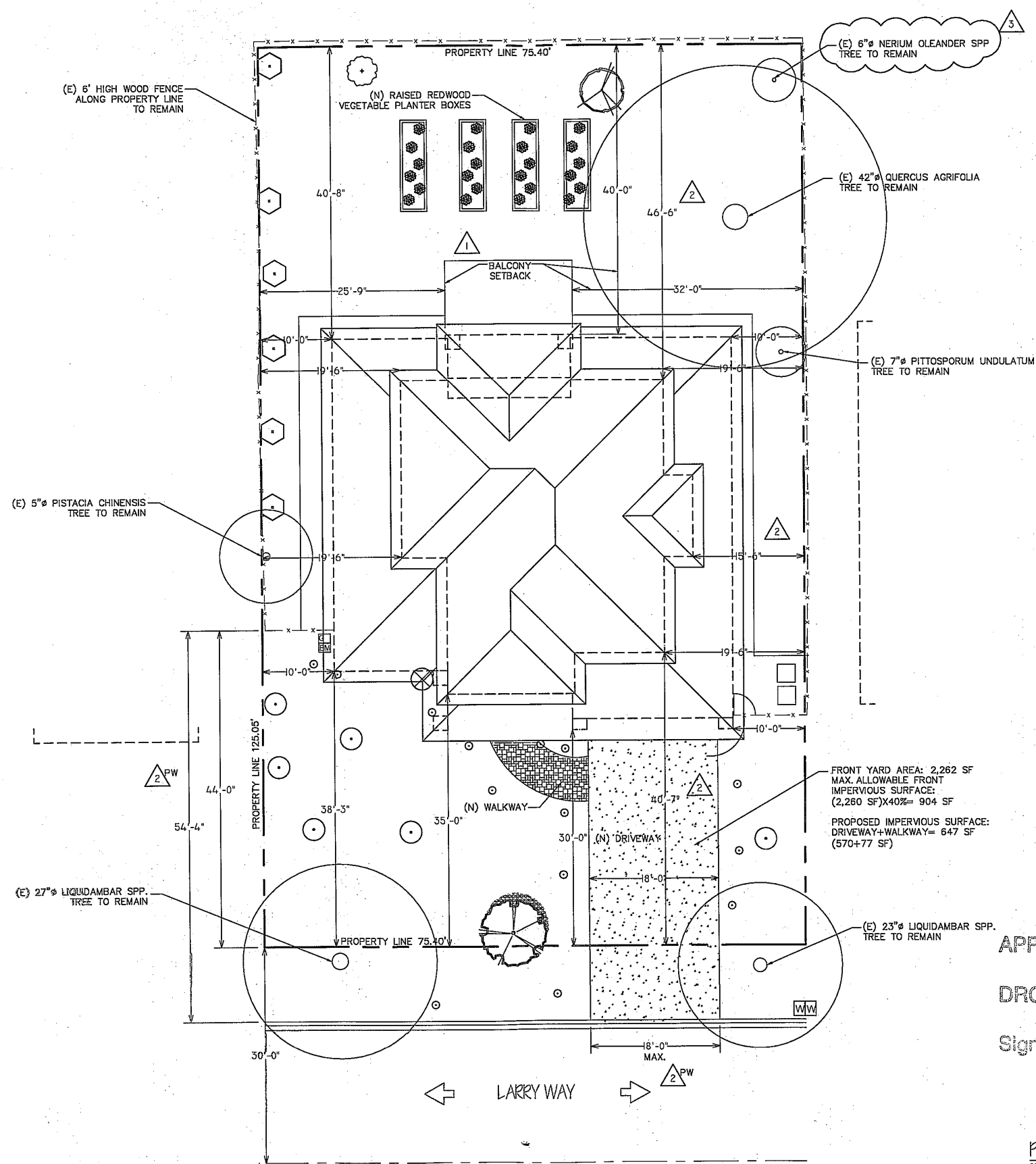


DEVARAJ RESIDENCE  
PROPOSED NEW HOME  
10713 LARRY WAY  
CUPERTINO, CA 95014

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WWW.PROENG.COM

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|------------|------------|
| DRAWN      | MM         |
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

A1



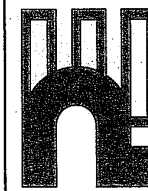
NOTE:  
TREES ARE SHOWN FOR REFERENCE ONLY.  
TREE SPECIES, SIZE, AND LOCATION, ARE BASED  
ON LANDSCAPE PLANS. REFER TO LANDSCAPE  
PLANS FOR DETAILS.

APPROVAL R-2019-03  
Application Number  
7-18-19  
Date  
Signature [Signature]  
Case Manager

PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"



| REVISION          | DATE     | BY |
|-------------------|----------|----|
| PLANCHER COMMENTS | 04-10-19 | MM |
| PLANCHER COMMENTS | 05-20-19 | MM |
| PLANCHER COMMENTS | 06-06-19 | MM |
|                   |          |    |
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|                   |          |    |
|                   |          |    |
|                   |          |    |
|                   |          |    |
|                   |          |    |

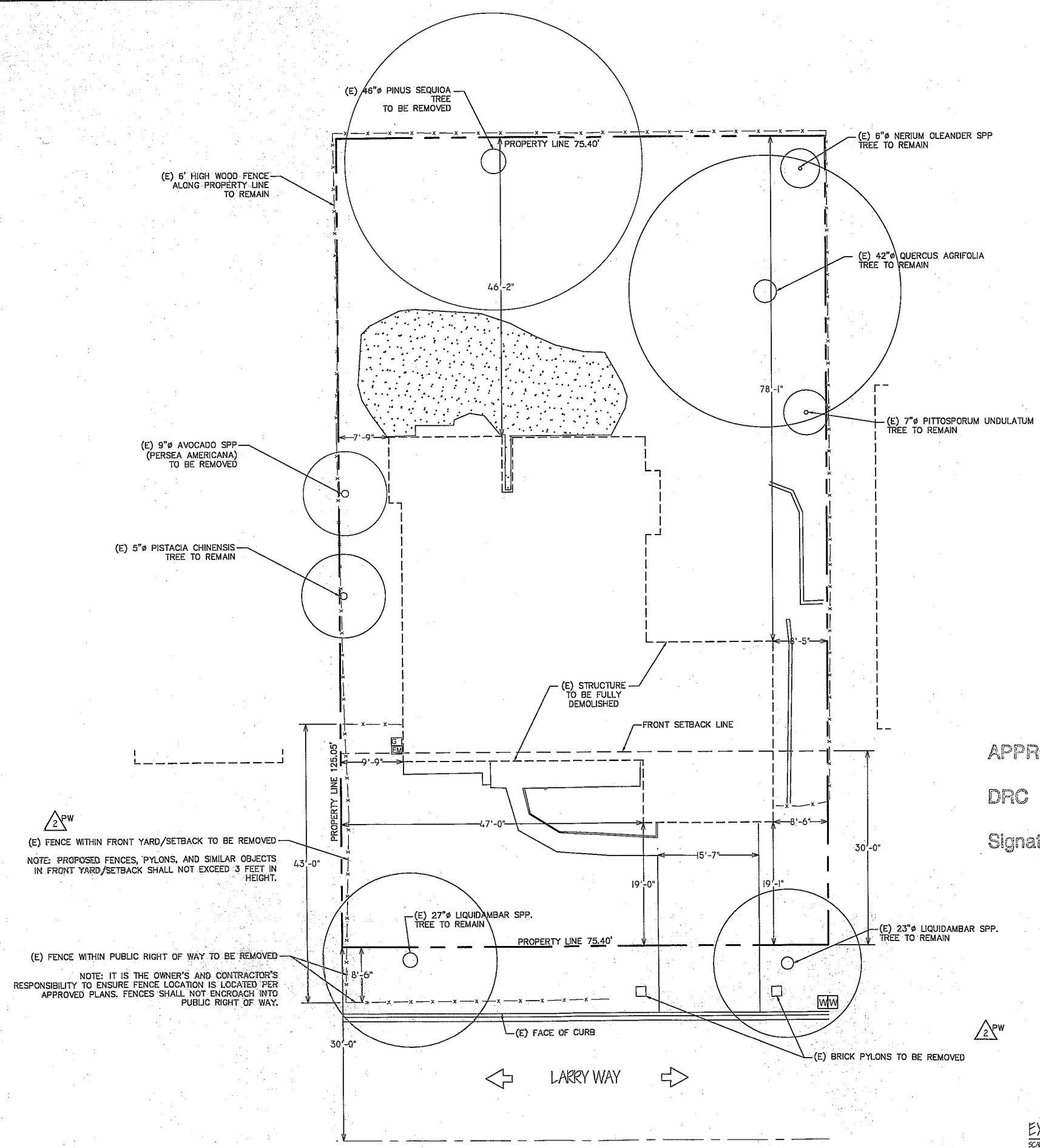


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|            |            |
|------------|------------|
| DRAWN      | MM         |
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

A2

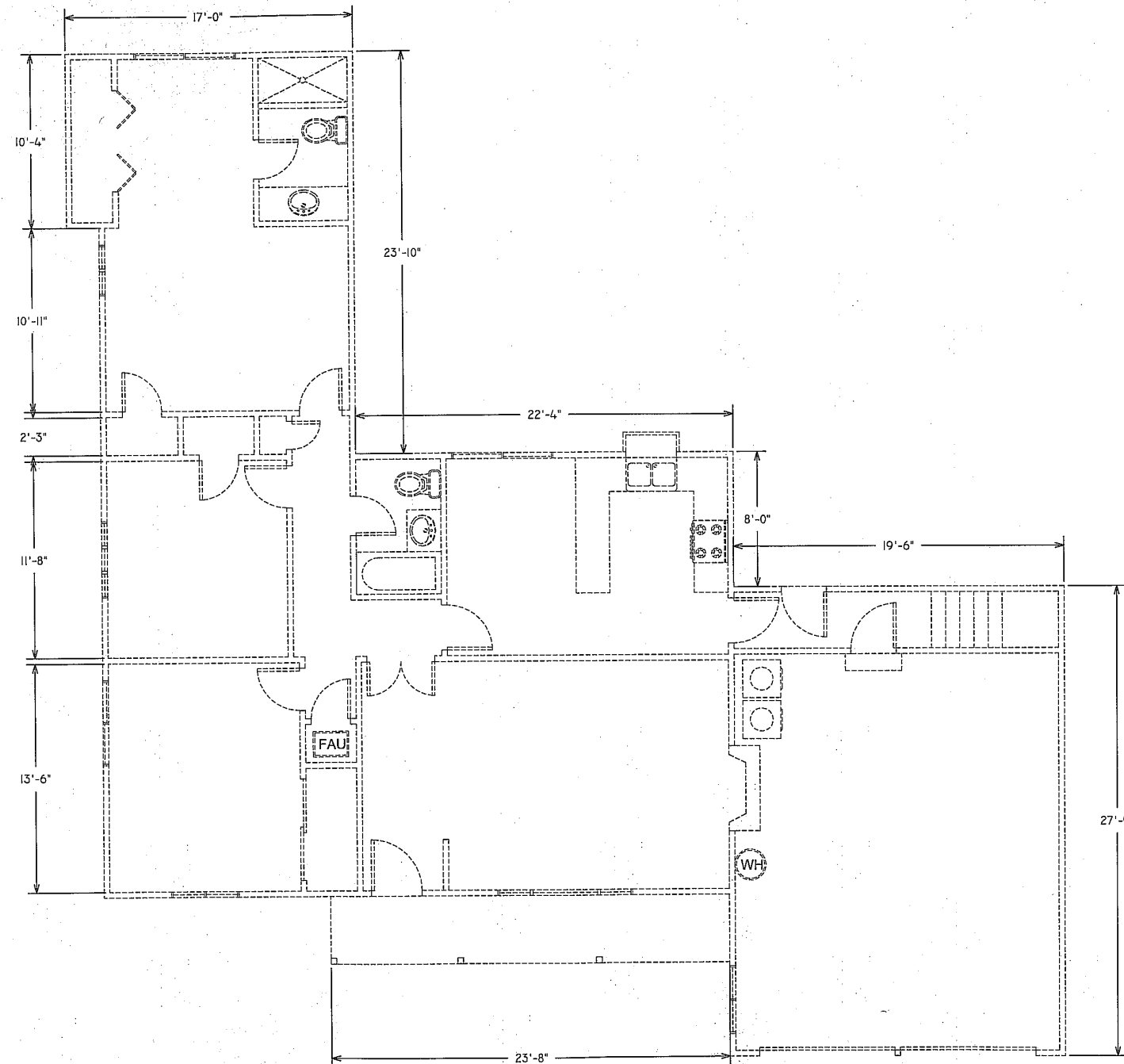


NOTE:  
TREES ARE SHOWN FOR REFERENCE ONLY.  
TREE SPECIES, SIZE, AND LOCATION, ARE BASED  
ON LANDSCAPE PLANS. REFER TO LANDSCAPE  
PLANS FOR DETAILS.

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager

EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"





NOTE:  
(E) STRUCTURE TO BE FULLY DEMOLISHED.

| WALL SCHEDULE |  |
|---------------|--|
| LEGEND        | DESCRIPTION  |
|               | EXISTING WALL TO REMAIN<br>(2X4 STUDS @ 16" O.C.)        |
|               | EXISTING WALL TO BE DEMOLISHED<br>(2X4 STUDS @ 16" O.C.) |

EXISTING 1ST FLOOR / DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager



| NO. | PLAN/CHECK COMMENTS | DATE     | BY |
|-----|---------------------|----------|----|
| 1   | PLAN/CHECK COMMENTS | 05-20-19 | MM |
| 2   | PLAN/CHECK COMMENTS | 05-20-19 | MM |
| 3   | PLAN/CHECK COMMENTS | 05-20-19 | MM |
| 4   | PLAN/CHECK COMMENTS | 05-20-19 | MM |
| 5   | PLAN/CHECK COMMENTS | 05-20-19 | MM |





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PROPOSED NEW HOME  
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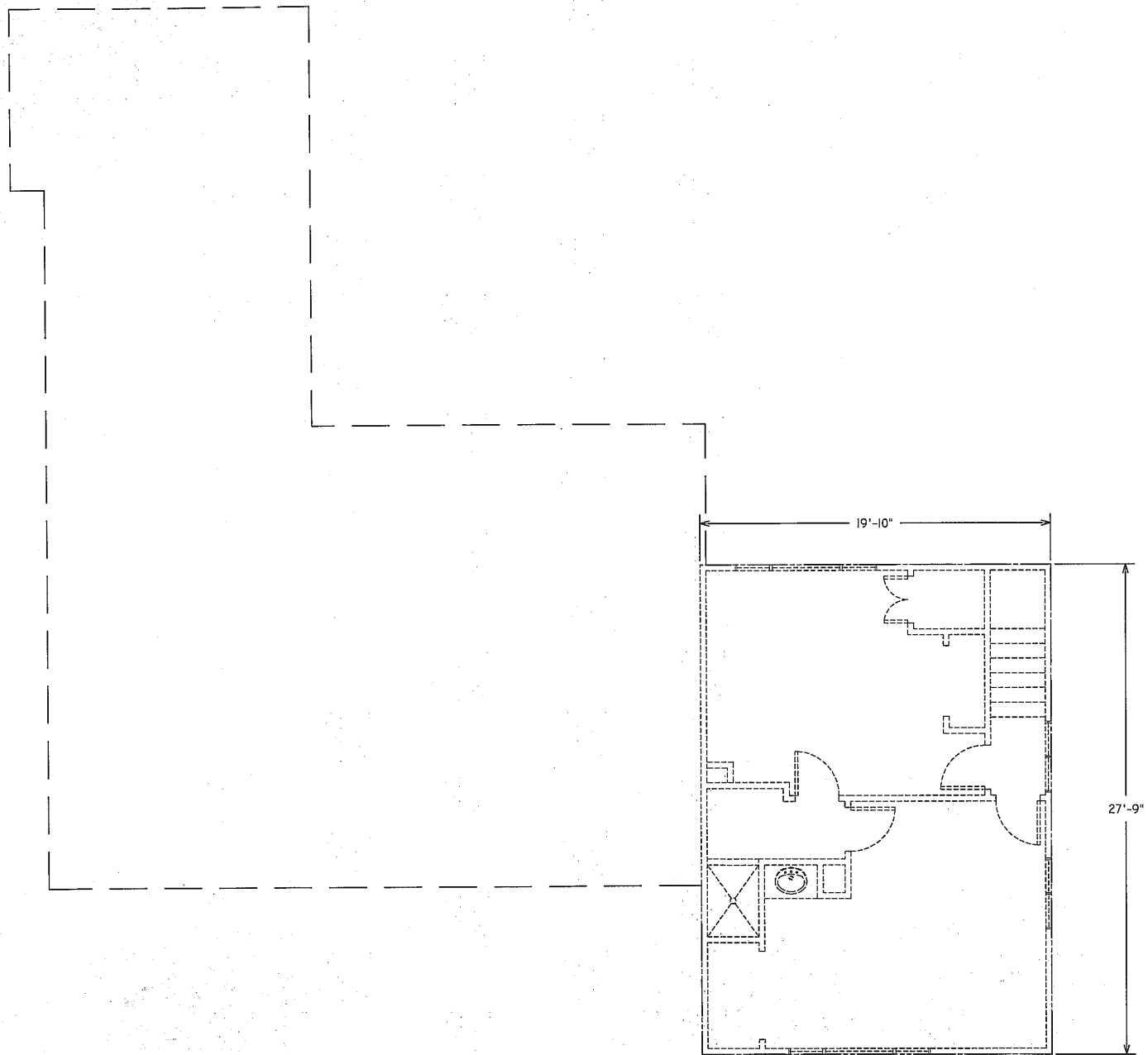
PROFESSIONAL ENGINEERS INC.  
10435 WUNDERLICH DRIVE  
CUPERTINO, CA 95014  
TEL: 650-644-7674  
INFO@PROENG.COM  
WWW.PROENG.COM

| DRAWN      | CHK        |
|------------|------------|
| CHECKED    | MK         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |


A3

NOTE:  
(E) STRUCTURE TO BE FULLY DEMOLISHED.

| WALL SCHEDULE   |  |
|---|--|
| LEGEND  | DESCRIPTION  |
|  | EXISTING WALL TO REMAIN<br>(2X4 STUDS @ 16" O.C.)        |
|  | EXISTING WALL TO BE DEMOLISHED<br>(2X4 STUDS @ 16" O.C.) |

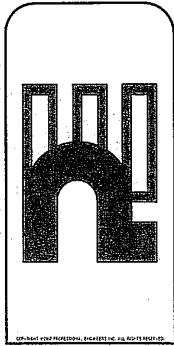


EXISTING 2ND FLOOR/ DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

APPROVAL R-2019-03  
Application Number  
7-18-19  
Date  
Signature   
Case Manager



| NO. | REVISION          | DATE     | BY |
|-----|-------------------|----------|----|
| 1   | PLANCHER COMMENTS | 04-10-19 | MM |
| 2   | PLANCHER COMMENTS | 05-20-19 | MM |
| 3   | PLANCHER COMMENTS | 06-05-19 | MM |
| 4   |                   |          |    |
| 5   |                   |          |    |
| 6   |                   |          |    |
| 7   |                   |          |    |
| 8   |                   |          |    |
| 9   |                   |          |    |
| 10  |                   |          |    |

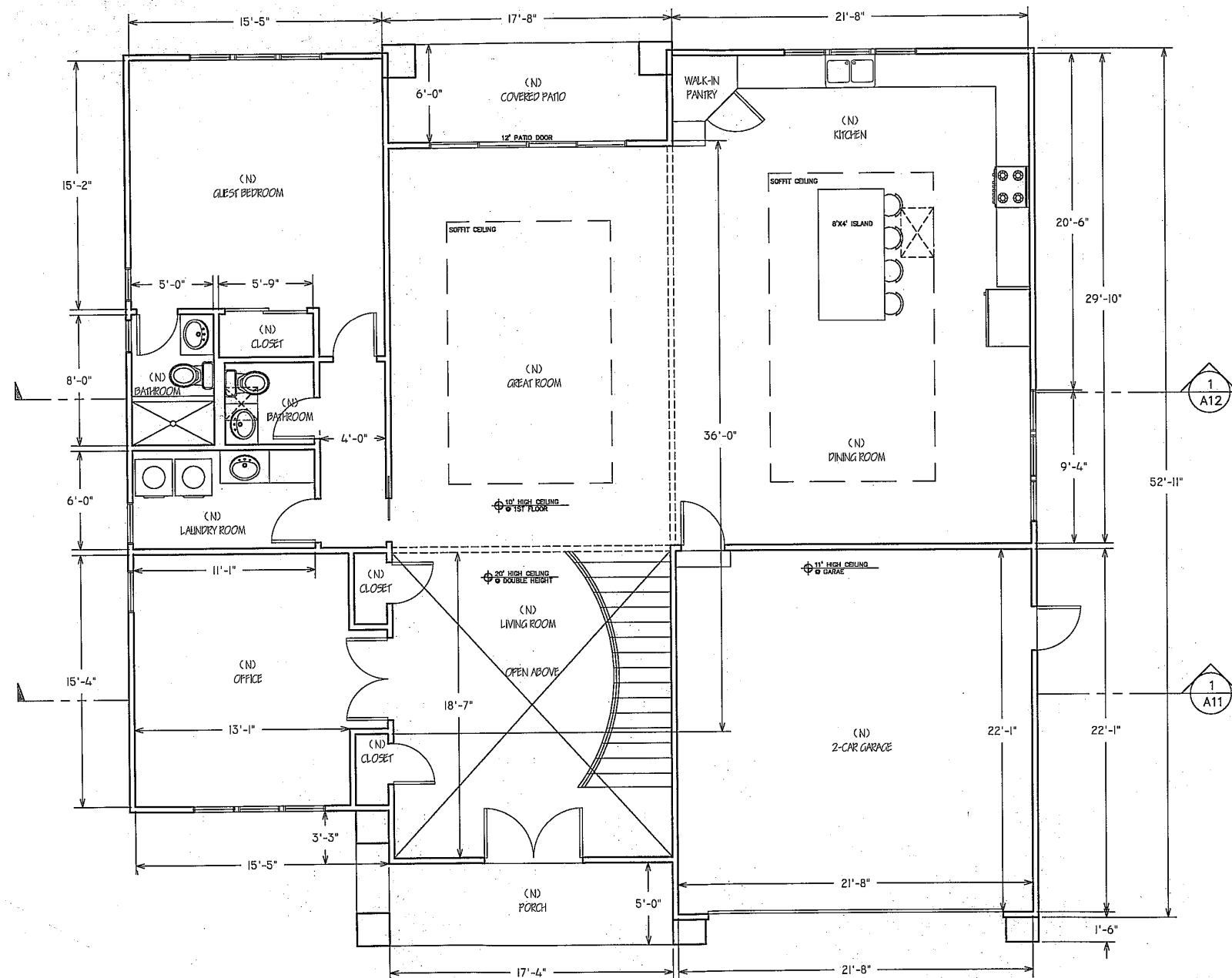


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| DRAWN      | MM         |
|------------|------------|
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

A4

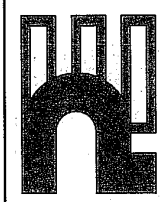


PROPOSED 1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager

| WALL SCHEDULE |   |
|---------------|---|
| LEGEND        | DESCRIPTION                                       |
|               | NEW WALL TO BE CONSTRUCTED (2X4 STUDS @ 16" O.C.) |

| NO. | REVISION          | DATE     | BY |
|-----|-------------------|----------|----|
| 1   | PLANCHER COMMENTS | 04-10-19 | MM |
| 2   | PLANCHER COMMENTS | 05-20-19 | MM |
| 3   | PLANCHER COMMENTS | 05-08-19 | MM |
| 4   |                   |          |    |
| 5   |                   |          |    |




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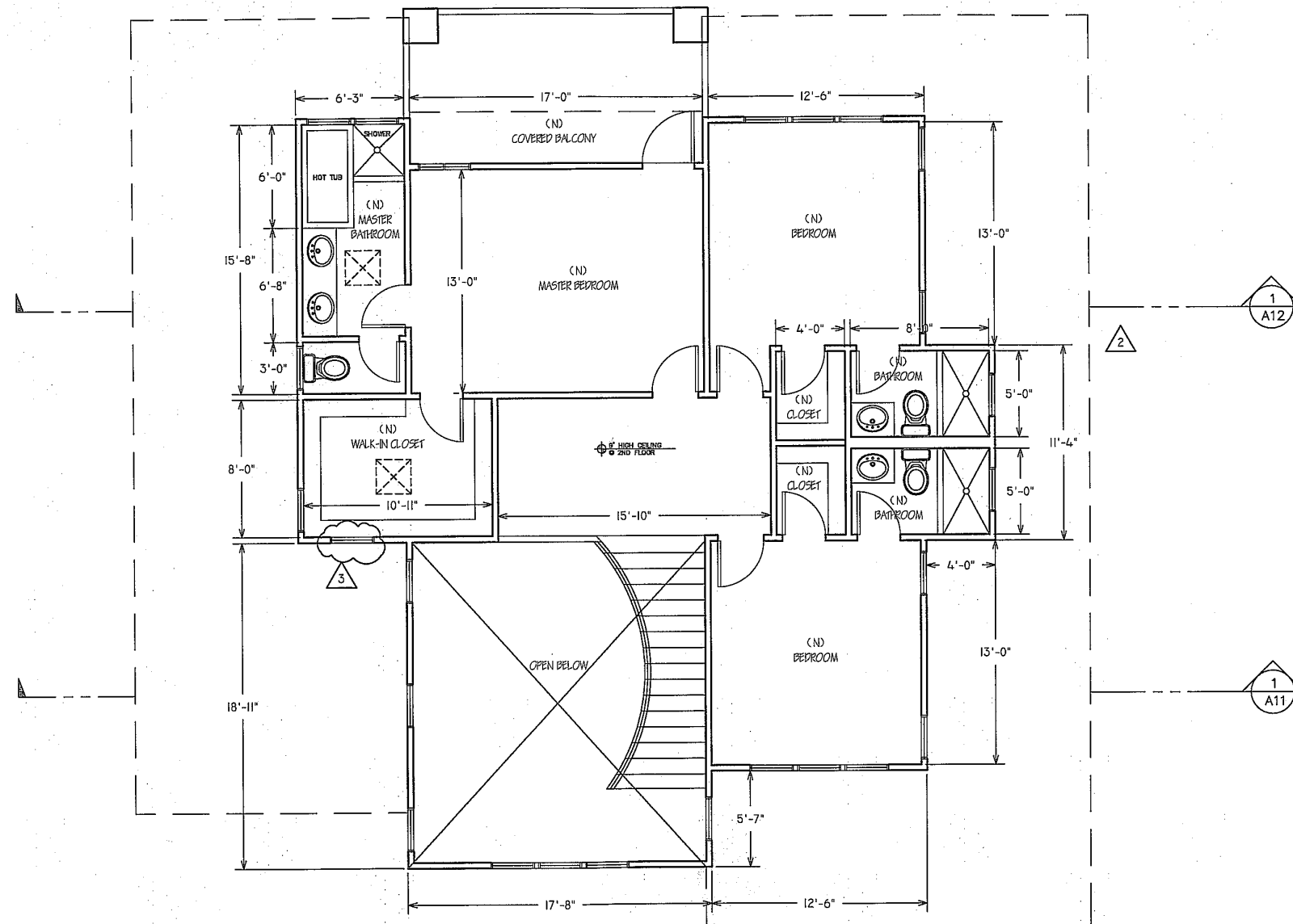
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TEL: 650-644-7674  
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|            |            |
|------------|------------|
| DRAWN      | MM         |
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |



A5

| WALL SCHEDULE   |  |
|---|--|
| LEGEND  | DESCRIPTION  |
|  | NEW WALL TO BE CONSTRUCTED<br>(2X4 STUDS @ 16" O.C.) |

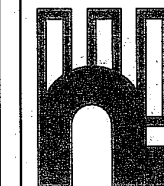


PROPOSED 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager



| NO. | REVISION          | DATE     | BY |
|-----|-------------------|----------|----|
| 1   | PLANCHER COMMENTS | 04-10-18 | MM |
| 2   | PLANCHER COMMENTS | 05-20-18 | MM |
| 3   | PLANCHER COMMENTS | 06-06-18 | MM |

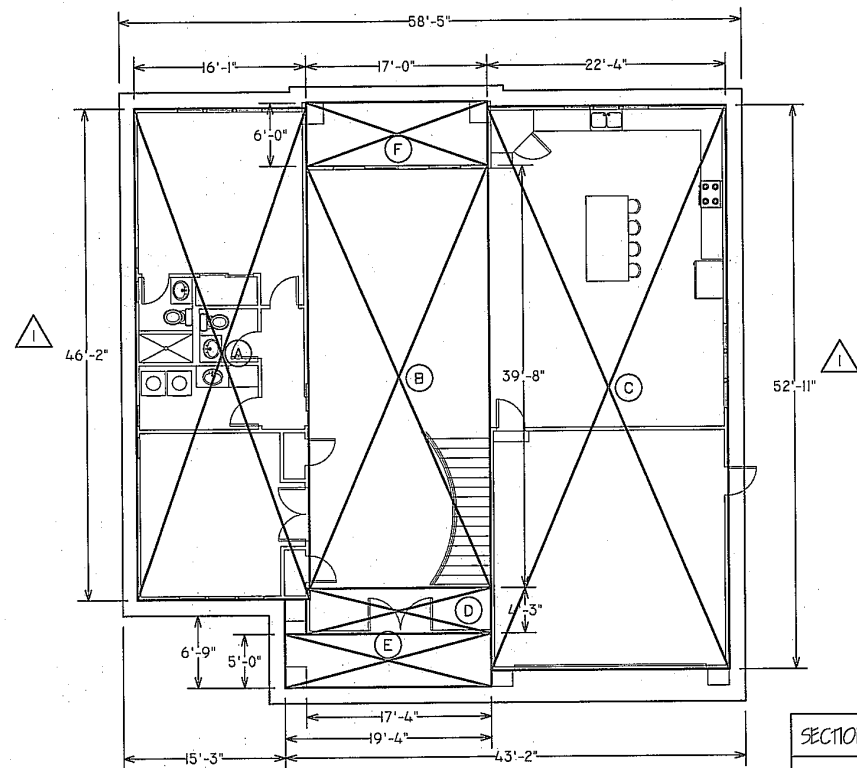


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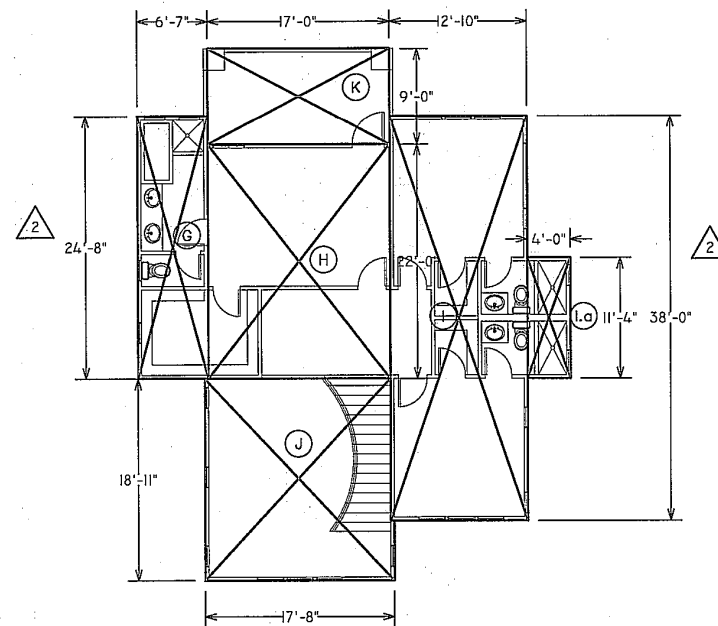
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|------------|------------|
| DRAWN      | MM         |
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

A6



1ST FLOOR  
SCALE: 1/8" = 1'-0"

| SECTION      | DIMENSION   | AREA     |
|--------------|---|----------|
| A            | 46'-2" X 16'-1"   | 743 SF   |
| B            | 39'-8" X 17'-0"   | 674 SF   |
| C            | 52'-11" X 22'-4"  | 1,182 SF |
| D            | 17'-4" X 4'-3"  | 73 SF    |
| E            | 19'-4" X 5'-0"  | 103 SF   |
| F            | 17'-0" X 6'-0"  | 102 SF   |
| OVERHANG     | (52'-11" + 58'-5" + 46'-2" + 15'-3" + 6'-9" + 43'-2") X 1'-6" | 340 SF   |
| LOT COVERAGE |   | 3,217 SF |
| G            | 24'-8" X 6'-7"  | 161 SF   |
| H            | 22'-0" X 17'-0"   | 374 SF   |
| I            | 38'-0" X 12'-10"  | 487 SF   |
| J            | 11'-4" X 4'-0"  | 45 SF    |
| J            | 18'-11" X 17'-8"  | 329 SF   |
| F.A.R.       |   | 4,170 SF |
| K            | 17'-0" X 9'-4"  | 158 SF   |



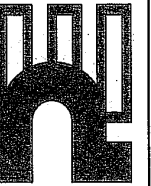
2ND FLOOR  
SCALE: 1/8" = 1'-0"

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager

FLOOR AREA CALCULATION DIAGRAM  
SCALE: 1/8" = 1'-0"



| REVISION          | DATE     | BY |
|-------------------|----------|----|
| PLANCHER COMMENTS | 04-10-19 | MM |
| PLANCHER COMMENTS | 05-20-19 | MM |
| PLANCHER COMMENTS | 09-05-19 | MM |

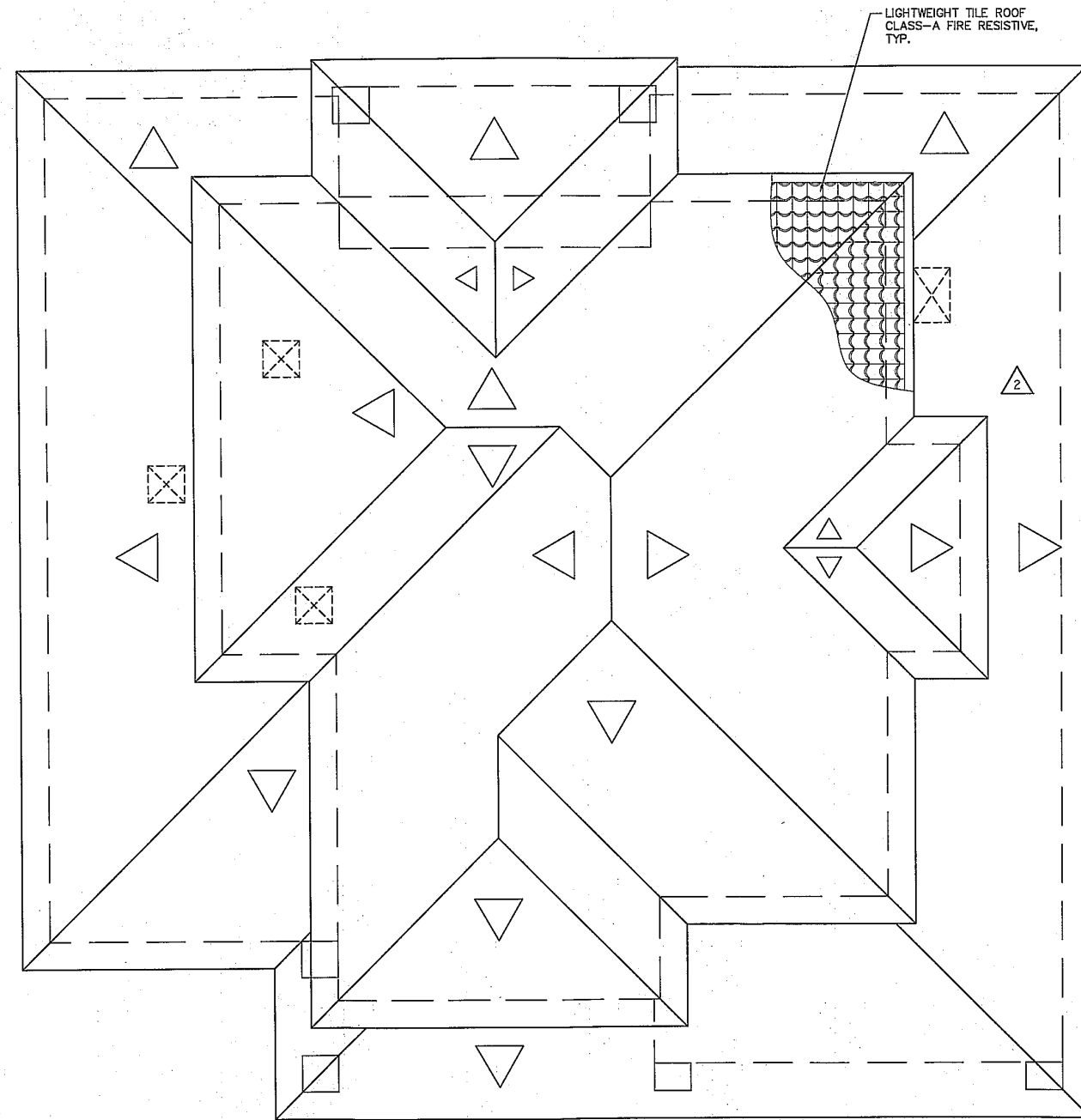


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| DRAWN      | CHK        |
|------------|------------|
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

A7.1

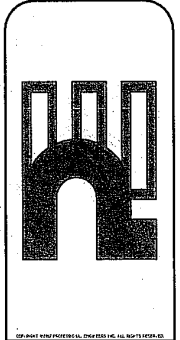


PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

APPROVAL 12-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager



| NO. | REVISION          | DATE     | BY |
|-----|-------------------|----------|----|
| 1   | PLANCHER COMMENTS | 04-10-18 | MM |
| 2   | PLANCHER COMMENTS | 05-20-18 | MM |
| 3   | PLANCHER COMMENTS | 09-05-18 | MM |
| 4   |                   |          |    |
| 5   |                   |          |    |

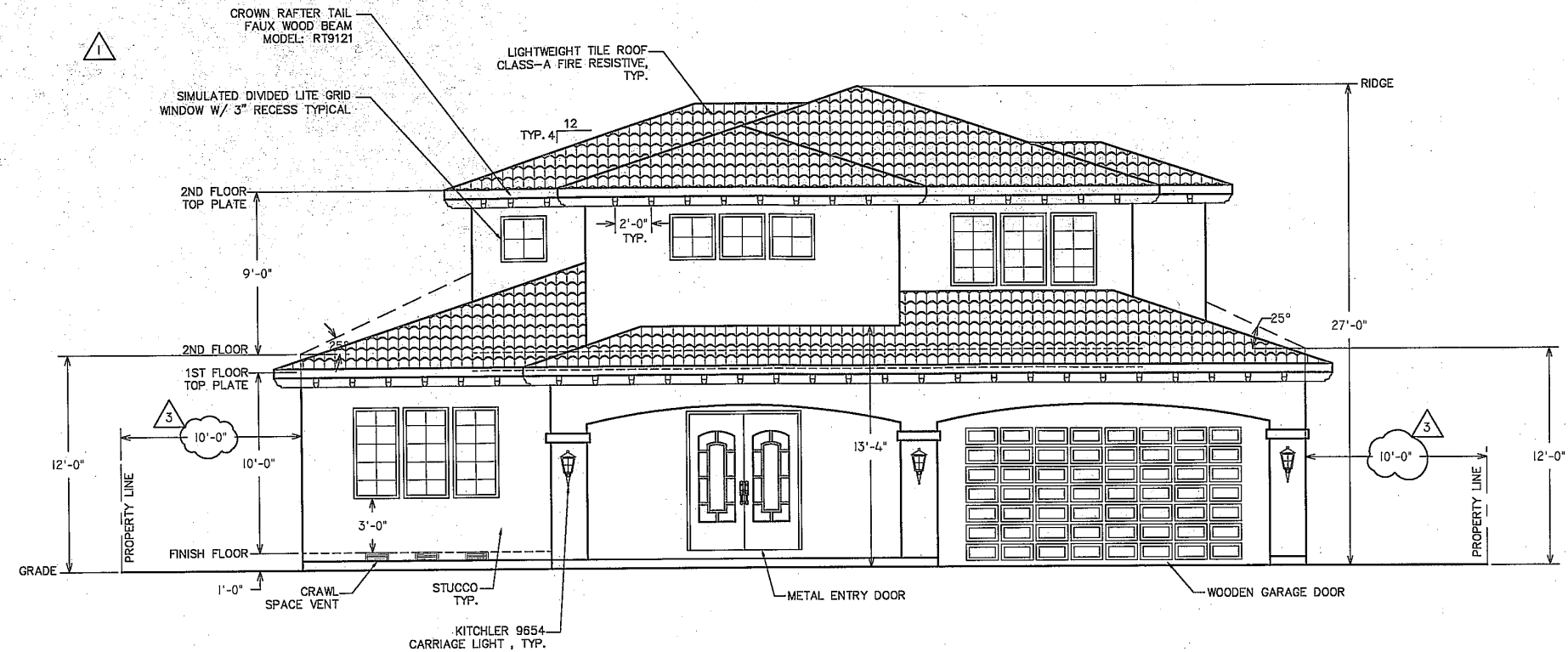


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|            |            |
|------------|------------|
| DRAWN      | MM         |
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

A7



PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"

APPROVAL

R-2019-03  
Application Number

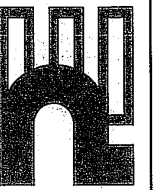
DRC

7-18-19  
Date

Signature

*[Signature]*  
Case Manager

| BY | DATE     | REVISION | PLANCHER COMMENTS |
|----|----------|----------|-------------------|
| MM | 04-10-19 |          |                   |
| MM | 05-20-19 |          |                   |
| MM | 05-08-19 |          |                   |

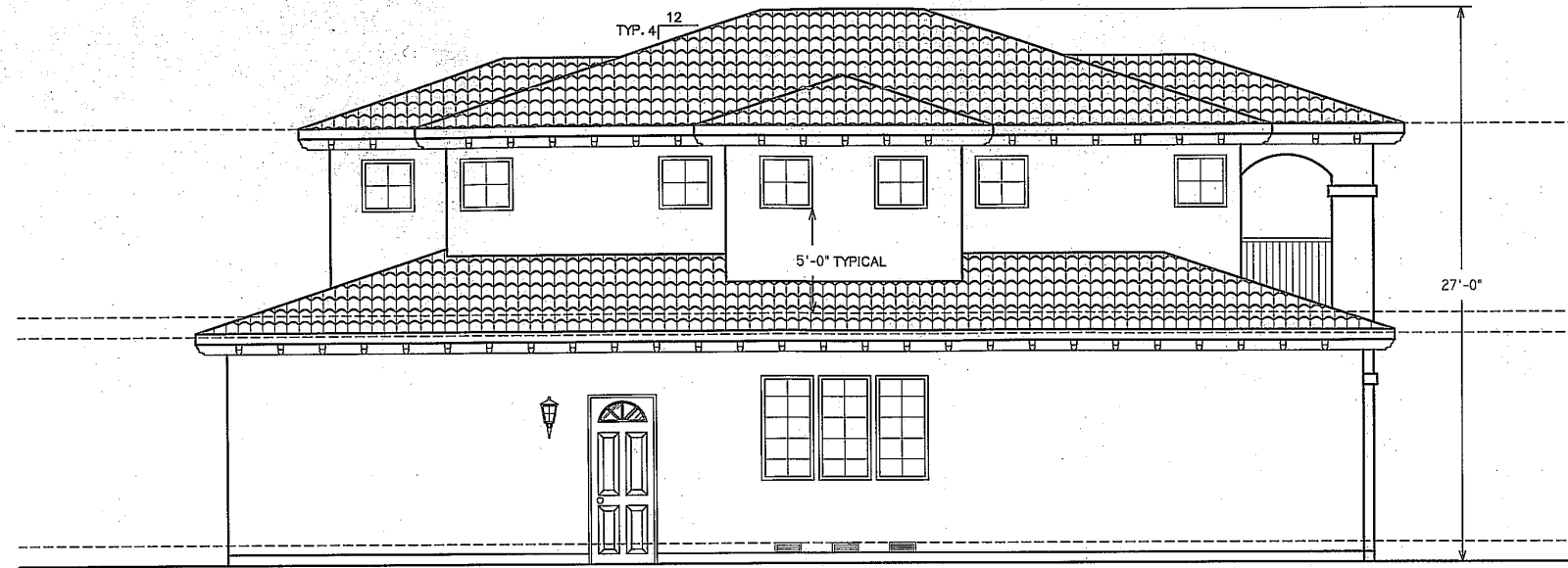


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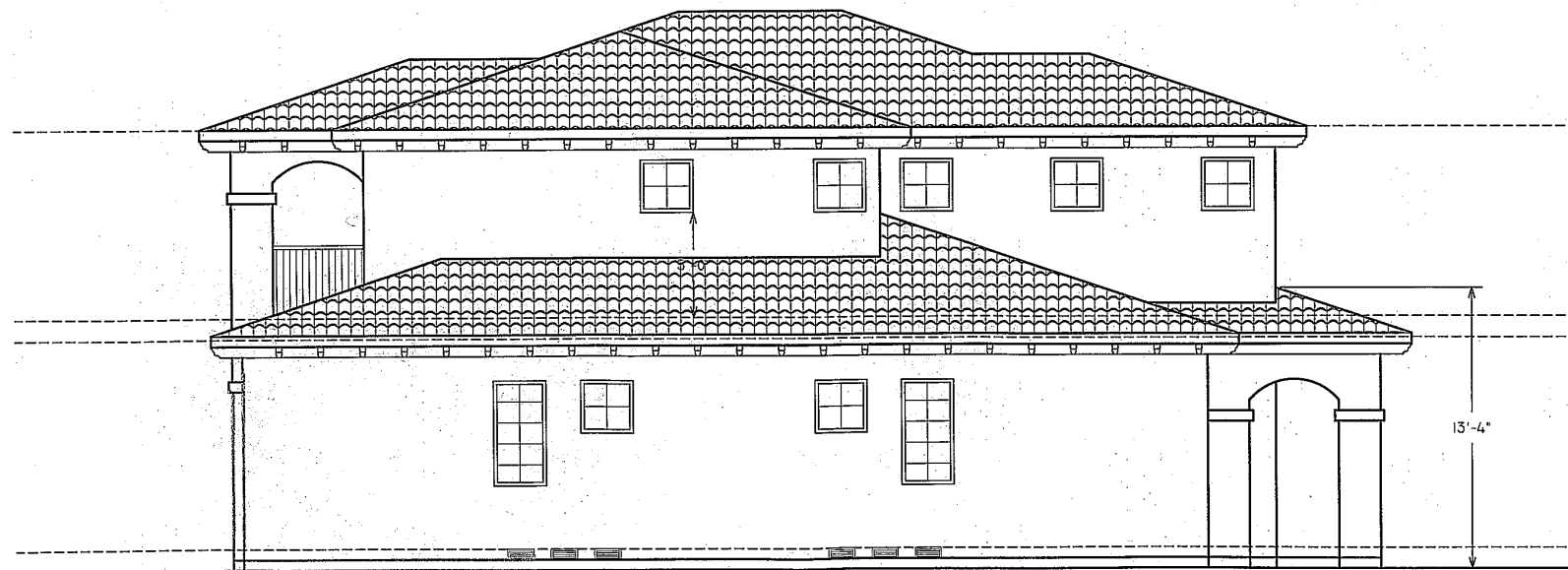
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10435 WUNDERLICH DRIVE  
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TEL: 650-644-7674  
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WWW.PROENG.COM

| DRAWN      | MM         |
|------------|------------|
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

A8



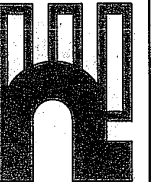
PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager

| REVISION             | DATE     | BY |
|----------------------|----------|----|
| PLANS CHECK COMMENTS | 04-10-18 | MM |
| PLANS CHECK COMMENTS | 05-20-18 | MM |
| PLANS CHECK COMMENTS | 05-05-18 | MM |



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|            |            |
|------------|------------|
| DRAWN      | MM         |
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

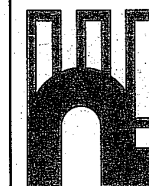
A9



PROPOSED STREETSCAPE ELEVATION  
SCALE: 1/8" = 1'-0"

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager

| NO. | REVISION             | DATE     | BY |
|-----|----------------------|----------|----|
| 1   | PLANS CHECK COMMENTS | 04-10-19 | MM |
| 2   | PLANS CHECK COMMENTS | 05-20-19 | MM |
| 3   | PLANS CHECK COMMENTS | 05-05-19 | MM |
| 4   |                      |          |    |
| 5   |                      |          |    |
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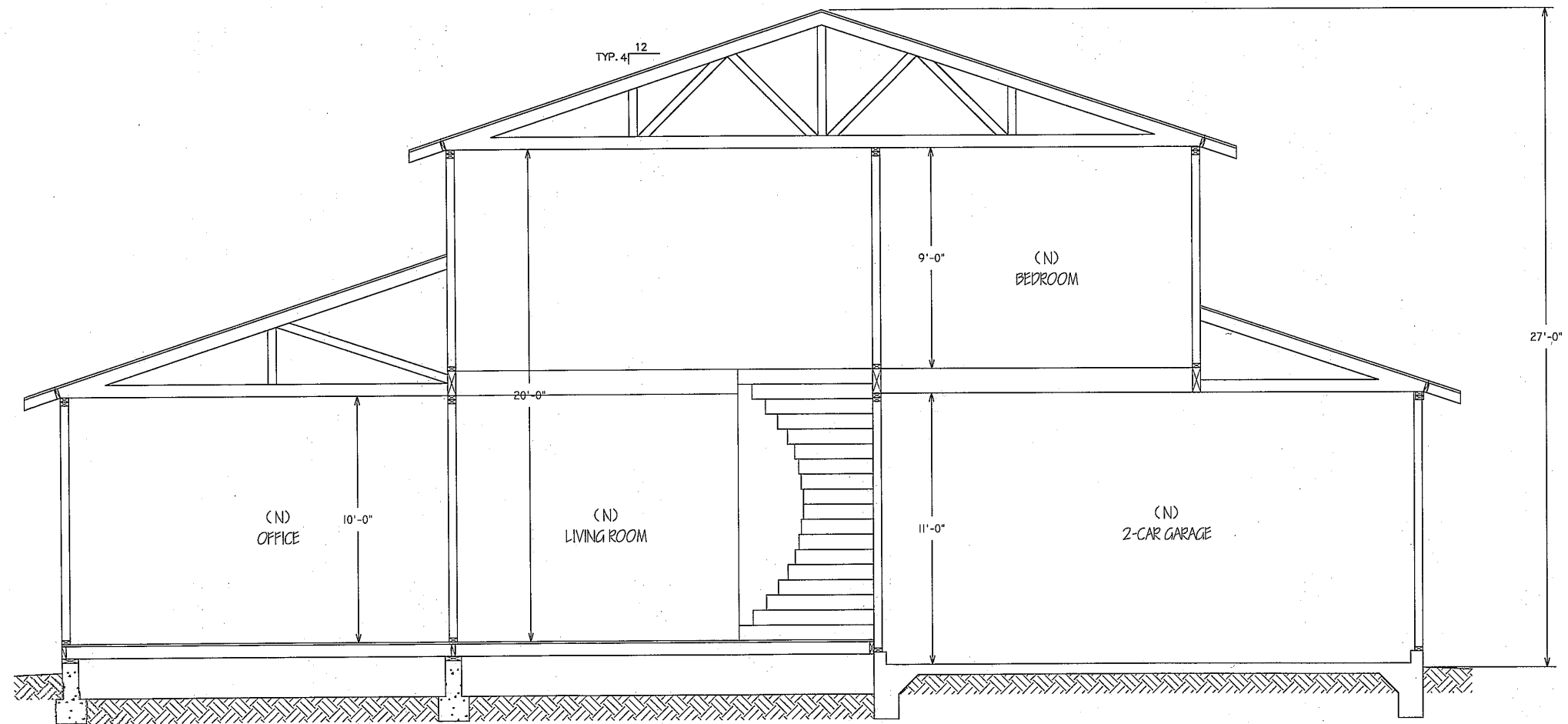


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|            |            |
|------------|------------|
| DRAWN      | MM         |
| CHECKED    | MK         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

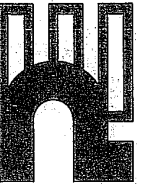
A10



BUILDING SECTION-1  
SCALE: 3/8" = 1'-0"

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager

| NO. | REVISION             | DATE     | BY |
|-----|----------------------|----------|----|
| 1   | PLANS CHECK COMMENTS | 04-10-19 | MM |
| 2   | PLANS CHECK COMMENTS | 05-20-19 | MM |
| 3   | PLANS CHECK COMMENTS | 05-05-19 | MM |

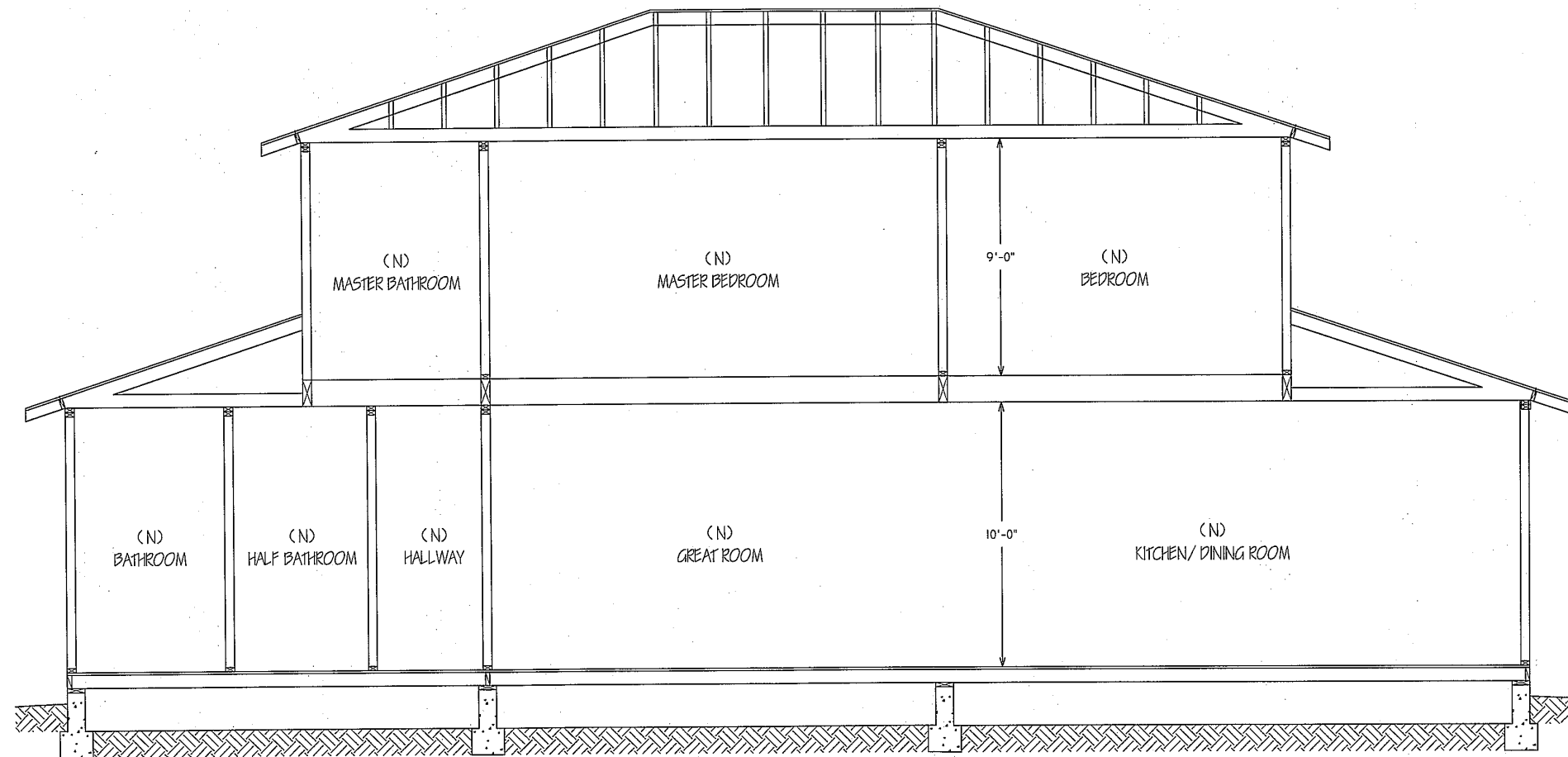


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|            |            |
|------------|------------|
| DRAWN      | MM         |
| CHECKED    | MK         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

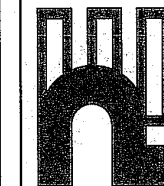
A11



BUILDING SECTION-2  
SCALE: 3/8" = 1'-0"

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature *Edgar Y...*  
Case Manager

| NO. | REVISION | DATE     | BY |
|-----|----------|----------|----|
| 1   | PLANS    | 04-10-18 | MM |
| 2   | PLANS    | 05-20-18 | MM |
| 3   | PLANS    | 05-08-18 | MM |
| 4   | PLANS    |          |    |
| 5   | PLANS    |          |    |
| 6   | PLANS    |          |    |
| 7   | PLANS    |          |    |
| 8   | PLANS    |          |    |
| 9   | PLANS    |          |    |
| 10  | PLANS    |          |    |



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| DRAWN      | MM         |
|------------|------------|
| CHECKED    | MM         |
| SCALE      | AS NOTED   |
| JOB NO.    | 2418       |
| ISSUED FOR | PLANNING   |
| DATE       | 12/12/2018 |
| SHEET      |            |

A12



PROPOSED EXTERIOR MATERIALS & COLORS



1. ROOFING  
BORAL S TILE  
COLOR: RUSTIC CAMEL



2. STUCCO FINISH  
COLOR:  
KELLY MOORE  
ADOBE



3. STUCCO TRIM  
COLOR:  
KELLY MOORE  
OXFORD BROOK



4. RAFTER TAIL  
COLOR:  
KELLY MOORE  
OXFORD BROOK



5. GARAGE DOOR  
COLOR:  
LIGHT BROWN



6. WINDOWS:  
MILANO TUSCANY SERIES  
COLOR:  
DARK BRONZE

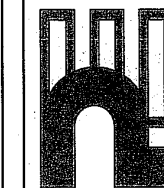


7. RAILING:  
CAST IRON  
COLOR:  
BLACK



8. WINDOW TRIM  
COLUMN/ARCH CAP/BASE TRIM:  
STUCCO TRIM  
COLOR: KELLY MOORE  
OXFORD BROOK

APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager



DEVARAJ RESIDENCE  
PROPOSED NEW HOME  
10713 LARRY WAY  
CUPERTINO, CA 95014

PROFESSIONAL ENGINEERS INC.  
10435 WUNDERLICH DRIVE  
CUPERTINO, CA 95014  
TEL: 650-644-7674  
INFO@PROENG.COM  
WWW.PROENG.COM

DRAWN MM  
CHECKED MM  
SCALE AS NOTED  
JOB NO. 2418  
ISSUED FOR  
DATE  
SHEET

A13

**BASIS OF BEARINGS**

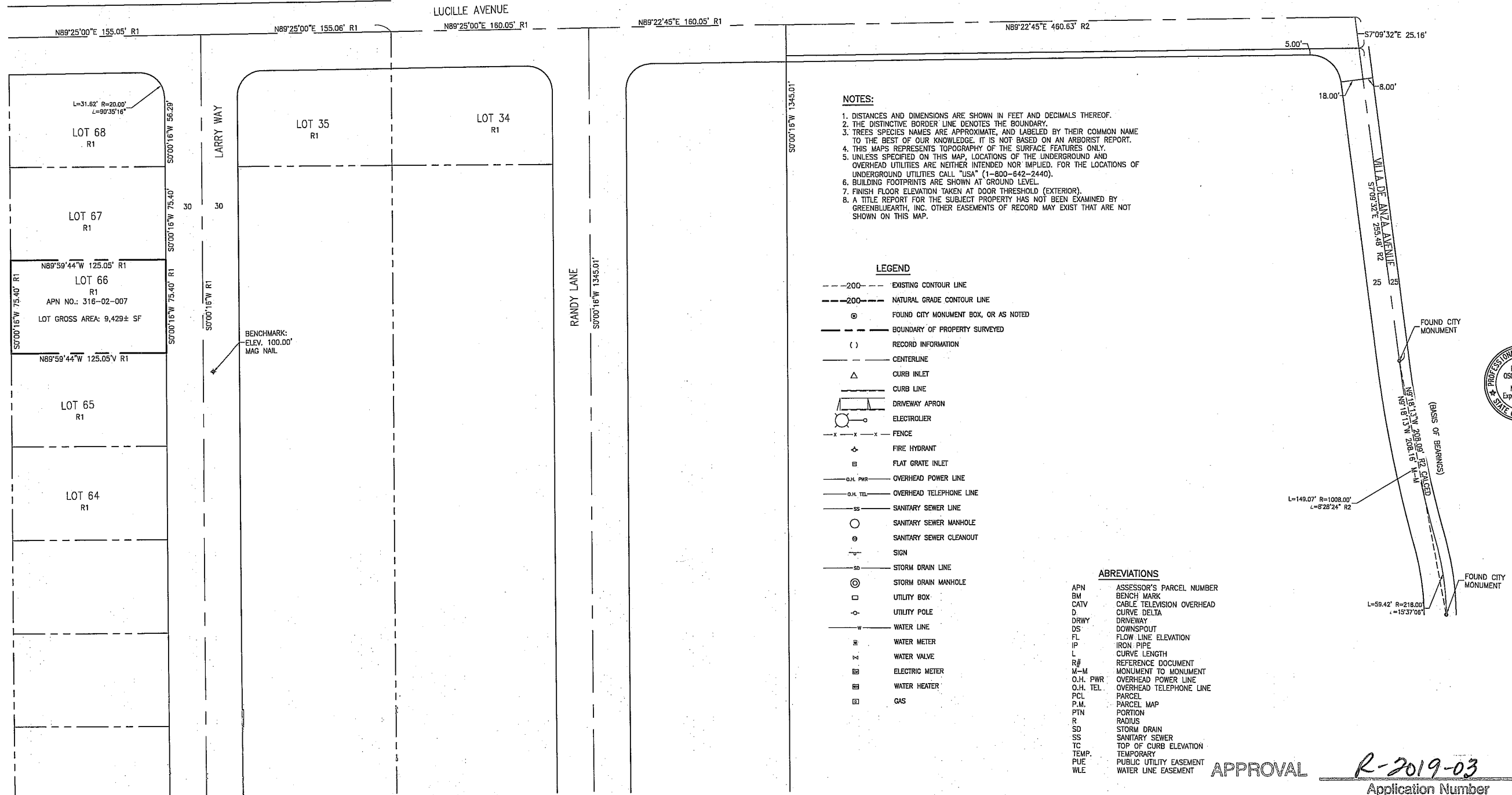
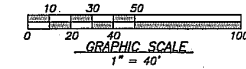
THE BEARING NORTH 68°55'50" WEST OF THE MONUMENT LINE OF VILLA DE ANZA AVENUE AS CALCULATED ON THAT MAP OF TRACT NO. 4510 FILED FOR RECORD IN BOOK 239 OF MAPS PAGES 36, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

**BENCH MARK**

DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE EASTERLY CORNER OF LOT AS SHOWN. ELEV.: 100.00'

**REFERENCES:**

R1 TRACT NO. 895 34-M-34  
R2 TRACT NO. 4510 239-M-36



**NOTES:**

1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
3. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
4. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY.
5. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-842-2440).
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GREENBLUE EARTH, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

**LEGEND**

- 200--- EXISTING CONTOUR LINE
- 200--- NATURAL GRADE CONTOUR LINE
- ⊙ FOUND CITY MONUMENT BOX, OR AS NOTED
- BOUNDARY OF PROPERTY SURVEYED
- ( ) RECORD INFORMATION
- CENTERLINE
- △ CURB INLET
- CURB LINE
- DRIVEWAY APRON
- ELECTROLUER
- FENCE
- ⊕ FIRE HYDRANT
- ⊖ FLAT GRATE INLET
- O.H. PWR --- OVERHEAD POWER LINE
- O.H. TEL --- OVERHEAD TELEPHONE LINE
- SS --- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- SIGN
- SD --- STORM DRAIN LINE
- ⊙ STORM DRAIN MANHOLE
- UTILITY BOX
- UTILITY POLE
- WATER LINE
- WATER METER
- WATER VALVE
- ELECTRIC METER
- WATER HEATER
- GAS

**ABBREVIATIONS**

- APN ASSESSOR'S PARCEL NUMBER
- BM BENCHMARK
- CATV CABLE TELEVISION OVERHEAD
- D CURVE DELTA
- DRWY DRIVEWAY
- DS DOWNSPOUT
- FL FLOW LINE ELEVATION
- IP IRON PIPE
- L CURVE LENGTH
- R# REFERENCE DOCUMENT
- M-M MONUMENT TO MONUMENT
- O.H. PWR OVERHEAD POWER LINE
- O.H. TEL OVERHEAD TELEPHONE LINE
- PCL PARCEL
- P.M. PARCEL MAP
- PTN PORTION
- R RADIUS
- SD STORM DRAIN
- SS SANITARY SEWER
- TC TOP OF CURB ELEVATION
- TEMP. TEMPORARY
- PUE PUBLIC UTILITY EASEMENT
- WLE WATER LINE EASEMENT



APPROVAL

R-2019-03

Application Number

DRC

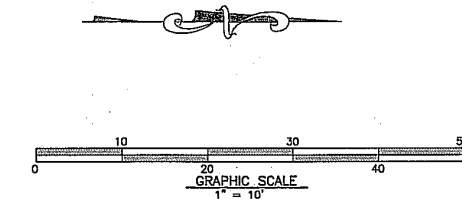
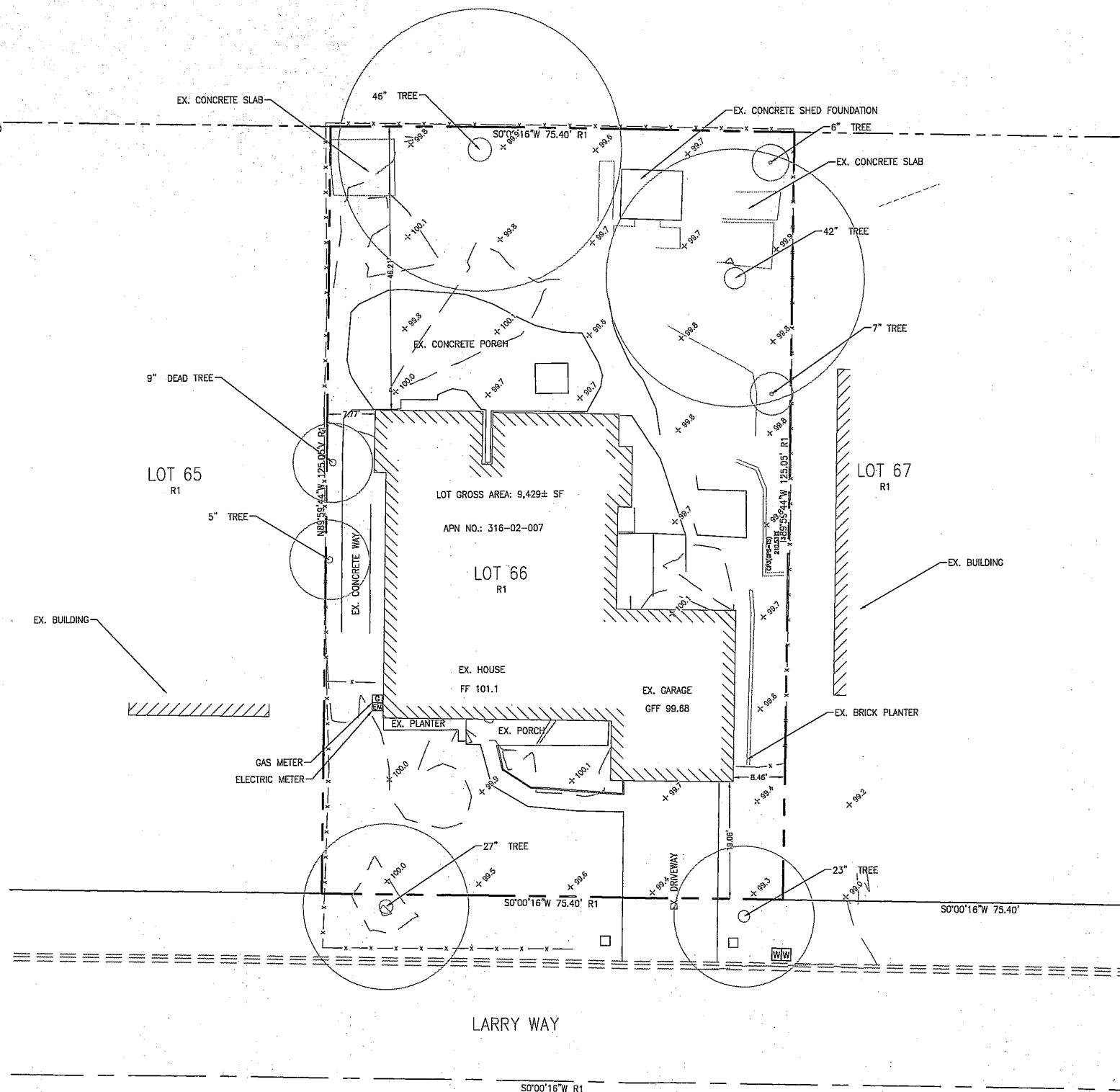
7-18-19

Signature

Date  
*Elen G. Jaur*  
Case Manager

|  |  |                                     |  |
|--|--|-------------------------------------|--|
| JOB NO. 1751   |  | SHEET 1 OF 2                        |  |
| LANDS OF DEVARAJ & KANAGARAJ<br>10713 LARRY WAY<br>CUPERTINO, CALIFORNIA |  |                                     |  |
| SUPERVISED BY<br><i>P. Oscar Osuna</i>                                   |  | PROFESSIONAL LAND SURVEYOR NO. 8921 |  |
| DATE 11-9-18   |  | EXP. 9-30-20                        |  |
| SCALE AS SHOWN   |  | O.SUNA                              |  |
| DRAWN BY   |  | O.SUNA                              |  |
| CHECKED BY   |  | O.S.                                |  |

- LEGEND**
- 200--- EXISTING CONTOUR LINE
  - 200--- NATURAL GRADE CONTOUR LINE
  - ⊙ FOUND CITY MONUMENT BOX, OR AS NOTED
  - BOUNDARY OF PROPERTY SURVEYED
  - ( ) RECORD INFORMATION
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  - △ CURB INLET
  - CURB LINE
  - DRIVEWAY APRON
  - ⊙ ELECTROLIER
  - FENCE
  - ⊙ FIRE HYDRANT
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  - ⊙ SANITARY SEWER CLEANOUT
  - SIGN
  - SD --- STORM DRAIN LINE
  - ⊙ STORM DRAIN MANHOLE
  - UTILITY BOX
  - UTILITY POLE
  - W --- WATER LINE
  - ⊙ WATER METER
  - ⊙ WATER VALVE
  - ⊙ ELECTRIC METER
  - ⊙ WATER HEATER
  - ⊙ GAS



**BASIS OF BEARINGS**  
THE BEARING NORTH 68°55'50\"/>

**REFERENCES:**  
R1 TRACT NO. 895 34-M-34  
R2 TRACT NO. 4510 239-M-36

**BENCH MARK**  
DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE  
WESTERLY CORNER OF LOT AS SHOWN: ELEV.: 100.00'

**ABBREVIATIONS**

|          |                           |
|----------|---------------------------|
| APN      | ASSESSOR'S PARCEL NUMBER  |
| BM       | BENCH MARK                |
| CATV     | CABLE TELEVISION OVERHEAD |
| D        | CURVE DELTA               |
| DRWY     | DRIVEWAY                  |
| DS       | DOWNSPOUT                 |
| FL       | FLOW LINE ELEVATION       |
| IP       | IRON PIPE                 |
| L        | CURVE LENGTH              |
| R/H      | REFERENCE DOCUMENT        |
| M-M      | MONUMENT TO MONUMENT      |
| O.H. PWR | OVERHEAD POWER LINE       |
| O.H. TEL | OVERHEAD TELEPHONE LINE   |
| PCL      | PARCEL                    |
| P.M.     | PARCEL MAP                |
| PTN      | PORTION                   |
| R        | RADIUS                    |
| SD       | STORM DRAIN               |
| SS       | SANITARY SEWER            |
| TC       | TOP OF CURB ELEVATION     |
| TEMP.    | TEMPORARY                 |
| PUE      | PUBLIC UTILITY EASEMENT   |
| WLE      | WATER LINE EASEMENT       |



**NOTES:**

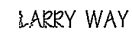
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APPROVAL R-2019-03  
Application Number  
DRC 7-18-19  
Date  
Signature [Signature]  
Case Manager

|  |         |            |          |      |         |
|--|---------|------------|----------|------|---------|
| DATE                                     | 11-9-18 | REVISIONS  | AS SHOWN | DATE | 11-9-18 |
| SCALE                                    | 1\"/>   |            |          |      |         |
| DRAWN BY                                 | O.OSUNA | CHECKED BY | O.O.     | DATE | 11-9-18 |
| PRELIMINARY BOUNDARY AND TOPOGRAPHIC MAP |         |            |          |      |         |
| LANDS OF DEVARAJ & KANAGARAJ             |         |            |          |      |         |
| 10713 LARRY WAY                          |         |            |          |      |         |
| CUPERTINO, CALIFORNIA                    |         |            |          |      |         |
| JOB NO.                                  | 1751    |            |          |      |         |
| SHEET                                    | 2       |            |          |      |         |
| OF                                       | 2       |            |          |      |         |

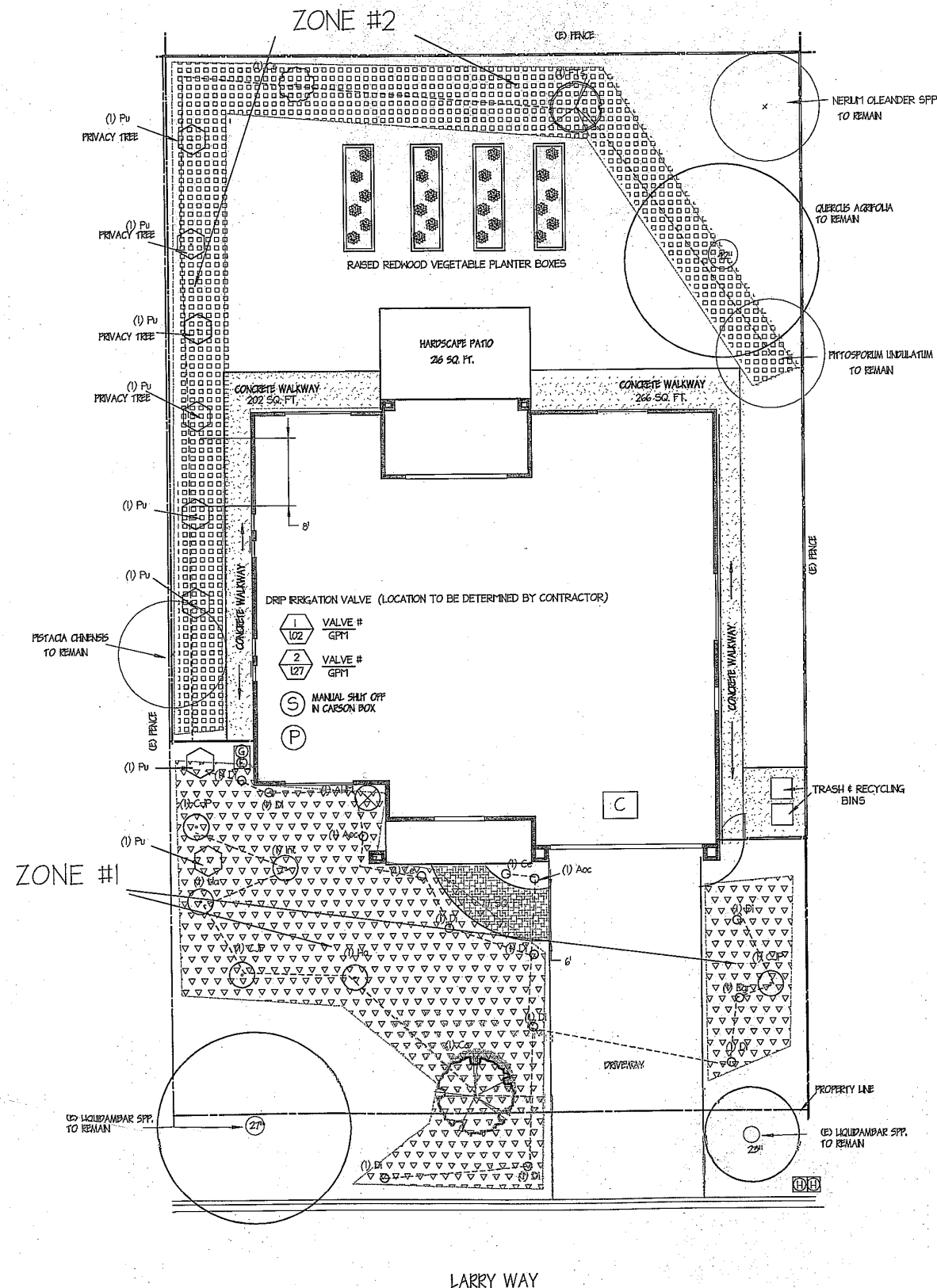


PRIVACY TREES 6/5 GALLON FITTOSPORUM  
UDULATUM, PLANTED 8 FT. APART  
MINIMUM 2 FT. FROM PROPERTY LINE/FENCE.



# IRRIGATION NOTES

ALL IRRIGATION COMPONENTS TO BE INSTALLED  
ACCORDING TO MANUFACTURE SPECIFICATIONS AND  
IN COMPLIANCE TO LOCAL CODES AND ORDINANCES.

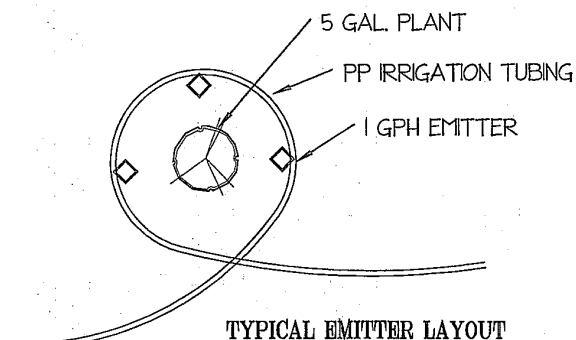


# IRRIGATION LEGEND

| SYMBOL | MANUFACTURER        | MODEL SPECIFICATIONS                            |
|--------|---------------------|---|
| (P)    | POINT OF CONNECTION |   |
|        | ZURIN WILKINS       | SXL 1"  |
|        | DESCRIPTION:        | 1" LEAD FREE CAST-BRONZE WYE TYPE STRAINER      |
|        | ZURIN WILKINS       | MODEL 375XL 1-1/4"                              |
|        | DESCRIPTION:        | 1-1/4" BACKFLOW PREVENTION DEVICE               |
|        | HUNTER              | FLOW CLIK                                       |
|        | DESCRIPTION:        | FLOW CLIK FLOW SENSOR                           |
|        | RAIN BIRD           | 100-PESB-PRS-D                                  |
|        | DESCRIPTION:        | 1" REMOTE CONTROL VALVE WITH SCUBBER / PSI CTL. |
| (S)    | NIBCO / EQUAL       | LINE SIZE                                       |
|        | DESCRIPTION:        | LINE SIZE BALL VALVE IN YARD BOX                |
| (C)    | HUNTER              | INDOOR PRO-HC WI-FI                             |
|        | DESCRIPTION:        | IRRIGATION CONTROLLER, 6 STATION                |
|        | HUNTER              | SOLAR SYNC                                      |
|        | DESCRIPTION:        | SOLAR SYNC RAIN SENSOR                          |
| (V)    | RAIN BIRD           | CPZ075FAS                                       |
|        | DESCRIPTION:        | ANTI-SIPHON LOW FLOW CONTROL ZONE KIT           |
|        | ANY                 | PVC CLASS 200 PLASTIC PIPE                      |
|        | SIZES:              | 3/4" - 1" LATERAL LINES                         |
|        | ANY                 | PVC CLASS 315 PLASTIC PIPE                      |
|        | SIZES:              | 1" - 2" MAIN LINE                               |

# DRIP EMITTER SCHEDULE

| PLANT SIZE | EMITTER NO. |
|------------|-------------|
| 1 GALLON   | 2 -1 GPH    |
| 5 GALLON   | 3 -1 GPH    |
| 15 GALLON  | 5 -1 GPH    |
| 24" BOX    | 6 -2 GPH    |



APPROVAL

R-2019-03

Application Number

DRC

7-18-19

Date

Signature

Case Manager

# NOTES

## IRRIGATION SCHEDULING

CONTRACTOR SHALL ADJUST THE IRRIGATION  
SCHEDULE FOR THE ESTABLISHMENT PERIODS  
AS FOLLOWS:

1. RUN ALL STATIONS TO KEEP SOIL OPTIMALLY  
MOIST AT ALL TIMES DURING THE FIRST 90 DAYS  
OF ESTABLISHMENT.
2. ADJUST EACH STATION AS NECESSARY FOR  
ACTUAL SITE CONDITIONS.
3. AT NO TIME SHALL RUNOFF BE PERMITTED. ADJUST  
START TIMES TO ACCOMMODATE LOCAL  
SOIL PROFILES.

## SMART CONTROLLER

DO NOT OVERRIDE SMART CONTROLLER FUNCTIONS.  
CONTRACTOR SHALL FOLLOW MANUFACTURE'S  
INSTRUCTIONS FOR INPUT OF ALL IRRIGATION  
SYSTEM REQUIREMENTS FOR SCHEDULING,  
INCLUDING PRECIPITATION RATES, PLANT TYPES,  
SOIL PROFILES, ETC.

No. Date Description  
REVISIONS



L.C. # 775403  
1078 S. 6TH STREET  
SAN JOSE, CA 95128  
(408) 920-7776

## IRRIGATION PLAN

DEVARAJ RESIDENCE  
PROPOSED NEW SINGLE FAMILY HOME  
APN: #316-02-007  
10713 LARRY WAY  
CUPERTINO, CA 95014

SCALE 1/4" = 1'-0"  
DRAWN BY HPP/ED/ED  
CHECKED BY  
DATE JANUARY 25, 2019  
DATE OF PRINT

PROJECT NO.  
SHEET NO.  
L-20

# WATER EFFICIENT LANDSCAPE WORKSHEET

| ZONE                    | WATER USE | PF  | METHOD | IE   | ETAF  | HA        | ETAF * HA | ETWU   |
|-------------------------|-----------|-----|--------|------|-------|-----------|-----------|--------|
| 1. FRONT SHRUBS & TREES | LOW       | 0.2 | DRIP   | 0.81 | .25   | 2,435     | 601.32    | 16,890 |
| 2. FRONT SHRUBS & TREES | LOW       | 0.2 | DRIP   | 0.81 | .25   | 3,307     | 816.67    | 22,935 |
|                         |           |     |        |      |       |           |           |        |
|                         |           |     |        |      | TOTAL | 5,742 SF. | 1,418     | 39,825 |

## ZONE CALLOUTS

| ZONE | VALVE SIZE | TYPE  | AREA      | PSI | GPM  | RATE | TIME   |
|------|------------|-------|-----------|-----|------|------|--------|
| I    | 1"         | SHRUB | 5,742 SF. | 30  | 1.28 | 0.64 | 23 MIN |
|      | 1"         | SHRUB |           | 30  |      | 0.64 | 23 MIN |
|      |            |       |           |     |      |      |        |

10713 LARRY WAY  
CUPERTINO, CA 95014

## WELO RESIDENTIAL WATER BUDGET

$$\begin{aligned} \text{ET}_o & 45.3 \\ \text{TOTAL IRRIGATED AREA} & 5,742 \text{ SF.} \\ \text{MAWA} &= (\text{ET}_o) \times (0.62) \times [(0.55 \times \text{LA}) + (1.0 - 0.55) \times \text{SLA}] \\ \text{MAWA} &= \underline{88,698.40 \text{ GALLONS}} \\ \text{ETWU: } & \frac{(\text{ET}_o)(0.62)(\text{PF} \times \text{LA})}{\text{IE}} + \text{SLA} \\ \text{ETWU} &= \underline{39,825 \text{ GALLONS}} \end{aligned}$$

## STATEMENT OF COMPLIANCE

I HAVE COMPLIED WITH THE CALIFORNIA CODE OF REGULATIONS  
TITLE 23, MODEL WATER EFFICIENT LANDSCAPE ORDINANCE  
AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE  
LANDSCAPE DESIGN.

Not Pdmitchpakdi

NOP PANITCHPAKDI, LANDSCAPE DESIGNER

APPROVAL

DRC

Signature

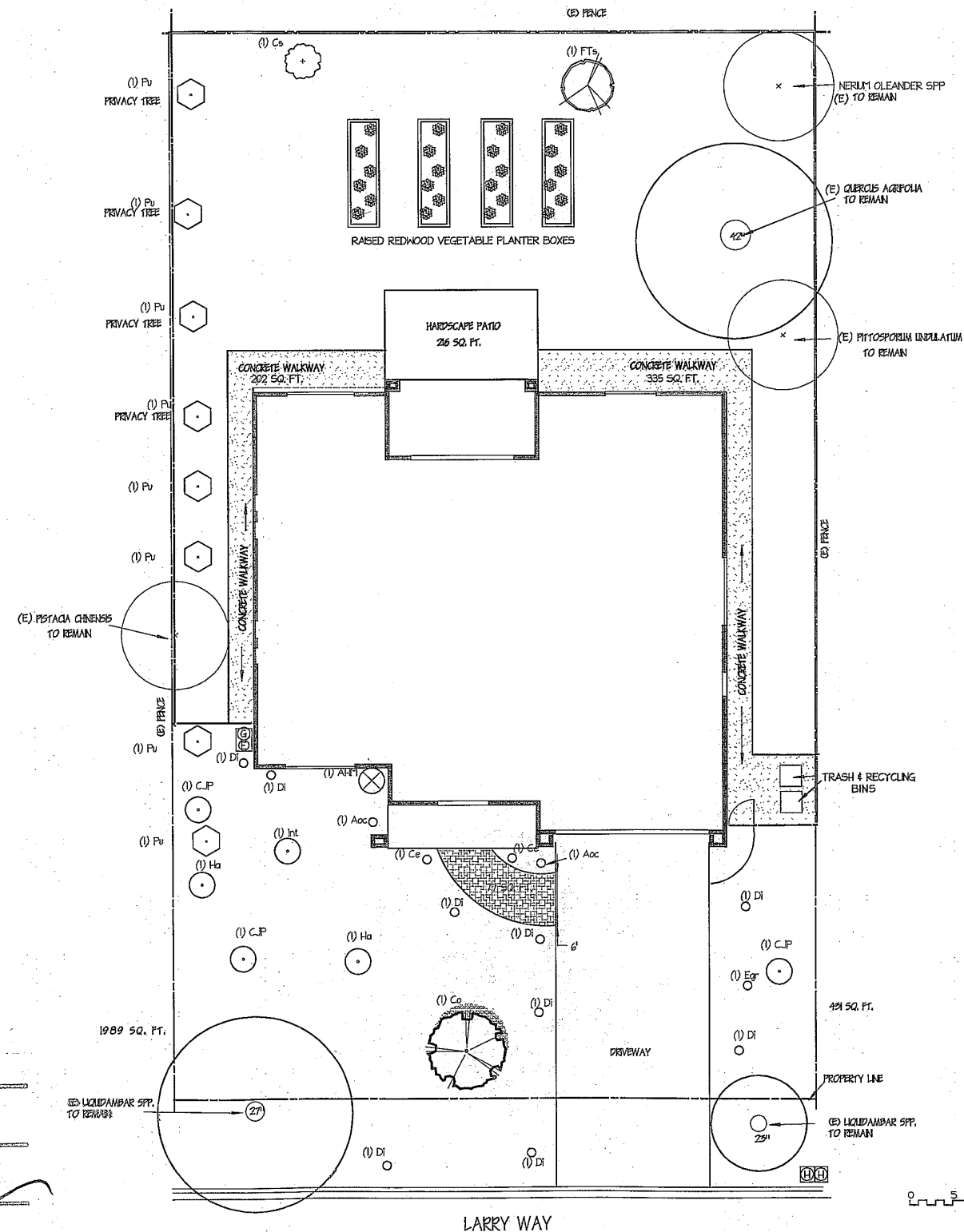
R-2019-03

Application Number

7-18-19

Date \_\_\_\_\_

Case Manager



TOTAL IRRIGATED LANDSCAPE AREA 5,742 SQ. FT.

## NOTES

## IRRIGATION SCHEDULING

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SCHEDULE FOR THE ESTABLISHMENT PERIODS  
AS FOLLOWS:

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INCLUDING PRECIPITATION RATES, PLANT TYPES,  
SOIL PROFILES, ETC.

|     |      |             |
|-----|------|-------------|
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|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
| No. | Date | Description |

REVISIONS



LANDSCAPE PROS, INC.  
LIC. # 775403

1098 S. 6TH STREET  
SAN JOSE, CA 9512  
(408) 920-7718

HYDROZONES  
WATER BUDGET CALCULATIONS

DEVARAJ RESIDENCE  
10713 LARRY WAY  
CUPERTINO, CA 95014

|               |                  |             |       |
|---------------|------------------|-------------|-------|
| SCALE         | $V_0^4 = 1.0$    | PROJECT NO. |       |
| DRAWN BY      | NOP PANTCHPAKDI  |             |       |
| CHECKED BY    |                  | SHEET NO.   |       |
| DATE          | JANUARY 25, 2019 |             | L-3.0 |
| DATE OF PRINT |                  |             |       |