



CUPERTINO

OFFICE OF COMMUNITY DEVELOPMENT

CITY HALL

10300 TORRE AVENUE • CUPERTINO, CA 95014-3255

(408) 777-3308 • FAX (408) 777-3333 • planning@cupertino.org

To: Mayor and City Council Members
Planning Commissioners

From: Benjamin Fu, Acting Director of Community Development

Date: June 18, 2019

Subj: REPORT OF ADMINISTRATIVE HEARING DECISION MADE
June 13, 2019

**Chapter 19.12.170 of the Cupertino Municipal code provides for
Appeal of decisions made at an Administrative Hearing**

1. **Application**
ASA-2019-03, Steven Dauber (Dauber residence), 10367 Heney Creek Pl

Description

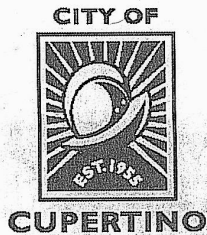
Architectural and Site approval to allow a 77 square foot addition and modifications to the façade material for a single family residence located in a Planned Development Zone

Action

The application was approved at the Administrative Hearing. The approval is effective June 13, 2019. The fourteen-calendar day appeal will expire on June 27, 2019

Enclosures:

Administrative Hearing Report of June 13, 2019
Resolution No(s) 109
Plan set



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

CITY HALL
10300 TORRE AVENUE • CUPERTINO, CA 95014-3255
TELEPHONE: (408) 777-3308 • FAX: (408) 777-3333
CUPERTINO.ORG

ADMINISTRATIVE HEARING STAFF REPORT

Agenda Date: June 13, 2019

Subject

Architectural and Site Approval Permit to allow for the addition of 77 s.f. and modifications to the exterior materials for a single-family residence in a Planned Development zone; (Application No(s): ASA-2019-03; Applicant: Steven M. Dauber; Location: 10367 Heney Creek Place; APN(s): 342-48-027)

Recommended Action

That the Hearing Officer:

1. Find that the proposed actions are exempt from CEQA; and
2. Adopt the resolution to approve the Architectural and Site Approval Permit, in accordance with the draft resolution (Attachment 1).

Discussion

Project Data:

General Plan Designation	Very Low Residential ½ Acre Slope	
General Plan Neighborhood	Oak Valley	
Zoning Designation	P (R1 0-2) - Planned Single-Family Residential	
Lot Size	15,396 SF (0.35 acres)	
	Existing	Proposed
Floor Area	4,556 SF	4,633 SF
Project Consistency With:		
General Plan	Yes	
Zoning	Yes	
Environmental Assessment	Categorically Exempt per Section 15301 (Class 1) of the California Environmental Quality Act (CEQA)	

Background:

The property is within a planned development area located north of Stevens Creek Boulevard in the Oak Valley Neighborhood. The development was approved in 1977 with 37 single-family residences with hillside intent. The planned development is accessed off Alpine Drive and bounded to the east by N Foothill Blvd; to the south by single-family residential; to the north by properties within the City of Los Altos; and to the west by the Southern Pacific Transportation Company railroad tracks.

The home is located closest to the eastern property line with the majority of the property covered by existing native trees. The property is accessed by a driveway at the south end Heney Creek Place. The home is set back 160 feet from the front property line and not easily visible from the public right-of-way.



Figure 1 Site aerial

The applicant is proposing to reface the existing building, remodel the interior and add 77 s.f. on the main floor.

Analysis:

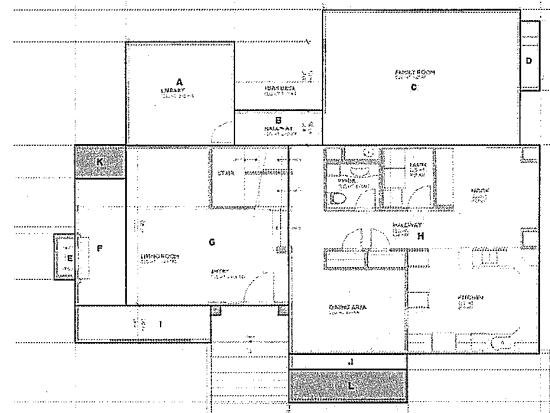
The existing planned development neighborhood, built in the late 1970s, was designed to preserve the hillside environment by using materials and colors compatible with it. The homes in the development were painted earthier tones such as beige, greens, grays, and browns and were built using more natural materials including wood siding, brick, and stone.

The proposed façade will be a combination of stucco (painted in an earthy tone), HardiePlank siding (to simulate wood siding) and stone accents. Refer to Sheets A 6.1-

6.4 of Attachment 2 for elevations. Since the property is located within the City's "High" Wildland Urban Interface Fire Area (WUIFA)¹ pursuant to Cupertino Municipal Code Chapter 16.74, the Building Code requires homeowners to select building materials that are fire resistant. HardiePlank is known for its durability and resistance to fire, and its use in this project will also maintain the wood siding appearance consistent with the original design intent for this development.

In addition to the façade remodel, the proposal includes adding 77 s.f. to the main floor by enclosing an existing balcony (area "L" in Figure 2) and a substantially enclosed alcove (area "K" in Figure 2). The areas will be added to the existing living room and dining room, respectively. The addition results in a marginal increase in floor area ratio (FAR) from 29.5% to 30.0%, and does not exceed the R-1 FAR limitation of 45%.

Figure 2 Proposed floor plan



Environmental Review

This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15301 – Existing Facilities and 15332 - In-Fill Development Projects.

Other Department/Agency Review

The City's Building Division and the Santa Clara County Fire Department have no objections to the project.

Public Noticing And Community Outreach

The following table is a brief summary of the noticing for this project:

Notice of Public Hearing	Agenda
<ul style="list-style-type: none"> ▪ Site Signage (at least 10 days prior to hearing) ▪ 14 notices mailed to property owners 300 feet/adjacent to the project site (at least 10 days prior to the hearing) 	<ul style="list-style-type: none"> ▪ Posted on the City's official notice bulletin board (five days prior to hearing) ▪ Posted on the City of Cupertino's Web site (five days prior to hearing)

No comments have been received at the time of production of this staff report.

¹ The WUIFA is the area within the City which is prone to wildland fires.

Permit Streamlining Act

This project is subject to the Permit Streamlining Act (Government Code Section 65920 – 65964). The City has complied with the deadlines found in the Permit Streamlining Act.

Project Received: April 11, 2018;

New Plans Received: May 1, 2019; **Deemed Incomplete:** May 14, 2019

Revisions Received: May 30, 2019; **Deemed Incomplete:** May 30, 2019

Since this project is Categorically Exempt, the City has 60 days (until July 30, 2019) to make a decision on the project.

Conclusion

Staff recommends approval of the Architectural and Site Approval permit, since the plans and conditions of approval address all concerns related to the proposed project. Additionally, all of the findings for approval of the proposed project, consistent with chapter 19.168 of the Cupertino Municipal Code, may be made as follows:

1. The proposed development, at the proposed location, will not be detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety, general welfare, or convenience;

The applicant proposes a complete façade modification that utilizes existing material types that are compatible with the overall development and conversions of partially enclosed spaces into habitable living area totaling 77 s.f. The property is located in a High Wildlife Urban Interface Fire Area and the proposed materials improve fire resistance of the existing building in the event of a wildfire. The two conversions are a 54 s.f. front balcony and a 23 s.f. alcove off the existing living room. All of the proposed changes are minor improvements to the existing home and will not be detrimental or injurious to property or improvements in the vicinity

2. The proposal is consistent with the purposes of Chapter 19.168, the General Plan any specific plan, zoning ordinances, applicable planned development permit, conditional use permits, variances, subdivision maps or other entitlements to use which regulate the subject property including, but not limited to, adherence to the following specific criteria:

- a) Abrupt changes in building scale should be avoided. A gradual transition related to height and bulk should be achieved between new and existing buildings.

The square footage added to the home will not abruptly change in scale. The proposal includes a conversion of an existing alcove located at the northwest corner of the home for additional living room area, and a balcony located at the front for a dining room expansion. Both the height and bulk between the proposal and existing buildings will be maintained.

- b) In order to preserve design harmony between new and existing buildings and in order to preserve and enhance property values, the materials, textures and colors of new building should harmonize with adjacent development by being consistent or compatible with design and color schemes with the future character of the neighborhoods and purposes of the zone in which they are situated. The location, height and materials of walls, fencing, hedges and screen planting should harmonize with adjacent development. Unsightly storage areas, utility installations and unsightly elements of parking lots should be concealed. The planting of ground cover or various types of pavements should be used to prevent dust and erosion, and the unnecessary destruction of existing healthy trees should be avoided. Lighting for development should be adequate to meet safety requirements as specified by the engineering and building departments, and provide shielding to prevent spill-over light to adjoining property owners.

The neighborhood was designed to preserve and be respectful of the hillside environment by using materials and colors that comply with Residential Hillside standards. The proposed materials for re-facing the building will maintain this aesthetic. The façade changes will continue to use materials similar to the existing neighborhood and will integrate stucco, Hardie wood, and stone veneer on all four facades. Additionally, the colors will be compatible with the earth-tone color palette that currently exists.

- c) The number, location, color, size, height, lighting and landscaping of outdoor advertising signs and structures have been designed to minimize traffic hazard, positively affect the general appearance of the neighborhood and harmonize with adjacent development.

No signs are proposed as part of this residential project.

- d) With respect to new projects within existing residential neighborhoods, new development should be designed to protect residents from noise, traffic, light and visually intrusive effects by use of buffering, setbacks, landscaping, walls and other appropriate design measures.

The proposal includes small additions and a façade modification for an existing home located on a flag lot with significant tree screening. The additional square footage is a conversion of an existing balcony located at the front of the home and a partially enclosed alcove located at the northwest corner of the home. Both additions will not be visibly intrusive because of the size and location. Additionally, the chosen materials and architectural articulation are appropriately applied throughout the exterior of the home and complements the existing neighborhood in materials and colors. The project will not be visually intrusive or cause noise, traffic, and light impacts to the adjacent properties.

Next Steps

The permit will be effective 14 calendar days from the date of the hearing. The decision of the Administrative Hearing Officer is final, unless appealed within 14 calendar days from the date of the hearing. The applicant team may apply for building and/or other permits with the City at the end of the appeal period.

This approval is valid until June 13, 2021. The applicant team may apply for a one-time one year extension before the approval expires.

Prepared by:

Ellen Yau, Associate Planner

Reviewed and Approved for submission by:

Piu Ghosh, Principal Planner

ATTACHMENTS

1. Draft Resolution for ASA-2019-03
2. Plan Set

CITY OF CUPERTINO
10300 Torre Avenue
Cupertino, California 95014

RESOLUTION NO. 109

OF THE ADMINISTRATIVE HEARING OFFICER OF THE CITY OF
CUPERTINO APPROVING AN ARCHITECTURAL AND SITE APPROVAL
PERMIT TO ALLOW THE ADDITION OF 77 S.F. AND MODIFICATIONS TO
THE EXTERIOR MATERIALS FOR A SINGLE-FAMILY RESIDENCE IN A
PLANNED DEVELOPMENT ZONE LOCATED AT 10367 HENEY CREEK
PLACE (APN 342-48-027)

SECTION I: PROJECT DESCRIPTION

Application No.: ASA-2019-03
Applicant: Steven M. Dauber
Location: 10367 Heney Creek Place

SECTION II: FINDINGS FOR ARCHITECTURAL AND SITE APPROVAL PERMIT:

WHEREAS, the City of Cupertino received an application for an Architectural and Site Approval to consider allowing the addition of 77 s.f. and modifications to the exterior materials for a single-family home, as described in Section I. of this Resolution; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Administrative Hearing Officer has held at least one public meeting in regard to the application; and

WHEREAS, pursuant to the provisions of the California Environmental Quality Act of 1970 (Public Resources Code section 21000 et seq.) ("CEQA"), together with the State CEQA Guidelines (California Code of Regulations, Title 14, Section 15000 et seq.) (hereinafter, "CEQA Guidelines"), the City staff has independently studied the proposed Project and has determined that the Project is exempt from environmental review pursuant to the categorical exemption in CEQA Guidelines section 15301 and 15332 for the reasons set forth in the staff report dated June 13, 2019 and incorporated herein; and

WHEREAS, the applicant has met the burden of proof required to support said application; and

WHEREAS, the Administrative Hearing Officer finds as follows with regard to this application:

1. The proposed development, at the proposed location, will not be detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety, general welfare, or convenience;

The applicant proposes a complete façade modification that utilizes existing material types that are compatible with the overall development and conversions of partially enclosed spaces into habitable living area totaling 77 s.f. The two conversions are a 54 s.f. front balcony and 23 s.f. alcove off the existing living room. All of the proposed changes are minor and are improvements to the existing home and will not be detrimental or injurious to property or improvements in the vicinity

2. The proposal is consistent with the purposes of Chapter 19.168, the General Plan any specific plan, zoning ordinances, applicable planned development permit, conditional use permits, variances, subdivision maps or other entitlements to use which regulate the subject property including, but not limited to, adherence to the following specific criteria:

- a) Abrupt changes in building scale should be avoided. A gradual transition related to height and bulk should be achieved between new and existing buildings.

The square footage added to the home will not abruptly change in scale. The proposal includes a conversion of an existing alcove located at the northwest corner of the home for additional living room area, and a balcony located at the front for a dining room expansion. Both the height and bulk between the proposal and existing buildings will be maintained.

- b) In order to preserve design harmony between new and existing building and in order to preserve and enhance property values, the materials, textures and colors of new building should harmonize with adjacent development by being consistent or compatible with design and color schemes with the future character of the neighborhoods and purposes of the zone in which they are situated. The location, height and materials of walls, fencing, hedges and screen planting should harmonize with adjacent development. Unsightly storage areas, utility installations and unsightly elements of parking lots should be concealed. The planting of ground cover or various types of pavements should be used to prevent dust and erosion, and the unnecessary destruction of existing healthy trees should be avoided. Lighting for development should be adequate to meet safety requirements as specified by the engineering and building departments, and provide shielding to prevent spill-over light to adjoining property owners.

The neighborhood was designed to preserve and be respectful of the hillside environment by using materials and colors that comply with Residential Hillside standards. The proposed materials for re-facing the building will maintain this aesthetic. The façade changes will continue to use materials similar to the existing neighborhood and will integrate stucco, Hardie wood, and stone veneer on all four facades. Additionally, the colors will be compatible with the earth-tone color palette that currently exists.

- c) The number, location, color, size, height, lighting and landscaping of outdoor advertising signs and structures have been designed to minimize traffic hazard, positively affect the general appearance of the neighborhood and harmonize with adjacent development.

No signs are proposed as part of this residential project.

- d) With respect to new projects within existing residential neighborhoods, new development should be designed to protect residents from noise, traffic, light and visually intrusive effects by use of buffering, setbacks, landscaping, walls and other appropriate design measures.

The proposal includes small additions and a façade modification for an existing home located on a flag lot with significant tree screening. The additional square footage is a conversion of an existing balcony located at the front of the home and a partially enclosed alcove located at the northwest corner of the home. Both additions will not be visibly intrusive because of the size and location. Additionally, the chosen materials and architectural articulation are appropriately applied throughout the exterior of the home and complements the existing neighborhood in materials and colors. The project will not be visually intrusive or cause noise, traffic, and light impacts to the adjacent properties.

NOW, THEREFORE, BE IT RESOLVED:

That after careful consideration of the maps, facts, exhibits, testimony, staff's report and presentation, and other evidence submitted in this matter, subject to the conditions which are enumerated in this Resolution beginning on PAGE 4 thereof,:

The application for an Architectural and Site Approval, Application no. ASA-2019-03 is hereby approved and that the subconclusions upon which the findings and conditions specified in this resolution are based and contained in the Public Meeting record concerning Application no. ASA-2019-03 as set forth in the Minutes of the Administrative Hearing Meeting of June 13, 2019 and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPT.

1. APPROVED EXHIBITS

Approval is based on the plan set drawn by Leitzinger & Company entitled "Steve Dauber Residence" consisting of twenty (20) sheets, except as may be amended by conditions in this resolution.

2. ACCURACY OF PROJECT PLANS

The applicant/property owner is responsible to verify all pertinent property data including but not limited to property boundary locations, building setbacks, property size, building square footage, any relevant easements and/or construction records. Any misrepresentation of any property data may invalidate this approval and may require additional review.

3. ANNOTATION OF THE CONDITIONS OF APPROVAL

The conditions of approval set forth shall be incorporated into and annotated on the first page of the building plans.

4. EXTERIOR BUILDING MATERIALS/TREATMENTS

- a. The final building exterior plan shall closely resemble the details shown on the original approved plans.
- b. The final building materials shall be of natural earth tone and vegetation colors and shall not exceed a reflectivity value of 60 as required by Cupertino Municipal Code 19.40.040.
- c. All final building exterior treatment plan (including but not limited to details on exterior color, materials, architectural treatments, doors, windows, lighting fixtures, and/or embellishments) shall be reviewed and approved by the Director of Community Development prior to issuance of building permits to ensure quality and consistency.
- d. Any exterior changes determined to be substantial by the Director of Community Development shall either require a modification to this permit or a new permit based on the extent of the change.

5. DEMOLITION REQUIREMENTS

All demolished building and site materials shall be recycled to the maximum extent feasible subject to the Building Official. The applicant shall provide evidence that materials were recycled prior to occupancy.

6. GRADING AND CONSTRUCTION HOURS AND NOISE LIMITS

The applicant shall indicate compliance with the following grading and construction hours and noise limit requirements on all demolition, construction and grading permits, and in the construction management plan(s), unless otherwise indicated.

- a. All grading activities shall be limited to the dry season (April 15 to October 1), unless permitted otherwise by the Director of Public works.
- b. Construction hours and noise limits shall be compliant with all requirements of Chapter 10.48 of the Cupertino Municipal Code.
- c. Grading, street construction, underground utility and demolition hours for work done more than 750 feet away from residential areas shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Grading, street construction, demolition or underground utility work within 750 feet of residential areas shall not occur on Saturdays, Sundays, holidays, and during nighttime period as defined in Section 10.48.053(b) of the Municipal Code.
- d. Construction activities shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Construction activities are not allowed on holidays as defined in Chapter 10.48 of the Municipal Code. Night time construction is allowed if compliant with nighttime standards of Section 10.48 of the Cupertino Municipal Code.
- e. Rules and regulations pertaining to all construction activities and limitations identified in this permit, along with the name and telephone number of an applicant appointed disturbance coordinator, shall be posted in a prominent location at the entrance to the job site.
- f. The applicant shall be responsible for educating all contractors and subcontractors of said construction restrictions.

7. BAAQMD BASIC CONTROL MEASURES (DUST CONTROL)

Project shall comply with the Bay Area Quality Management District's Basic Construction Mitigation Measures to reduce construction fugitive dust impacts as follows:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt tracked-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.

- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- h. A publicly visible sign shall be posted with the telephone number and person to contact at the City of Cupertino regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD phone number shall also be visible to ensure compliance with applicable regulations.

Applicant shall indicate compliance with BAAQMD's basic control measures on all demolition, construction and grading permits and construction management plan(s).

8. CONSULTATION WITH OTHER DEPARTMENTS

The applicant is responsible to consult with other departments and/or agencies with regard to the proposed project for additional conditions and requirements. Any misrepresentation of any submitted data may invalidate an approval by the Community Development Department.

9. INDEMNIFICATION

Except as otherwise prohibited by law, the applicant shall indemnify and hold harmless the City, its City Council, and its officers, employees and agents (collectively, the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant to attack, set aside, or void this Resolution or any permit or approval authorized hereby for the project, including (without limitation) reimbursing the City its actual attorneys' fees and costs incurred in defense of the litigation. The applicant shall pay such attorneys' fees and costs within 30 days following receipt of invoices from City. Such attorneys' fees and costs shall include amounts paid to counsel not otherwise employed as City staff and shall include City Attorney time and overhead costs and other City staff overhead costs and any costs directly related to the litigation reasonably incurred by City.

10. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d) (1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

PASSED AND ADOPTED this 13th day of June, 2019 at a noticed Public Meeting of the Administrative Hearing Officer of the City of Cupertino, State of California, held by the Director of Community Development, or his or her designee, pursuant to Cupertino Municipal Code Section 19.12.120.

ATTEST:

APPROVED:

/s/Ellen Yau

Ellen Yau
Associate Planner

/s/Benjamin Fu

Benjamin Fu
Acting Director of Community Development

R E S I D E N T I A L R E M O D E L & A D D I T I O N

STEVE DAUBER RESIDENCE

10367 HENNEY CREEK PLACE, CUPERTINO, CALIFORNIA, 95014

PROJECT DIRECTORY

TABLE OF CONTENTS

STEVE DAUBER
HOME OWNER

10367 Henney Creek Place
Cupertino, California 95014

PH 408 472 0996

steve@dauber.us

LEITZINGER & COMPANY
DESIGN STUDIO

Richard Leitzinger, Principal
richardleitzinger@yahoo.com
2040 Main Street, #124, Santa Clara, California 95050

PH 650 576 8445

PH 650 576 8445

List of Drawings

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PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05.29.2019

ZONING SUMMARY

This is a summary based upon conversations with Planning and Building officials and review of the zoning ordinances and other governing agencies.

County: Santa Clara
City: Cupertino
Zoning: P(R1 0-2) Planned Development Zone, Chapter 19.80
Very low density: (1/2 acre slope density formula)
Average slope: 28.53 %
Neighborhood: Oak Valley
Assessor's parcel number: 342 48 027
Street Address: 10367 Heney Creek Place, Cupertino, CA 95014

EXISTING CONDITIONS:

Description of existing property:

Lot size: 62,726.00 gross sf. or 1.44 acres
Lot Type: Flag Lot - hillside
Utilities and services: Overhead - none
Underground - electrical/gas/water/waste

Description of existing structures:

Built: 1979 Renovation: 1980
Single Family Residence
2 stories
4 bedrooms
2.5 baths
3,424.00 sf.
pool & spa - spa
Parking: 3 car attached garage

ZONING REQUIREMENTS:

Lot coverage: 45% of net lot area. Refer to Title report for legal description or tentative map.
FAR - Floor Area Ratio: 45% of net lot area. Refer to Title report for legal description or tentative map.
Floors are counted once for each floor. No exception for stairs
Interior stairs count at each floor. Basement stairs do not count.
Interior ceiling exceeding 15' above finish floor count twice towards FAR.
Second story decks (balconies) with open railing and no roof above, do not count towards FAR.
Accessory Buildings: All accessory buildings (non - ADU) on a lot where the cumulative area of structures exceed 500 sf.

Setbacks:
Front: First story: 20.00'
Second story: 25.00'
Rear: First story: 20.00'
Second story: 25.00'
Interior Sides: First story: 5.00' - 15.00' sum total
Second story: 15.00'

Building Height: 28.00' maximum two stories height limit.
Measured from grade directly below.
height exceptions: chimneys and weather
vanes and cupolas, not exceeding 24 ft.
in area. Five additional feet maximum.

Parking: 3 parking spaces actual.
2 uncovered space actual.
2 covered, 2 uncovered required.
Solar Studies: Not required.

Accessory Dwelling Unit: ADUs for lots of 20,000 or greater shall have a maximum floor
area of 1,000 sf and must be a one story structure. Maximum height
limit shall be 21.00'. See setback requirements above.

OTHER NON-ZONING INFORMATION:

Location: Latitude: 37.327424°
37° 19' 38.7264" N
Longitude: -122.070592°
122° 4' 14.0232" W
Elevation: Above sea level 387.00 ft.
Climate zone: 4
Rainfall: NOAA - Rain Intensity Data: Rainfall Intensity (10yr): 2.7 in/hr
Rainfall Intensity (100yr): 3.7 in/hr
Drainage Area (10yr): 450 sf.
Drainage Area (100yr): 330 sf.
Mean Annual Precipitation: 19 inches
FEMA Flood zone: A
WUI Urban Wildland Interface: Zone: 1

SPECIFIC SHEET NOTES

Building Structure

- Line of existing Lower Level building structure.
- Line of existing Main Level building structure.
- Line of existing Upper Level building structure.
- Shaded area indicates new area of addition/

Landscape

- Existing trees to remain. No trees are to be removed.
- Existing landscaping to remain. No proposed alterations to the landscape.
- Existing fence to remain.

Flatwork, Decks and Stairs

- Existing flagstone walkway to remain.
- Existing stair to remain.
- Existing stairs to be removed.
- Existing decking to remain.
- Existing dry stack stone retaining wall to remain.
- Existing driveway to remain.
- Existing hot tub to remain.
- New metal pipe and cable railing.

SITE & FLOOR AREA SUMMARY

Assessor's Parcel Number: 342 48 027
Zoning: P (R1 0-2)
Lot Gross Area: (1.44 acres) 62,726.00 sf.
Lot Net Area: 15,396.50 sf.

LOT COVERAGE

Maximum Allowable Lot Coverage: 6,928.42 sf.
45% of the net area.

Existing Lot Coverage:

Existing Building Structure: 2,132.06 sf.
Sub-total: 2,132.06 sf.

Proposed Lot Coverage Additions:

Proposed Building Structure Removed: (110.84) sf.
Proposed Building Structure Addition: 22.98 sf.
Subtotal: (87.86) sf.

TOTAL LOT COVERAGE:

2,044.21 sf.

FLOOR AREA RATIO:

Maximum Allowable Floor Area: 6,928.42 sf.
45% of the net area.

FLOOR AREA:

Existing Floor Areas:
Existing Lower Floor: 1,291.49 sf.
Existing Main Floor: 1,890.97 sf.
Existing Upper Floor: 1,373.86 sf.
Subtotal: 4,556.32 sf.

Proposed Floor Areas Additions:

Proposed Addition to Lower Floor: 0.00 sf.
Proposed Addition to Main Floor: 76.60 sf.
Proposed Addition to Upper Floor: 0.00 sf.
Subtotal: 76.60 sf.

TOTAL FLOOR AREA: 37.37% 4,632.92 sf.

SCOPE OF PROPOSED WORK

The scope of proposed work includes, but not limited to the remodel of an existing residence, as follows:

Additions are limited to the Living Room and Dining Room. These areas are under existing roof structures and within the building envelope.

Windows and doors will be altered in order to optimize views to the open spaces and reduce sight lines to neighboring houses.

New interior lighting will replace the some existing light fixtures.

The Master Bathroom will be remodeled. A second bathroom will involve replacement of fixtures, cabinetry and finishes. The interior door of a bedroom will be relocated.

Exterior work includes the removal of the existing wood siding and trim, which is currently in a degraded state and requires replacement.

Removal of trellis type roof features. Removal of covered balcony located at the Living Room. Replacement of gutters and rain water leaders. Alterations to the existing roofing will be kept to a minimum.

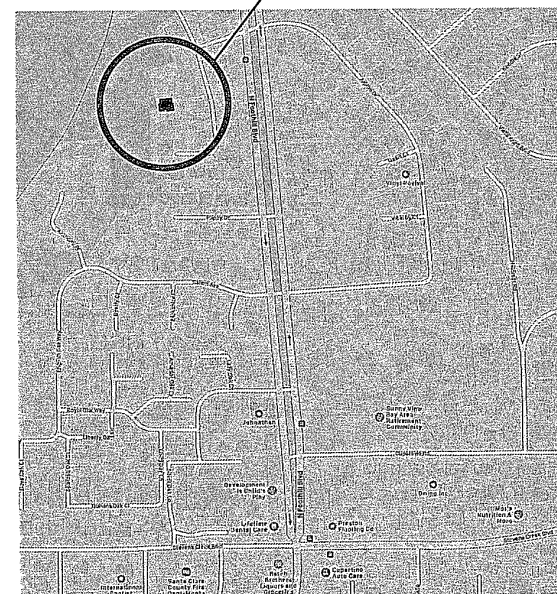
New horizontal siding, natural stone, stucco veneer, and new trim will replace the existing wood siding.

No landscaping or flat work alterations proposed.

No upgrade proposed for utility services.

PROJECT LOCATION MAP

PROJECT LOCATION



STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
SITE PLAN



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www.landdesignstudio.com
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richardfeltzinger@yahoo.com

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DATE: 07/28/2018

PROJECT: 2018.05

DRAWN: L&C

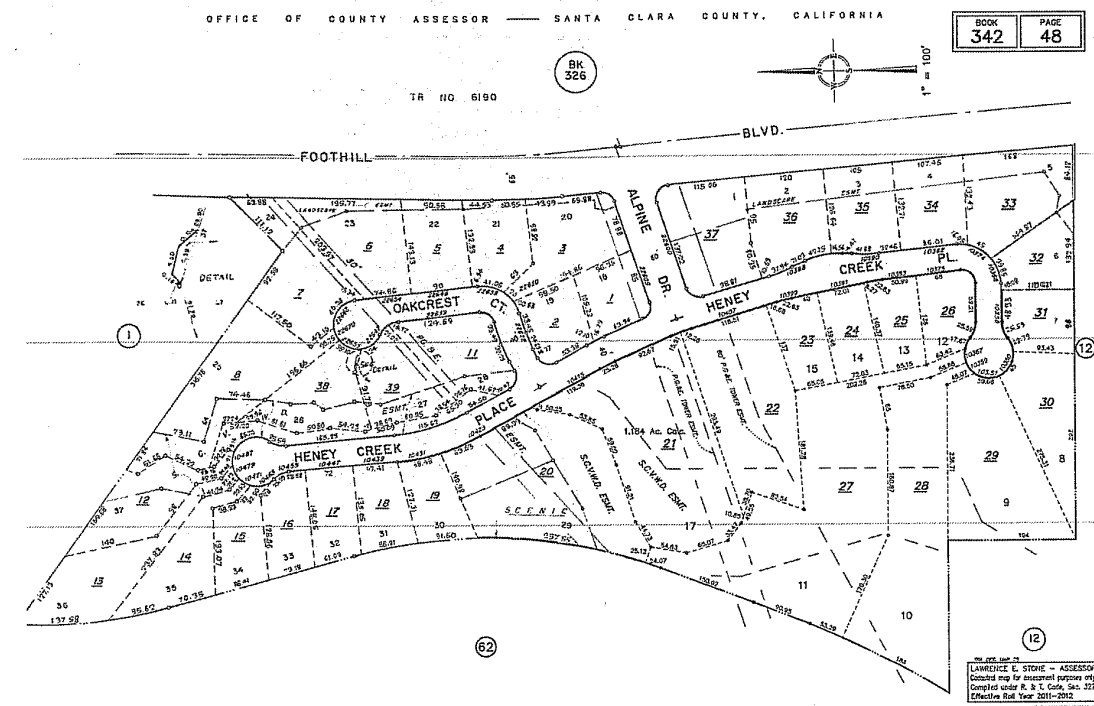
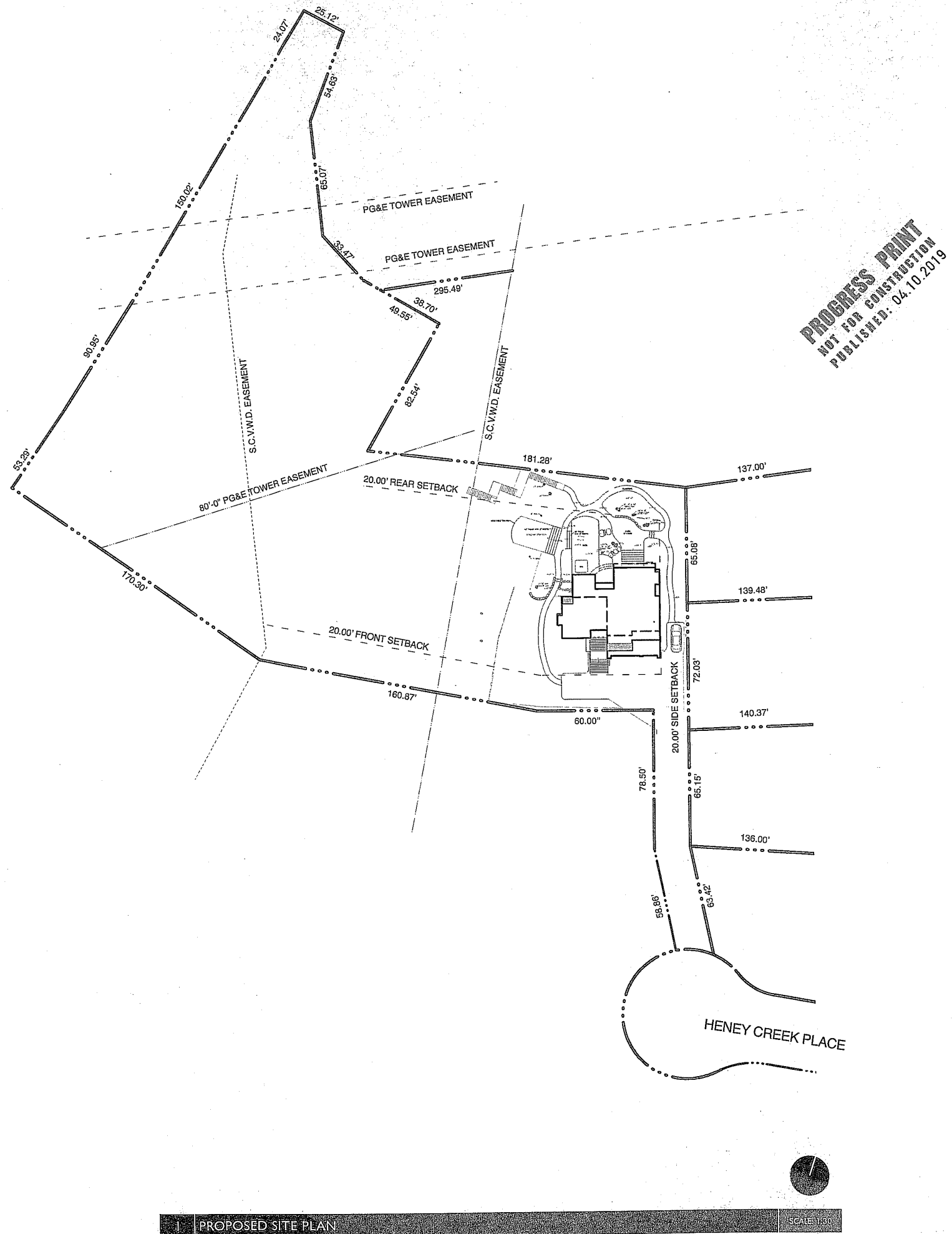
REVIEW: L&C

SCALE: 1/8"

A 1.1

PROPOSED SITE PLAN

SCALE: 1/8"



2 OFFICE OF COUNTRY ASSESSOR PARCEL MAP NTS



PROJECT LOCATION

3 AERIAL PHOTOGRAPH OF SITE AND ADJACENT PROPERTIES NTS

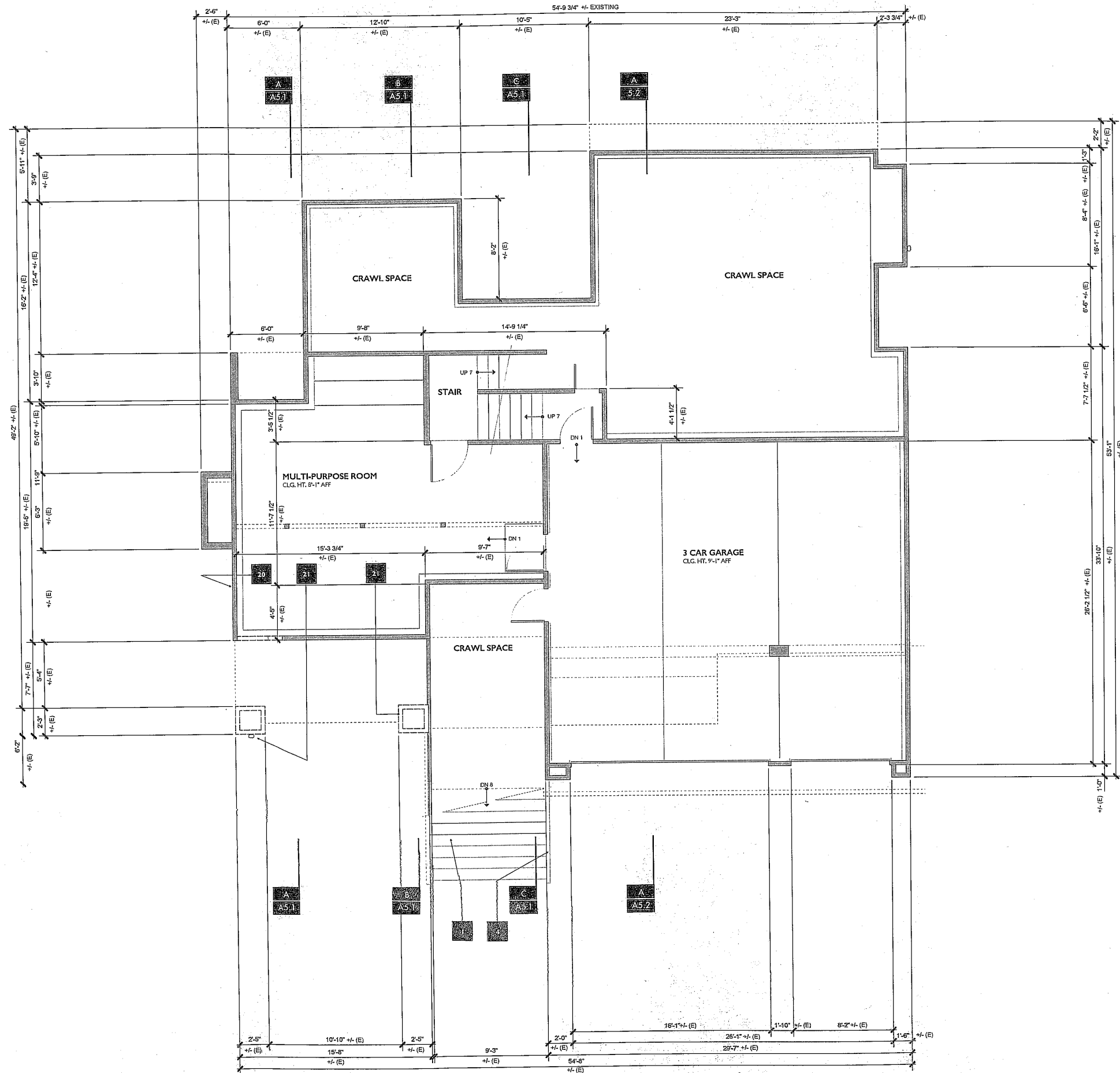
STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
S I T E P L A N
P R O P O S E D

L&C
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650 576 8445
richard@l&cstudio.com

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DATE: 10/28/2019
PROJECT: 2018.05
DRAWN: RAL
REVIEW: RAL
SCALE: 1" = 30'

A 1.2



SPECIFIC SHEET NOTES

Floors

- Existing stairs to remain.
- Stair to be removed.
- Existing step to remain.
- Existing wood railing to be removed.

Walls

- Existing Horizontal siding and trim to be removed.
- Existing front column and balcony to be removed.

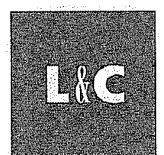
Windows and Doors

- Existing windows and doors to be removed.

Gutters & rain water leaders

- Replace existing gutters and rain water leaders.

STEVE DAUBER RESIDENCE
10367 HENRY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
LOWER LEVEL FLOOR PLAN
EXISTING & DEMOLITION



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PROGRESS PRINT
Not for construction
PUBLISHED: 02.29.2019

GRAPHIC LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED.



SCALE: 1/4" = 1'-0"

0 1 2 3 4 5 6 12

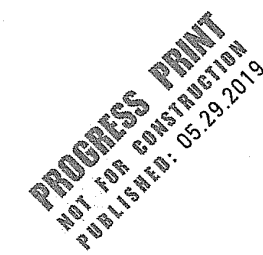
Floors

- ## Walls

- ## Windows and Doors

- ### Gutters & rain water leaders

40. Replace existing gutters and rain water leaders.



EXISTING WALL

EXISTING WALL TO BE REMOVED.



SCALE: 1/4"

0 1 2 3 4 5

Keywords: child sexual abuse; disclosure; social support

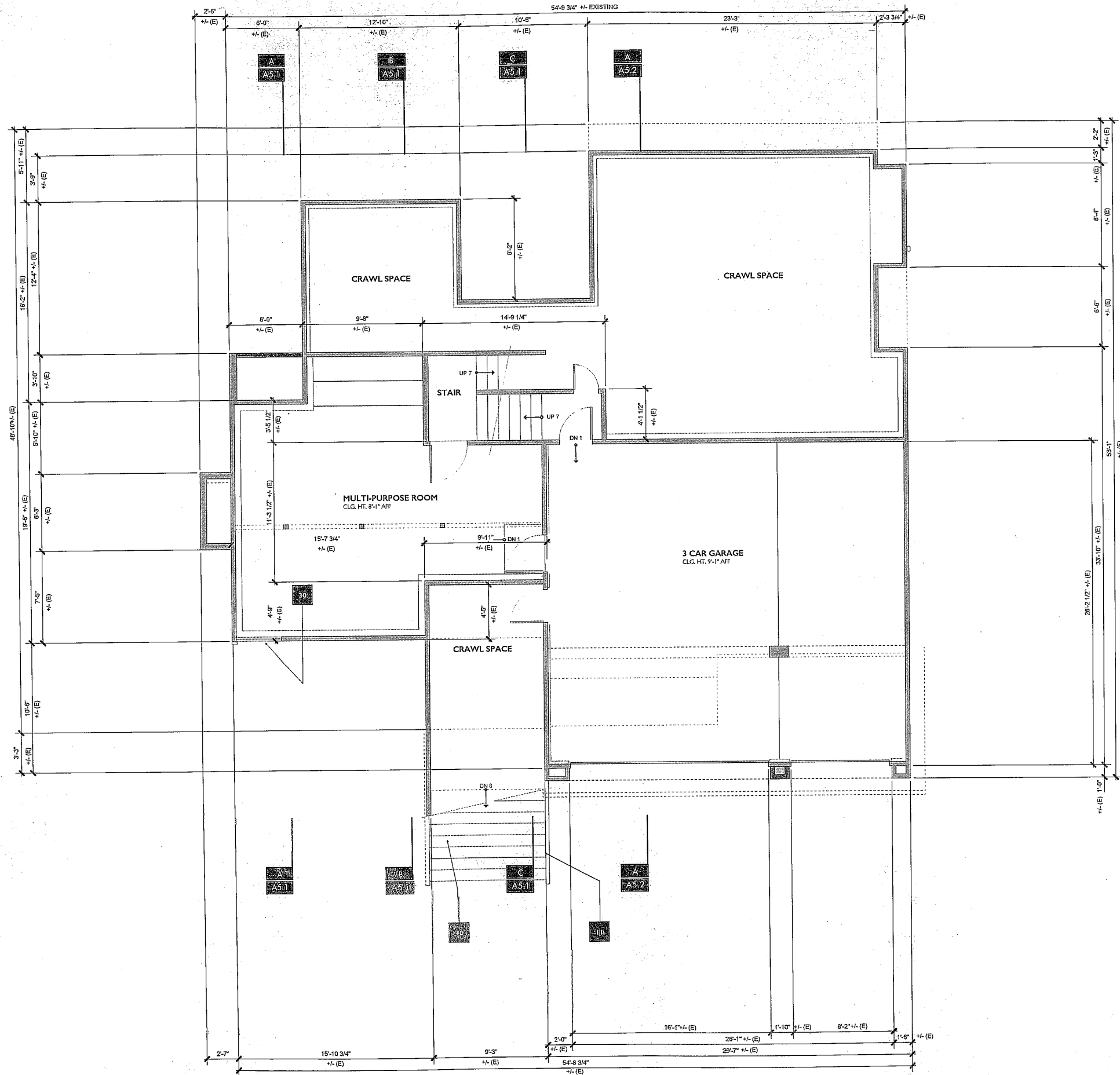


40. Replace existing gutters and rain water leaders.

A 2.3



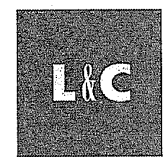
EXISTING UPPER FLOOR PLAN



SPECIFIC SHEET NOTES

- Floors**
1. New addition.
- Landscape**
10. Existing step to remain.
11. New metal pipe and cable railing.
- Walls**
20. New wall.
21. New post.
- Windows and Doors**
30. New windows and doors.
- Gutters & rain water leaders**
40. Replace existing gutters and rain water leaders.

STEVE DAUBER RESIDENCE
10367 HENRY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
LOWER LEVEL FLOOR PLAN
P O P O S E D



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PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05-29-2019

GRAPHIC LEGEND

- EXISTING WALL
NEW WALL

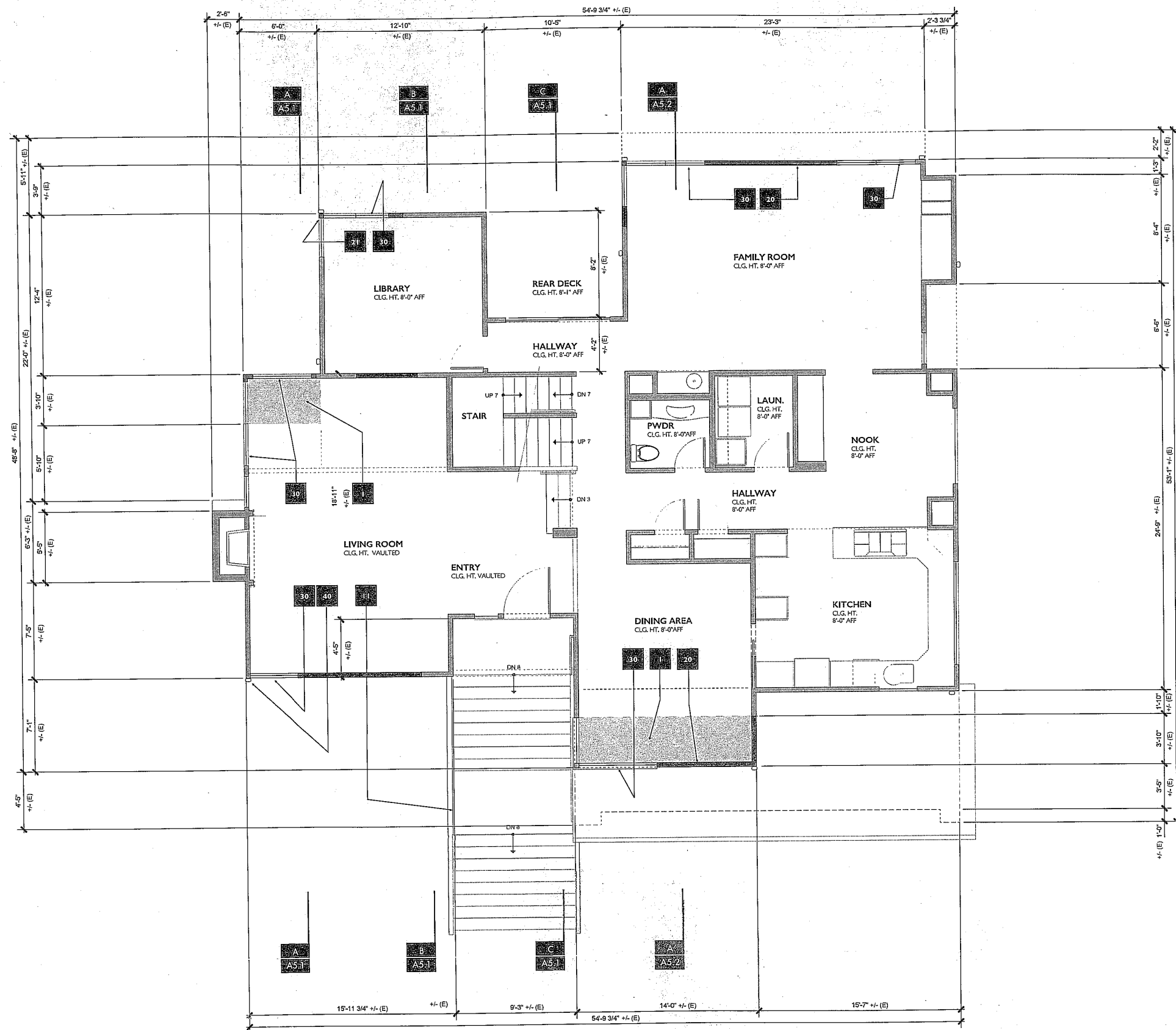


SCALE: 1/4"

0 1 2 3 4 5 6 12

DATE: 01/28/2018
PROJECT: 201805
DRAWN: RAL
NEW: RAL
SCALE: 1/4"

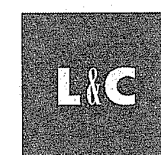
A 3.1



SPECIFIC SHEET NOTES

- Floors**
 - 1. New addition.
- Landscape**
 - 10. Existing step to remain.
 - 11. New metal pipe and cable railing.
- Walls**
 - 20. New wall.
 - 21. New post.
- Windows and Doors**
 - 30. New windows and doors.
- Gutters & rain water leaders**
 - 40. Replace existing gutters and rain water leaders.

STEVE DAUBER RESIDENCE
10367 HENRY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
MAIN LEVEL FLOOR PLAN



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GRAPHIC LEGEND

- EXISTING WALL
- NEW WALL

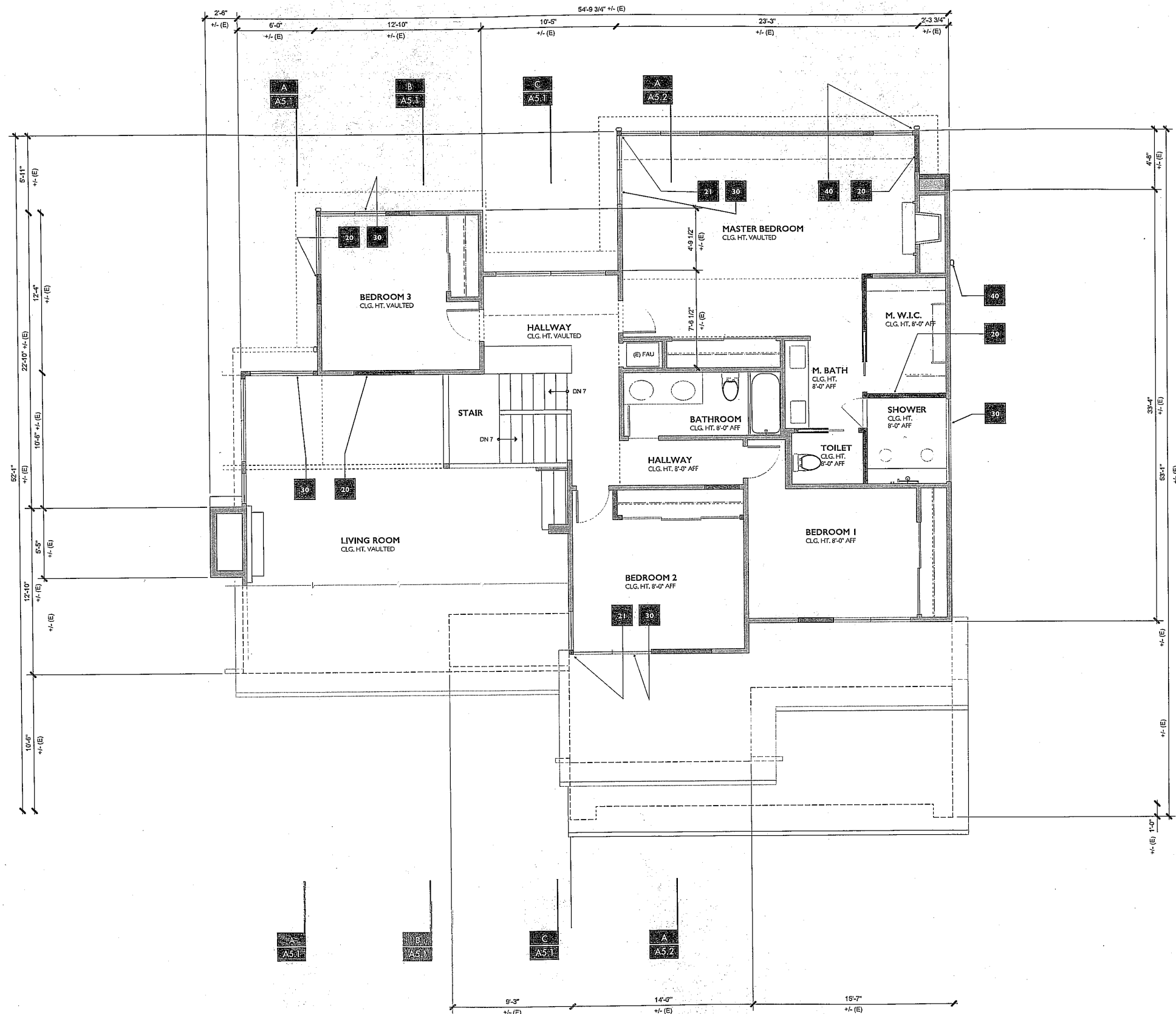


SCALE 1/4" = 1'-0"

PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05.29.2019

DATE: 01/24/2019
PROJECT: 1020105
DRAWN: PAH
REVIEW: KAL
SCALE: 1/4"

A 3.2



SPECIFIC SHEET NOTES

Floors

1. New addition.

Landscape

- 10. Existing step to remain.
- 11. New metal pipe and cable railing.

Walls

- 20. New wall.
- 21. New post.

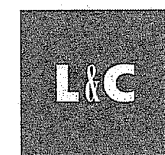
Windows and Doors

- 30. New windows and doors.

Gutters & rain water leaders

- 40. Replace existing gutters and rain water leaders.

STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
UPPER LEVEL FLOOR PLAN



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PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05.29.2019

GRAPHIC LEGEND

- EXISTING WALL
- NEW WALL



SCALE: 1/4" = 1'-0"

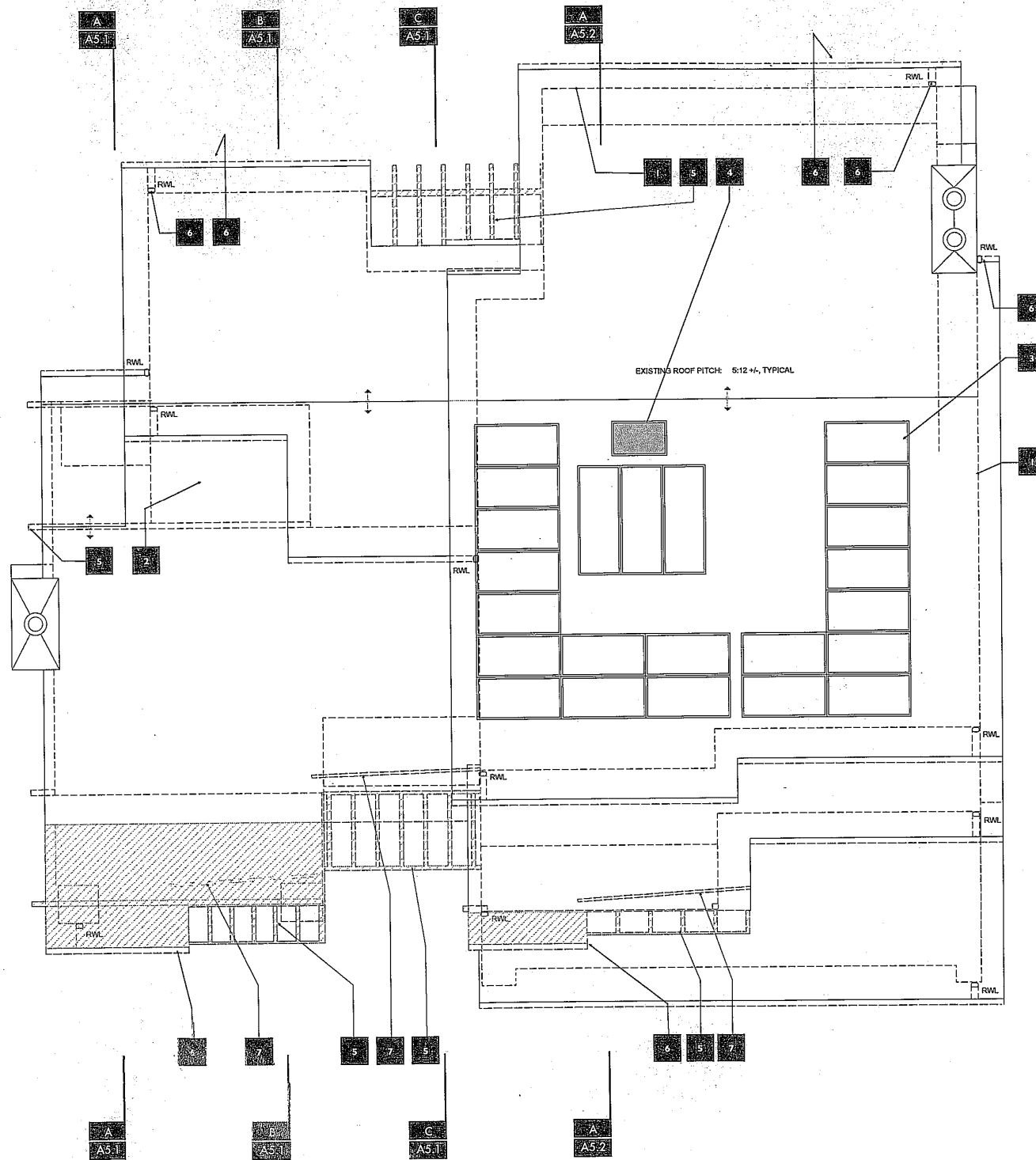
0 1 2 3 4 5 6 12

A 3.3

SPECIFIC SHEET NOTES

Roof Features

1. Dashed lines indicates building structure below.
2. Existing asphalt shingle roof to remain.
3. Existing solar panels to remain.
4. Existing skylight to remain.
5. Existing trellis and extended eaves to be removed.
6. Existing metal gutters and rain water leaders to be replaced.
7. Existing rain water diverter to be removed.
8. New rain water diverter.



PROGRESS PRINT
Not for construction
PUBLISHED: 05.29.2019

GRAPHIC LEGEND

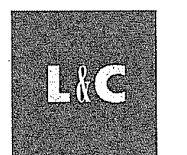
- EXISTING WALL
- EXISTING WALL TO BE REMOVED.



SCALE: 1/4"

0 1 2 3 4 5 6 12

STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
ROOF PLAN
EXISTING & DEMOLITION



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DATE: 10/28/2019

PROJECT: 201905

DRAWN: RAL

REVIEW: RAL

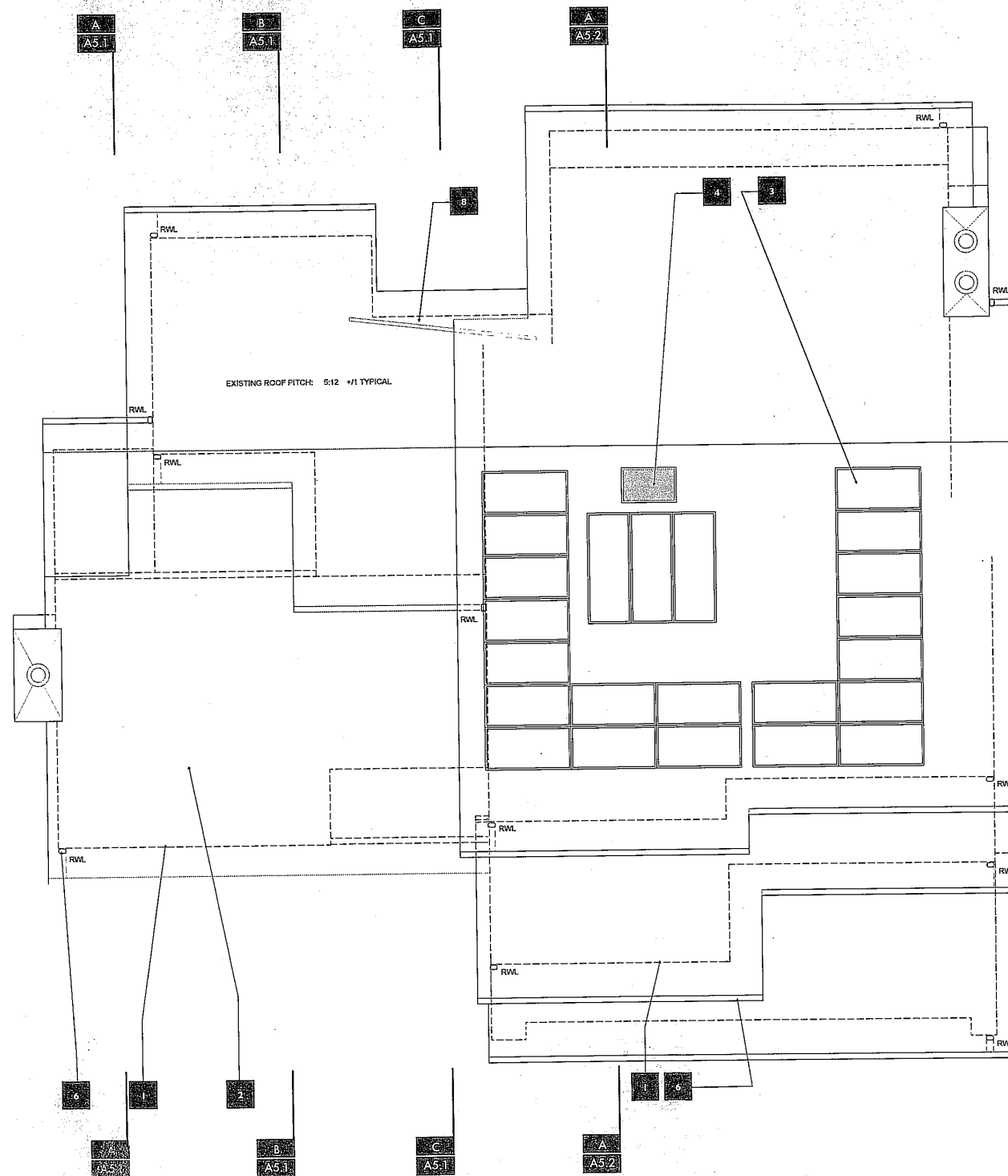
SCALE: 1/4"

A 4.1

SPECIFIC SHEET NOTES

Roof Features

1. Dashed lines indicates building structure below.
2. Existing asphalt shingle roof to remain.
3. Existing solar panels to remain.
4. Existing skylight to remain.
5. Existing trellis and extended eaves to be removed.
6. Existing metal gutters and rain water leaders to be replaced.
7. Existing rain water diverter to be removed.
8. New rain water diverter.



PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05.29.2019

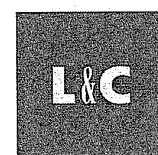
GRAPHIC LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED



SCALE: 1/4" = 1'-0"

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10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
R O O F P L A N

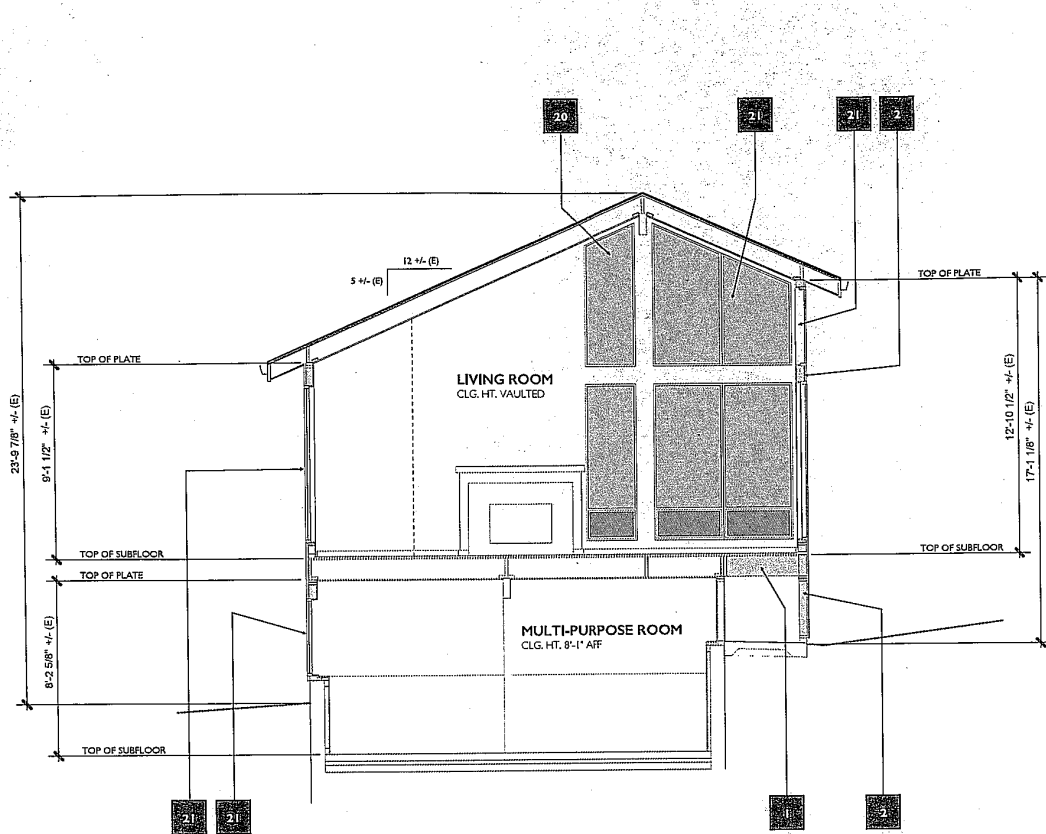


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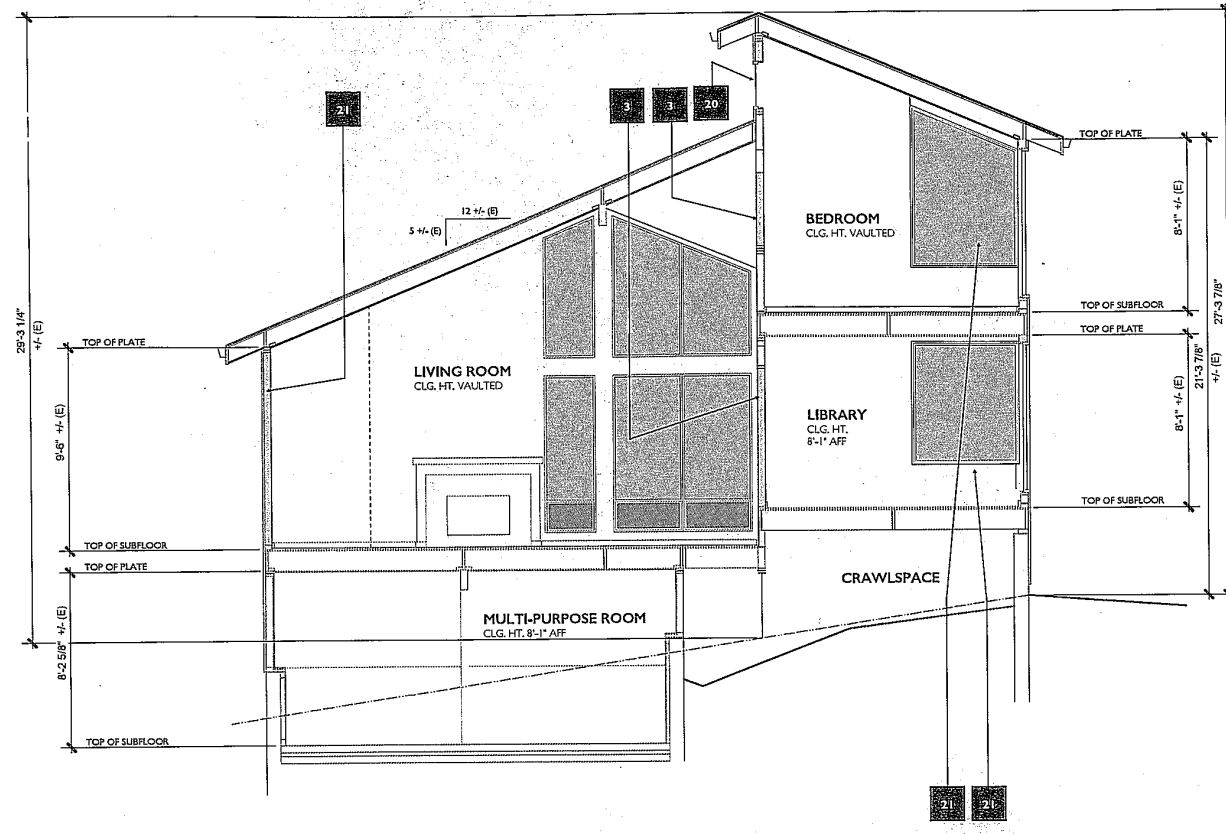
DATE: 01/28/2018
PROJECT: 2018-02
DRAWN: RAL
REVIEW: RAL
SCALE: 1/4"

A 4.2



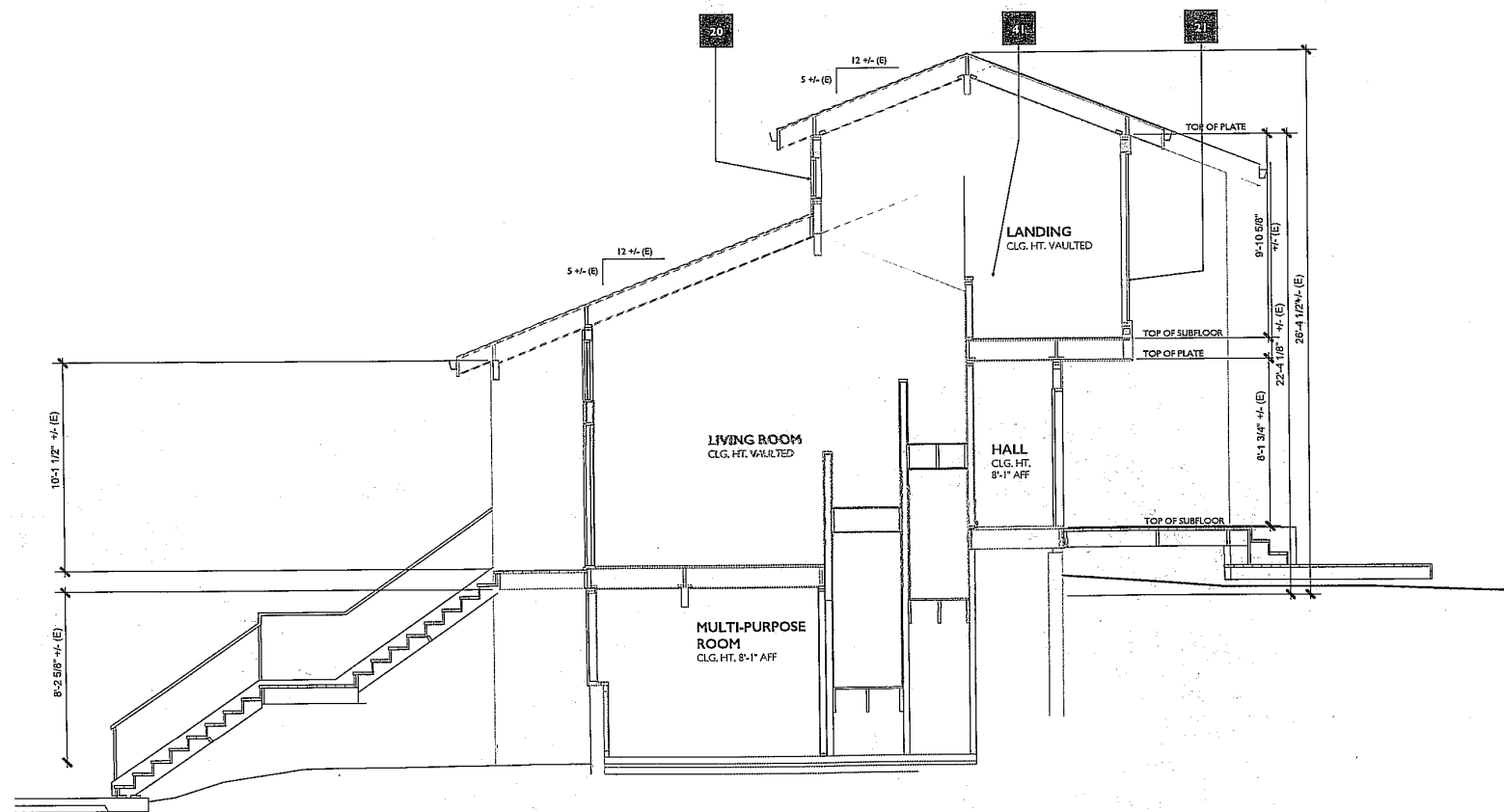
A.A BUILDING SECTION

SCALE: 1/4"



B.B BUILDING SECTION

SCALE: 1/4"



C.C BUILDING SECTION

SCALE: 1/4"

SPECIFIC SHEET NOTES

Structures

1. New wood framing.
2. New exterior wall.
3. New interior wall.

Flashing, Sheet Metal Trim and Accessories

10. New metal gutters and down spout. Painted.

Windows and Doors

20. Replace existing window and doors.
21. New windows and doors.

Cabinetry and Trim

40. Replace existing exterior trim and fascia boards.
41. New cabinet.

STEVE DAUBER RESIDENCE
10367 HENRY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
BUILDING SECTIONS

L&C

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richard@lcsdesigner@yahoo.com

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DATE: 10/28/2019

PROJECT: 2018.05

DRAWN: REAL

REVIEWED: PAC

SCALE: 1/4"

PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05.01.2019

0 1 2 3 4 5 6 12

A 5.1

SPECIFIC SHEET NOTES

Structures

1. New wood framing.
2. New exterior wall.
3. New interior wall.

Flashing, Sheet Metal Trim and Accessories

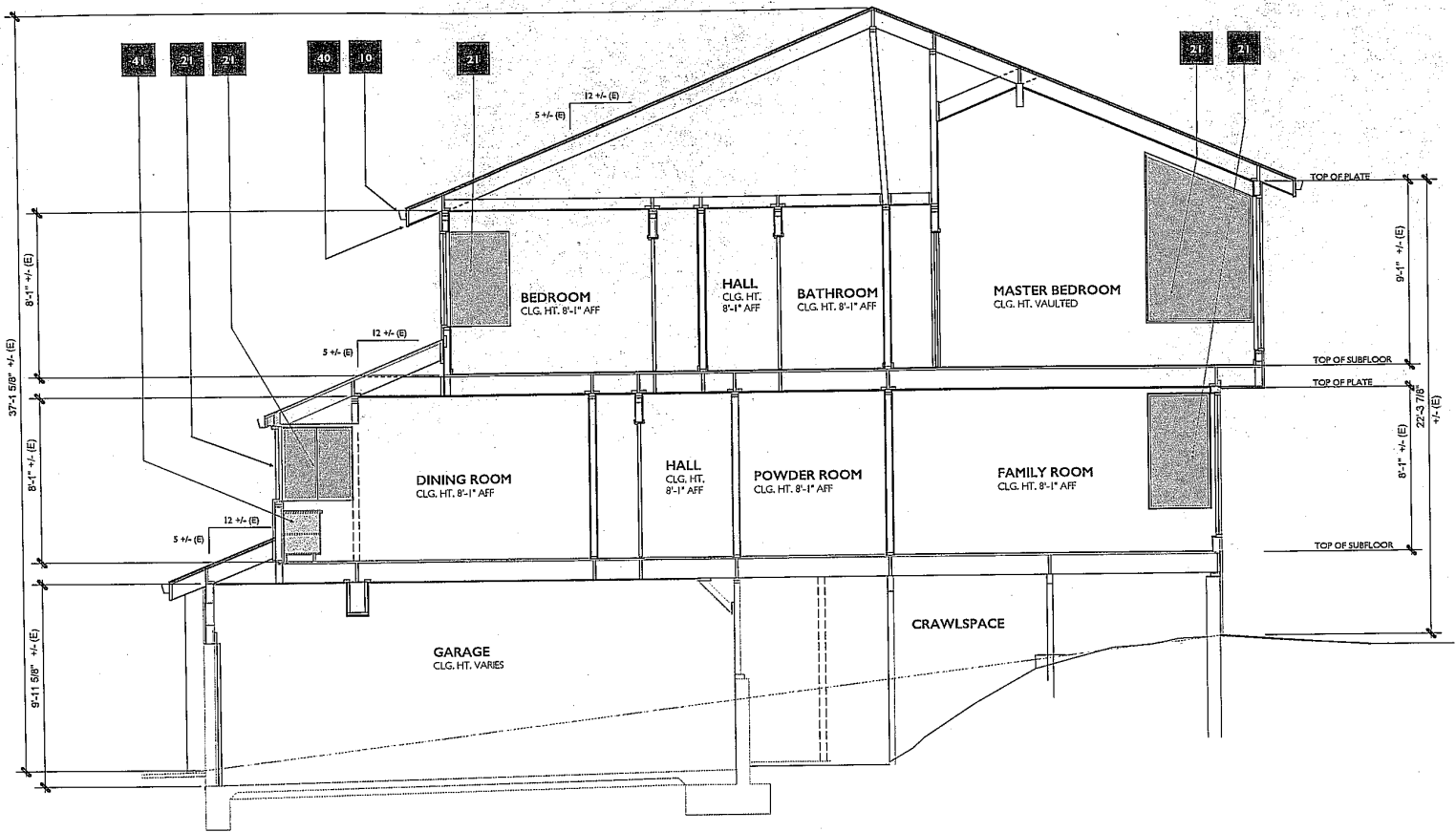
10. New metal gutters and down spout. Painted

Windows and Doors

20. Replace existing window and doors.
21. New windows and doors.

Cabinetry and Trim

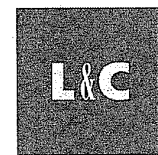
40. Replace existing exterior trim and fascia boards.
41. New cabinet.



A-A BUILDING SECTION

SCALE: 1/4"

STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
BUILDING SECTIONS



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DATE: 01/26/2018

PROJECT: 2018057

DRAWN: RAL

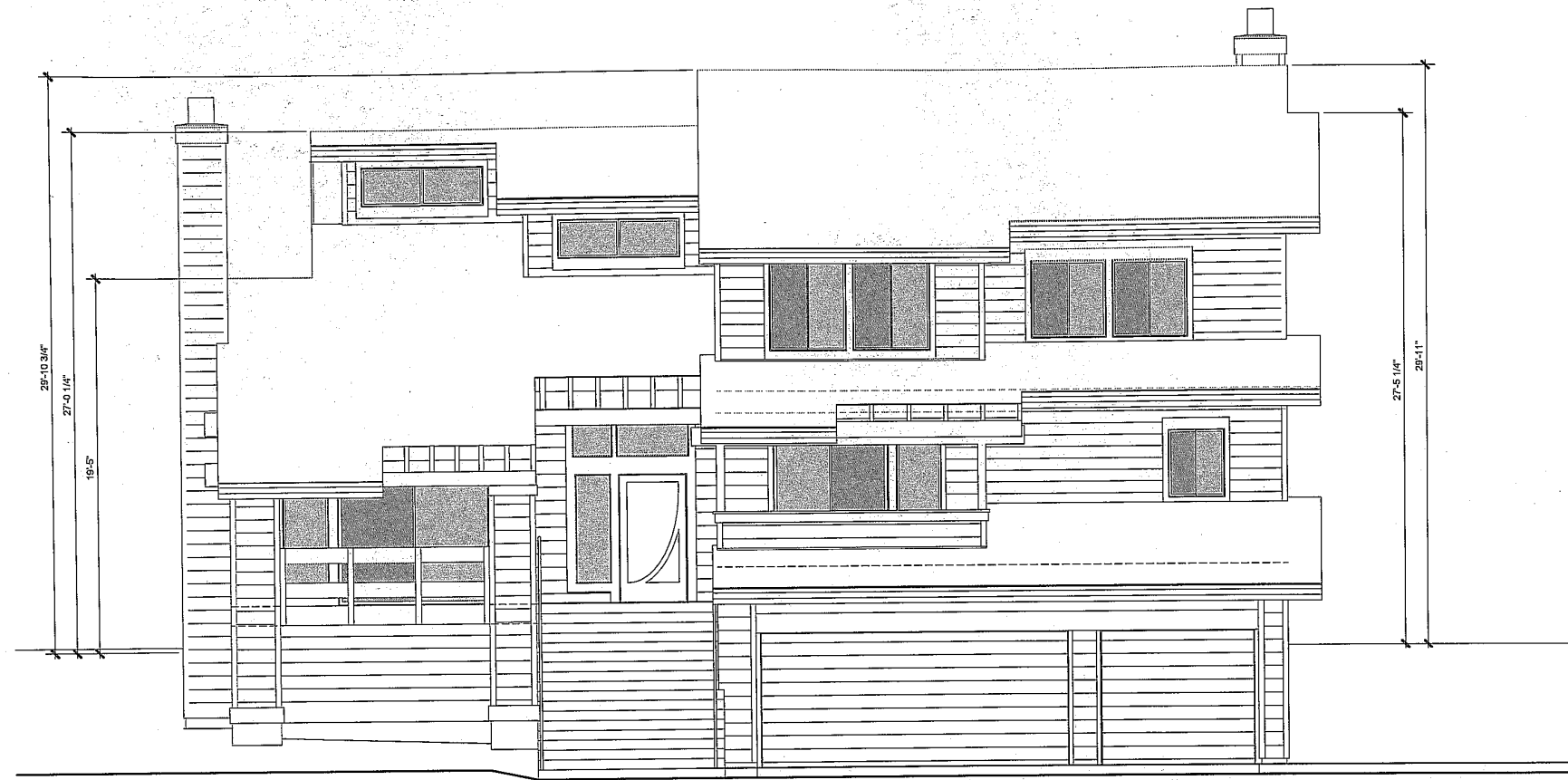
REVIEW: RAL

SCALE: 1/4"

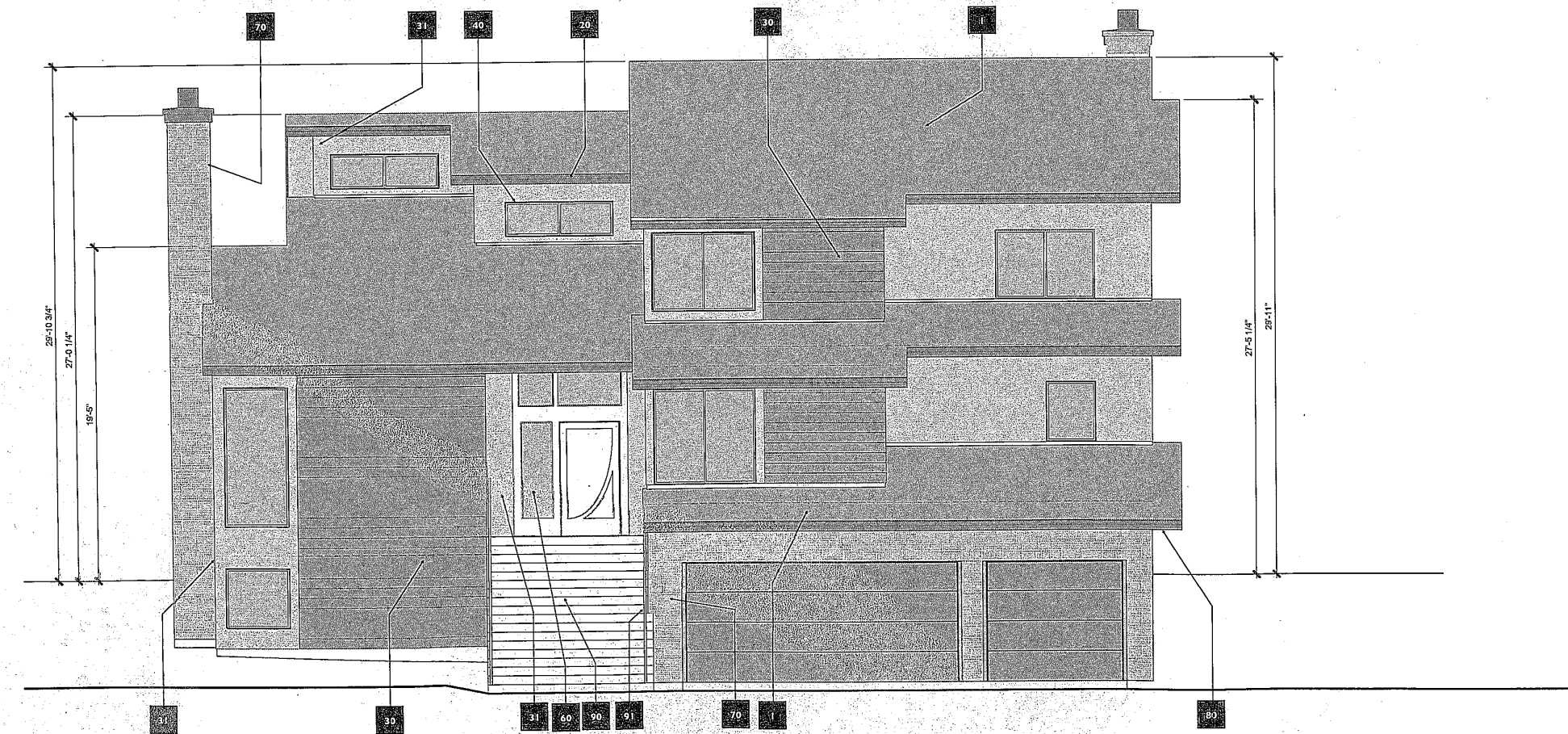
PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05.29.2019

0 1 2 3 4 5 6

SCALE: 1/4"



1 EXISTING EXTERIOR ELEVATION - FRONT (Faces neighbor at 10359 Heney Creek) SCALE: 1/4"



2 PROPOSED EXTERIOR ELEVATION - FRONT (Faces neighbor at 10359 Heney Creek) SCALE: 1/4"

NEW EXTERIOR FINISHES

Roofing System and Material

- 1. Existing Laminated asphalt fiberglass roof shingles.

Flashing, Sheet Metal Trim and Accessories

- 20. New metal gutters and down spout. Painted

Walls

- 30. Hardie horizontal siding.
- 31. Conventional three coat stucco exterior wall system.

Windows and Doors

- 40. Metal or composite windows and doors.

Lighting

- 50. Existing wall mounted lighting.

Decorative Entry Door

- 60. Existing custom wood door and stain glass to remain.

Masonry

- 70. Natural stone veneer.
- 71. Cast stone chimney cap and skirt.

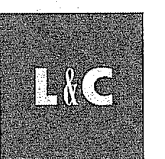
Trim

- 80. Hardie Trim.
- 81. Soffit.

Metal

- 90. Existing composite steps to remain.
- 91. Steel cable railing to match existing.

STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
EXTERIOR ELEVATIONS
EXISTING & PROPOSED



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DATE: 01/28/2018
PROJECT: 2018-05
DRAWN: [initials]
REVIEW: [initials]
SCALE: 1/4"

PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05.29.2019

A 6.1

NEW EXTERIOR FINISHES

Roofing System and Material

1. Existing Laminated asphalt fiberglass roof shingles.

Flashing, Sheet Metal Trim and Accessories

20. New metal gutters and down spout. Painted

Walls

30. Hardie horizontal siding.
31. Conventional three coat stucco exterior wall system.

Windows and Doors

40. Metal or composite windows and doors.

Lighting

50. Existing wall mounted lighting.

Decorative Entry Door

60. Existing custom wood door and stain glass to remain.

Masonry

70. Natural stone veneer.
71. Cast stone chimney cap and skirt.

Trim

80. Hardie Trim.
81. Soffit

Metal

90. Existing composite steps to remain.
91. Steel cable railing to match existing.

STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
EXTERIOR ELEVATIONS
EXISTING & PROPOSED



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DATE: 01-28-2018

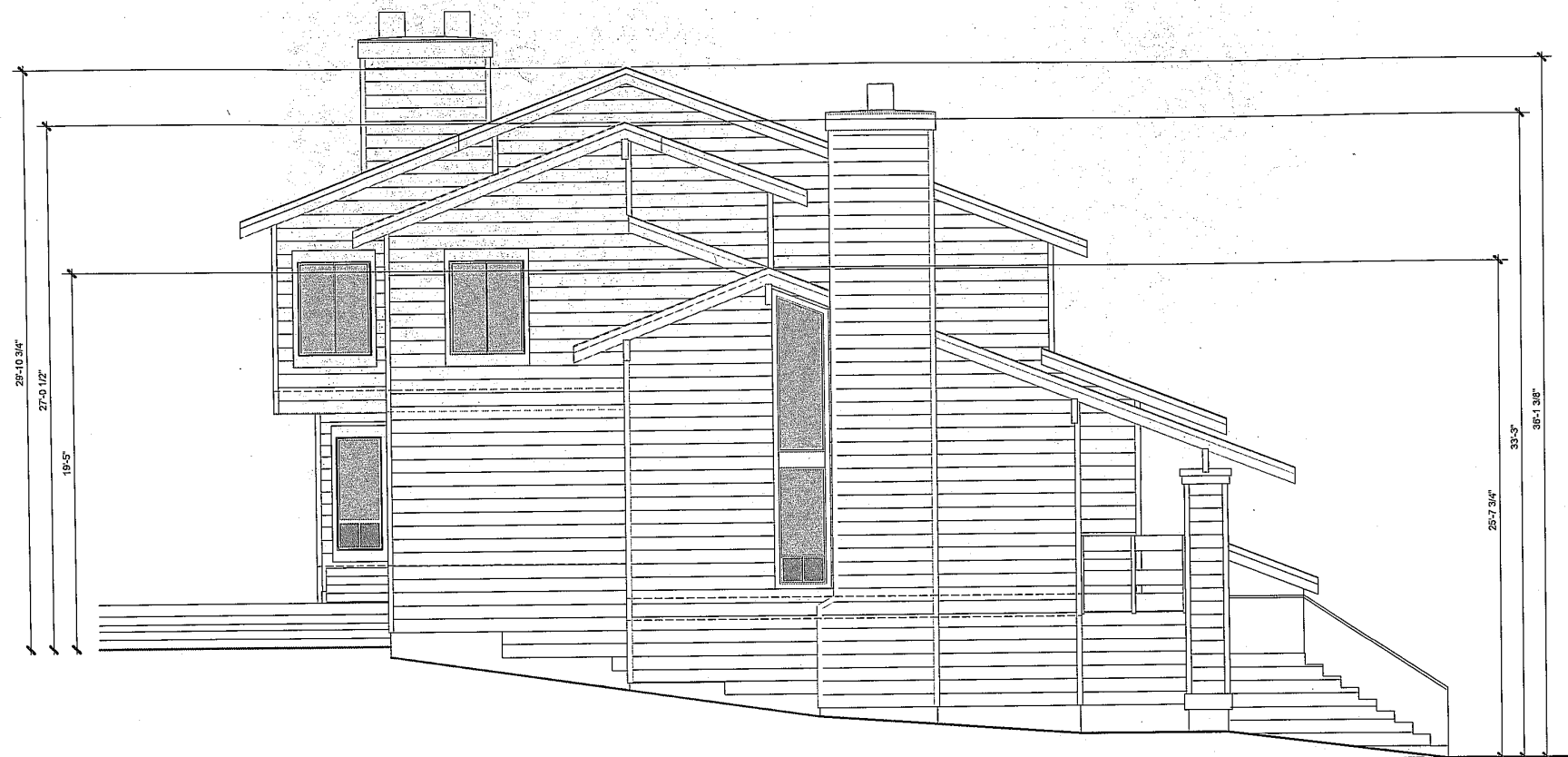
PROJECT: 201805

DRAWN: REAL

REVIEW: REAL

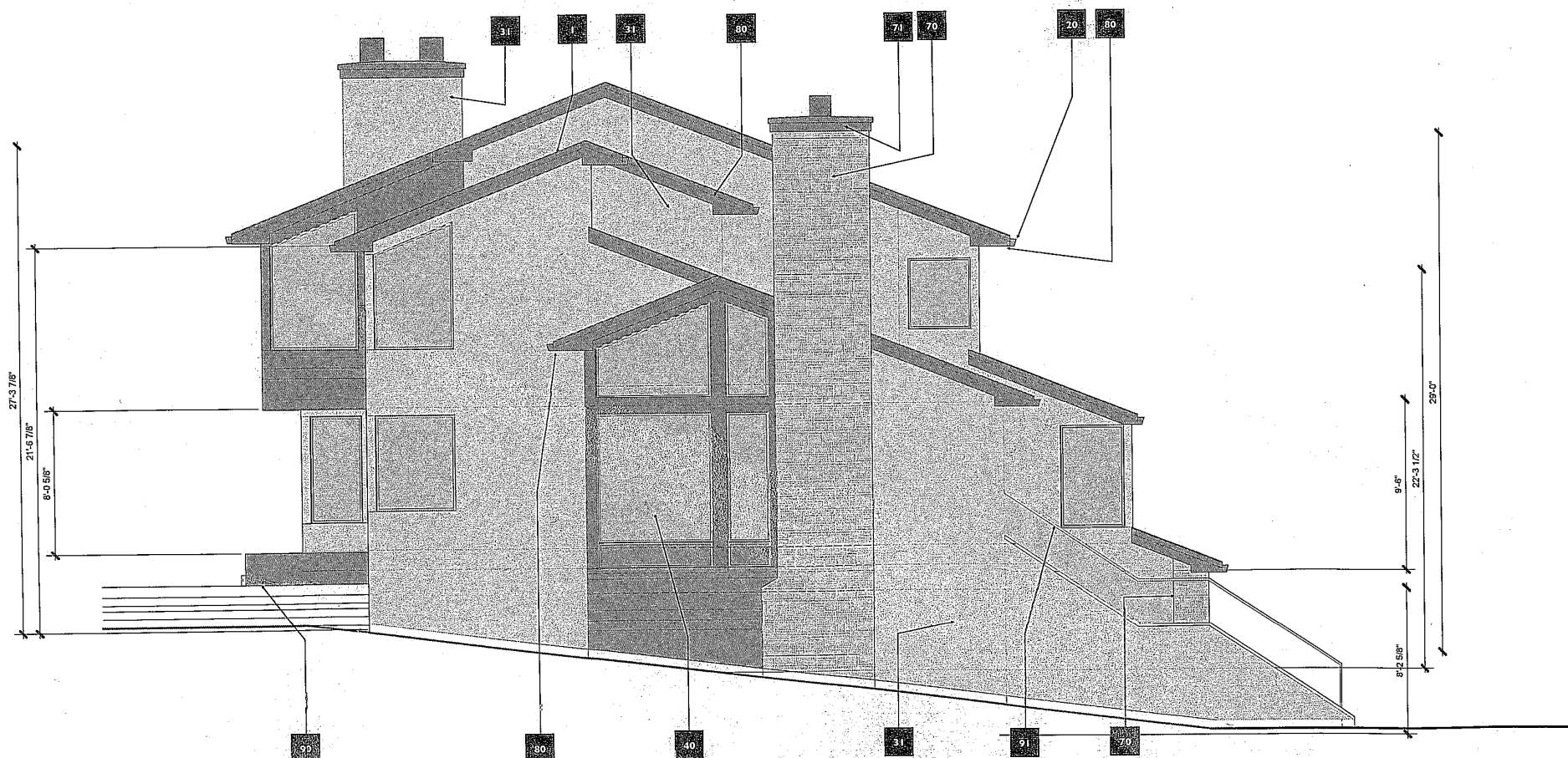
SCALE: 1/4"

A 6.2



1 EXISTING EXTERIOR ELEVATION - LEFT SIDE (Faces open space)

SCALE: 1/4"

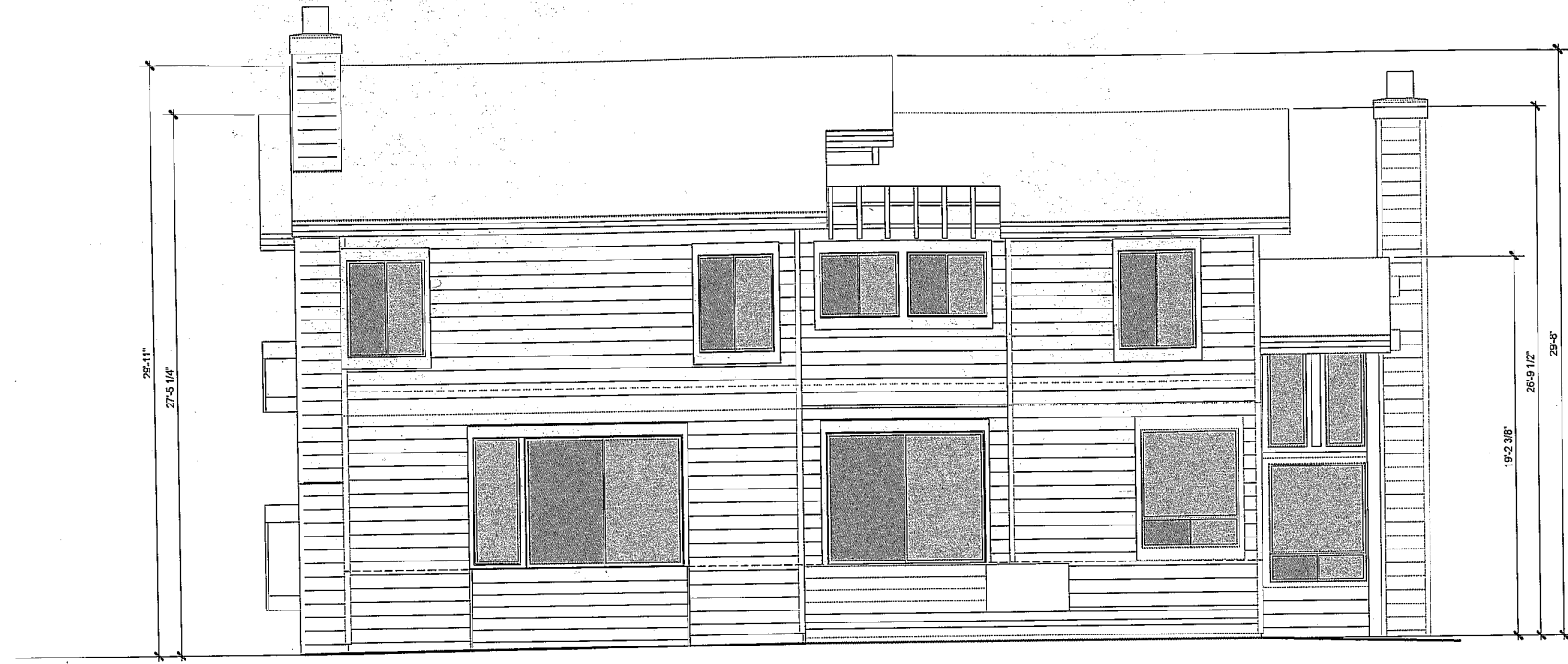


2 PROPOSED EXTERIOR ELEVATION - LEFT SIDE (Faces open space)

SCALE: 1/4"

PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05-29-2019

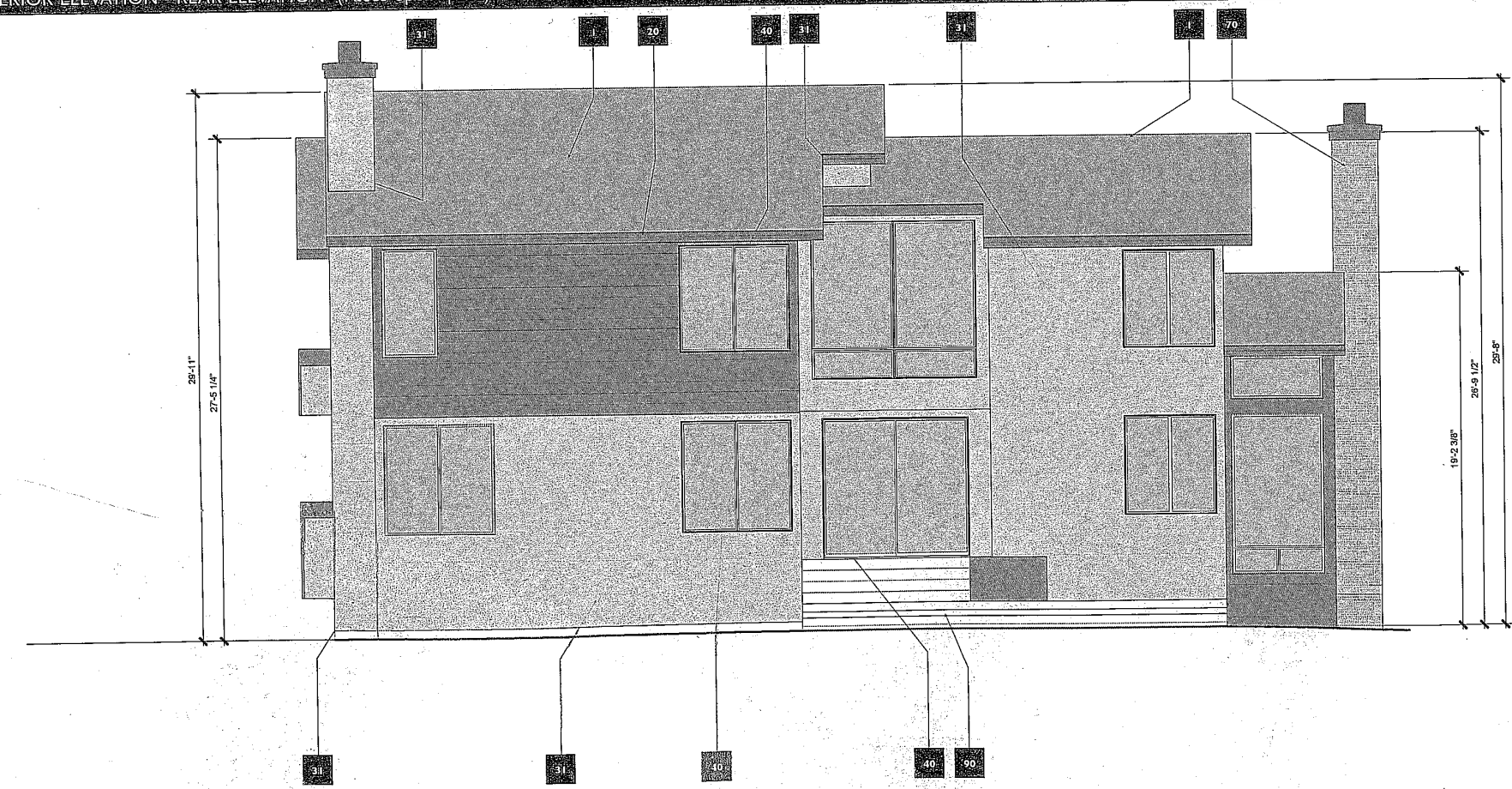
0 1 2 3 4 5 6 12



NEW EXTERIOR FINISHES

- Roofing System and Material**
- Existing Laminated asphalt fiberglass roof shingles.
- Flashing, Sheet Metal Trim and Accessories**
- New metal gutters and down spout. Painted
- Walls**
- Hardie horizontal siding.
 - Conventional three coat stucco exterior wall system.
- Windows and Doors**
- Metal or composite windows and doors.
- Lighting**
- Existing wall mounted lighting.
- Decorative Entry Door**
- Existing custom wood door and stain glass to remain.
- Masonry**
- Natural stone veneer.
 - Cast stone chimney cap and skirt.
- Trim.**
- Hardie Trim.
 - Soffit.
- Ornamental Metal Work**
- Existing composite steps to remain.
 - Steel cable railing to match existing.

1 EXISTING EXTERIOR ELEVATION - REAR ELEVATION (Faces open space) SCALE: 1/4"



2 PROPOSED EXTERIOR ELEVATION - REAR ELEVATION (Faces open space) SCALE: 1/4"

PROGRESS PRINT
NOT FOR CONSTRUCTION
PUBLISHED: 05.29.2019

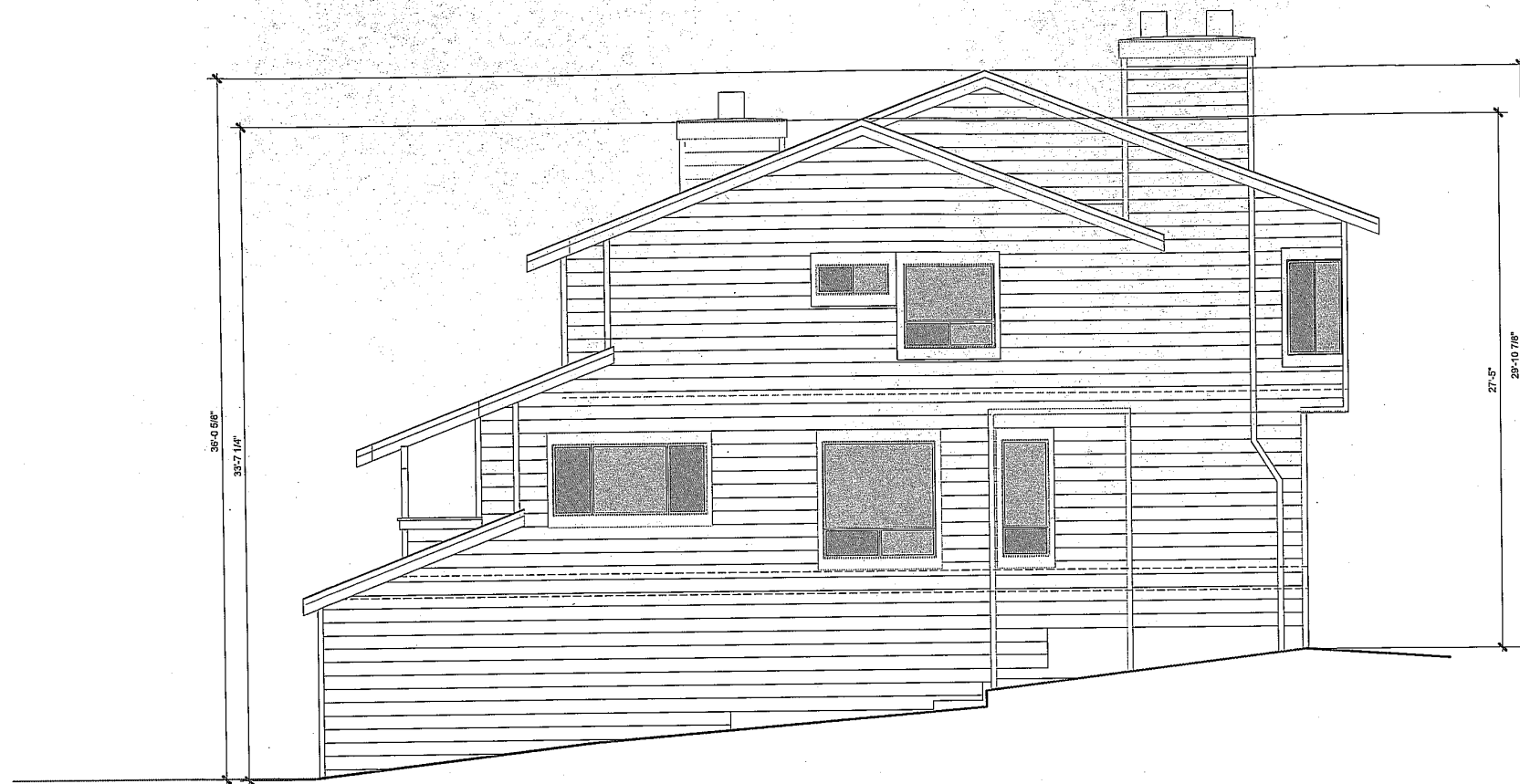
STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
EXTERIOR ELEVATIONS
EXISTING & PROPOSED

L&C
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650 576 8445
richardleitzinger@yahoo.com

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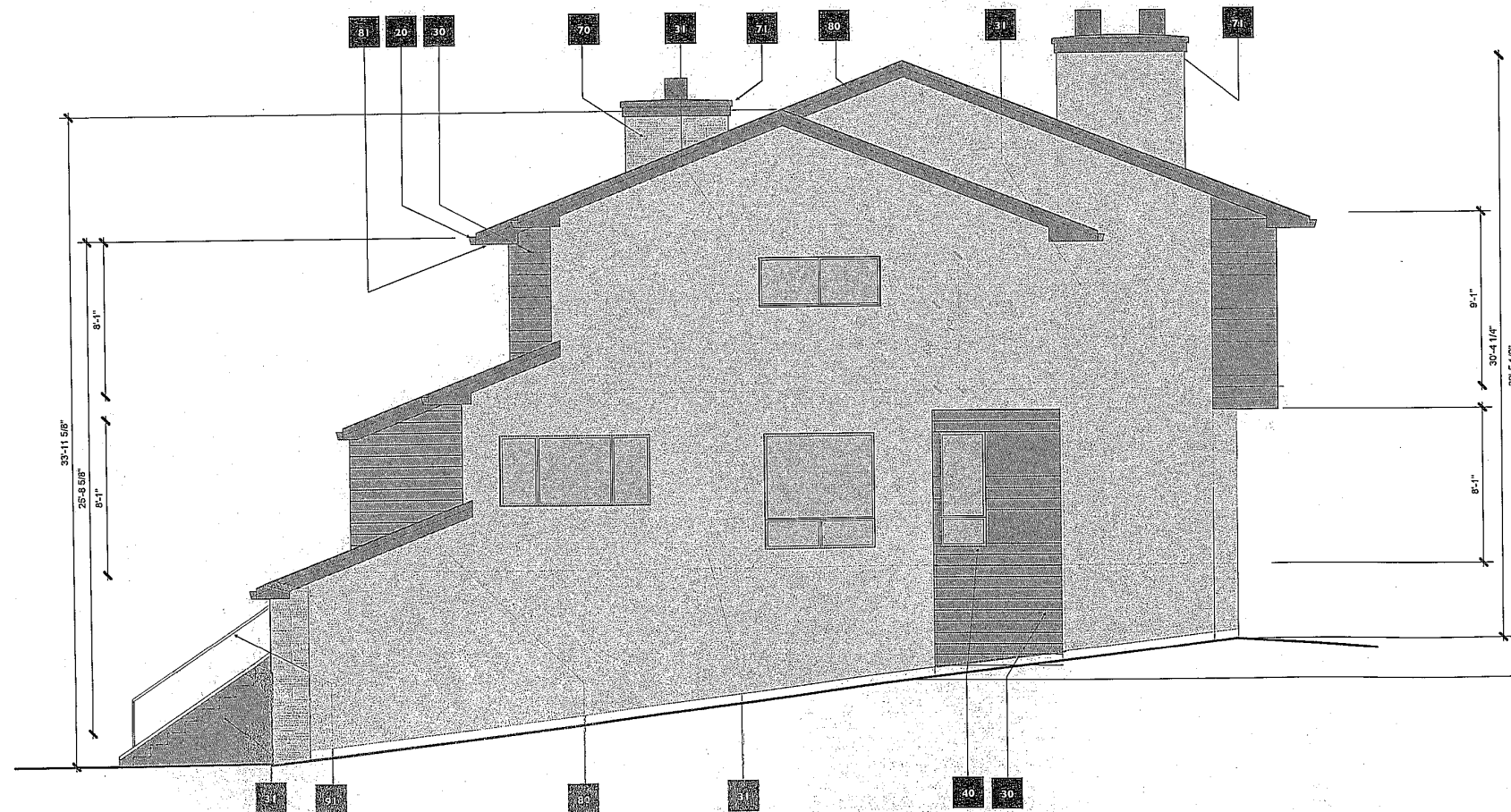
DATE:	10/28/2018
PROJECT:	201804
DRAWN BY:	REAL
REVIEWED BY:	REAL
SCALE:	1/4"

A 6.3



1 EXISTING EXTERIOR ELEVATION - RIGHT SIDE (Faces neighbors at 10391 and 10399 Heney Creek)

SCALE: 1/4"



2 PROPOSED EXTERIOR ELEVATION - RIGHT SIDE (Faces neighbors at 10391 and 10399 Heney Creek)

SCALE: 1/4"

NEW EXTERIOR FINISHES

Roofing System and Material

- Existing Laminated asphalt fiberglass roof shingles.

Flashing, Sheet Metal Trim and Accessories

- New metal gutters and down spout. Painted

Walls

- Hardie horizontal siding.
- Conventional three coat stucco exterior wall system.

Windows and Doors

- Metal or composite windows and doors.

Lighting

- Existing wall mounted lighting.

Decorative Entry Door

- Existing custom wood door and stain glass to remain.

Masonry

- Natural stone veneer.
- Cast stone chimney cap and skirt.

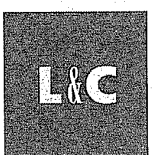
Trim.

- Hardie Trim.
- Soffit.

Ornamental Metal Work

- Existing composite steps to remain.
- Steel cable railing to match existing.

STEVE DAUBER RESIDENCE
10367 HENEY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
EXTERIOR ELEVATIONS
EXISTING & PROPOSED



DESIGN STUDIO

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2040 MAIN STREET, # 124

SANTA CLARA, CALIFORNIA 95050

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DATE: 10/28/2018

PROJECT: 2018.05

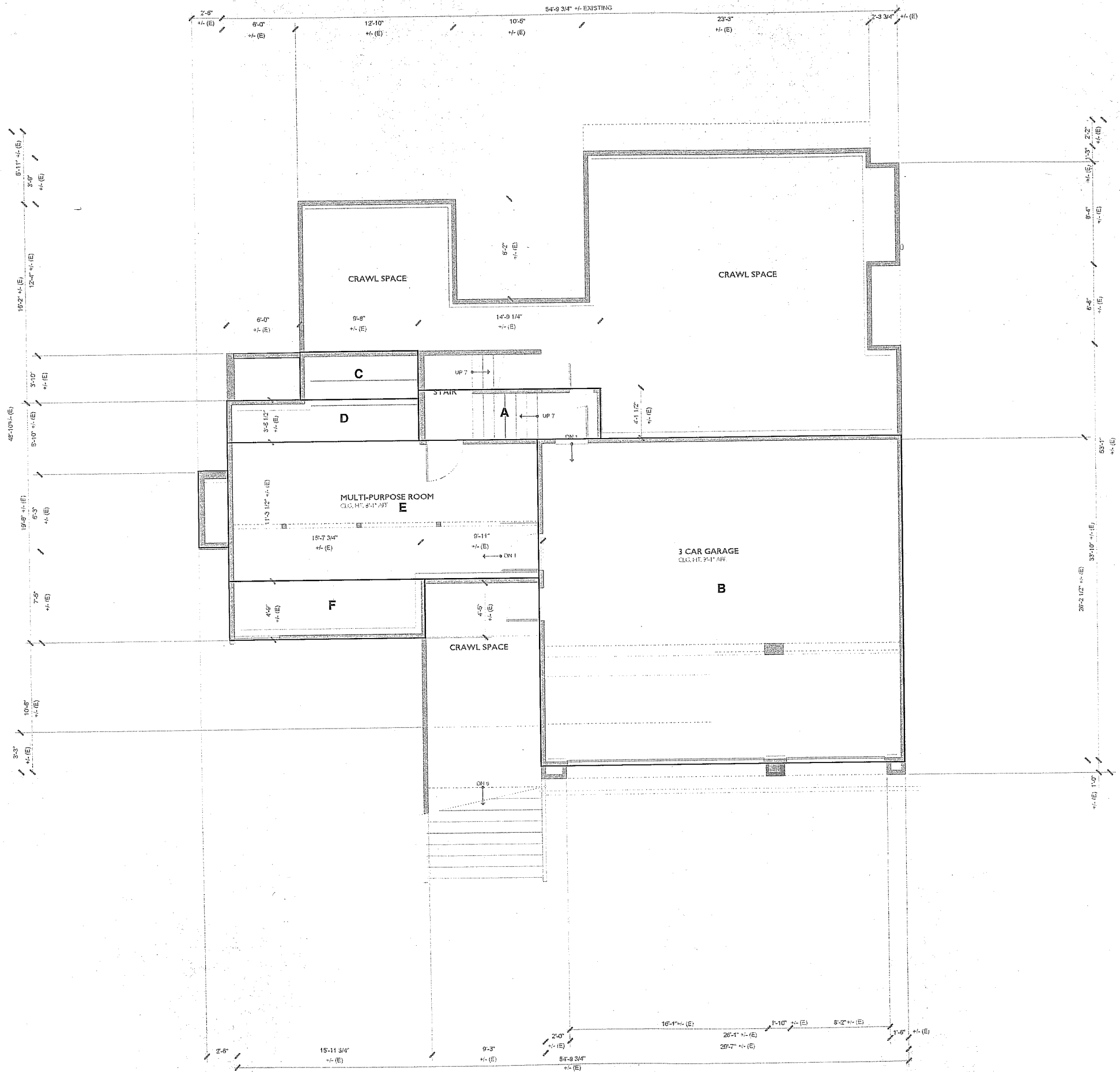
DRAWN: RA

REVIEW: RA

SCALE: 1/4"

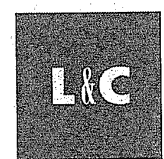
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PUBLISHED: 05.29.2019

A 6.4



Floor Area Ration Summary					
Existing Lower Level Floor Area					
A	14.77	x	4.13	=	61.00 sf.
B	29.58	x	26.21	=	775.29 sf.
C	9.67	x	3.83	=	37.04 sf.
D	15.67	x	3.45	=	54.06 sf.
E	25.56	x	11.29	=	288.57 sf.
F	15.90	x	4.75	=	75.53 sf.
Subtotal Existing Floor Area:					1,291.49 sf.
Proposed Lower Level Floor Area					
I	0.00	x	0.00	=	0.00 sf.
Subtotal Proposed Floor Area:					0.00 sf.
Total Lower Level Floor Area:					1,291.49 sf.

STEVE DAUBER RESIDENCE
10367 HENRY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
FAR AREA CALCULATION
LOWER LEVEL FLOOR PLAN



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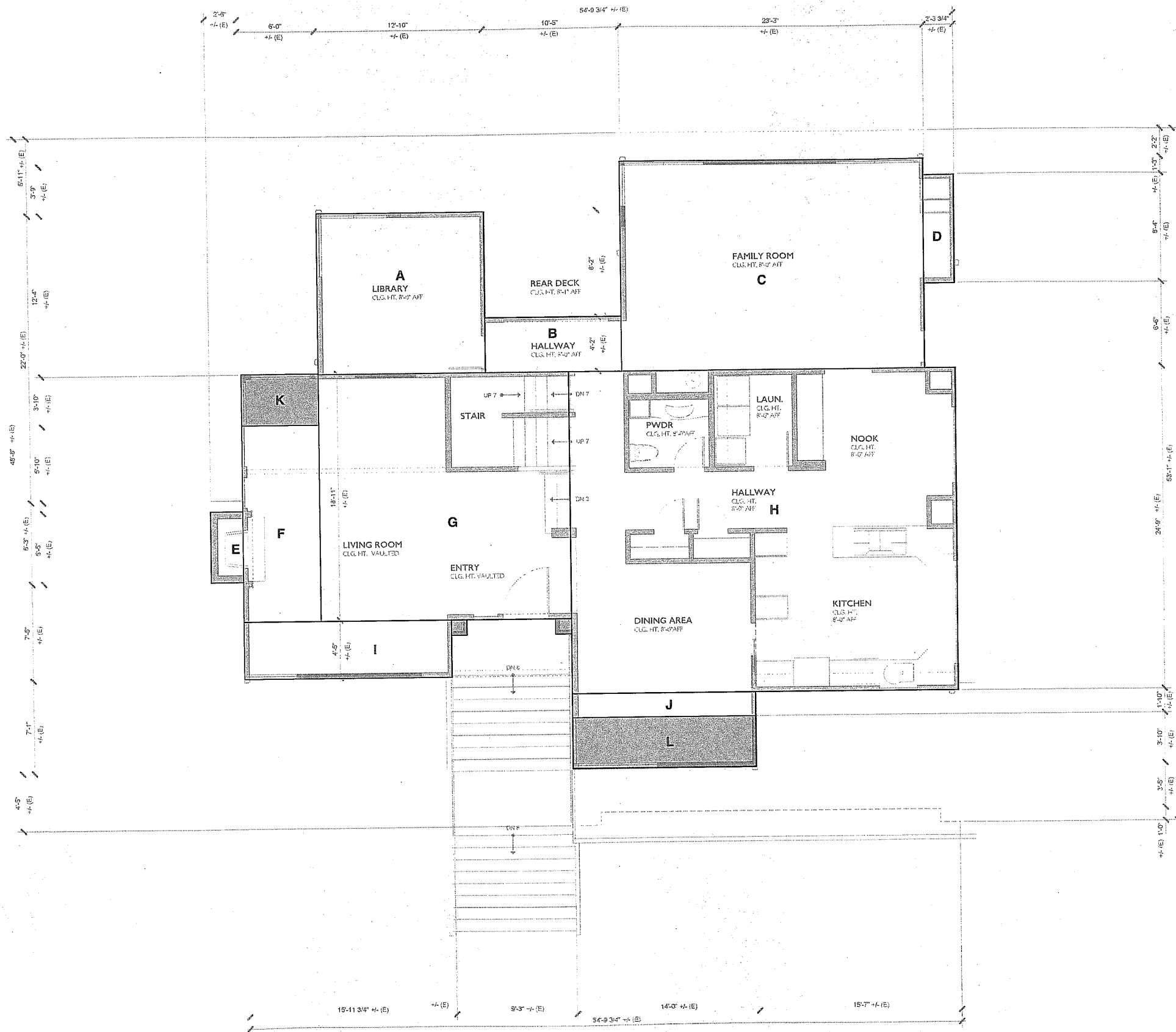
GRAPHIC LEGEND

- EXISTING WALL
- NEW WALL



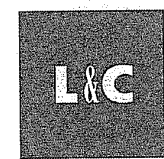
DATE	01/28/2018
PROJECT	2019.05
DRAWN	DRAL
REVIEW	DRAL
SCALE	1/4"

A 7.1



Floor Area Ration Summary					
Existing Main Level Floor Area					
A	12.83	x	12.33	=	158.19 sf.
B	10.42	x	4.17	=	43.45 sf.
C	23.25	x	16.10	=	374.33 sf.
D	2.31	x	8.33	=	19.24 sf.
E	5.41	x	2.42	=	13.09 sf.
F	6.00	x	15.08	=	90.48 sf.
G	19.23	x	18.92	=	363.83 sf.
H	29.68	x	24.75	=	732.11 sf.
I	15.98	x	4.42	=	70.63 sf.
J	14.00	x	1.83	=	25.62 sf.
Subtotal - Existing Floor Area:					1,890.97 sf.
Proposed Main Level Floor Area					
K	6.00	x	3.83	=	22.98 sf.
L	14.00	x	3.83	=	53.62 sf.
Subtotal - Proposed Floor Area:					78.60 sf.
Total Main Level Floor Area:					1,967.57 sf.

STEVE DAUBER RESIDENCE
10367 HENRY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
FAR AREA CALCULATION
MAIN LEVEL FLOOR PLAN



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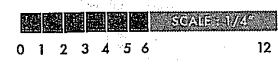
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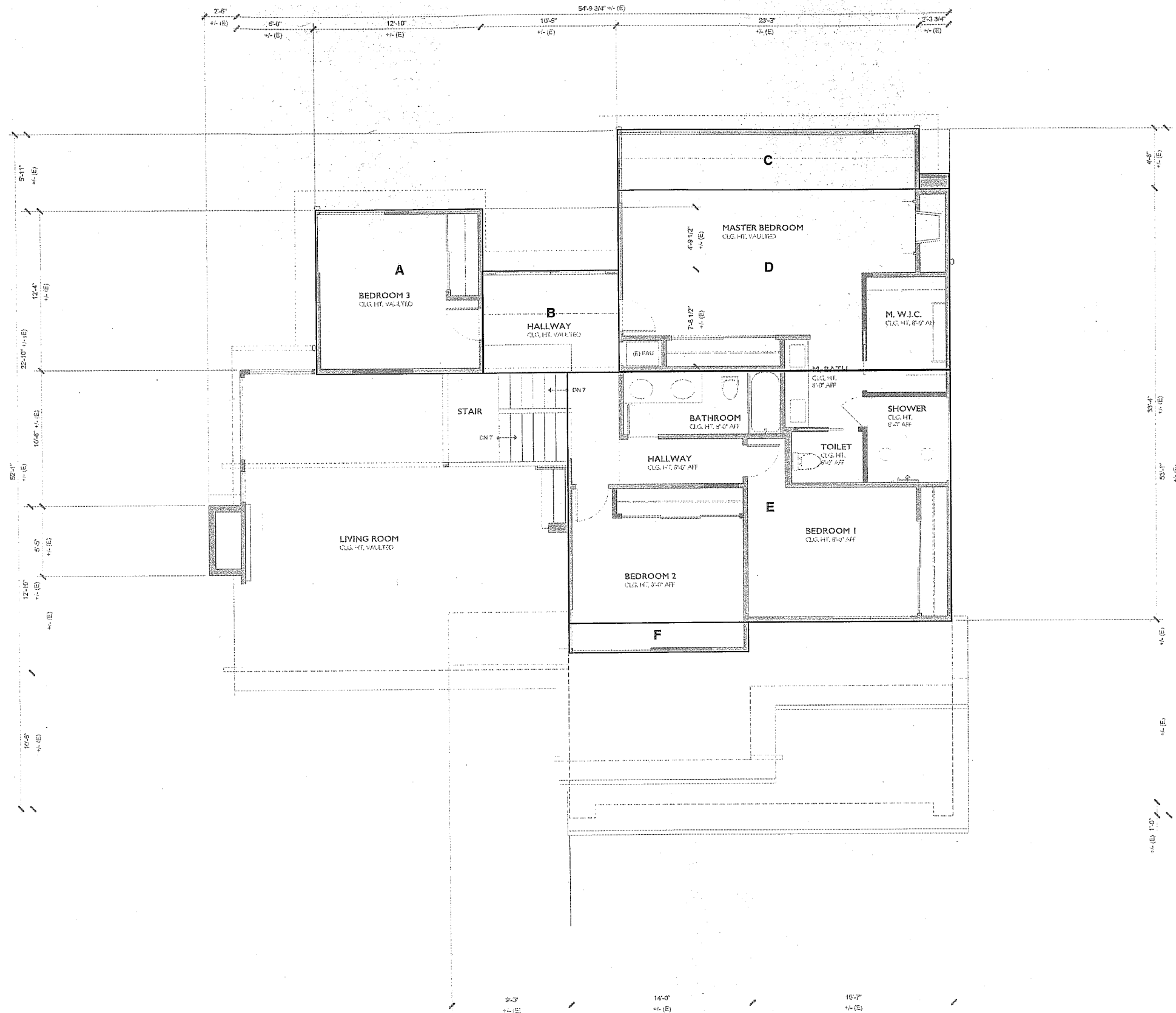
DATE	01/24/2018
PROJECT	2018.05
DRAWN	RAI
REVIEW	RAI
SCALE	1/4"

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PUBLISHED: 04.10.2019

GRAPHIC LEGEND

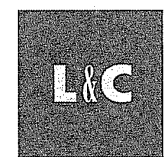
- EXISTING WALL
- NEW WALL





Floor Area Ration Summary					
Existing Upper Level Floor Area					
A	12.83	x	12.33	=	158.19 sf.
B	10.42	x	7.54	=	78.57 sf.
C	23.25	x	4.67	=	108.58 sf.
D	25.56	x	13.70	=	350.17 sf.
E	29.58	x	21.83	=	646.73 sf.
F	14.00	x	2.33	=	32.62 sf.
Subtotal - Existing Floor Area:					1,373.86 sf.
Proposed Upper Level Floor Area					
	0.00	x	0.00	=	0.00 sf.
Subtotal - Proposed Floor Area:					0.00 sf.
Total Upper Level Floor Area:					1,373.86 sf.

STEVE DAUBER RESIDENCE
10367 HENRY CREEK PLACE, CUPERTINO, CALIFORNIA
RESIDENTIAL REMODEL & ADDITION
FAR AREA CALCULATION
UPPER LEVEL FLOOR PLAN



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GRAPHIC LEGEND

EXISTING WALL
NEW WALL



SCALE: 1/4" = 1'-0"

DATE: 01/28/2018
PROJECT: 2018105
DRAWN: RAL
REVIEW: RAL
SCALE: 1/4"

A 7.3