



CUPERTINO

City of Cupertino
10300 Torre Avenue
Cupertino, CA 95014
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Community Development Department

To: Mayor and City Council Members
From: Benjamin Fu, Acting Director of Community Development
Date: February 14, 2019
Subj: REPORT OF PLANNING COMMISSION DECISIONS MADE February 12, 2019

Chapter 19.12.170 of the Cupertino Municipal code provides for
appeal of decisions made by the Planning Commission

1. Application

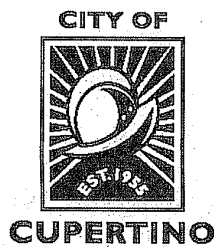
INT-2018-01, R-218-20, Clayton Johnson (Lau residence), 10550 Bette Ave

Appeal of the Administrative Hearing Officer's decision to approve a Front Yard Interpretation to consider designating the street side property line (Bette Avenue) as the front lot line to allow for a 198 square foot addition to the first floor and a Two Story Permit to consider allowing a 980 square foot second floor to an existing single-story residence.

Action

The Planning Commission denied the appeal of the application(s) on a 5-0-0 vote

Enclosures: Planning Commission Report February 12, 2019
Planning Commission Resolution(s) 6869, 6870
Plan Set



COMMUNITY DEVELOPMENT DEPARTMENT

CITY HALL
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PLANNING COMMISSION STAFF REPORT

Agenda Date: February 12, 2019

SUBJECT

Consider an appeal of the Administrative Hearing Officer's decision to approve a Front Yard Interpretation to designate the property line along Bette Avenue as the front lot line to allow for a 198-square-foot addition to the first floor and a Two Story Permit to allow a 980-square-foot second floor to an existing single-story residence. (Applications: INT-2018-01 and R-2018-20; Applicant: Clayton Johnson, Premiere Builders; Project Location: 10550 Bette Avenue; A.P.N.: 369-26-016)
Appellant(s): Elisa Herberg)

RECOMMENDED ACTION

That the Planning Commission adopt the draft resolutions (see Attachments 1 and 2) to deny the appeal and uphold the Administrative Hearing Officer's decision to approve a Two-Story Permit (R-2018-20) and Front Yard Interpretation Permit (INT-2018-01) for the project.

DISCUSSION

Project Data:

Special Area/Neighborhood	South Blaney Neighborhood			
General Plan Designation	Low Density Residential (1-5 DU/Acre)			
Zoning Designation	R1-10 (Single-Family Residential)			
	Allowed/ Required	Existing	Approved (8/9/2018)	Revised
Lot Size	6,657 sq. ft. (0.15 acres)			
Lot Coverage	50%	32%	35%	34%
Proposed Size	2,996 sq. ft.	1,745 sq. ft.	2,923 sq. ft.	2,817 sq. ft.
First Floor	-	1745 sq. ft.	1,943 sq. ft.	1,824 sq. ft.
Second Floor	-	0 sq. ft.	980 sq. ft.	980 sq. ft.
F.A.R.	45%	26%	44%	43%

	Allowed/ Required	Existing	Approved (8/9/2018)	Revised
1st Floor Setbacks				
Front	20'	18'-5"	20'-5"	20'
Rear	20'	22'-10"	22'-10"	20'
Street Side	12'	15'	15'	15'
Interior Side	5'	14'-4"	5'-9"	14'4"
2nd Floor Setbacks				
Front	25'	-	25'	25'
Rear	25'	-	25'	25'
Street Side	12'	-	23'-4"	23'-4"
Interior Side	20'	-	20'	20'
Total Building Height	28'	13'-7"	23'-10"	23'6"
Project Consistency With:				
General Plan	Yes			
Zoning	Yes (upon approval of the Front Yard Interpretation)			
Environmental Review	Categorically Exempt per Section 15303 of the California Environmental Quality Act (CEQA)			

Note: Revisions since approval of the project are indicated in bold in the table above.

Background:

On May 8, 2018, Clayton Johnson of Premiere Builders, representing the homeowners Steven and Jane Lau, applied for a Front Yard Interpretation Permit to designate the property line along Bette Avenue as the front lot line to allow for a 198 square foot addition to the first floor and a Two Story Permit to allow a 980 square foot new second floor.



Figure 1 Project location. Applicant's property outlined in red. Appellant's property outlined in yellow.

The Municipal Code (CMC) defines the longer side on a corner lot as the side yard lot line, which for this property is Bette Avenue. However, there is an established pattern of corner lot residences within the original tract that have functional front yards along the

longer lot line, and under the City of Cupertino's earlier zoning standards, an applicant with a corner lot could choose which street to place the front setback along.

Since the proposed project is consistent with all aspects of Chapter 19.28, Single-Family Residential (R-1), of the Municipal Code, and the proposed interpretation will reinforce the existing residential building relationship as established by the original development, while eliminating the non-conforming status of the existing residence under the CMC, the project was approved administratively on August 9, 2018 (Attachments 3, 4 & 5). The deadline to appeal the project was August 23, 2018. The approval of the Two-Story Permit and Front Yard Interpretation was appealed by Elisa Herberg (6693 Clifford Drive) on August 23, 2018 (Attachment 6).

Subsequent to the appeal being filed, PG&E confirmed with the applicant that a 15' wide easement located in the side yard, that was believed to be abandoned, in fact was active. As a result, the project was revised to increase the setback on the interior side yard from 5'-9" to 14'-4" (Attachment 7).

DISCUSSION:

Basis of the Appeal

The appellant's basis of appeal is summarized below. Where appropriate, staff's responses are in *italics*.

1. "The developer built the corner lot homes, now considered non-conforming, with a setback of 5' or so to the newer homes backyard while the older homes (occupied) were given special consideration (concession?) and built almost 3 times further away (about 14'6" or so).

Front yard Interpretation is all about setbacks. If the front yard Interpretation is approved should the owner be allowed to encroach on a setback that was clearly made to get the development approved by the existing neighbors and City?"

In the case of the appellant's property, which was developed in the City of San Jose, a building setback line recorded on his Tentative Map (No. 2076, recorded in 1958) established the front yard to be located on Clifford Drive and the street side yard setback to be located on Bette Avenue. However, Tract Map (No. 2155, recorded in 1959) does not include any restrictions on the location of the front yard, other than any Municipal Code requirements. At the time this home was developed, the Municipal Code allowed the applicant to decide which street the original home would front on.

While on a corner lot unencumbered by any easements, the Front Yard Interpretation would have allowed the first floor to extend as close as 5' to the side property line; in this case, due to

CITY OF CUPERTINO
10300 Torre Avenue
Cupertino, California 95014

RESOLUTION NO. 6869

OF THE PLANNING COMMISSION DENYING AN APPEAL AND UPHOLDING
THE ADMINISTRATIVE HEARING OFFICER'S AUGUST 9, 2018 APPROVAL
TO ALLOW A TWO STORY PERMIT FOR A 980 SQUARE FOOT SECOND STORY
ADDITION TO AN EXISTING SINGLE-STORY RESIDENCE LOCATED AT 10550
BETTE AVENUE (A.P.N 369-26-016)

SECTION I: PROJECT DESCRIPTION

Application No.: R-2018-20
Applicant: Clayton Johnson (Premiere Builders)
Appellant: Elisa Herberg
Location: 10550 Bette Avenue (A.P.N 369-26-016)

SECTION II: FINDINGS FOR A TWO-STORY PERMIT:

WHEREAS, the City of Cupertino received an application for a Two-Story Permit as described in Section I of this Resolution; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15303; and

WHEREAS, the necessary notices have been given in accordance with the Procedural Ordinance of the City of Cupertino, and the Administrative Hearing Officer has held one or more Public Hearings on this matter; and

WHEREAS, the Administrative Hearing Officer, after considering all the evidence in the record, including public testimony, was able to make the necessary findings to approve the Project, and therefore approved the Project at its August 9, 2018 meeting;

WHEREAS, the Planning Commission of the City of Cupertino received an appeal of the Administrative Hearing Officer's approval of the Project; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Planning Commission has held at least one public hearing in regard to the appeal; and

WHEREAS, the Planning Commission finds that:

- a) The project is consistent with the Cupertino General Plan, any applicable specific plans, zoning ordinance and the purposes of this title.

The proposed project is consistent with the General Plan as the project is within the Low Residential (1-5 DU/acre) land use area. There are no applicable specific plans that affect the project. As the Front Yard Interpretation has been approved, the project has been found to be consistent with the requirements of Cupertino Municipal Code Chapter 19.28 Single Family (R-1) Residential.

- b) The granting of the permit will not result in a condition that is detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety or welfare.

The granting of the permit will not result in a condition that is detrimental or injurious to property improvements in the vicinity, and will not be detrimental to the public health, safety or welfare as the project is located within the R1-10 (Single Family Residential) zoning district, and will be compatible with the surrounding uses of the neighborhood.

- c) The proposed project is harmonious in scale and design with the general neighborhood.

The proposed project is located in a residential area consisting of single family homes. The proposed project maintains the single family home scale found compatible with the general neighborhood.

- d) Adverse visual impacts on adjoining properties have been reasonably mitigated.

Any potential adverse impacts on adjoining properties have been reasonably mitigated through the installation of privacy protection plantings and front yard trees as required.

NOW, THEREFORE, BE IT RESOLVED:

The Project is found to be exempt from the California Environmental Quality Act pursuant to CEQA Guidelines section 15303. The appeal of the application for a Two Story Permit, Application no. R-2018-20 is hereby denied, and the Administrative Hearing Officer's August 9, 2018 approval is hereby upheld. The conclusions upon which the findings and conditions specified in this resolution are based and contained in the Public Hearing record concerning Application nos. INT-2018-01, and R-2018-20 as set forth in the Minutes of Administrative Hearing Meeting of August 9, 2018 and Planning Commission Hearing of February 12, 2019, and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPT.

1. APPROVED EXHIBITS

Approval is based on the plan set entitled, "Bette Ave Residence Addition, 10550 Bette Ave., Cupertino, CA 95014," drawn by D-Square Studio dated March 1, 2017 and submitted to the City on November 5, 2018, consisting of eleven (11) sheets labeled A-0.0 through A-6.2; and the boundary survey entitled, "Site Plan/Boundary Survey" certified by John K. King dated April 19, 2018 consisting of one (1) sheet; except as may be amended by conditions in this resolution.

2. ANNOTATION OF THE CONDITIONS OF APPROVAL

The conditions of approval set forth shall be incorporated into and annotated on the building plans.

3. ACCURACY OF PROJECT PLANS

The applicant/property owner is responsible to verify all pertinent property data including but not limited to property boundary locations, building setbacks, property size, building square footage, any relevant easements and/or construction records. Any misrepresentation of any property data may invalidate this approval and may require additional review.

4. CONCURRENT APPROVAL CONDITIONS

The conditions of approval contained in file no INT-2018-01, shall be applicable to this approval.

5. PRIVACY AND FRONT-YARD TREE PLANTING

The final privacy and front-yard tree planting plan shall be reviewed and approved by the Planning Division prior to issuance of building permits. The variety, size, and planting distance shall be consistent with the City's requirements.

6. PRIVACY AND FRONT-YARD TREE PROTECTION COVENANT

The property owner shall record a covenant on this property to inform future property owners of the privacy protection measures and tree protection requirements consistent with the R-1 Ordinance, for all second floor balconies and windows with views into neighboring yards and a sill height that is 5 feet or less from the second story finished floor. The precise language will be subject to approval by the Director of Community Development. Proof of recordation must be submitted to the Community Development Department prior to final occupancy of the residence.

7. FINAL ARCHITECTURAL DETAILS & EXTERIOR BUILDING

MATERIALS/TREATMENTS

Final building exterior treatment plan (including but not limited to details on exterior color, material, architectural treatments and/or embellishments) shall be reviewed and approved by the Director of Community Development prior to issuance of building permits. The final building exterior plan shall closely resemble the details shown on the original approved plans. Any exterior changes determined to be substantial by the Director of Community Development shall require a minor modification approval with neighborhood input. The planning division shall ensure that the following item, consistent with the Planning Commissions recommendation, is included in the final drawings prior to building permit issuance:

- a. The second floor windows along the south elevation are frosted/obscured.

9. CONSULTATION WITH OTHER DEPARTMENTS

The applicant is responsible to consult with other departments and/or agencies with regard to the proposed project for additional conditions and requirements. Any misrepresentation of any submitted data may invalidate an approval by the Community Development Department.

10. INDEMNIFICATION

Except as otherwise prohibited by law, the applicant shall indemnify and hold harmless the City, its City Council, and its officers, employees and agents (collectively, the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant to attack, set aside, or void this Resolution or any permit or approval authorized hereby for the project, including (without limitation) reimbursing the City its actual attorneys' fees and costs incurred in defense of the litigation. The applicant shall pay such attorneys' fees and costs within 30 days following receipt of invoices from City. Such attorneys' fees and costs shall include amounts paid to counsel not otherwise employed as City staff and shall include City Attorney time and overhead costs and other City staff overhead costs and any costs directly related to the litigation reasonably incurred by City.

11. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d) (1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day

approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

PASSED AND ADOPTED this 12th day of February, 2019, at the Regular Meeting of the Planning Commission of the City of Cupertino, State of California, by the following roll call vote:

AYES: COMMISSIONERS: Chair Wang, Vice Chair Saxena, Takahashi, Moore
Fung
NOES: COMMISSIONERS: none
ABSTAIN: COMMISSIONERS: none
ABSENT: COMMISSIONERS: none

ATTEST:

APPROVED:

/s/Benjamin Fu
Benjamin Fu
Acting Dir. of Comm. Development

/s/R Wang
R Wang
Chair, Planning Commission

CITY OF CUPERTINO
10300 Torre Avenue
Cupertino, California 95014

RESOLUTION NO. 6870

OF THE PLANNING COMMISSION DENYING AN APPEAL AND
UPHOLDING THE ADMINISTRATIVE HEARING OFFICER'S AUGUST
9, 2018 APPROVAL OF A FRONT YARD INTERPRETATION TO
DESIGNATE THE PROPERTY LINE ALONG BETTE AVENUE AS THE
FRONT LOT LINE TO ALLOW FOR A 198 SQUARE FOOT ADDITION
TO THE FIRST FLOOR AND A 980 SQUARE FOOT ADDITION OF A
SECOND FLOOR TO AN EXISTING SINGLE-STORY
RESIDENCE LOCATED AT 10550 BETTE AVENUE (A.P.N 369-26-016)

SECTION I: PROJECT DESCRIPTION

Application No.: INT-2018-01
Applicant: Clayton Johnson (Premiere Builders)
Appellant: Elisa Herberg
Location: 10550 Bette Avenue (A.P.N 369-26-016)

SECTION II: FINDINGS

WHEREAS, the City of Cupertino received an application for a Front Yard Interpretation to designate the property line along Bette Avenue as the front lot line and to permit a 198 square foot addition to the first floor and a 980 square foot addition of a second floor to an existing single-story residence; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15303; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Administrative Hearing Officer has held at least one public meeting in regard to the application; and

WHEREAS, the Administrative Hearing Officer, after considering all the evidence in the record, including public testimony, was able to make the necessary findings to approve the Project, and therefore approved the Project at its August 9, 2018 meeting;

WHEREAS, the Planning Commission of the City of Cupertino received an appeal of the Administrative Hearing Officer's approval of the Project; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Planning Commission has held at least one public hearing in regard to the appeal; and

WHEREAS, the Planning Commission finds that:

1. The project is consistent with the Cupertino General Plan, any applicable specific plans, zoning ordinance, and the purposes of the R1 Ordinance; and
The proposed project is consistent with the existing residential land use designations surrounding the site and is consistent with Title 19, Zoning, and Chapter 19.28, Single-Family Residential (R1) Ordinance, of the Cupertino Municipal Code for setbacks, lot coverage, floor area ratio, and other development standards.
2. The proposed project is harmonious in scale and design with the general neighborhood; and
The interpretation will reinforce the existing residential building relationship as established by the original development when the property was in the City of Cupertino in 1959, eliminate the non-conforming status of the existing residence under the Cupertino Municipal Code, maintain the frontage orientation of the subject site and surrounding properties, and improve the relationship of existing residences and future developments.
3. The granting of the permit will not result in a condition that is detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety, or welfare.
No changes to site access are proposed. Therefore, there is no change or impact to the surrounding neighborhood due to access to and from the site. The proposed project meets all required setbacks of the R1 zoning district and the Zoning Title. Therefore, the proposed project will not be detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety, or welfare.

NOW, THEREFORE, BE IT RESOLVED:

That after careful consideration of the maps, facts, exhibits, testimony and other evidence submitted in this matter, subject to the conditions which are enumerated in this Resolution beginning on PAGE 3 thereof,:

The Project is found to be exempt from the California Environmental Quality Act pursuant to CEQA Guidelines section 15303. The appeal of the application for a Front Yard Interpretation, Application no. INT-2018-01 is hereby denied, and the Administrative Hearing Officer's August 9, 2018 approval is hereby upheld. The conclusions upon which the findings and conditions specified in this resolution are based and contained in the Public Hearing record concerning Application nos. INT-2018-01, and R-2018-20 as set forth in the Minutes of Administrative Hearing Meeting of August 9, 2018 and Planning

Commission Hearing of February 12, 2019, and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPARTMENT

1. APPROVED EXHIBITS

Approval is based on the plan set entitled, "Bette Ave Residence Addition, 10550 Bette Ave., Cupertino, CA 95014," drawn by D-Square Studio dated March 1, 2017 and submitted to the City on November 5, 2018, consisting of eleven (11) sheets labeled A-0.0 through A-6.2; and the boundary survey entitled, "Site Plan/Boundary Survey" certified by John K. King dated April 19, 2018 consisting of one (1) sheet; except as may be amended by conditions in this resolution.

2. ANNOTATION OF THE CONDITIONS OF APPROVAL

The conditions of approval set forth shall be incorporated into and annotated on the building plans.

3. ACCURACY OF PROJECT PLANS

The applicant/property owner is responsible to verify all pertinent property data including but not limited to property boundary locations, building setbacks, property size, building square footage, any relevant easements, and/or construction records. Any misrepresentation of any property data may invalidate this approval and may require additional review.

4. CONCURRENT APPROVAL CONDITIONS

The conditions of approval contained in file no R-2018-20, shall be applicable to this approval.

5. CONSULTATION WITH OTHER DEPARTMENTS

The applicant is responsible to consult with other departments and/or agencies with regard to the proposed project for additional conditions and requirements. Any misrepresentation of any submitted data may invalidate an approval by the Community Development Department.

6. FRONT YARD INTERPRETATION

An Interpretation is granted to allow the lot line adjoining Bette Avenue to be considered the front lot line. Any future additions or modifications to the residence shall be consistent with the interpretation of the lot line adjoining Bette Avenue as the front lot line.

7. INDEMNIFICATION

Except as otherwise prohibited by law, the applicant shall indemnify and hold harmless the City, its City Council, and its officers, employees and agents (collectively, the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant to attack, set aside, or void this Resolution or any permit or approval authorized hereby for the project, including (without limitation) reimbursing the City its actual attorneys' fees and costs incurred in defense of the litigation. The applicant shall pay such attorneys' fees and costs within 30 days following receipt of invoices from City. Such attorneys' fees and costs shall include amounts paid to counsel not otherwise employed as City staff and shall include City Attorney time and overhead costs and other City staff overhead costs and any costs directly related to the litigation reasonably incurred by City.

8. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d) (1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

PASSED AND ADOPTED this 12th day of February, 2019, at the Regular Meeting of the Planning Commission of the City of Cupertino, State of California, by the following roll call vote:

AYES: COMMISSIONERS: Chair Wang, Vice Chair Saxena, Takahashi, Moore,
Fung

NOES: COMMISSIONERS: none

ABSTAIN: COMMISSIONERS: none

ABSENT: COMMISSIONERS: none

ATTEST:

APPROVED:

/s/Benjamin Fu
Benjamin Fu
Acting Dir. of Comm. Development

/s/R Wang
R Wang
Chair, Planning Commission

BETTE AVE RESIDENCE

ADDITION

10550 BETTE AVE
CUPERTINO, CA 95014

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CODE OF REGULATIONS (TITLE 24) AND ALL OTHER LOCAL CODES AND ORDINANCES OF THE GOVERNING AUTHORITY HAVING JURISDICTION, AND AS IDENTIFIED UNDER APPLICABLE CODES ON THIS SHEET. IT IS THE INTENT OF THESE DOCUMENTS TO COMPLY THERETO.
- ALL DRAWINGS ARE TO BE USED IN CONCERT WITH EACH OTHER. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCY BETWEEN THE DOCUMENTS, HE SHALL PROMPTLY REQUEST FROM THE DESIGNER CLARIFICATION OF GOVERNING CRITERIA. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT PLACEMENT, ORIENTATION AND COORDINATION OF WORK. INFORMATION SHOWN IN THE LARGEST GRAPHIC ARE INTENDED TO SUPPLEMENT INFORMATION OF SMALLER, PRECEDING REFERENCE DRAWINGS.
- NOTATIONS MARKED "TYPICAL" (TYP) SHALL BE CONSISTENT THROUGHOUT ALL SUCH REFERENCE NOMENCLATURE, SYMBOLS AND DRAWING INDICATIONS OF LIKE OR SIMILAR KIND.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONSTRUCTION CONDITIONS AND DIMENSIONS PRIOR TO ORDERING, FABRICATING, AND INSTALLATION OF ANY ASSOCIATED WORK. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL PROMPTLY REQUEST FROM THE DESIGNER CLARIFICATION PRIOR TO COMMENCEMENT OF ASSOCIATED WORK.
- DIMENSIONS ARE RELATED SPECIFICALLY TO FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXTERIOR STUDS, CENTERLINE OF STRUCTURAL COLUMNS AND BEAMS, OR CENTERLINE OF INTERIOR STUDS, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS ARE INDICATED FROM FINISHED SURFACES OF MATERIALS OR ASSEMBLIES.
- BUILDING ELEVATION REFERENCES ARE FROM DIRECT APPLICATION OF FINISH FLOORING APPLIED TO THE STRUCTURAL FLOOR SUBSTRATE OF THE GROUND FLOOR DATUM (MAIN ENTRANCE). CONTRACTOR SHALL INCLUDE REQUIRED DEPRESSIONS AND/OR PROJECTIONS IN ACHIEVING REQUIRED ELEVATIONS. CEILING HEIGHTS ARE REFERENCED TO FINISHED SURFACES UNLESS OTHERWISE NOTED.
- KEYNOTES USED ON THE DRAWINGS ARE FOR ASSEMBLIES, MATERIAL REFERENCES AND NOTES. REFER TO THE KEYNOTE LEGEND ON THE RESPECTIVE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE. NOT ALL KEYNOTES REFERENCED MAY BE APPLICABLE TO SIMILAR TYPE DRAWINGS.
- EXISTING WORK IS SHOWN FOR REFERENCE ONLY. THE OWNER AND CONTRACTOR DO NOT GUARANTEE EXISTING CONDITIONS INDICATED ON THESE DOCUMENTS.
- MATERIALS SUSPECTED OF CONTAINING ASBESTOS THAT ARE DISCOVERED DURING THE PROGRESS OF THE WORK SHALL BE REPORTED TO THE OWNER. WORK IN THAT PARTICULAR AREA SHALL BE SUSPENDED UNTIL THE OWNER TESTS THE SUSPECT MATERIAL AND IT IS FOUND TO BE SAFE, OR UNTIL THE SUSPECT MATERIAL HAS BEEN PROPERLY ABATED.
- CONTRACTOR SHALL VERIFY, AT SITE, ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BIDS. SITE VISITS DURING BIDDING SHALL BE COORDINATED WITH THE OWNER IN ACCORDANCE WITH PROVISIONS OF THE SPECIFICATIONS.
- CONTRACTOR SHALL PROTECT ALL EXISTING WORK. ANY DAMAGED WORK SHALL BE REPLACED WITH THE SAME MATERIALS, INCLUDING MATCHING THE EXISTING COLORS AND TEXTURES.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR THEIR OWN CLEANUP AS WORK PROGRESSES.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS, AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH LOCAL ORDINANCES.

NOTES FOR REMODELING AND ADDITIONS:

- Existing construction shown on drawings as well as these drawings are based upon information obtained from existing drawings and/or field measurements.
- Contractor shall verify all existing field conditions prior to starting construction.
- If existing structural members are encountered during demolition which are not as to be removed, these shall be brought to the attention of the Contractor or Engineer immediately prior to any further demolition.
- Remove and relocate (e) mechanical, electrical, plumbing and other items not indicated on plans, as required for construction of remodeled area. All areas to be patched and repaired to match existing.

PROJECT INFORMATION

DESIGNER: D-SQUARE STUDIO
2193 SUMMERTON DR.
SAN JOSE, CA
(408) 625-9171
jsund@d-squarestudio.com

STRUCTURAL: AOK ENGINEERING
6525 CROWN BLVD
SAN JOSE, CA
(408) 229-3517
chyou88@gmail.com

ZONING: R-1-10 - SINGLE FAMILY
TYPE OF CONST: V-B
APN: 309-26-016

LOT SIZE: 6,657.1 SQ. FT.

EXISTING AREA		PROPOSED AREA	
TOTAL FIRST FLOOR AREA	1,371.31 SQ. FT.	TOTAL FIRST FLOOR AREA	1,344 SQ. FT.
TOTAL SECOND FLOOR AREA	N/A	TOTAL SECOND FLOOR AREA	980 SQ. FT.
TOTAL LIVABLE AREA	1,371.31 SQ. FT.	TOTAL LIVABLE AREA	2,324 SQ. FT.
TOTAL GARAGE AREA	373.3 SQ. FT.	TOTAL GARAGE AREA	480.5 SQ. FT.
ENTRY (NOT INCLUDED)	110 SQ. FT.	ENTRY (NOT INCLUDED)	34 SQ. FT.
ENTRY (INCLUDED)		ENTRY (INCLUDED)	12.6 SQ. FT.
TOTAL SQUARE FOOTAGE AREA	1,744.61 SQ. FT.	TOTAL SQUARE FOOTAGE AREA	2,817.1 SQ. FT.
FLOOR AREA RATIO	26 %	FLOOR AREA RATIO	43 %
LOT COVERAGE area covered by all structures	1,854.61 SQ. FT.	LOT COVERAGE area covered by all structures	1,871 SQ. FT.
Overhangs	276.16 SQ. FT.	Overhangs	395.3 SQ. FT.
TOTAL	2,130.77 / 6,657.1 (32%)	TOTAL	2,266.3 / 6,657.1 34%
STORIES	1	STORIES	2
BEDROOMS	3	BEDROOMS	4
BATHROOMS	2	BATHROOMS	4

CODES

APPLICABLE CODES:

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA REFERENCE STANDARDS CODE (CRSC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA MECHANICAL CODES (CMC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA FIRE CODE (CFC)
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2016 CALIFORNIA EXISTING BUILDING CODE (CEBC)

VICINITY MAP



SHEET INDEX

ARCHITECTURAL		STRUCTURAL	
A-0.0	TITLE SHEET - SITE PLAN	S1	STRUCTURAL NOTES
A-0.1	CAL GREEN NOTES	S2	STRUCTURAL DETAILS
A-0.2	AREA CALCULATIONS	S3	STRUCTURAL DETAILS
A-0.3	EXISTING / DEMO PLAN	S4	SUBFLOOR & FOUNDATION PLAN
A-0.4	FLOOR PLANS	S5	SECOND FLOOR FRAMING PLAN
A-0.5	SECTIONS	S6	ROOF FRAMING PLANS
A-0.6	ELEVATIONS		
A-0.7	ELEVATIONS		
A-0.8	ROOF PLAN		
A-0.9	LIGHTING PLAN		
A-1.0	POWER PLAN		
A-1.1	BEST MANAGEMENT PRACTICES (CITY OF CUPERTINO)		

TITLE 24

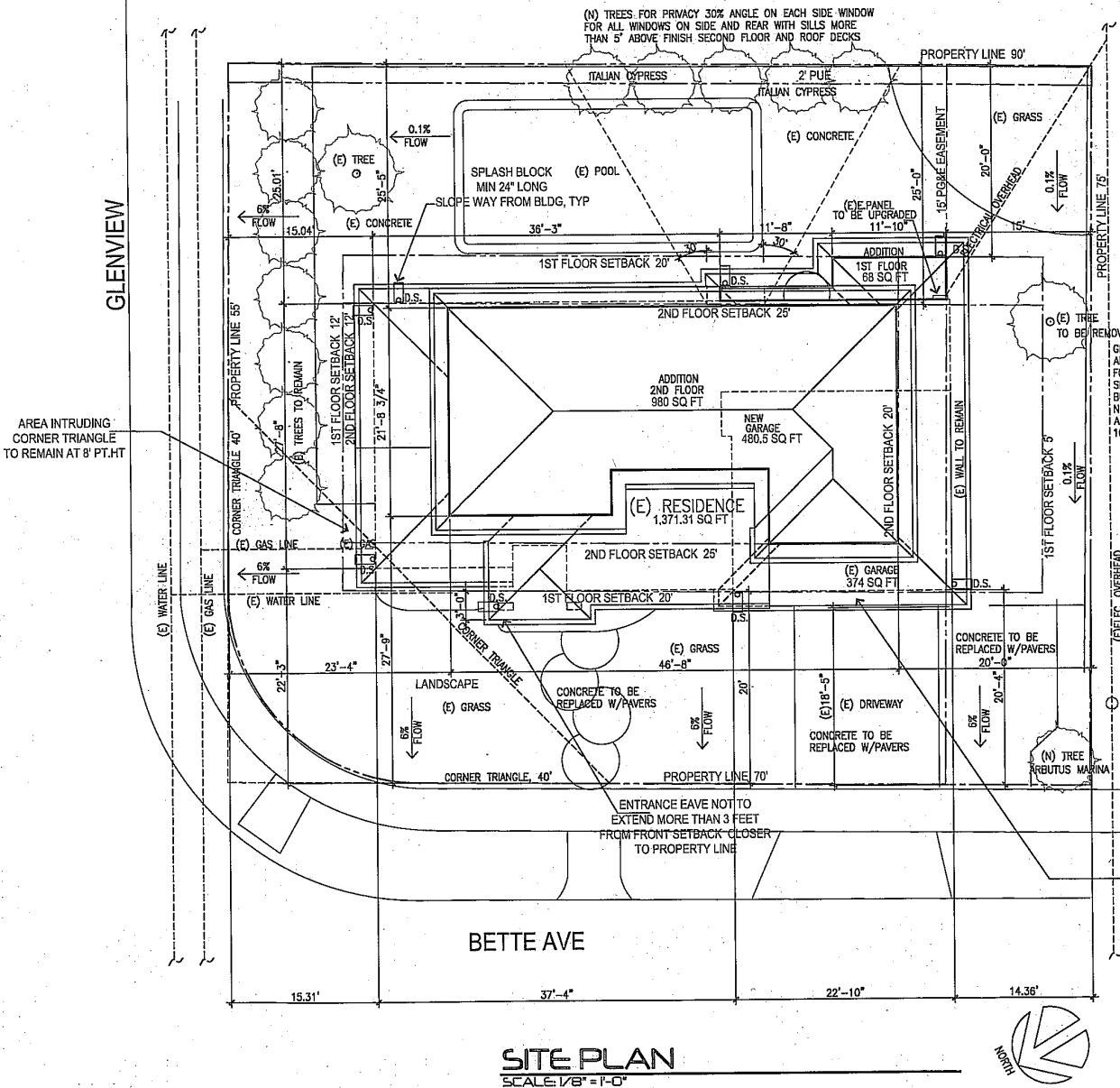
- T24-1 TITLE 24
- T24-2 TITLE 24

PROJECT DESCRIPTION

REMODELING OF MAIN FLOOR 1,372 SQ.FT. INCLUDING KITCHEN, LIVING ROOM, DINING, FAMILY ROOM, (N) LAUNDRY ROOM, (N) BATHROOM, ADDITION OF 680 SQ.FT. TO THE BACK FOR NEW BEDROOM, AND 11 SQ.FT. TO LIVING ROOM.
107.2 SQ.FT. OF EXISTING MAIN FLOOR RECONFIGURED AS PART OF GARAGE FOR COMPLIANCE (20X20 CLEAR AREA)
ADDITION OF NEW SECOND FLOOR 980 FOR (N) MASTER BEDROOM AND (N) MASTER BATHROOM, (N) 2 BEDROOMS AND (N) 2 BATHROOMS
DEMO AREA OF GARAGE CURRENTLY OVER FRONT SETBACK (31 SQ.FT.) ADDITION TO GARAGE AREA OF 107.2 SQ.FT. TO COMPLY WITH 20X20 CLEAR PARKING AREA

GENERAL NOTES

- ALL TREE PROTECTIVE FENCING SHALL BE INSTALLED & INSPECTED BY LOCAL JURISDICTION AND SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
 - NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIP LINE OF ANY ORDINANCE PROTECTED TREES ON THE SITE.
 - APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- ALL UTILITIES FOR NEW CONSTRUCTION SHALL BE UNDERGROUND. FOR REMODELS AND RENOVATIONS, CHECK W/ LOCAL JURISDICTIONS.



SITE PLAN
SCALE 1/8" = 1'-0"

LANDSCAPE CALC.

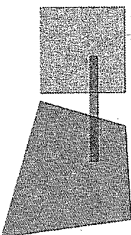
HOUSE/GARAGE	1,824.5 SQ.FT.
(E) POOL	510 SQ.FT.
CONCRETE	1,659 SQ.FT.

TOTAL LANDSCAPE AREA 3,992.5 SQ.FT.

(E) GRASS	1,841 SQ.FT.
(N) PAVERS	659 SQ.FT.
TOTAL LANDSCAPE AREA	2,499 SQ.FT.

FRONT YARD PERVIOUS CALC.

100% PERVIOUS DRIVEWAY/WALKWAY PAVERS	515 SQ.FT. (40%)
GRASS	770 SQ.FT.
TOTAL FRONT YARD AREA	1,285 SQ.FT.



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BETTE AVE RESIDENCE ADDITION
10550 BETTE AVE CUPERTINO, CA 95014

REVISIONS:

SHEET TITLE SHEET & SITE PLAN

SCALE AS SHOWN

DATE 3.1.2017

PRJ.No. 2017-05

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A-0.0

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.

R Application R-2018-20
PM Application INT-2018-01
Approval Date 2-12-19
Signature
(Case Manager)

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS:
20% REDUCTION OF WATER USE ARE NOW PRESCRIPTIVELY DESIGNATED WITHIN CALGREEN TEXT.
PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING:

- 4.303.1.1 WATERS CLOSETS: ≤ 1.28 GAL/FLUSH
4.303.1.2 URINALS: ≤ 0.5 GAL/FLUSH
4.303.1.3.1 SINGLE SHOWERHEADS: ≤ 2.0 GPM @ 80 PSI
4.303.1.3.2 MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME
4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS: ≤ 1.5 GPM @ 60 PSI
4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS OF RESIDENTIAL BUILDINGS: ≤ 0.5 GPM @ 60 PSI
4.303.1.4.3 METERING FAUCETS: ≤ 0.25 GALLONS PER CYCLE
4.303.1.4.4 KITCHEN FAUCETS: ≤ 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS:
SPECIFICS THAT PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.
RELOCATES PROVISIONS FOR MULTIPLE SHOWERHEADS TO SECTION 4.303.1.3.2.

4.304.1-OUTDOOR WATER USE-IRRIGATION CONTROLS
AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH:
1) CONTROLLER SHALL BE WEATHER OR SOIL MOISTURE-BASED THAT AUTOMATICALLY RESPOND TO THE PLANTS NEEDS AS WEATHER CONDITION CHANGE
2) WEATHER-BASED WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE SEPARATE WIRED OR WIRELESS RAIN SENSORS THAT CONNECT OR COMMUNICATE WITH THE CONTROLLERS. SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

INSTALL SEALED COMBUSTION FURNACE

INSTALL HIGH EFFICIENCY AIR CONDITIONING WITH ENVIRONMENTALLY PREFERABLE REFRIGERANTS

USE DUCT MASTIC ON ALL DUCT JOINTS AND SEAMS

CAL GREEN 4.303.1 AS AN ALTERNATE TO PRESCRIPTIVE COMPLIANCE, A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED THROUGH CALCULATIONS

CAL GREEN 4.406.1 JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED

CAL GREEN 4.503.1 GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. WOOD STOVE OR PELLET STOVE SHALL COMPLY W/ US EPA PHASE II EMISSION LIMITS

CAL GREEN 4.505.2 VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS

CAL GREEN 4.505.3 19% MOISTURE CONTENT OF BUILDING FRAMING MATERIALS

CAL GREEN-702.1 HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

TIGHTLY SEAL THE AIR BARRIER BETWEEN GARAGE AND LIVING AREA (PERFORMANCE TEST REQUIRED).

INSULATE ALL HOT WATER PIPES.

USE TRADITIONAL TRUNK, BRANCH, & TWIG PLUMBING WITH DEMAND CONTROLLED CIRCULATION LOOPS.

USE LOW-VOC OR ZERO-VOC PAINT (< 50 GPL VOCs REGARDLESS OF SHEEN)

USE LOW-VOC COATINGS THAT MEET SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1113.
www.cqmd.gov/rules/reg/11/1113.pdf

USE LOW-VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANTS THAT MEET SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1158.
www.cqmd.gov/rules/reg/11/1158.pdf

REDUCE FORMALDEHYDE IN INTERIOR FINISHES. MEET CURRENT CA AIR RESOURCES BOARD (CARB) AIRBORNE TOXIC CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD FORMALDEHYDE LIMITS BY MANDATORY COMPLIANCE DATES. CCR TABLE 4.504.5.

ALL CARPET AND 50% OF RESILIENT FLOORING SHALL BE LOW EMITTING.

INSTALL ENERGY STAR DISHWASHER, CLOTHES WASHER THAT MEETS CEE TIER 2 REQUIREMENTS (MODIFIED ENERGY FACTOR 2.0, WATER FACTOR 6.0 OR LESS), AND ENERGY STAR QUALIFIED REFRIGERATOR LESS THAN 25 CUBIC FEET CAPACITY.

DIVISION 4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY

4.406.1-RODENT PROOFING

SPECIFICS THE AREAS NEEDING RODENT PROOFING ARE SOLE/ BOTTOM PLATES.

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

4.408.1-CONSTRUCTION WASTE REDUCTION BY AT LEAST 50 PERCENT

RECYCLE AND/OR SALVAGE FOR REUSE A MIN. OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4; OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.

EXCEPTIONS:

- 1 - EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
2 - ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL ENFORCING AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
3 - THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITES ARE LOCATED IN AREAS BEYOND THE HUAL BOUNDARIES OF THE DIVERSION FACILITY.

4.408.2-CONSTRUCTION WASTE MANAGEMENT PLAN
A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL. SEE CAL GREEN 4.408 FOR REQUIREMENTS

4.408.2.1-DOCUMENTATION
DOCUMENTATION OF COMPLIANCE WITH THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE PROVIDED TO THE CITY DEMONSTRATING COMPLIANCE. THE PLAN SHALL BE UPDATED AS NECESSARY AND ACCESSIBLE DURING CONSTRUCTION. SEE CITY FOR FORMS

4.408.3-WASTE MANAGEMENT COMPANY
UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT DIVERTED CONSTRUCTION AND DEMOLITION WASTE MATERIALS MEET THE REQUIREMENTS IN SECTION 4.408.1.

4.410-BUILDING MAINTENANCE AND OPERATION
AN OPERATION AND MAINTENANCE MANUAL ACCEPTABLE TO THE CITY SHALL BE AVAILABLE AT FINAL INSPECTION AND SHALL BE PLACED IN THE BUILDING. SEE CAL GREEN 4.410 FOR MANUAL REQUIREMENTS

DIVISION 4.5 ENVIRONMENTAL QUALITY

4.503.1-FIREPLACES

ANY GAS FIREPLACE SHALL BE A DIRECT-VENT, SEALED-COMBUSTION TYPE. ANY WOOD FIREPLACE OR PELLET STOVE SHALL COMPLY WITH THE US EPA PHASE II EMISSION LIMITS

4.504.1-COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION

DURING STORAGE ON THE CONSTRUCTION SITE, DURING ROUGH INSTALLATION AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT, ALL DUCTS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHOD ACCEPTABLE TO THE CITY

4.504.2.1-ADHESIVES, SEALANT AND CAULKS

ALL ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH THE VOC LIMITS SHOWN IN TABLE 4.504.1 AND 4.504.2 OR LIMITS ESTABLISHED BY THE BAY AREA AIR QUALITY DISTRICT, WHICHEVER IS MORE RESTRICTIVE. SEE CAL GREEN 4.504 FOR TABLES

AEROSOL ADHESIVES, SMALLER UNIT SIZES OF ADHESIVES AND SEALANT OR CAULKING COMPOUNDS THAT DO NOT WEIGH MORE THAN 1 POUND OR CONSIST OF MORE THAN 16 FLUID OUNCES SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS

4.504.2.2-PAINTS AND COATINGS

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH THE VOC LIMITS SHOWN IN TABLE 4.504.3

4.504.2.3-AEROSOL PAINTS AND COATINGS

AEROSOL PAINTS AND COATINGS SHALL COMPLY WITH THE VOC LIMITS SHOWN IN TABLE 1 OF THE BAY AREA AIR MANAGEMENT DISTRICT REGULATION 8, TABLE 9

4.504.2.4-VERIFICATION

VERIFICATION OF COMPLIANCE WITH THE VOC LIMITS SHALL BE PROVIDED TO THE CITY THAT MAY INCLUDE BUT IS NOT LIMITED TO MANUFACTURER'S PRODUCT SPECIFICATIONS OR ON-SITE PRODUCT CONTAINERS

4.504.3 - CARPET SYSTEMS

ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:

- 1 - CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
2 - CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)
3 - NSF/ANSI 140 AT THE GOLD LEVEL
4 - SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD

4.504.3 - CARPET CUSHION

ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.

4.504.3 - CARPET ADHESIVE

ALL CARPET ADHESIVES SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1

4.504.5 - COMPOSITE WOOD PRODUCTS

HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN THE AIR RESOURCES BOARD'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET. SEQ.), ON OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS AS SHOWN IN TABLE 4.504.5. DOCUMENTATION IS REQUIRED PER SECTION 4.504.5.1.

DEFINITION OF COMPOSITE WOOD PRODUCTS: COMPOSITE WOOD PRODUCTS INCLUDE HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD. "COMPOSITE WOOD PRODUCTS" DO NOT INCLUDE HARDBOARD, STRUCTURAL PLYWOOD, STRUCTURAL PANELS, STRUCTURAL COMPOSITE LUMBER, ORIENTED STRAND BOARD, GLUED LAMINATED TIMBER, PREFABRICATED WOOD I-JOISTS, OR FINGER-JOINTED LUMBER, ALL AS SPECIFIED IN CCR, TITLE 17, SECTION 93120.1(A).

4.505-INTERIOR MOISTURE CONTROL

4.505.2-CONCRETE SLAB FOUNDATIONS

CONCRETE SLAB FOUNDATIONS SHALL HAVE A VAPOR RETARDER PER THE CBC AND PROVIDE A CAPILLARY BREAK BY ONE OF THE FOLLOWING:
1) A 4 INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE WITH A VAPOR BARRIER IN DIRECT CONTACT WITH THE CONCRETE AND A CONCRETE MIX DESIGN THAT WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING
2) OTHER EQUIVALENT METHODS APPROVED BY THE CITY
3) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL

4.505.2.1-CAPILLARY BREAK

A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

- 1 - A 4-INCH (101.6 MM) THICK BASE OF 1/2-INCH (12.7 MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
2 - OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3 - A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL

4.505.3-MOISTURE CONTENT OF BUILDING MATERIALS

BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED

WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED BY THE FOLLOWING:

- 1) MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER
2) MOISTURE READINGS SHALL BE TAKEN BETWEEN 2 AND 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE VERIFIED
3) AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE CITY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING

INSULATION PRODUCTS THAT ARE VISIBLY WET OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE OF THE WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURE'S DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE

Table 4.504.5. FORMALDEHYDE LIMITS Maximum Formaldehyde Emissions in Parts per Million	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLEBOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	0.13

4.506-INDOOR AIR QUALITY AND EXHAUST

4.506.1-BATHROOM EXHAUST FANS

MECHANICAL BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:

- 1) FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE THE BUILDING
2) UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS SHALL BE CONTROLLED BY A HUMIDISTAT THAT IS READILY ACCESSIBLE

HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTING THE RELATIVE HUMIDITY BETWEEN 50% AND 80%

DIVISION 4.6-ENVIRONMENTAL QUALITY (ENVIRONMENTAL COMFORT)

4.607.2 HEATING AND AIR CONDITIONING SYSTEM DESIGN
HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

- 1 - THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J - 2004 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
2 - DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D - 2009 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
3 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S - 2004 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEM FUNCTIONS ARE ACCEPTABLE.

702.1-INSTALLER TRAINING

HVAC INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM OR BE UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED

702.2-SPECIAL INSPECTION

WHEN REQUIRED BY THE CITY THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THE CODE

702.3-DOCUMENTATION

DOCUMENTATION TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, SPECIAL INSPECTION OR OTHER METHODS ACCEPTABLE TO THE CITY

THIS LIST IS NOT MEANT TO BE COMPREHENSIVE FOR ALL CHANGES OR CODE REQUIREMENTS. IT IS THE RESPONSIBILITY OF ALL PARTIES TO DESIGN, PLAN, INSTALL AND CONFORM TO ALL OF THE REQUIREMENTS IN COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, OTHER CALIFORNIA CODES AND CITY ORDINANCES AS APPLICABLE

CAL-GREEN NOTES

R Application R-2018-20
~~RM~~ Application INT-2018-01
Approval Date 2-12-19
Signature _____
(Case Manager)

REVISIONS:

SHEET	CAL GREEN NOTES
SCALE	NTS
DATE	3.1.2017
PRJ.No.	2017-05

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A-0.1

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT

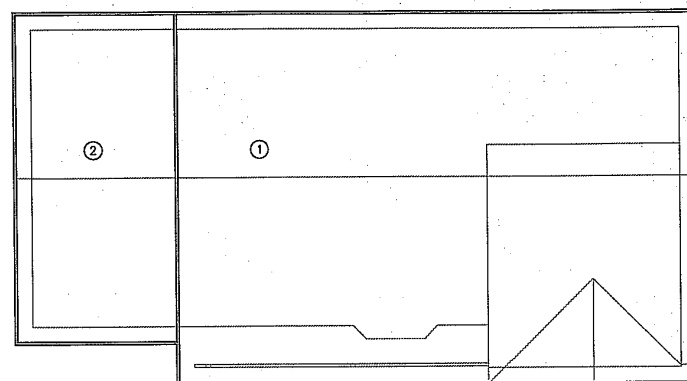
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BETTE AVE RESIDENCE ADDITION

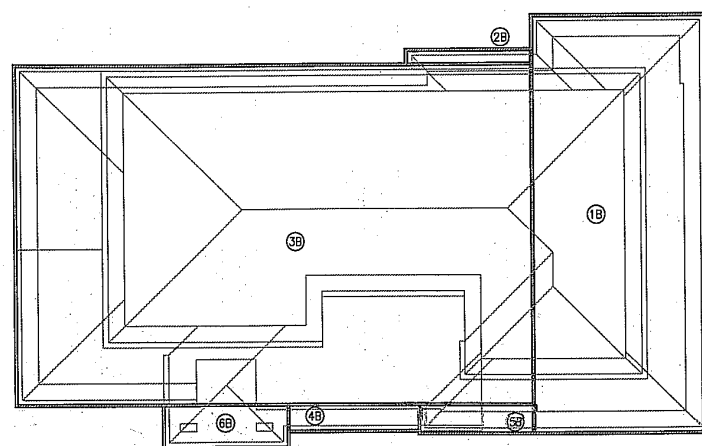
10550 BETTE AVE CUPERTINO, CA 95014

EXISTING LOT COVERAGE CALCS		
TAG #	CALCULATION	AREA
1	48'-5" X 34'-8"	1,678.44 SQ. FT.
2	14'-9" X 30'-8"	452.33 SQ. FT.
TOTAL EXISTING LOT COVERAGE		2,130.77 SQ. FT.
		32%

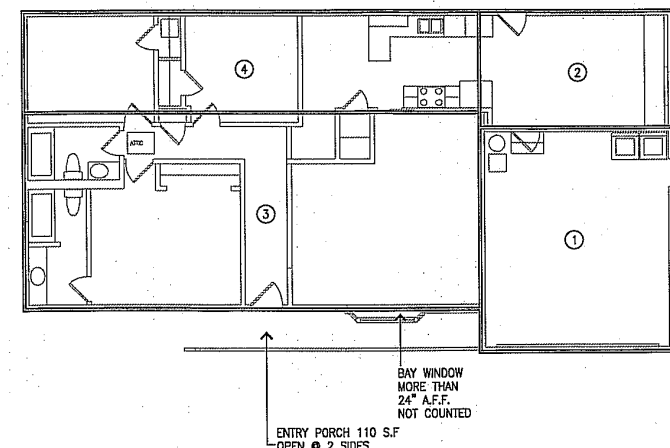


(E) ROOF PLAN
SCALE 1/8" = 1'-0"

PROPOSED LOT COVERAGE CALCS		
TAG #	CALCULATION	AREA
1B	16'-2" X 38'-9"	628.6 SQ. FT.
2B	11'-8" X 1'-4"	15.6 SQ. FT.
3B	48'-1/2" X 31'-8"	1519.2 SQ. FT.
4B	12'-4" X 2'-5"	30.36 SQ. FT.
5B	10'-8" X 2'-8"	28.76 SQ. FT.
6B	11'-7" X 3'-11"	45.7 SQ. FT.
TOTAL PROPOSED LOT COVERAGE		2,266.3 SQ. FT.
		34%

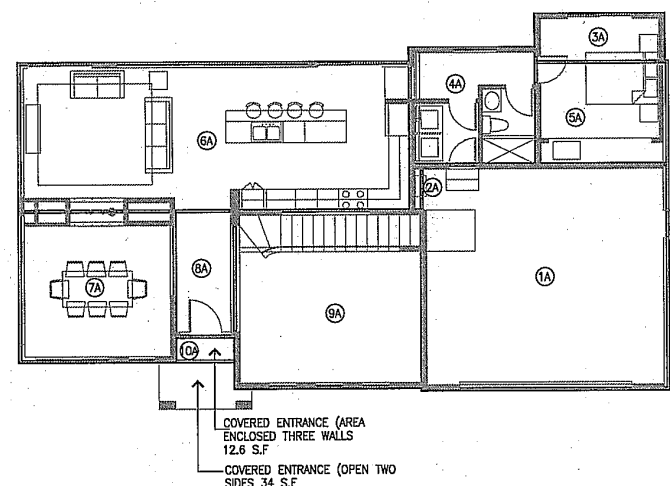


(N) ROOF PLAN
SCALE 1/8" = 1'-0"

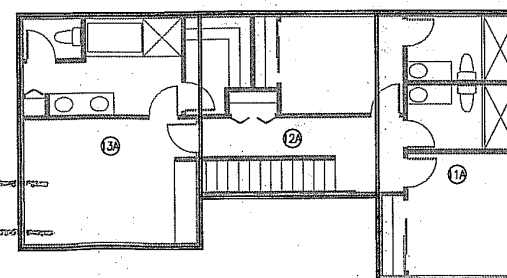


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(E) FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



(N) FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

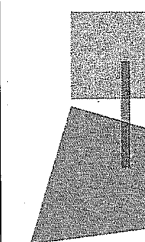


(N) SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

EXISTING AREA CALCULATIONS		
TAG #	CALCULATION	AREA
GARAGE		
1	17'-11" X 20'-10"	373.3 SQ. FT.
TOTAL GARAGE AREA		373.3 SQ. FT.
FLOOR AREA		
2	17'-11" X 10'-10"	194.09 SQ. FT.
3	42'-3" X 18'-3"	771.06 SQ. FT.
4	42'-3" X 9'-5"	397.85 SQ. FT.
5	1'-9" X 4'-9"	8.31 SQ. FT.
TOTAL FLOOR AREA		1,371.31 SQ. FT.
TOTAL FLOOR AREA		1,371.31 SQ. FT.
TOTAL LIVABLE AREA		1,371.31 SQ. FT.
TOTAL GARAGE AREA		373.3 SQ. FT.
TOTAL SQUARE FOOTAGE AREA		1,744.61 SQ. FT.
FLOOR AREA RATIO		28 %

PROPOSED AREA CALCULATIONS		
TAG #	CALCULATION	AREA
GARAGE		
1A	22'-10" X 20'-10"	475.7 SQ. FT.
2A	1'-1/2" X 4'-3"	4.8 SQ. FT.
TOTAL GARAGE AREA		480.5 SQ. FT.
FIRST FLOOR AREA		
3A	11'-10" X 4'-5"	52.37 SQ. FT.
4A	11'-9" X 10'-10"	126.9 SQ. FT.
5A	12'-2" X 9'-6"	115.80 SQ. FT.
6A	36'-3" X 13'-9"	499.10 SQ. FT.
7A	14'-5" X 13'-11"	200.93 SQ. FT.
8A	5'-7" X 11'-8"	65 SQ. FT.
9A	17'-4" X 16'-5"	283.9 SQ. FT.
TOTAL FIRST FLOOR AREA		1,344 SQ. FT.
SECOND FLOOR AREA		
11A	13'-5" X 24'-10"	334 SQ. FT.
12A	16'-5" X 17'-0"	280 SQ. FT.
13A	16'-10" X 21'-9"	356 SQ. FT.
TOTAL SECOND FLOOR AREA		980 SQ. FT.
ENTRANCE AREA ENCLOSED BY THREE WALLS		
10A	5'-7" X 2'-3"	12.6 SQ. FT.
TOTAL FIRST FLOOR AREA		1,344 SQ. FT.
TOTAL SECOND FLOOR AREA		980 SQ. FT.
TOTAL LIVABLE AREA		2,324 SQ. FT.
TOTAL GARAGE AREA		480.5 SQ. FT.
TOTAL COVERED ENTRANCE (3 WALLS)		12.6 SQ. FT.
TOTAL SQUARE FOOTAGE AREA		2,817.1 SQ. FT.
FLOOR AREA RATIO		43 %

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BETTE AVE RESIDENCE ADDITION
10550 BETTE AVE CUPERTINO, CA 95014

REVISIONS:

SHEET AREA CALCS

SCALE 1/8" = 1'-0"

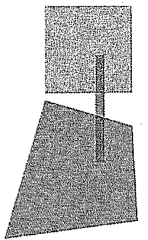
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BETTE AVE RESIDENCE ADDITION
10560 BETTE AVE CUPERTINO, CA 95014

REVISIONS:

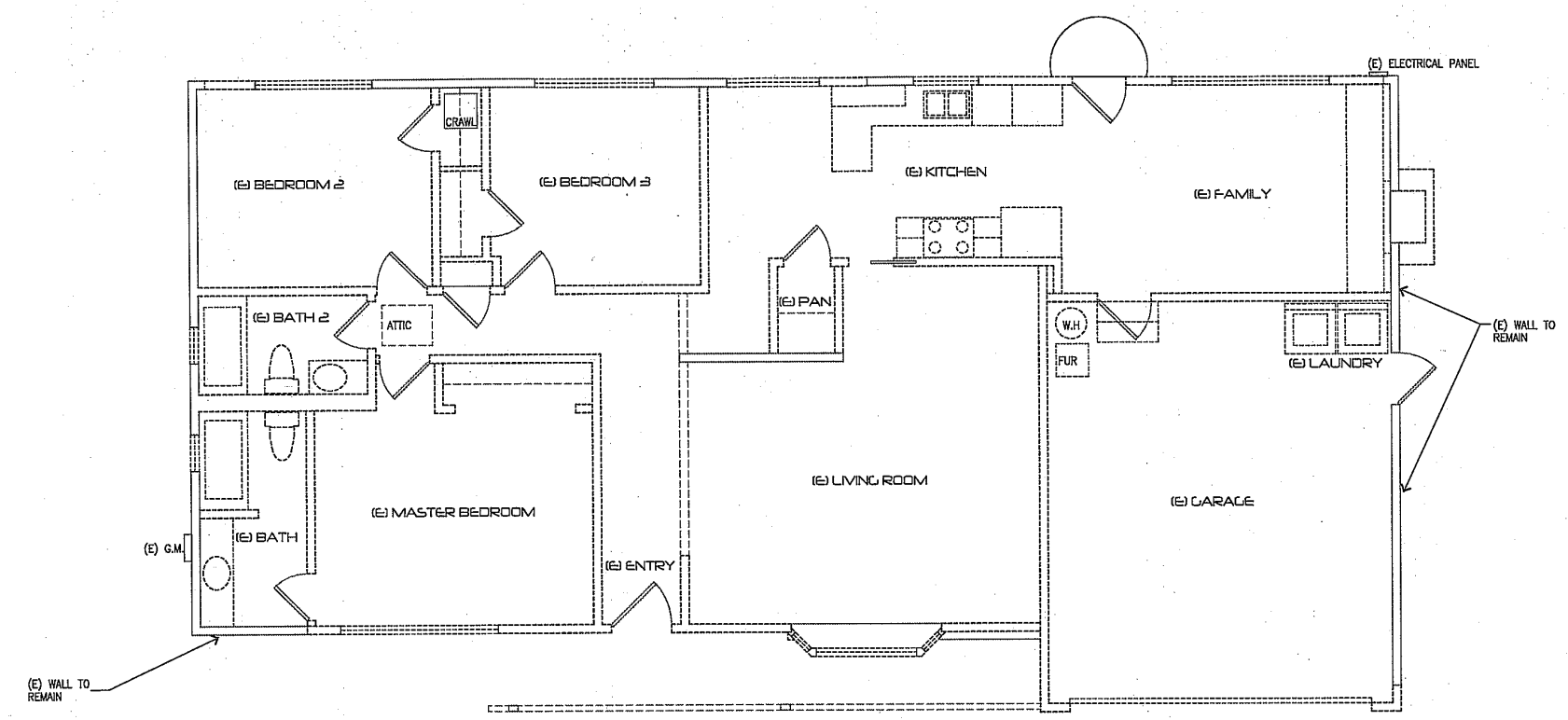
SHEET	EXISTING FLOOR PLAN
SCALE	AS SHOWN
DATE	3.1.2017
PRJ.No.	2017-05
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A-2.0

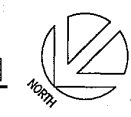
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LEGEND

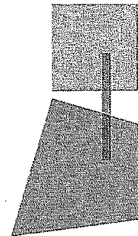
- WALL DEMO
- EXISTING WALL
- DEMO DOOR
- (E) DOOR
- DEMO WINDOW
- (E) WINDOW



EXISTING DEMO/FLOOR PLAN
SCALE 1/4" = 1'-0"



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BETTE AVE RESIDENCE ADDITION

10560 BETTE AVE CUPERTINO, CA 95014

REVISIONS:

SHEET FLOOR PLAN

SCALE AS SHOWN

DATE 3.1.2017

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STAIRWAY NOTES

- MINIMUM 36" WIDE STAIRS, CRC SECTION R311.7.1
- 6-FOOT 8-INCH MINIMUM HEADROOM AT STAIRWAY CRC SECTION R311.7.2
- RISERS TO BE UNIFORM (7-3/4-INCH MAXIMUM RISE AND 10-INCH MINIMUM RUN) CRC SECTION R311.7.5
- 1/2" GYPSUM BOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS, CRC SECTION R302.7
- HANDRAIL TO BE PROVIDED ON ONE SIDE AT STAIRWAYS WITH FOUR OR MORE RISERS, CRC SECTION R311.7.8
- HANDRAILS TO HAVE A 1-1/4" GRIPPABLE CROSS SECTION, SO SHARP CORNERS AND AT A HEIGHT OF 34 INCHES TO 38 INCHES ABOVE NOSING, EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER, AND TERMINATE AT NEWEL POST OR RETURN TO WALLS, CRC SECTION R311.7.8
- HANDRAILS MAY BE PROJECTED INTO THE REQUIRED WIDTH OF THE STAIRWAY 4-1/2" AND SHALL PROVIDE 1-1/2" SPACE BETWEEN THE WALL AND HANDRAIL, CRC SECTION R311.7.1 AND R311.7.8.2
- GUARD IS REQUIRED ON OPEN SIDE OF STAIRWAYS AT A HEIGHT OF 34" TO 38" AND SHALL HAVE INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4-3/8" IN DIAMETER, CANNOT PASS THROUGH, CRC SECTION R312.1 AND R312.1.3

GENERAL NOTES

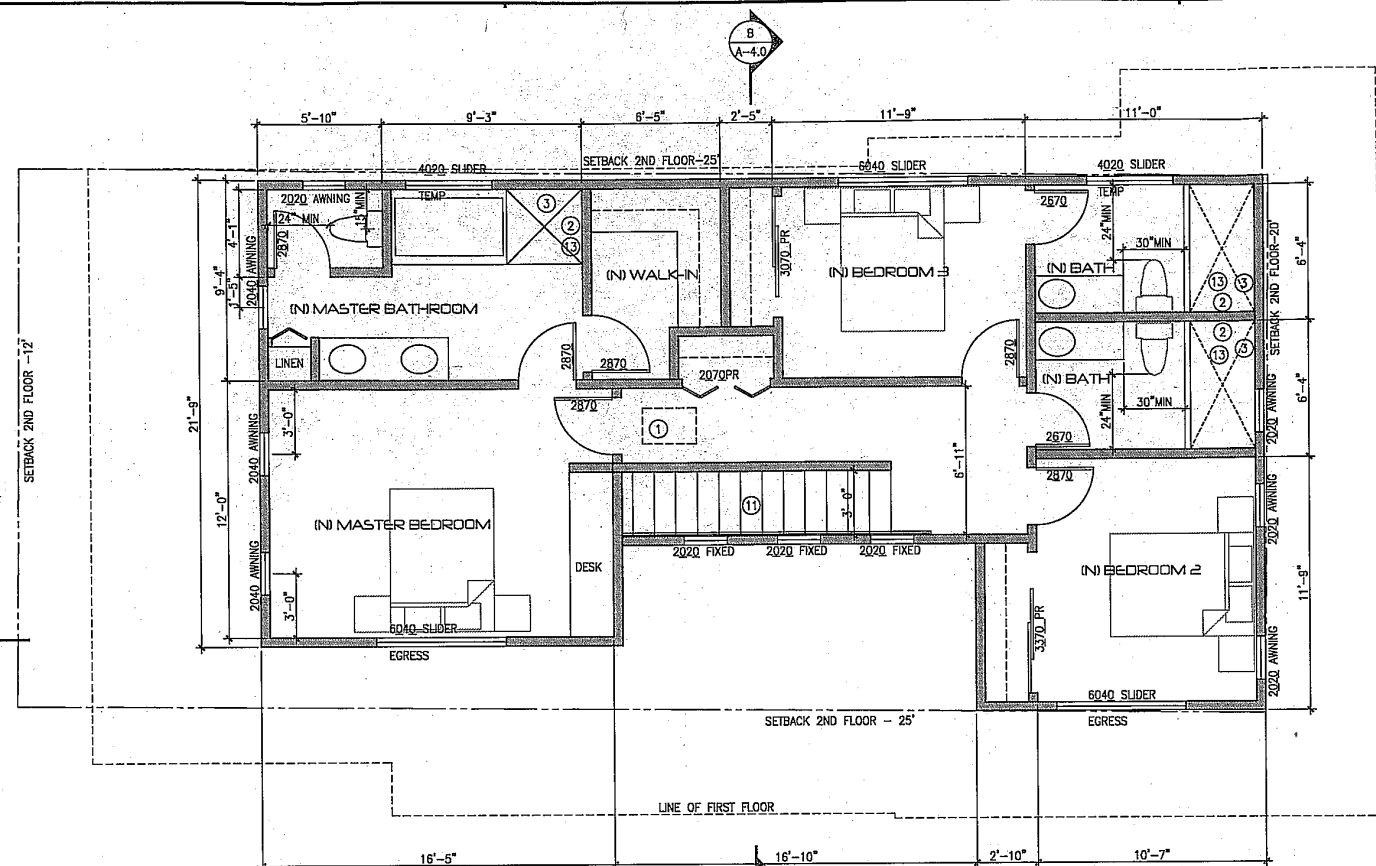
- LANDING AT EXT. DOORS SHALL BE THE WIDTH OF THE OPERABLE DOOR X 36" DEEP PER CBC 1008.1.3. THE LANDING SHALL NOT BE MORE THAN 7.75' BELOW THE TOP OF THE THRESHOLD PER CBC 1008.1.4. THRESHOLDS SHALL NOT EXCEED .5" MAX. DOWN FOR OUTWARD SWINGING DOORS, .75" FOR SLIDERS, AND 7.75" MAX. FOR INWARD SWING DOORS PER CBC R311.3
- ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EGRESS ESCAPE/RESCUE WINDOW, EGRESS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. CLR. HT. OF 24" AND A MIN. CLEAR WIDTH OF 20". BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR, PER CBC SECTION 1002.
- SEE CAL GREE SHEET FOR WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)
- PROVIDE 30" (W) MIN & 24" IN FRONT MIN CLR FOR ALL TOILETS
- PROVIDE DOOR STOPS FOR ALL INTERIOR DOORS
- PROVIDE MOISTURE RESISTANT, GYP.BD. & FIRE RATED IN ALL WET LOCATIONS.
- WHERE DEMOLITION AND NEW WORKS OCCUR, PATCH AND REPAIR (E) FINISHES TO MATCH (N) CONSTRUCTION.
- EXTEND DEMOLITION IS NOT LIMITED TO THE ITEMS NOTED. REMOVE ADDITIONAL ITEMS ADJACENT TO THE NEW CONSTRUCTION AS REQUIRED
- REMOVE FLOOR IN AREAS AFFECTED BY WALL DEMOLITION
- DRYER TO BE VENTED TO THE EXTERIOR WITH A BACKDRAFT DAMPER
- SAFETY GLAZING IN WALLS CONTAINING SHOWERS AND BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE.
- SAFETY GLAZING AT HAZARDOUS LOCATIONS - SUCH AS IN DOORS AND WINDOWS: (1) ADJACENT TO AND WITHIN 24 INCHES OF EITHER EDGE OF DOORS; (2) WHERE TOP EDGE OF GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; (3) WINDOWS GREATER THAN 9 SF, CLOSER THAN 18" TO THE FLOOR AND WALKING SURFACES WITHIN 36 INCH HORIZONTAL OF THE WINDOW.

LEGEND

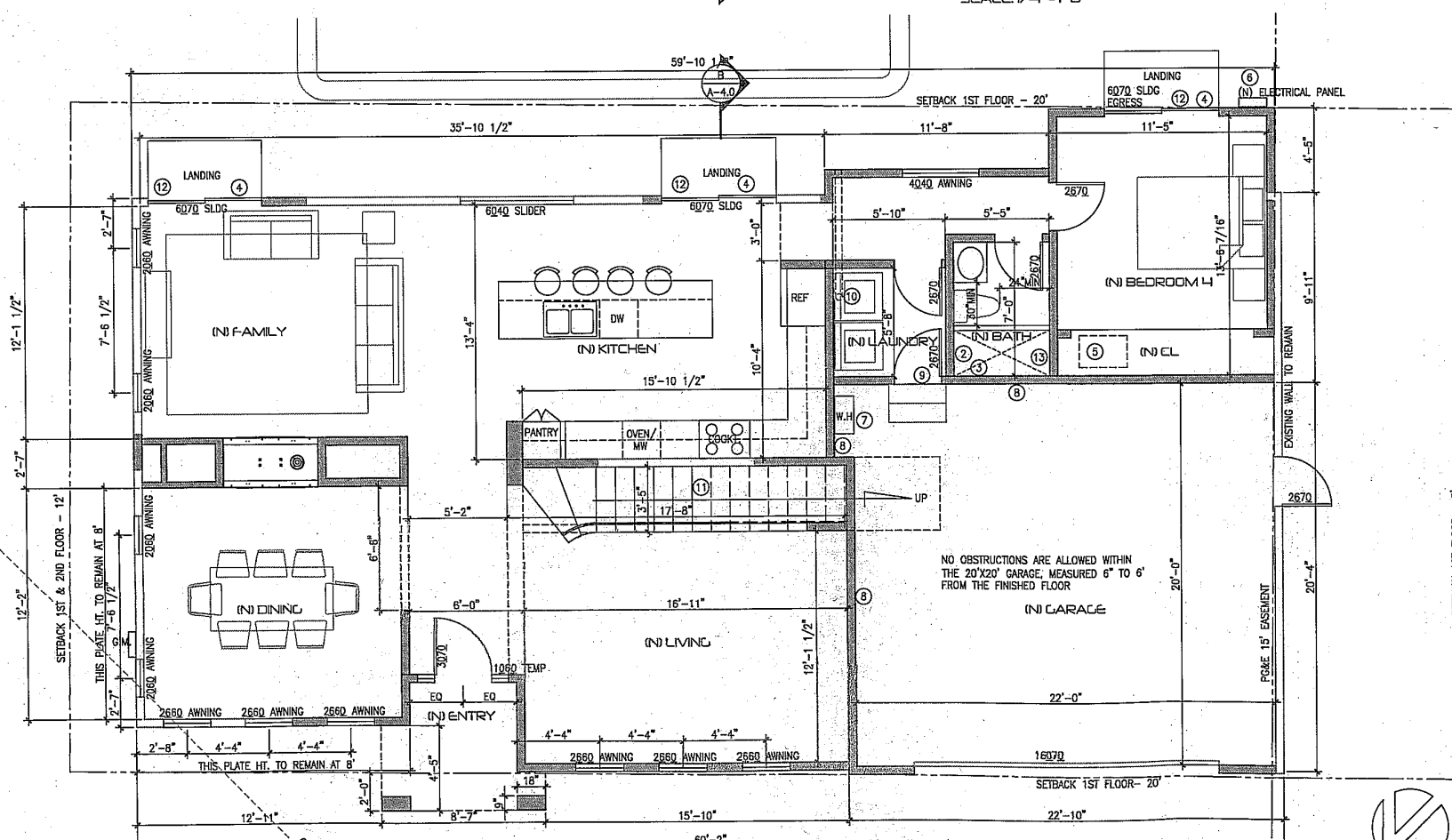
- NEW 2X6 STUDS @ 16" O.C.
- EXISTING WALLS
- NEW DOORS

KEY NOTES

- (N) 22"x30" ATTIC ACCESS, PROVIDE A 30" X 30" WORKING PLATFORM IN ATTIC SPACE, IN FRONT OF THE SERVICE SIDE OF MECHANICAL UNITS. INSTALL LIGHT FIXTURE IN ATTIC SPACE ABOVE WORKING PLATFORM @ MECHANICAL UNIT.
- SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
- PROVIDE SMOOTH, HARD, NONABSORBENT SURFACE (E.G., CERAMIC TILE OR FIBERGLASS) FULL HEIGHT (72" MIN.) AT SHOWER AND TUB-SHOWER WALLS.
- LANDING AT EXT. DOORS X 36" DEEP. THE LANDING SHALL NOT BE MORE THAN 7.75' BELOW THE TOP OF THE THRESHOLD. THRESHOLDS SHALL NOT EXCEED 7.75" MAX. FOR INWARD SWING
- (N) CRAWL SPACE ACCESS
- NEW ELECTRICAL PANEL LOCATION
- TANKLESS WATER HEATER
- 5/8" MIN. GYP. BOARD FROM FOUNDATION TO ROOF SHEATHING ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. EXTEND 5/8" TYPE 'X' GYP.BD. THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. ALL DUCT PENETRATING THE SEPARATION SHALL BE CONSTRUCTED OF NOT LESS THAN 26 GAUGE GALVANIZED STEEL, AND BE CONTINUOUS WITHOUT OPENINGS OR NONMETALLIC CONNECTIONS. PIPING PENETRATIONS TO BE METAL INCLUDING PIPES EXPOSED IN THE GARAGE
- 1-3/8 INCH MINIMUM SOLID CORE DOOR OR 20-MINUTE RATED DOOR THAT IS SELF-CLOSING AND SELF-LATCHING CRC R302.5.1 (NOTE EXCEPTION: WHEN PRIVATE GARAGE AND RESIDENCE ARE BOTH EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE PRIVATE GARAGE AND RESIDENCE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING CRC R302.5.1)
- DUCT RUN AND TERMINATION POINT OF THE DRYER EXHAUST EXTENDING TO OUTSIDE OF THE BUILDING. DRYEST MUST BE EQUIPPED WITH A BACKDRAFT DAMPER WITH NO SCREEN. THE DUCT IS LIMITED TO 14 FEET IN LENGTH WITH TWO 90 DEGREE ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO, CMC 504.4.2.1
- 16 STAIRCASE RISERS @ 7-3/4" MAX W/ 15 TREADS @ 10" MIN. (SEE STAIRS NOTES)
- THE LANDING SHALL NOT BE MORE THAN 7.75' BELOW THE TOP OF THE THRESHOLD. THRESHOLDS SHALL NOT EXCEED 7.75" MAX. DOWN FOR SLIDING DOORS
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 408.9)



NEW SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



NEW FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

R Application R-2018-20
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Approval Date 2-12-19
Signature (Case Manager)

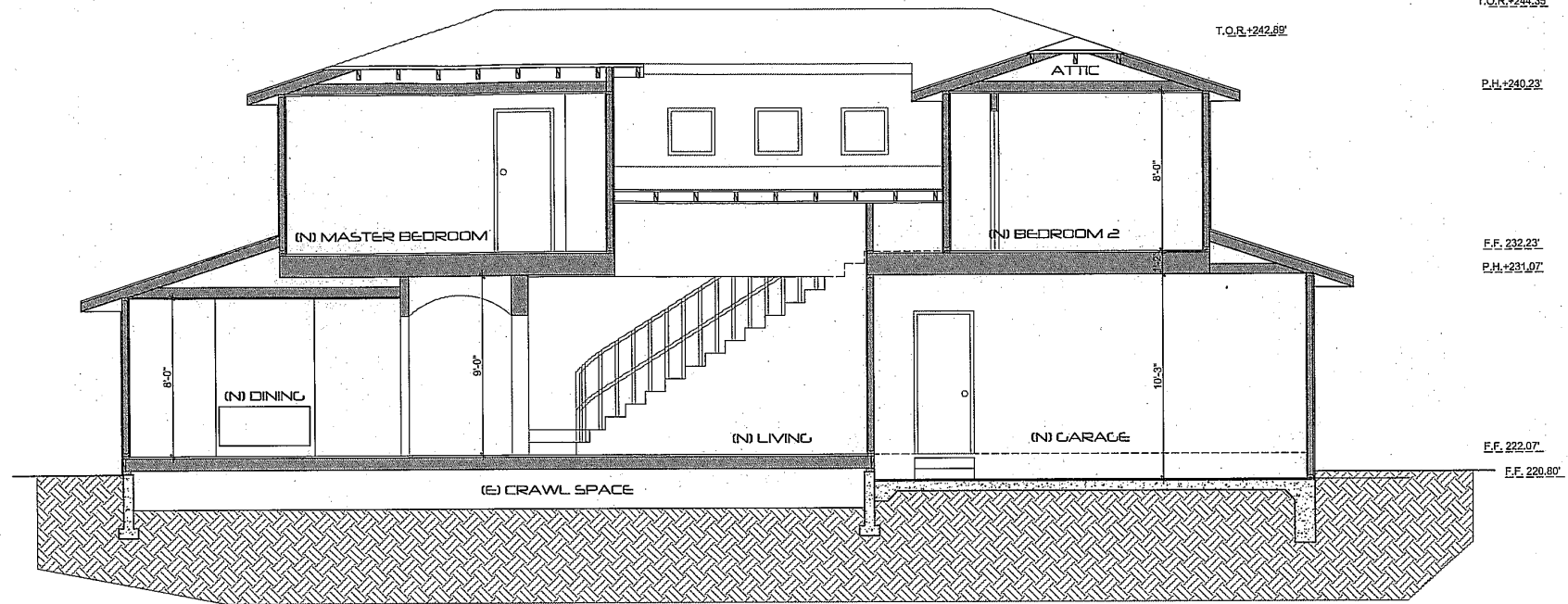
GENERAL NOTES - ELEVATIONS

A. CRAWLSPACE VENT SHALL PROVIDE 70 SQ. IN. NET EFFECTIVE AREA, CONTRACTOR TO VERIFY VENT LOCATION AND UNDERFLOOR VENTILATION REQUIREMENTS

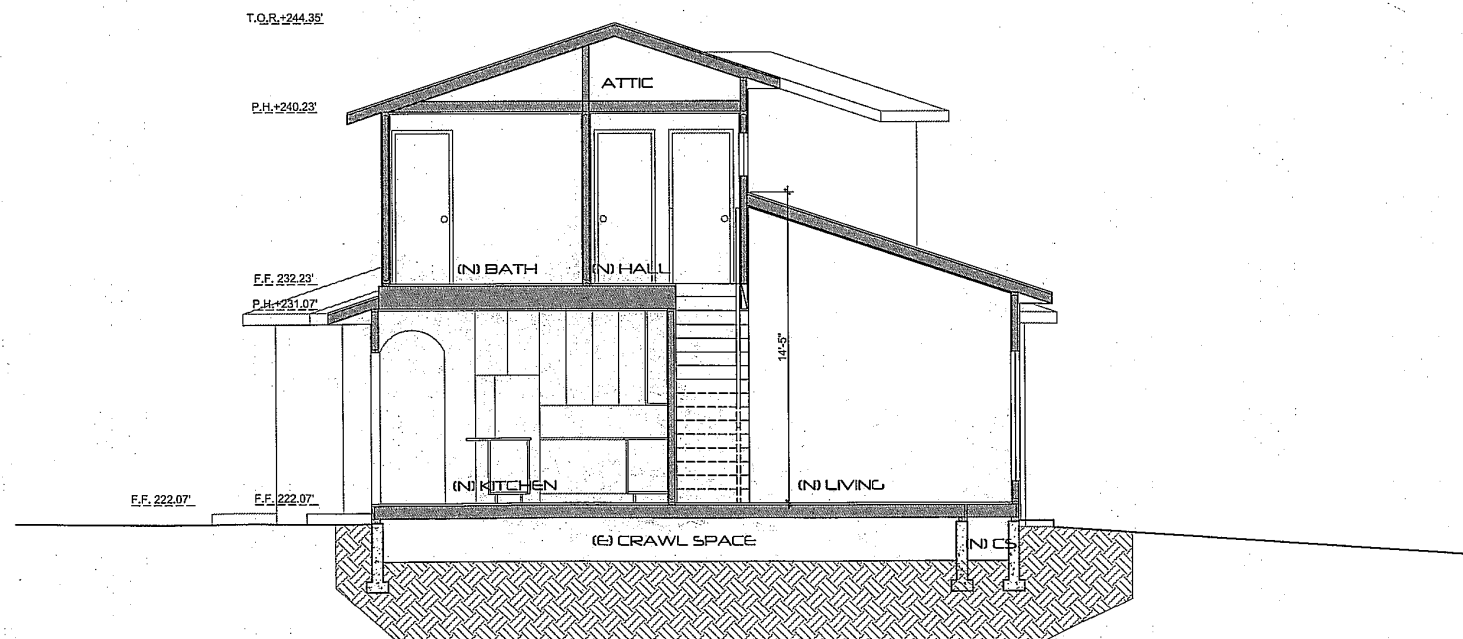
UNDER FLOOR VENTILATION CALCULATIONS			
AREA	VENT AREA REQUIRED	NO. OF VENTS REQUIRED	TYPE OF VENTS PROVIDED
(N) CRAWL SPACE	$\frac{119 \times 144}{1500} = 8.36 \text{ SQ. IN.}$	$\frac{8.36 \text{ SQ. IN.}}{70 \text{ SQ. IN.}} = 0.1 \text{ VENTS}$ NO. OF VENTS PROVIDED = 1	SCREENED VENT AREA 6 X 14 = 84 SQ. IN. EFFECTIVE AREA: 70 SQ. IN.

NOTE:

THE TOTAL AREA OF VENTILATION OPENINGS IS PERMITTED TO BE REDUCED TO 1/1500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE SPACE PER CRC R408 PROVIDE 2" SUB-SLAB O' CLASS 1" 6 MIL. MOISTURE BARRIER MEMBRANE IN CRAWL SPACE. LAP MEMBRANE 2" MIN. & TAPE ALL JOINTS. EXTEND MEMBRANE UP 6" @ SIDES OF FOUNDATIONS & TAPE, TYP.



SECTION A
SCALE 1/4" = 1'-0"



SECTION B
SCALE 1/4" = 1'-0"

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BETTE AVE RESIDENCE ADDITION
10550 BETTE AVE CUPERTINO, CA 95014

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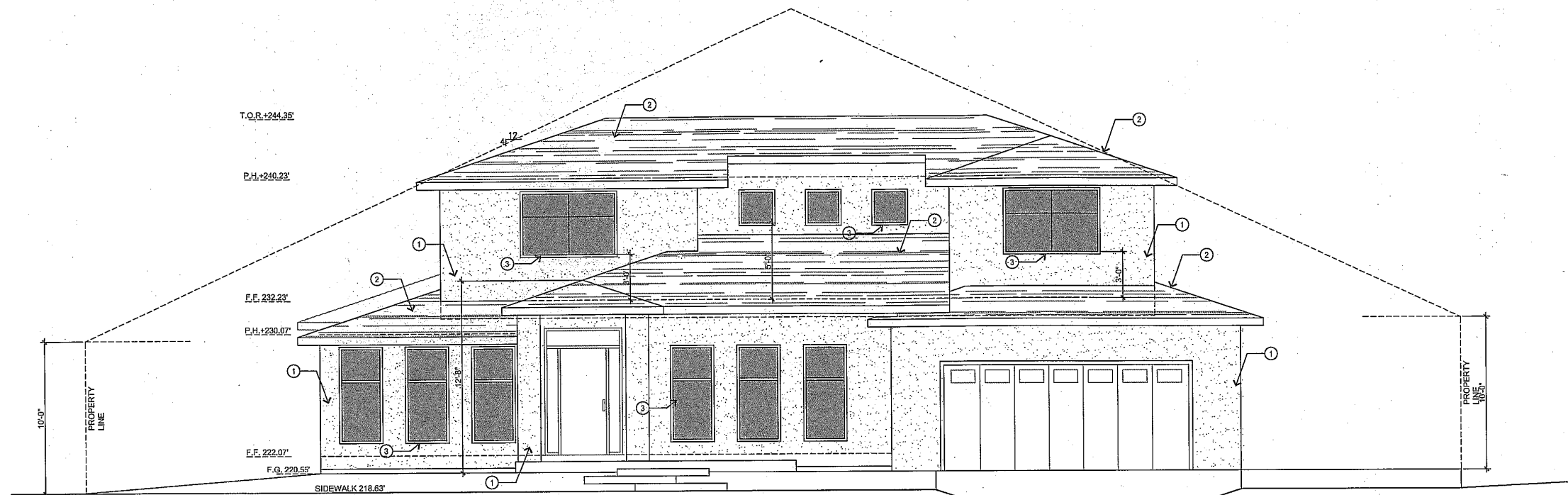
SHEET	SECTIONS
SCALE	1/4" = 1'-0"
DATE	3.1.2017
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(N) WEST ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

- ① STUCCO, PAINTED SHERWIN WILLIAMS SW 6142 MACADAMIA
- ② CLASS A, THREE PIECE LAMINATED FIBER GLASS LANDMARK TL ROOFING SHAKES
- ③ BRONZE ANODIZED ALUMINUM WINDOWS BY MILGARD EXTERIOR TRIM PAINTED KELLY MOORE 417 OXFORD BROWN



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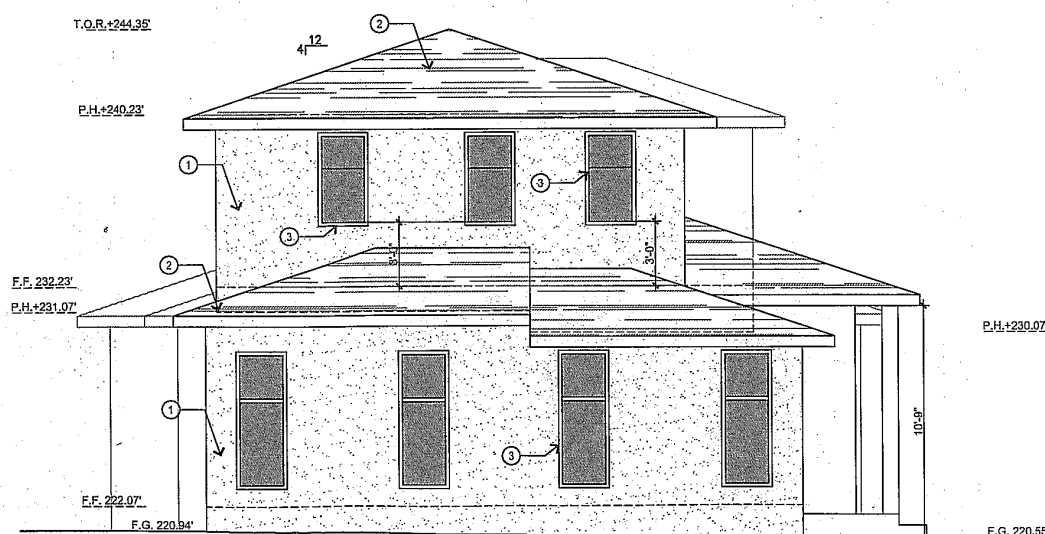
SHEET	ELEVATIONS
SCALE	1/4" = 1'-0"
DATE	3.1.2017
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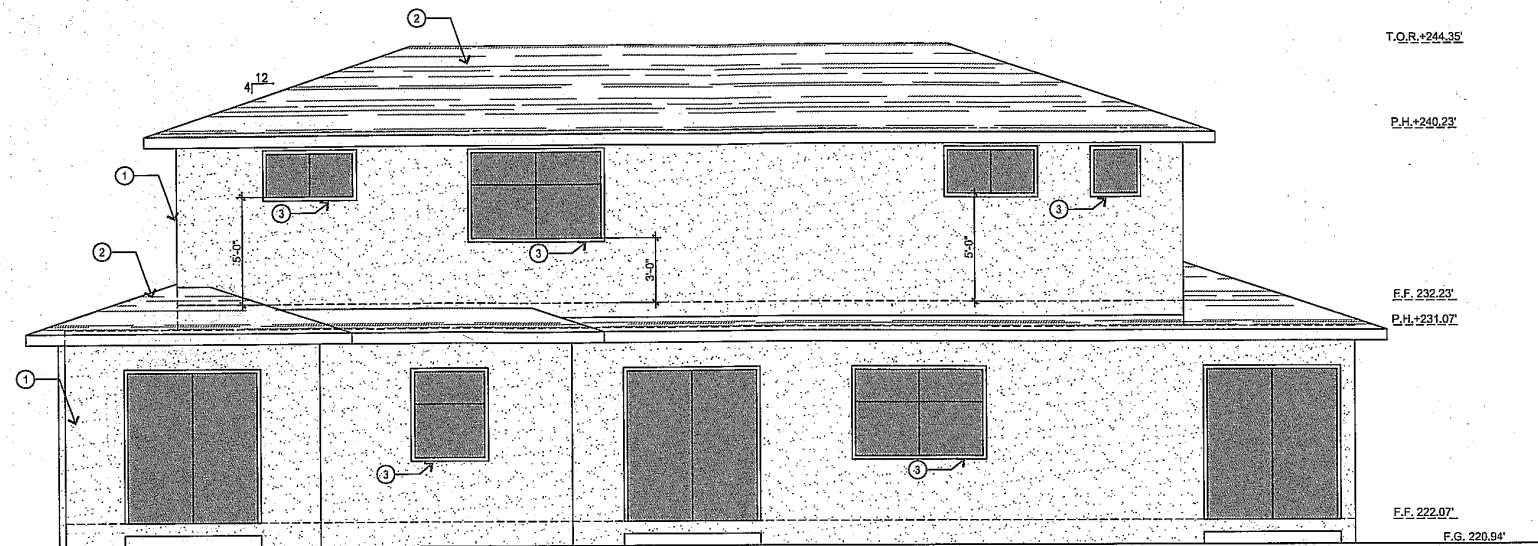
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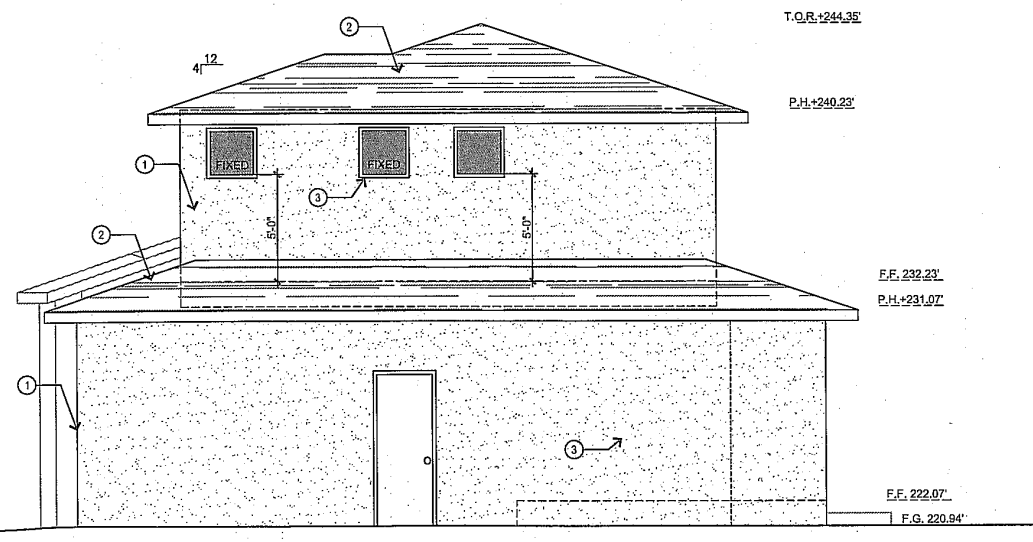
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(N) NORTH ELEVATION
SCALE: 1/4" = 1'-0"



(N) EAST ELEVATION
SCALE 1/4" = 1'-0"



(N) SOUTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES

- ① STUCCO, PAINTED SHERWIN WILLIAMS SW 6142 MACADAMIA
- ② CLASS A, THREE PIECE LAMINATED FIBER GLASS LANDMARK TL ROOFING SHAKES
- ③ BRONZE ANODIZED ALUMINUM WINDOWS BY MILGARD EXTERIOR TRIM PAINTED KELLY MOORE 417 OXFORD BROWN

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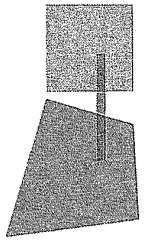
SHEET	ELEVATIONS
SCALE	1/4" = 1'-0"
DATE	3.1.2017
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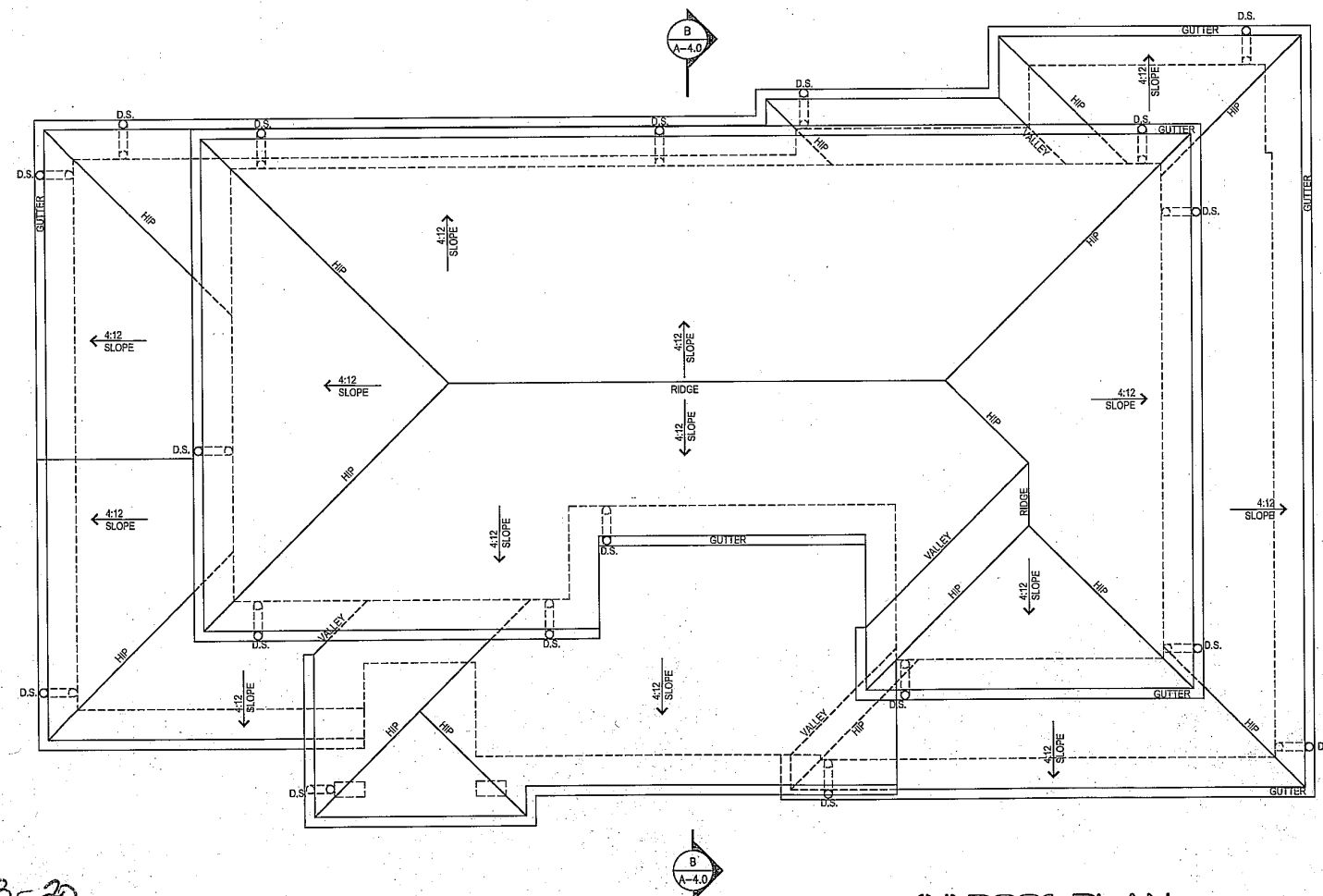
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ROOF NOTES

- A. PROVIDE VENTILATION FOR CALIFORNIA FRAMED AREAS & OTHER CONCEALED SPACES PER UBC
- B. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- C. SEE TITLE 24 ENERGY COMPLIANCE SHEET FOR INSULATION REQUIREMENTS.
- D. INSTALL SELF ADHERING FLEXIBLE FLASHING @ ALL VALLEYS, HIPS AND RIDGES BEFORE INSTALLATION OF ROOF UNDERLAYMENT.
- E. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE LESS THAN 4:12
- F. INSTALL 2" RIGID FOAM INSULATION IN ATTIC AS RADIANT BARRIER

LEGEND

CLASS A THREE PIECE LAMINATED FIBER GLASS LANDMARK TL ROOFING SHAKES



(N) ROOF PLAN
SCALE 1/4" = 1'-0"



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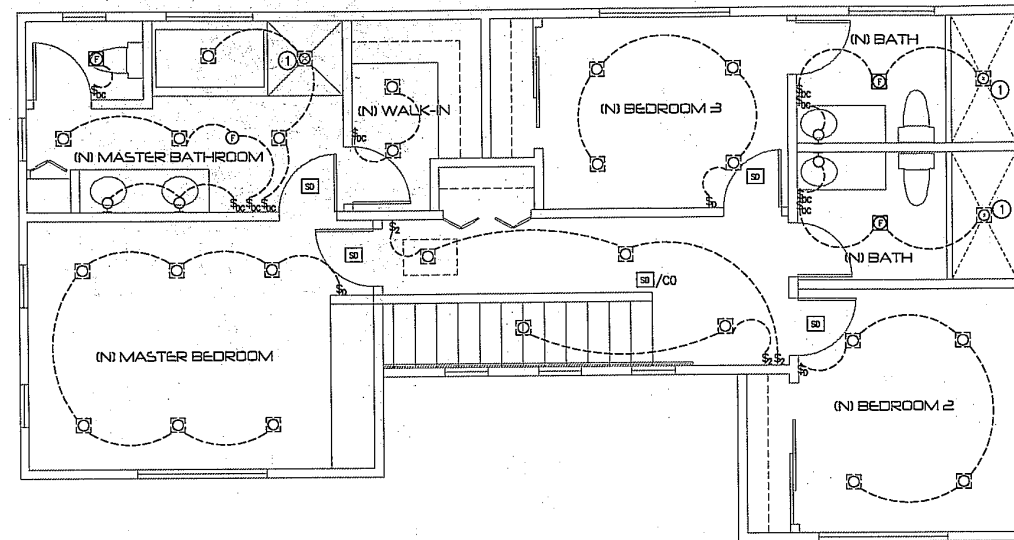
REVISIONS:

SHEET	ROOF PLAN
SCALE	AS SHOWN
DATE	3.1.2017
PRJ.No.	2017-05

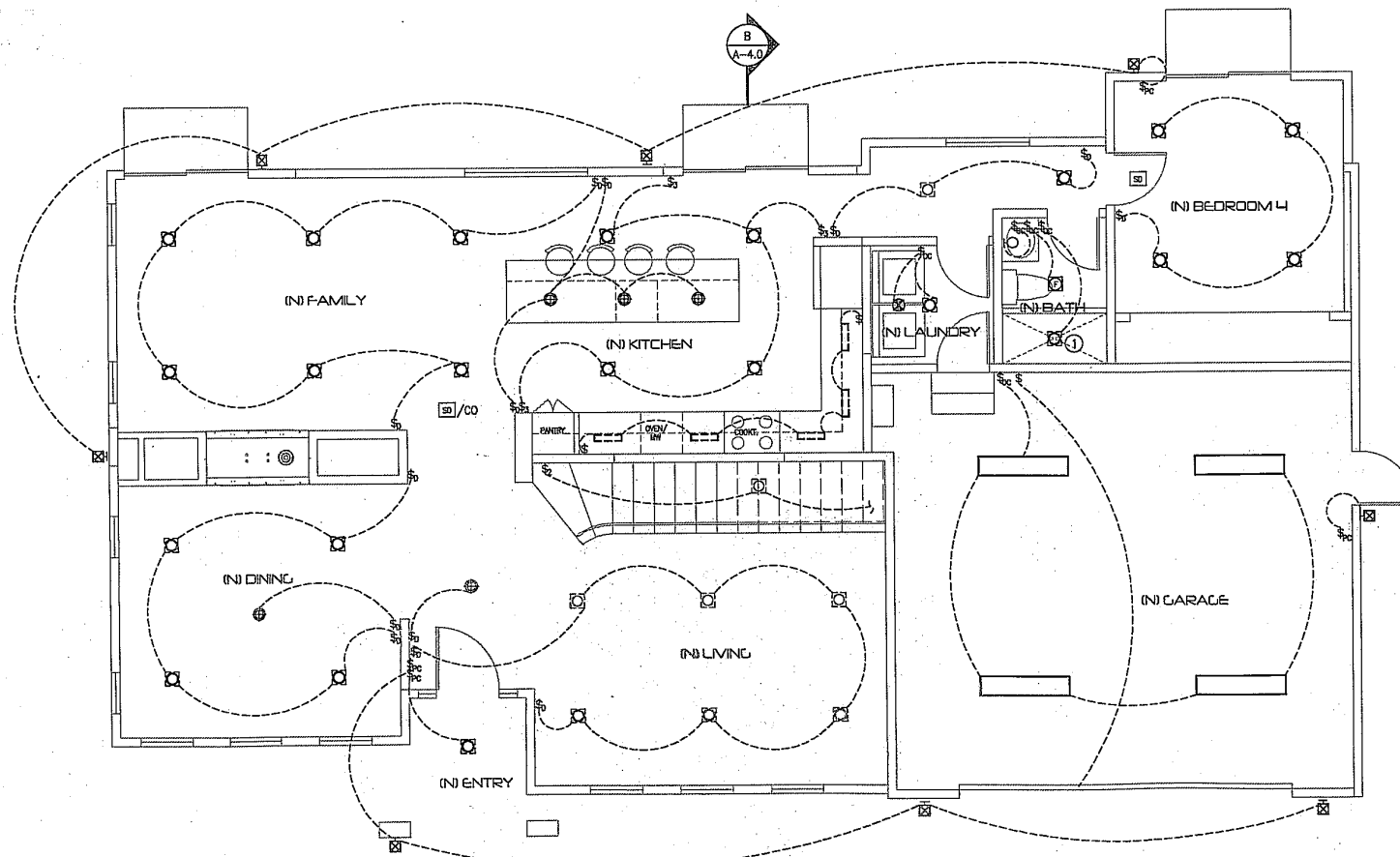
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(N) SECOND FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"



(N) FIRST FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES - ELECTRICAL

- GENERAL HIGH EFFICACY LIGHTING IS DEFINED TO BE MINIMUM 40 LUMENS/WATT, OR GREATER.
- HIGH EFFICACY LIGHTING MUST BE OPERATED ON SEPARATE SWITCH FROM ANY OTHER INCANDESCENT OR OTHER LOW EFFICACY LIGHTING.
- ALL PERMANENTLY INSTALLED HARD WIRED LIGHTING MUST BE HIGH EFFICACY LUMINAIRES WITH EXCEPTIONS AS NOTED BELOW:
 - KITCHEN - UP TO 50% OF TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED LUMINAIRES MAY BE IN LUMINAIRES THAT ARE NOT HIGH EFFICACY PROVIDED THAT THESE LUMINAIRES ARE SWITCHED SEPARATELY FROM HIGH EFFICACY LUMINAIRES.
 - AT LEAST ONE HIGH EFFICACY LIGHT SHALL BE PROVIDED IN EACH BATHROOM. THE REMAINING LIGHTS CAN BE CONTROLLED BY VACANCY SENSOR. ALL LIGHTING IN THE GARAGE, LAUNDRY ROOM, AND THE UTILITY ROOM SHALL BE BOTH HIGH EFFICACY AND CONTROLLED BY VACANCY SENSOR.
 - OTHER SPACES - PERMANENTLY INSTALLED LUMINAIRES THAT ARE NOT HIGH EFFICACY SHALL BE ALLOWED PROVIDED THAT ARE CONTROLLED BY A DIMMER OR BY A MANUAL-ON OCCUPANT SENSOR.
 - PORCHES AND OUTDOOR LIGHTING - PERMANENTLY INSTALLED LUMINAIRES THAT ARE NOT HIGH EFFICACY SHALL BE ALLOWED PROVIDED THAT ARE CONTROLLED BY A MOTION SENSOR AND PHOTO CONTROL.
- EXTERIOR LIGHTING NOT ATTACHED TO THE BUILDING ARE EXEMPT FROM ABOVE REQUIREMENT.
- FANS TO BE ENERGY STAR CERTIFIED.

LEGEND

- ⊕ INDICATES NOMINAL CEILING HT. ABOVE FINISH FLOOR
- \$ SINGLE POLE SWITCH +44" TYP. U.O.N.
- \$ 3-WAY SWITCH 120V, +44" TYP. U.O.N.
- \$ 4-WAY SWITCH 120V, +44" TYP. U.O.N.
- \$ DIMMER SWITCH +44" TYP. U.O.N.
- \$ WEATHER PROOF SWITCH 120V, +44" TYP. U.O.N.
- \$ MANUAL-ON OCCUPANCY SENSOR SWITCH
- \$ PHOTO CONTROL-MOTION SENSOR SWITCH
- △ TELEPHONE OUTLET +12" TYP. U.O.N.
- Ⓢ DATA / T.V. OUTLET +12" TYP. U.O.N.
- Ⓢ SMOKE DETECTOR +90" TYP. U.O.N.
- CIRCUIT LINE
- Ⓢ JUNCTION BOX FOR APPLIANCE, HEIGHT AS REQUIRED PER APPLIANCE
- Ⓢ WALL MOUNTED LIGHT FIXTURE HEIGHT AS NOTED
- Ⓢ EXTERIOR WALL MOUNTED LIGHT FIXTURE W/ MOTION SENSOR AND PHOTOCELL
- Ⓢ CEILING SURFACE MOUNTED LIGHT FIXTURE
- Ⓢ LED RECESSED CAN LIGHT FIXTURE
- Ⓢ EXTERIOR RECESSED CAN LIGHT FIXTURE WITH MOTION SENSOR AND PHOTOCELL
- Ⓢ RECESSED DIRECTIONAL CAN LIGHT FIXTURE
- Ⓢ SURFACE MOUNTED DIRECTIONAL LIGHT FIXTURE
- Ⓢ PENDANT TYPE FIXTURE
- SURFACE MOUNTED FLUORESCENT FIXTURE, HEIGHT AS NOTED
- Ⓢ UNDER CABINET LED FIXTURE
- Ⓢ EXHAUST FAN
- Ⓢ LIGHT/ EXHAUST FAN UNIT, EACH FUNCTION SWITCHED SEPARATELY
- Ⓢ HEAT LAMP
- Ⓢ HEAT LAMP FAN UNIT
- Ⓢ GARAGE DOOR OPENER
- Ⓢ PENDANT FAN UNIT, SWITCHED SEPARATELY

KEY NOTES

- LIGHT FIXTURE SUITABLE FOR WET LOCATIONS CEC 410.10(A)

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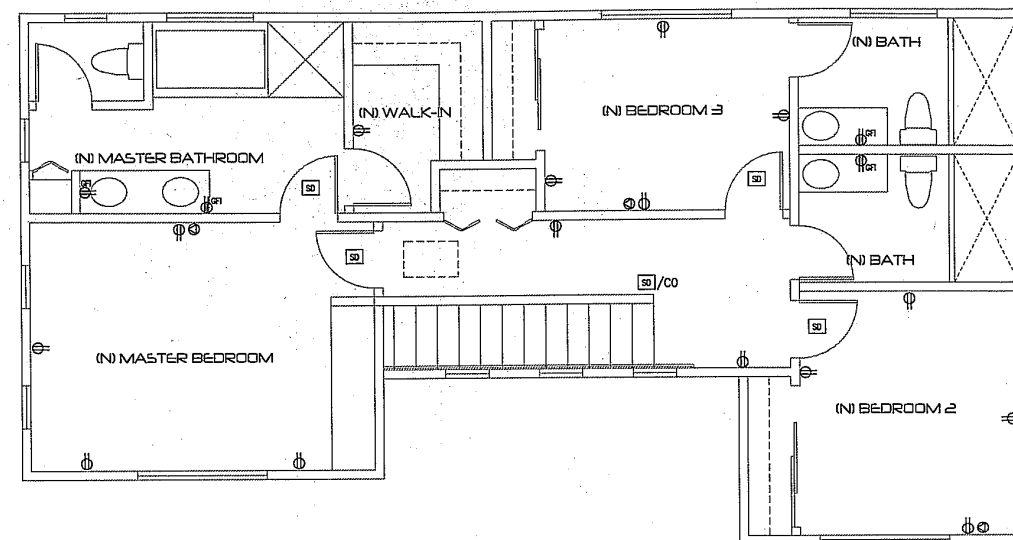
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SHEET	LIGHTING PLAN
SCALE	1/4" = 1'-0"
DATE	3.1.2017
PRJ.No.	2017-05

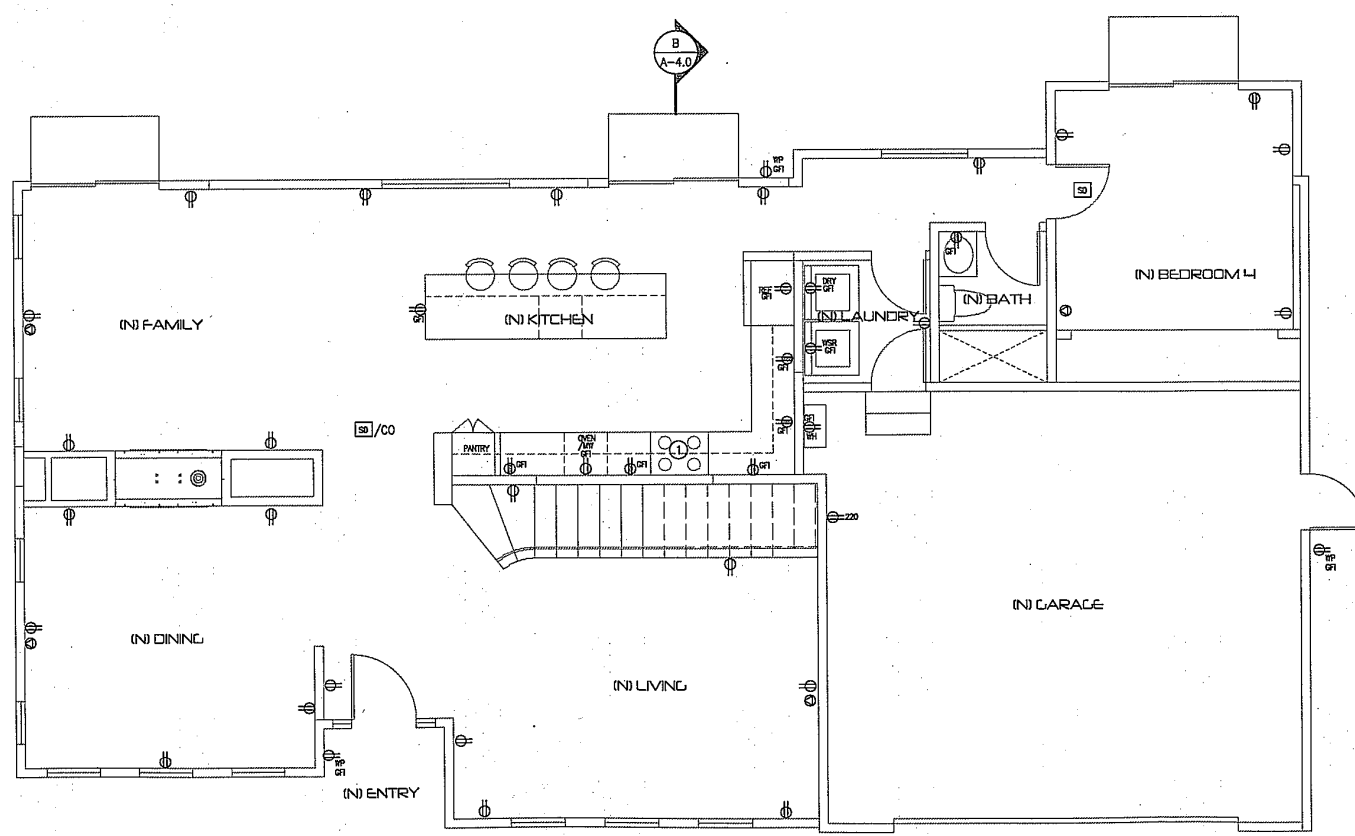
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A-6.1

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(N) SECOND FLOOR POWER PLAN
SCALE: 1/4" = 1'-0"



(N) FIRST FLOOR POWER PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES-POWER

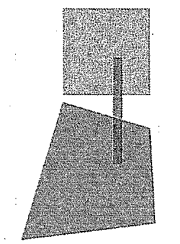
- A. PROVIDE (1) 20 AMP CIRCUIT FOR BATHROOM OUTLETS
- B. PROVIDE AC/DC INTER-CONNECTED SMOKE/CARBON MONOXIDE DETECTORS IN THE BEDROOM, HALLWAYS LEADING TO BEDROOMS, AND @ EACH FLOOR LEVEL CENTRALLY LOCATED @ STAIRS, STATE FIRE MARSHAL APPROVED
- C. PROVIDE DEDICATED CIRCUITS FOR APPLIANCES INCLUDING WHIRLPOOL TUBS, SUB-ZERO REFRIGERATORS, FAU'S, LAUNDRY (20 AMPS), LAUNDRY DRYER (30 AMPS) DISHWASHER, DISPOSAL, ETC.
- D. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, 15 20 AMPERE OUTLETS FOR RECEPTACLES, LIGHTS & SMOKE ALARMS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT PER 2010 CEC 210.12(b).
- E. PROVIDE (1) SEPARATE CIRCUIT FOR EACH FAU UNIT.
- F. PROVIDE FULLY ENCLOSED LENS COVER AT ALL INCANDESCENT LIGHTS IN CLOTHES CLOSET
- G. AFCI PROTECTED RECEPTACLES TO BE PROVIDED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, BEDS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS PER CEC 210.12(b)
- H. ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11

LEGEND

- ⊕ INDICATES NOMINAL CEILING HT. ABOVE FINISH FLOOR
- ⊕ DUPLEX CONVENIENCE RECEPTACLE 120 V, +12" TYP. U.O.N.
- ⊕ FOUR-PLEX CONVENIENCE RECEPTACLE 120 V, +12" TYP. U.O.N.
- ⊕ DUPLEX CONVENIENCE RECEPTACLE GFCI, 120 V, +12" TYP. U.O.N.
- ⊕ DUPLEX CONVENIENCE RECEPTACLE GFCI, 120 V, +8" ABOVE COUNTER, U.O.N.
- ⊕ WEATHERPROOF RECEPTACLE GFCI, 120 V, +12" TYP., U.O.N.
- ⊕ 1/2 SWITCHED RECEPTACLE, 120 V, +12" TYP., U.O.N.
- ⊕ DUPLEX CONVENIENCE RECEPTACLE, 120 V, FLOOR OR HORIZ. LOCATION
- ⊕ 220V APPLIANCE OUTLET, HEIGHT PER MANUFACTURER, U.O.N.
- ⊕ DATA/PHONE/TV OUTLET +12" TYP. U.O.N.
- ⊕ SMOKE DETECTOR W/ CARBON MONOXIDE ALARM HARDWIRED W/ BATTERY BACK-UP, STATE FIRE MARSHAL APPROVED.
- ⊕ ATS ANGLE POWER STRIP TR SERIES @ UNDERSIDE OF UPPER CABINETS W/ GFI OUTLETS @ 24" O.C. MAX. QTY AS NOTED BY INDICATOR
- CIRCUIT LINE

KEY NOTES

- ① INSTALL KITCHEN EXHAUST FAN, MINIMUM 100 CFM, PER ASHRAE 62.2 SECTION 5 & TABLE 5.1, AND CALIFORNIA ENERGY CODE SECTION 150(a).



D-SQUARE STUDIO
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408-625-9171

BETTE AVE RESIDENCE ADDITION
10550 BETTE AVE CUPERTINO, CA 95014

REVISIONS:

SHEET	LIGHTNING PLAN
SCALE	1/4" = 1'-0"
DATE	3.1.2017
PRJ.No.	2017-05

DRAWN BY:
www.d-squarestudio.com
408-625-9171

A - 6.2

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.

R Application R-2018-20
RM Application INT-2018-01
Approval Date 2-12-19
Signature (Case Manager)