



CUPERTINO

City of Cupertino
10300 Torre Avenue
Cupertino, CA 95014
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Community Development Department

To: Mayor and City Council Members
From: Benjamin Fu, Assistant Director of Community Development
Date: January 24, 2018
Subj: REPORT OF PLANNING COMMISSION DECISIONS MADE January 23, 2018

Chapter 19.12.170 of the Cupertino Municipal code provides for
appeal of decisions made by the Planning Commission

1. Application

R-2017-27, RM-2017-28, Frank Ho (Sun/Hou residence), 18850 Barnhart Ave

Appeal of the Director's decision to approve a Two Story Permit to allow the construction of a new 2,400 square foot single family residence and a Minor Residential Permit to allow a rear and side facing balcony on the new residence

Action

The Planning Commission denied the appeal of the application(s) on a 3-0-2 vote (Takahashi, Liu absent)

Enclosures: Planning Commission Report January 23, 2018
Planning Commission Resolution(s) 6846 & 6847
Plan Set



OFFICE OF COMMUNITY DEVELOPMENT
PLANNING DIVISION

CITY HALL
10300 TORRE AVENUE • CUPERTINO, CA 95014-3255
(408) 777-3308 • FAX (408) 777-3333

PLANNING COMMISSION STAFF REPORT

Agenda Date: January 23, 2018

SUBJECT

Consider an appeal of the Director's decision to approve a Two-Story Permit to allow the construction of a new 2,400 square foot two-story, single-family residence and a Minor Residential Permit to allow for the construction of a new rear and side-facing second-story balcony. (Application No(s): R-2017-27 and RM-2017-28; Applicant(s): Frank Ho (Sun/Hou residence); Location: 18850 Barnhart Avenue; APN(s): 375-33-015); Appellant(s): Joseph Chou and Jeff and Christine Ronne)

RECOMMENDED ACTION

That the Planning Commission adopt the draft resolutions (see Attachments 1 and 2) to deny the appeal and uphold the Community Development Director's decision to approve a Two-Story Permit (R-2017-27) and Minor Residential Permit (RM-2017-28) for the project.

DISCUSSION

Project Data:

General Plan Designation:	Low Density (1-6 DU/Ac.)	
General Plan Neighborhood:	Rancho Rinconada	
Zoning Designation:	R1-5 (Single-Family Residential)	
	Allowed/Required	Proposed
Net Lot Area	5,355 sq. ft. (0.12 acres)	
Floor Area Ratio (F.A.R.)	2,409 sq. ft. (45%)	2,400 sq. ft. (44.8%)
Lot Coverage	2,677 sq. ft. (50%)	2,440 sq. ft. (45.6%)
1st Floor Setbacks		
Front	20'	25'-8"
Rear	20'	23'-4"
Side	5' each side	5'-1" (each side)
2nd Floor Setbacks		
Front	25'	26'-8"

/s/Beth Ebben
Beth Ebben, Administrative Assistant

Rear	25'	30'-5"
Side	Combined 25' (no side less than 10')	Combined 30'-2" (each side - 15'-1")
2nd Floor Balcony Setbacks		
Front	20'	N/A
Rear	20'	25'
Side	15'	15'-1" (east side) 21'-6" (west side)
Total Building Height	28'	26'-7"
Project Consistency with:		
General Plan:	Yes	
Zoning:	Yes	
Environmental Review:	Categorically Exempt per Section 15303, Class 3 of the California Environmental Quality Act (CEQA)	

Background:

On August 10, 2017 the applicant, Frank Ho (Sun/Hou residence), applied for a Two-Story Permit to allow a new 2,400 square foot two-story, single-family residence and a Minor Residential Permit to allow a second-story balcony on the new residence located at 18850 Barnhart Avenue (see Attachment 3). The property is located in the R1-5 zoning district, which permits two-story homes, up to 28-feet in height, with a maximum Floor Area Ratio (FAR) of 45% of the net lot area.

No design review was required for this project since the ratio of the proposed second-floor to the first-floor area is less than 66% and at least 15-foot second-floor side yard setbacks have been provided. Additionally, views from the second story balcony were screened as required by the City's Municipal Code. Conditions of approval ensured that all privacy screening trees would be recorded as protected trees prior to final occupancy to ensure their maintenance and protection.

Staff received written comments from three adjacent property owners during the comment period. The concerns are summarized below:

- Potential privacy impacts from the proposed second-story balcony.
- Reduction of natural light from the proposed new two-story residence.
- A proposed chimney on the west side of the residence. This concern was allayed prior to approval of the permits since the chimney is decorative.

Following the comment period, the property owner met with appellant, Joseph Chou, several times to discuss the concerns regarding the proposed balcony and the reduction of natural light. However, the two parties were unable to reach an amicable solution.

Since the project is consistent with all aspects of Chapter 19.28, Single-Family Residential (R-1), of the Municipal Code, and other pertinent City ordinances, the project was approved administratively on November 7, 2017 without any modifications to the plans or additional conditions of approval (Attachment 4). The deadline to appeal the project was November 21, 2017. The approval of the Two-Story Permit and Minor Residential Permit was appealed by Joseph Chou on November 20, 2017 (Attachment 5) and by Jeff and Christine Ronne on November 21, 2017 (Attachment 6).

DISCUSSION:

Basis of the Appeal

The appellants' basis of appeal is summarized below. Where appropriate, staff's responses are in *italics*.

Appellant Chou:

1. "The newly proposed two-story house with balcony is sharing the backyard fence with my house. My family has been living in our house for eight years. We enjoy open our windows and having natural light coming into our house and yard. The second-story balcony gives the occupants the ability to see into neighbors' yards and houses. This is a privacy concern."

The Single-Family Residential (R-1) Ordinance allows the construction of second-story balconies as long as, prior to final occupancy, the property owner:

- *Either plants privacy protection trees and/or shrubs as required by the ordinance,*
- *Or obtains signed "Release of Privacy Protection Measures" forms from adjacent neighbors to waive the required privacy protection plantings.*

The objective of privacy protection plantings is to provide substantial (not complete) screening within three years of planting. Privacy protection plantings are considered Protected Trees under the City's Municipal Code (Chapter 14.18) and are recorded as such with a covenant against the property to inform current and future property owners about their protected status. Protected trees cannot be removed without obtaining a tree removal permit and providing replacement plantings.

In order to ensure that visual impacts to the adjacent neighbors are mitigated in compliance with the R-1 Ordinance, the property owner has both, incorporated existing plantings on the

subject property that meet the City's requirements for privacy protection plantings, and proposed additional City-approved privacy protection plantings.

2. "My family has planted sun loving plants along our backyard fence. If the neighbor plants multiple tall privacy trees, it would affect the growth of our plants. I do not see a study of the privacy trees that would cause the loss of natural light, in particular of sunlight to our property. We do not feel we have to alter our life style to accommodate the new construction."

One of the purposes of the R-1 Ordinance is to ensure the provision of light, air, and a reasonable level of privacy to individual residential parcels through the requirements incorporated in the ordinance. Building envelope requirements for the first floor portions of the building, and increased setback requirements for the second-floor ensure that a reasonable level of light and air is available for neighbors, while privacy protection plantings mitigate privacy impacts and the visual mass of two-story residences. The R-1 Ordinance does not require applicants to provide studies on light impacts to adjacent properties, if the prescriptive requirements in the ordinance are met.

The proposal for 18850 Barnhart Avenue meets, and at times exceeds, all setback requirements for the R1-5 zoning district. While the R-1 Ordinance requires a 20-foot rear yard setback for second-story balconies, the proposed second-story balcony for 18850 Barnhart Avenue exceeds this requirement by being setback 25-feet from the rear property line.

3. "In the past eight years, I have gone to quite a few open houses that featured two-story houses with rear balconies in Rancho Rinconada. I have yet to see a house that cannot look into neighbors' properties. It really bothers me that City of Cupertino is allowing such construction that could easily see into neighbors' yards and houses."

See response #1.

4. "When I first filed the protest about the balcony, Yunfeng Hou, the owner, met with me on October 29th. We talked about my privacy concern, but did not come to an agreement. Mr. Hou and I talked on November 2nd. He told me verbally, yes, he went to a few second floor balconies and saw quite a bit of neighbors' properties. However, his architect told him making a design change was quite an effort and my appeal/protest would delay the building process. Mr. Hou followed up with an e-mail, stating he had seen, '...much worse setup, and yet, those designs got approved...' This tells me Mr. Hou is aware that the second-story balcony is intruding into neighbors' privacy."

No comment.

5. "On November 19th, I went to two newly completed houses that have similar lot sizes and rear balcony designs as Mr. Hou's project. The owner at 19025 Pendergast Avenue turned down my request to take a look from his balcony. He did state that he could look into many neighbors' properties...I have taken a picture of 19025 Pendergast Avenue's balcony from Barnhart Avenue. It is clear that if I can take a picture of the balcony from one street behind this property, this balcony can see into quite a bit of neighbors' properties."

See response #1. The applicant and/or property owner for 19025 Pendergast Avenue obtained a signed "Release of Privacy Protection Measures" form from adjacent neighbors to waive required privacy protection plantings. Therefore, the project is exempt from providing privacy protection plantings for the second-story windows and balcony.

6. "The owner at 19051 Barnhart Avenue also did not allow me to go to his balcony; he did state that he could see into neighbors' properties; he further stated that since the balcony is high up, there would always be gaps and spaces among the trees to look into neighbors' properties. Both home owners also refused to use my camera to take pictures from the balconies into other properties...I have taken a few pictures of 19051 Barnhart Avenue's balcony from the next door neighbor, 19041 Barnhart Avenue's backyard. If I can take clear view of the balcony, this balcony can certainly have clear view of the neighbors' yard and open windows."

The project at 19051 Barnhart Avenue was completed in summer 2016 with the privacy plantings planted in May of that year. As mentioned before, the objective of privacy protection plantings is to provide substantial screening within three years of planting. Therefore, it is anticipated that substantial screening will occur by the summer of 2019. See response #1.

7. "The City of Sunnyvale is not approving second-story rear balcony for newly proposed single-family construction. This is a result of multiple projects and complaints from the city residents."

The Sunnyvale Municipal Code does not prohibit second-story balconies in residential zoning districts. The Municipal Code also does not require privacy plantings for second-story balconies, but opaque/solid railings may be required to prevent views into adjacent yards.

8. "I feel City of Cupertino has fundamental issues. Yes, there are ordinances, theories of protecting privacy. However, there is also the reality that people can see from second-story balcony. Privacy trees can be trimmed down. People can use binocular from the balcony to look into neighbors' properties."

See response #1.

9. "I want to put on the public record that the appeal hearing committee members should visit five newly constructed houses of similar lot sizes and designs along with the appellants. Rather than talking about theories, let us use our own eyes to check into reality. The building and planning departments should be able to identify these projects in Rancho Riconada."

No comment.

Appellant Ronne:

10. "The proposed balcony will overlook our yard and have a view into windows that have no coverings due to no current need for privacy and ability to view our yard. For 20 years we have had no need to cover our first story windows and have enjoyed both the natural light and views without concern for privacy. Please reconsider this decision."

See response #1.

Environmental Review:

This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15303.

PUBLIC NOTICING AND COMMUNITY OUTREACH

The following table is a brief summary of the noticing for this appeal:

Notice of Public Hearing & Site Signage	Agenda
<ul style="list-style-type: none">▪ Site Signage (<i>at least 10 days prior to hearing</i>)▪ 9 notices mailed to property owners adjacent to the project site (<i>at least 10 days prior to the hearing</i>)	<ul style="list-style-type: none">▪ Posted on the City's official notice bulletin board (<i>five days prior to hearing</i>)▪ Posted on the City of Cupertino's Web site (<i>five days prior to hearing</i>)

No public comments were received at the time of production of this staff report.

CONCLUSION

Since the proposed project complies with all aspects of the R-1 Ordinance, staff recommends that the Planning Commission deny the appeal and uphold the Community Development Director's decision to approve the Two-Story and Minor Residential Permits.

NEXT STEPS

The Planning Commission's decision on this project is final unless appealed within 14 days of the decision. If appealed, the City Council will hear the final appeal.

Prepared by: Erika Poveda, Assistant Planner
Reviewed and Approved by: Piu Ghosh, Principal Planner

ATTACHMENTS

1. Draft Resolution for R-2017-27
2. Draft Resolution for RM-2017-28
3. Plan Set
4. Two-Story and Minor Residential Permits (R-2017-17 and RM-2017-28) Action Letter, Dated November 7, 2017
5. Appellant Chou's Letter and Images
6. Appellant Ronne's Letter

CITY OF CUPERTINO
10300 Torre Avenue
Cupertino, California 95014

RESOLUTION NO. 6846

OF THE PLANNING COMMISSION OF THE CITY OF CUPERTINO
DENYING AN APPEAL AND UPHOLDING THE DIRECTOR OF COMMUNITY
DEVELOPMENT'S DECISION TO ALLOW THE CONSTRUCTION OF A NEW 2,400
SQUARE FOOT SINGLE-FAMILY RESIDENCE AT 18850 BARNHART AVENUE

SECTION I: PROJECT DESCRIPTION

Application No.: R-2017-27
Applicant: Frank Ho (Sun/Hou residence)
Appellants: Joseph Chou and Jeff and Christine Ronne
Location: 18850 Barnhart Avenue (APN: 375-33-015)

SECTION II: FINDINGS FOR A TWO-STORY PERMIT:

WHEREAS, the City of Cupertino received an application for a Two-Story Permit as described in Section I of this Resolution; and

WHEREAS, the necessary notices were given and the comment period for the application was provided as required by the Procedural Ordinance of the City of Cupertino; and

WHEREAS, the City was able to make the findings required under Section 19.28.140 (B) and the application was approved with conditions on November 7, 2017; and

WHEREAS, the notice of decision was mailed to the appropriate parties, including the applicant and any person who contacted City staff with comments during the comment period, notifying them about the possibility of appealing a project; and

WHEREAS, the Planning Commission of the City of Cupertino received two appeals of the Community Development Director's approval of the Two-Story Permit; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Planning Commission has held at least one public hearing in regard to the appeal; and

WHEREAS, the project is determined to be categorically exempt from the California Environmental Quality Act (CEQA); and

WHEREAS, the appellants have not met the burden of proof required to support said appeals; and

WHEREAS, the Planning Commission finds as follows with regard to this application:

1. The project is consistent with the Cupertino General Plan, any applicable specific plans, zoning ordinance, and the purposes of the R-1 Ordinance; and

The proposed project is consistent with the existing residential land use designations surrounding the site and is consistent with Title 19, Zoning, and Chapter 19.28, Single-Family Residential (R-1) Ordinance, of the Cupertino Municipal Code for setbacks, lot coverage, floor area ratio, and other development standards. The project also complies with the privacy protection plantings as required by the R-1 Ordinance to ensure that visual impacts to adjacent neighbors are mitigated.

2. The proposed project is harmonious in scale and design with the general neighborhood; and

The proposed project is located within the R1-5 (Single Family Residential) zoning district and will be compatible with the surrounding uses of the neighborhood. The subject neighborhood contains a healthy mix of single-story and two-story homes, making the proposed project compatible with the neighborhood. The purpose of the R-1 Ordinance is to enhance the identity of residential neighborhoods, to ensure the provision of light, air, and a reasonable level of privacy to individual residential parcels, to ensure a reasonable level of compatibility in scale of structures within the neighborhood, and to reinforce the predominantly low-intensity setting in the community through setbacks, building envelope, and privacy planting requirements, as well as other prescriptive requirements incorporated within the R-1 Ordinance. Overall, the proposed project maintains the single-family home scale found to be compatible with the general neighborhood.

3. The granting of the permit will not result in a condition that is detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety or welfare; and

The granting of the permit will not result in a condition that is detrimental or injurious to property improvements in the vicinity, and will not be detrimental to the public health, safety, or welfare as the project is located within the R1-5 (Single-Family Residential) zoning district and will be compatible with the surrounding uses of the neighborhood.

4. Adverse visual impacts on adjoining properties have been reasonably mitigated.

Any potential adverse impacts on adjoining properties have been reasonably mitigated through incorporating existing plantings on the subject property that meet the City's requirements for privacy protection plantings and by proposing additional City-approved privacy protection plantings, as well as the installation of a front-yard tree as required by the R-1 Ordinance. The R-1 Ordinance allows property owners the ability to construct second-story windows and balconies as long as either privacy protection trees and/or shrubs are planted as required by the ordinance or the property owner obtains a signed "Release of Privacy Protection Measures" form from adjacent neighbors to waive the required privacy protection plantings. Furthermore, privacy protection plantings are considered Protected Trees under the City's Municipal Code and are recorded as such with a covenant against the property to inform current and future property owners about their protected status. Protected trees cannot be removed without an approved tree removal permit and the provision of required replacement plantings.

NOW, THEREFORE, BE IT RESOLVED that after careful consideration of maps, facts, exhibits, testimony, and other evidence submitted in this matter, and subject to the conditions which are enumerated in this Resolution beginning on PAGE 2 thereof,:

The Planning Commission DENIES the appeal of an application for a Two-Story Permit (R-2017-27) and UPHOLDS the Administrative approval of the Two-Story Permit. The Planning Commission also finds that the subconclusions upon which the findings and conditions specified in this resolution are based and contained in the Public Hearing record concerning Application no. R-2017-27 as set forth in the Minutes of Planning Commission Meeting of January 23, 2018 and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPT.

1. APPROVED PROJECT

The approval is based on a plan set entitled "Hou's Residence, New Custom Homes, 18850 Barnhart Ave., Cupertino, CA 95014", consisting of six (6) sheets labeled "A0.1, A0.2, A2.1, A3.1, C1, and LA0" and a landscape plan entitled "Yafeng Hou, 18850 Barnhart Ave., Cupertino, CA 95014," consisting of an arborist report and two (2) sheets labeled "LA1 and LA2," except as may be amended by conditions in this resolution.

2. ANNOTATION OF THE CONDITIONS OF APPROVAL

The conditions of approval set forth shall be incorporated into and annotated on the building plans.

3. ACCURACY OF THE PROJECT PLANS

The applicant/property owner is responsible for verifying all pertinent property data including but not limited to property boundary locations, building setbacks, property size, building square footage, any relevant easements and/or construction records. Any misrepresentation of property data may invalidate this approval and may require additional review.

4. CONCURRENT APPROVAL CONDITIONS

The conditions of approval contained in file no. RM-2017-28 shall be applicable to this permit.

5. COMPLIANCE WITH PUBLIC WORKS CONFIRMATION FORM

The project shall comply with the requirements indicated on the public works confirmation form, including, but not limited to, dedications, easements, off-site improvements, undergrounding of utilities, all necessary agreements, and utility installations/relocations as deemed necessary by the director of public works and required for public health and safety.

6. LANDSCAPE PROJECT SUBMITTAL

Prior to issuance of building permits, the applicant shall submit a full Landscape Documentation Package, per sections 14.15.050 A, B, C, and D of the Landscape Ordinance, for projects with landscape area 500 square feet or more or elect to submit a Prescriptive Compliance Application per sections 14.15.040 A, B, and C for projects with landscape area between 500 square feet and 2,500 square feet. The Landscape Documentation Package or Prescriptive Compliance Application shall be reviewed and approved to the satisfaction of the Director of Community Development prior to issuance of building permits, and additional requirements per sections 14.15.040 D, E, F, and G or 14.15.050 E, F, G, H, and I will be required to be reviewed and approved prior to final inspections.

7. PRIVACY PLANTING

The final privacy planting plan shall be reviewed and approved by the Planning Division prior to issuance of building permits. The variety, size, and planting distance shall be consistent with the City's requirements.

8. FRONT YARD TREE

The applicant shall indicate on site and landscape plans the location of a front yard tree to be located within the front yard setback area in order to screen the massing of the second story. The front yard tree shall be a minimum 24-inch box and 6 feet planted height and otherwise be consistent with the City's requirements.

9. PRIVACY PROTECTION AND FRONT YARD TREE COVENANT

The property owner shall record a covenant on this property to inform future property owners of the privacy protection measures and tree protection requirements consistent with the R-1 Ordinance, for all windows with views into neighboring yards and a sill height that is 5 feet or less from the second story finished floor. The precise language will be subject to approval by the Director of Community Development. Proof of recordation must be submitted to the Community Development Department prior to final occupancy of the residence.

10. CONSULTATION WITH OTHER DEPARTMENTS

The applicant is required to consult with other departments and/or agencies with regard to the proposed project for additional conditions and requirements. Any misrepresentation of any submitted data may invalidate an approval by the Community Development Department.

11. EXTERIOR BUILDING MATERIALS/TREATMENTS

Final building exterior treatment plan (including but not limited to details on exterior color, material, architectural treatments and/or embellishments) shall be reviewed and approved by the Director of Community Development prior to issuance of building permits. The final building exterior plan shall closely resemble the details shown on the original approved plans. Any exterior changes determined to be substantial by the Director of Community Development shall require a minor modification approval with neighborhood input.

12. INDEMNIFICATION

Except as otherwise prohibited by law, the applicant shall indemnify and hold harmless the City, its City Council, and its officers, employees and agents (collectively, the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant to attack, set aside, or void this Resolution or any permit or approval authorized hereby for the project, including (without limitation) reimbursing the City its actual attorneys' fees and costs incurred in defense of the litigation. The applicant shall pay such attorneys' fees and costs within 30 days following receipt of invoices from City. Such attorneys' fees and costs shall include amounts paid to counsel not otherwise employed as City staff and shall include City Attorney time and overhead costs and other City staff overhead costs and any costs directly related to the litigation reasonably incurred by City.

13. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d) (1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

PASSED AND ADOPTED this 23rd day of January, 2018, at the Regular Meeting of the Planning Commission of the City of Cupertino, State of California, by the following roll call vote:

AYES: COMMISSIONERS: Chair Sun, Vice Chair Paulsen, Fung
NOES: COMMISSIONERS: none
ABSTAIN: COMMISSIONERS: none
ABSENT: COMMISSIONERS: Takahashi, Liu

ATTEST:

APPROVED:

/s/Piu Ghosh
Piu Ghosh
Principal Planner

/s/Don Sun
Don Sun
Chair, Planning Commission

CITY OF CUPERTINO
10300 Torre Avenue
Cupertino, California 95014

RESOLUTION NO. 6847

OF THE PLANNING COMMISSION OF THE CITY OF CUPERTINO
DENYING AN APPEAL AND UPHOLDING THE DIRECTOR OF COMMUNITY
DEVELOPMENT'S DECISION TO ALLOW THE CONSTRUCTION OF A SECOND-
STORY BALCONY ON THE NEW SINGLE-FAMILY RESIDENCE AT 18850
BARNHART AVENUE

SECTION I: PROJECT DESCRIPTION

Application No.: RM-2017-28
Applicant: Frank Ho (Sun/Hou residence)
Appellants: Joseph Chou and Jeff and Christine Ronne
Location: 18850 Barnhart Avenue (APN: 375-33-015)

SECTION II: FINDINGS FOR A MINOR RESIDENTIAL PERMIT:

WHEREAS, the City of Cupertino received an application for a Minor Residential Permit as described in Section I of this Resolution; and

WHEREAS, the necessary notices were given and the comment period for the application was provided as required by the Procedural Ordinance of the City of Cupertino; and

WHEREAS, the City was able to make the findings required under Section 19.28.140 (A) and the application was approved with conditions on November 7, 2017; and

WHEREAS, the notice of decision was mailed to the appropriate parties, including the applicant and any person who contacted City staff with comments during the comment period, notifying them about the possibility of appealing a project; and

WHEREAS, the Planning Commission of the City of Cupertino received two appeals of the Community Development Director's approval of the Minor Residential Permit; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Planning Commission has held at least one public hearing in regard to the appeal; and

WHEREAS, the project is determined to be categorically exempt from the California Environmental Quality Act (CEQA); and

WHEREAS, the appellants have not met the burden of proof required to support said appeals; and

WHEREAS, the Planning Commission finds as follows with regard to this application:

1. The project is consistent with the Cupertino General Plan, any applicable specific plans, zoning ordinance, and the purposes of the R-1 Ordinance; and

The proposed project is consistent with the existing residential land use designations surrounding the site and is consistent with Title 19, Zoning, and Chapter 19.28, Single-Family Residential (R-1) Ordinance, of the Cupertino Municipal Code for setbacks, lot coverage, floor area ratio, and other development standards. The R-1 Ordinance allows property owners the ability to construct second-story balconies as long as either privacy protection trees and/or shrubs are planted as required by the ordinance or the property owner obtains a signed "Release of Privacy Protection Measures" form from adjacent neighbors to waive the required privacy protection plantings. The project complies with the privacy protection plantings as required by the R-1 Ordinance to ensure that visual impacts to adjacent neighbors are mitigated.

2. The proposed project is harmonious in scale and design with the general neighborhood; and

The proposed project is located within the R1-5 (Single Family Residential) zoning district and will be compatible with the surrounding uses of the neighborhood. The subject neighborhood contains a healthy mix of single-story and two-story homes with balconies, making the proposed project compatible with the neighborhood. The purpose of the R-1 Ordinance is to enhance the identity of residential neighborhoods, to ensure the provision of light, air, and a reasonable level of privacy to individual residential parcels, to ensure a reasonable level of compatibility in scale of structures within the neighborhood, and to reinforce the predominantly low-intensity setting in the community through setbacks, building envelope, and privacy planting requirements, as well as other prescriptive requirements incorporated within the R-1 Ordinance. Overall, the proposed project maintains the single-family home scale found to be compatible with the general neighborhood.

3. The granting of the permit will not result in a condition that is detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety or welfare; and

The granting of the permit will not result in a condition that is detrimental or injurious to property improvements in the vicinity, and will not be detrimental to the public health, safety, or welfare as the project is located within the R1-5 (Single-Family Residential) zoning district and will be compatible with the surrounding uses of the neighborhood.

4. Adverse visual impacts on adjoining properties have been reasonably mitigated.

Any potential adverse impacts on adjoining properties have been reasonably mitigated through incorporating existing plantings on the subject property that meet the City's requirements for privacy protection plantings and by proposing additional City-approved privacy protection plantings as required by the R-1 Ordinance to reasonably obscure the viewsheds of the second-story balcony. The R-1 Ordinance allows property owners the ability to construct second-story balconies as long as either privacy protection trees and/or shrubs are planted as required by the ordinance or the property owner obtains a signed "Release of Privacy Protection Measures" form from adjacent neighbors to waive the required privacy protection plantings. Furthermore, privacy protection plantings are considered Protected Trees under the City's Municipal Code and are recorded as such with a covenant against the property to inform current and future property owners about their protected status. Protected trees cannot be removed without an approved tree removal permit and the provision of required replacement plantings.

NOW, THEREFORE, BE IT RESOLVED:

That after careful consideration of maps, facts, exhibits, testimony, and other evidence submitted in this matter, subject to the conditions which are enumerated in this Resolution beginning on PAGE 2 thereof,:

The Planning Commission DENIES the appeal of an application for a Minor Residential Permit (RM-2017-28) and UPHOLDS the Administrative approval of the Minor Residential Permit. The Planning Commission also finds that the subconclusions upon which the findings and conditions specified in this resolution are based and contained in the Public Hearing record concerning Application no. RM-2017-28 as set forth in the Minutes of Planning Commission Meeting of January 23, 2018 and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPT.

1. APPROVED PROJECT

The approval is based on a plan set entitled "Hou's Residence, New Custom Homes, 18850 Barnhart Ave., Cupertino, CA 95014", consisting of six (6) sheets labeled "A0.1, A0.2, A2.1, A3.1, C1, and LA0" and a landscape plan entitled "Yafeng Hou,

18850 Barnhart Ave., Cupertino, CA 95014," consisting of an arborist report and two (2) sheets labeled "LA1 and LA2," except as may be amended by conditions in this resolution.

2. ANNOTATION OF THE CONDITIONS OF APPROVAL

The conditions of approval set forth shall be incorporated into and annotated on the building plans.

3. ACCURACY OF THE PROJECT PLANS

The applicant/property owner is responsible for verifying all pertinent property data including but not limited to property boundary locations, building setbacks, property size, building square footage, any relevant easements and/or construction records. Any misrepresentation of property data may invalidate this approval and may require additional review.

4. CONCURRENT APPROVAL CONDITIONS

The conditions of approval contained in file no. R-2017-27 shall be applicable to this permit.

5. COMPLIANCE WITH PUBLIC WORKS CONFIRMATION FORM

The project shall comply with the requirements indicated on the public works confirmation form, including, but not limited to, dedications, easements, off-site improvements, undergrounding of utilities, all necessary agreements, and utility installations/relocations as deemed necessary by the director of public works and required for public health and safety.

6. LANDSCAPE PROJECT SUBMITTAL

Prior to issuance of building permits, the applicant shall submit a full Landscape Documentation Package, per sections 14.15.050 A, B, C, and D of the Landscape Ordinance, for projects with landscape area 500 square feet or more or elect to submit a Prescriptive Compliance Application per sections 14.15.040 A, B, and C for projects with landscape area between 500 square feet and 2,500 square feet. The Landscape Documentation Package or Prescriptive Compliance Application shall be reviewed and approved to the satisfaction of the Director of Community Development prior to issuance of building permits, and additional requirements per sections 14.15.040 D, E, F, and G or 14.15.050 E, F, G, H, and I will be required to be reviewed and approved prior to final inspections.

7. PRIVACY PLANTING

The final privacy planting plan shall be reviewed and approved by the Planning Division prior to issuance of building permits. The variety, size, and planting distance shall be consistent with the City's requirements.

8. FRONT YARD TREE

The applicant shall indicate on site and landscape plans the location of a front yard tree to be located within the front yard setback area in order to screen the massing of the second story. The front yard tree shall be a minimum 24-inch box and 6 feet planted height and otherwise be consistent with the City's requirements.

9. PRIVACY PROTECTION AND FRONT YARD TREE COVENANT

The property owner shall record a covenant on this property to inform future property owners of the privacy protection measures and tree protection requirements consistent with the R-1 Ordinance, for all windows with views into neighboring yards and a sill height that is 5 feet or less from the second story finished floor. The precise language will be subject to approval by the Director of Community Development. Proof of recordation must be submitted to the Community Development Department prior to final occupancy of the residence.

10. CONSULTATION WITH OTHER DEPARTMENTS

The applicant is required to consult with other departments and/or agencies with regard to the proposed project for additional conditions and requirements. Any misrepresentation of any submitted data may invalidate an approval by the Community Development Department.

11. EXTERIOR BUILDING MATERIALS/TREATMENTS

Final building exterior treatment plan (including but not limited to details on exterior color, material, architectural treatments and/or embellishments) shall be reviewed and approved by the Director of Community Development prior to issuance of building permits. The final building exterior plan shall closely resemble the details shown on the original approved plans. Any exterior changes determined to be substantial by the Director of Community Development shall require a minor modification approval with neighborhood input.

12. INDEMNIFICATION

Except as otherwise prohibited by law, the applicant shall indemnify and hold harmless the City, its City Council, and its officers, employees and agents (collectively, the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant to attack, set aside, or

void this Resolution or any permit or approval authorized hereby for the project, including (without limitation) reimbursing the City its actual attorneys' fees and costs incurred in defense of the litigation. The applicant shall pay such attorneys' fees and costs within 30 days following receipt of invoices from City. Such attorneys' fees and costs shall include amounts paid to counsel not otherwise employed as City staff and shall include City Attorney time and overhead costs and other City staff overhead costs and any costs directly related to the litigation reasonably incurred by City.

13. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d) (1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

PASSED AND ADOPTED this 23rd day of January, 2018, at the Regular Meeting of the Planning Commission of the City of Cupertino, State of California, by the following roll call vote:

AYES: COMMISSIONERS: Chair Sun, Vice Chair Paulsen, Fung
NOES: COMMISSIONERS: none
ABSTAIN: COMMISSIONERS: none
ABSENT: COMMISSIONERS: Takahashi, Liu

ATTEST:

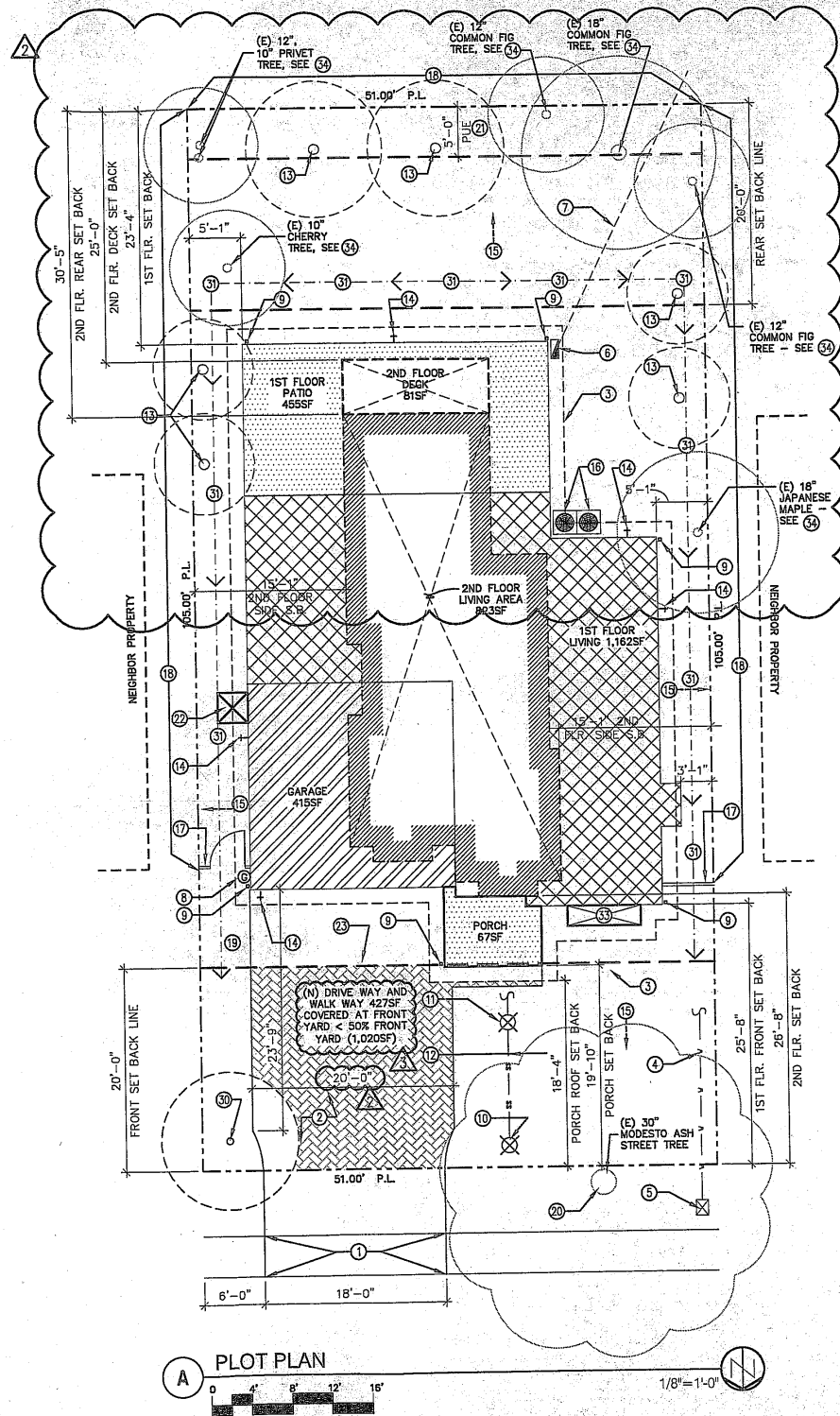
APPROVED:

/s/Piu Ghosh

Piu Ghosh
Principal Planner

/s/Don Sun

Don Sun
Chair, Planning Commission



SITE KEY NOTES

- (E) SIDE WALK, CURB, GUTTER AND CURB CUT TO REMAIN AS IS.
- (N) PERVIOUS STONE PAVEMENT DRIVE WAY.
- 18" ROOF OVER HANG, TOTAL AREA IS 318SF
- (N) 1/2" WATER LINE
- (E) 2" WATER METER TO REMAIN AS IS, V.I.P.
- (N) ELECTRICAL MAIN PANEL, MIN. 200A
- (N) OVER HEAD UTILITIES LINE
- (N) GAS METER PER PAGE
- (N) DOWN SPOUT WITH PROVIDE DIRECT ROOF RUNOFF AND ON-SITE SURFACE DRAINAGE TO LANDSCAPED AREAS OR GRASS SWALES FOR INFILTRATION TO THE GREATEST DEGREE POSSIBLE
- (N) PROPERTY LINE C.O. MUST BE WITHIN 5 FEET OF THE PROPERTY LINE. CLEAN OUT SHALL BE THE SAME DIAMETER AS THE STREET PORTION OF THE SERVICE. LATERAL GRANTY LATERAL IS 4" DIAMETER MIN. SEE C1
- (N) 4" CLEAN OUT
- (N) 4" ABS SEWER LINE
- (N) PRIVACY SCREENING TREE, SEE PRIVACY PLAN ON A10 AND A11 TYPE (N) TREE AND LOCATION OF THE
- (N) HOSE BIBB W/ NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE
- GRADE TO SLOPE AWAY FROM STRUCTURE MIN. OF 5% WITHIN THE 1ST 10'-FEET OF STRUCTURE. IF IMPERVIOUS SURFACES ARE WITHIN THE FIRST 10'-FEET OF THE BUILDING, A MIN. OF 2% AWAY FROM STRUCTURE IS ALLOWED.
- CONDENSER UNIT SHALL BE MORE THAN 5' SET BACK FROM SIDE PROPERTY.
- (N) 6'-0" MAX. HIGH REDWOOD FENCE AND/OR GATE
- (E) 6'-0" MAX. HIGH REDWOOD FENCE ALONG PROPERTY LINE.
- FIRST FLOOR SIDE SET BACK
- (E) 30" DIA. MODESTO ASH STREET TREE TO REMAIN AND PROTECTED DURING CONSTRUCTION PER CITY STANDARD 6-4.4, SEE 1
- PUE SHALL BE KEPT OPEN AND FREE FROM BUILDINGS AND STRUCTURES OF ANY KIND.
- LANDING WITH MAX. 6" FROM NATURAL GRADE. LANDING WITH 18" HIGH FROM GRADE SHALL HAVE 10'-0" MIN. SET BACK.
- FRONT SET BACK LINE
- REMOVE ALL CONC. PAVEMENT DRIVE WAY AND SIDE WALK
- REMOVE (E) GARAGE AND HOUSE STRUCTURE
- REMOVE (E) CARPORT
- REMOVE (E) GAS METER PER PAGE
- REMOVE (E) ELECT. METER AND ELECT. SERVICE PER PAGE
- REMOVE (E) TREE
- (N) AUTUMN PURPLE ASH TREE OR PER CUPERTINO FRONT YARD TREE REQUIREMENT, MIN. 24" BOX OR LARGER, WITH A MIN. HEIGHT 8'-0".
- GRASSY SWALES MIN. 1% SLOPE, SEE DETAIL 1
- BARNHART AVE. IS RECENTLY PAVED; THEREFORE, STREET CUT MORATORIUM IS IN PLACE FOR A PERIOD OF THREE YEARS; HOWEVER, EXCEPTIONS CAN BE GRANTED WITH PROPER PAVEMENT RESTORATION SUCH AS SLURRY SEAL. THEREFORE, ADDITIONAL COST MAY BE ADDED TO ANY UTILITY WORK IN THE PAVEMENT.
- 14.55F BAY WINDOW WITH WINDOW SEAT MIN. 24" FROM FINISH FLOOR
- (E) TREE SHALL REMAIN TO PROVIDE PRIVACY SCREENING PER TREE REPORT BY MARK BEAUDOIN, CERT. ARBORIST NO. 1050

DEFERRED SUBMITTAL

- FIRE SPRINKLER DESIGN BY OTHER AND SUBMIT PRIOR TO INSTALLATION.
- IRRIGATION PLAN WILL BE INCLUDE IN BUILDING PERMIT DRAWING SETS.

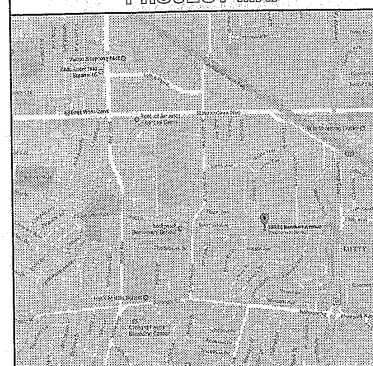
PUBLIC WORKS NOTES

- APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTIONS OF MISTAKES, ERRORS, OR COMMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OF OR A DEPARTURE FROM THE CITY OF CUPERTINO SPECIFICATION OR THESE IMPROVEMENT PLANS, THE CITY ENGINEERS SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE COMPLETED, AT THE SOLE EXPENSE OF THE OWNER AND/OR CONTRACTOR.
- CONTACT PUBLIC WORKS, 777-3104, FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
- ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- A WORK SCHEDULE OF GRADING AND EROSION & SEDIMENT CONTROL PLAN SHALL BE PROVIDED TO THE CITY ENGINEER BY AUGUST 15. NO HILLSIDE GRADING SHALL BE PERFORMED BETWEEN OCTOBER 1 TO APRIL 15.
- TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
- ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPED AREAS.
- PRIOR TO ROUGH FRAMING INSPECTION OR PRIOR ANY WORK TO COMMENCE WITHIN THE PUBLIC RIGHT OF WAY, WHICHEVER COMES FIRST, THE OWNER AND/OR THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT. CONTACT JO ANNE JOHNSON AT (408) 777-3245 FOR ENCROACHMENT REQUIREMENTS AND PERMIT. ALL ENCROACHMENT PERMITS REQUIRE A CERTIFICATE OF LIABILITY INSURANCE AND A SEPARATE ENDORSEMENT NAMING THE CITY OF CUPERTINO AS ADDITIONAL INSURED AS WELL AS A VALID CONTRACTOR LICENSE (NOTE: LICENSE E CONTRACTORS ARE ONLY PERMITTED TO PERFORM WORK ON-SITE AND WILL NOT BE PERMITTED TO PERFORM WORK IN THE PUBLIC RIGHT OF WAY).
- PROVIDE 5% MIN. SLOPES FOR GRADE AWAY FROM FOUNDATIONS AND DRAINAGE AWAY FROM ADJACENT PROPERTY LINES.

GENERAL NOTES

- AN ENCROACHMENT PERMIT TO BE OBTAINED FOR ANY WORK DONE BEYOND THE PROPERTY LINE.
- OWNER/CONTRACTOR TO OBTAIN J NUMBER FROM THE BAAQMD FOR DEMOLITION OF EXISTING STRUCTURE PRIOR OBTAIN DEMOLITION PERMIT.
- THE PROPERTY OWNER SHALL RECORD A COVENANT ON THE PROPERTY FOR THE NEW TREES/SHRUBS PLANTED FOR PURPOSE OF REQUIRED PRIVACY PROTECTION, AND REQUIRED FRONT-YARD TREE.
- FOLLOWING COMPLETION OF CONSTRUCTION, AN AFFIDAVIT FROM AN ISA-CERTIFIED ARBORIST SHALL BE PROVIDED CONFIRMING THAT THE NEW TREE HAVE BEEN PLANTED PROPERLY AND ACCORDING TO PLAN.
- A PLANNING DIVISION INSPECTION IS REQUIRED TO VERIFY EXTERIOR MATERIALS/FINISHES, TREES, LANDSCAPING, SITE WORK.
- A CERTIFIED LANDSCAPE PROFESSIONAL SHALL CONDUCT A LANDSCAPE INSTALLATION AUDIT AFTER THE LANDSCAPING AND IRRIGATION SYSTEM HAVE BEEN INSTALLED PER CHAPTER 14.15 (LANDSCAPE ORDINANCE). THE FINDINGS OF THE ASSESSMENT SHALL BE CONSOLIDATED INTO A LANDSCAPE INSTALLATION REPORT PROVIDED TO THE PLANNING DIVISION.
- THE PROPERTY OWNER SHALL SIGN A LANDSCAPE MAINTENANCE AGREEMENT PER CHAPTER 14.15 (LANDSCAPE ORDINANCE), PREPARED BY THE CITY, AND RECORD IT WITH COUNTY OF SANTA CLARA RECORDER'S OFFICE. THE PROPERTY OWNER SHALL CONTACT THE PLANNING DIVISION IN ADVANCE OF THE FINAL TO PREPARE THE AGREEMENT.
- A CERTIFIED LANDSCAPE PROFESSIONAL SHALL PROVIDE A LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE PER CHAPTER 14.15 (LANDSCAPE ORDINANCE) TO THE PLANNING DIVISION.

PROJECT MAP



PROJECT DATA

JOB LOCATION: 18850 BARNHART AVENUE
CITY OF CUPERTINO
378-33-015
CONST. TYPE: V8
FIRE SPRINKLER: FULLY FIRE SPRINKLER
LOT SIZE: 5,355SF
ZONING: R1-5
OCC GROUPS: R3/U
LAND USE: RESIDENCE LOW DENSITY (1-8 DU/AC)
RANCHO RINCONADA

2016 CBC, CPC, CMC, CEC, AND 2016 CRC
CUPERTINO MUNICIPAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA GREEN BUILDING CODE

EXISTING HOUSE:

REMOVE (E) LIVING AREA: 841SF
REMOVE (E) CARPORT: 280SF
EXISTING BUILDING AREA: 1,121SF
EXISTING F.A.R.: 21%
(E) BUILDING COVERAGE: 21%

PROPOSE:

FIRST FLOOR LIVING: 1,162SF
FIRST FLOOR GARAGE: 415SF
SECOND FLOOR LIVING: 823SF
TOTAL (N) BUILDING: 2,400SF

AREA NOT INCLUDE IN FAR

FRONT PORCH: 67SF
REAR PATIO: 455SF
ROOF OVERHANG: 318SF
TOTAL: 840SF
BAY WINDOW: 14.55F
FIRE PLACE: 8.55F
2ND FLOOR DECK: 81SF
TOTAL PROPOSE LIVING AREA: 1,985SF
TOTAL 1ST FLOOR AREA: 1,577SF
TOTAL 2ND FLOOR AREA: 823SF
2nd to 1st FLR. RATIO: 53%
F.A.R.: 2,400SF = 44.82%
5,355SF

1ST FLR. BLD. COVERED: 1,577+840+14.5+8.5 = 2,440SF
BLD. COVERAGE: 2,440SF = 45.57% < 50%
5,355SF

FRONT YARD AREA: 1,577SF
FRONT YARD IMPERVIOUS AREA: 427SF < 50% FRONT YARD

TURF AREA: 362SF
TOTAL NON-TURF: 1,890SF
LANDSCAPE: 2,252SF < 2,500SF
TURF PERCENTAGE: 16.08% < 25%

PROJECT INDEX

- A0.1 PLOT PLAN AND DEMOLITION PLAN
A0.2 PRIVACY PROTECTION PLAN, BUILDING AREA DIAGRAM, AND ROOF PLAN
A2.1 1ST FLOOR PLAN, AND 2ND FLOOR PLAN
A3.1 EXTERIOR ELEVATIONS AND SECTIONS
- LA0 LANDSCAPE AREA DIAGRAM
LA1 PLANTING PLAN
LA2 IRRIGATION PLAN
- C1 SURVEY PLAN

TREE PROTECTION MEASURE

- A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
- ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
- NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
- IF TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
- AREAS WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
- THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
- FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
- THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE GRADING OR CONSTRUCTION. NO BRANCHES OR ROOTS SHALL BE CUT UNLESS AT FIRST REVIEWED BY THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
- ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
- NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
- TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

PROJECT SCOPE

- REMOVE (E) 862SF SINGLE STORY HOME
- PROPOSE (N) 2 STORIES HOME AND 2 CARS GARAGE.
- TOTAL 4 BEDROOMS, AND 3.5 BATHROOM.
- PROVIDE NEW DRIVE WAY @ EXISTING ROLL UP CURB
- PROPOSE TO PLANT (N) TREE IN FRONT YARD AS REQUIRED FROM CITY OF CUPERTINO.
- PROVIDE PRIVACY PROTECTION PLANT IN REAR YARD.

FIRE NOTE

- AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL NEW BUILDINGS AND STRUCTURES EXCEEDING ONE THOUSAND SQUARE FEET. COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE. THE NEW DETACHED GARAGE DOES NOT REQUIRE FIRE SPRINKLERS. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC SEC. 903.2, AS ADOPTED AND AMENDED BY CUPMC.
- PORTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE PORTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 1314.7.
- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 14 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33
- ADDRESS IDENTIFICATION: (N) AND (E) BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST W/ THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBER SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBER SHALL BE MIN. OF 4 INCHES HIGH W/ A MIN. STROKE WIDTH OF 0.5 INCH. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OF MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 605.1



Project:
Hou's Residence
New Custom Homes
18850 Barnhart Ave.
Cupertino, CA 95014

Applicant/Owner:
Mr. Yunfeng Hou
18850 Barnhart Ave.
Cupertino, CA 95014
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Architect:
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12480 Saratoga Ave.
Saratoga, CA 95070
T: (408) 892.5020
F: (408) 871.6923
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STRUCTURE ENGINEER:

Plan Check Comment 10.11.17
Plan Check Comment 9.4.17
Plan Check Comment 7.25.17

NO. Revision Date
Drawn By: Date:

File:

Issue:

Date: 7.25.2017

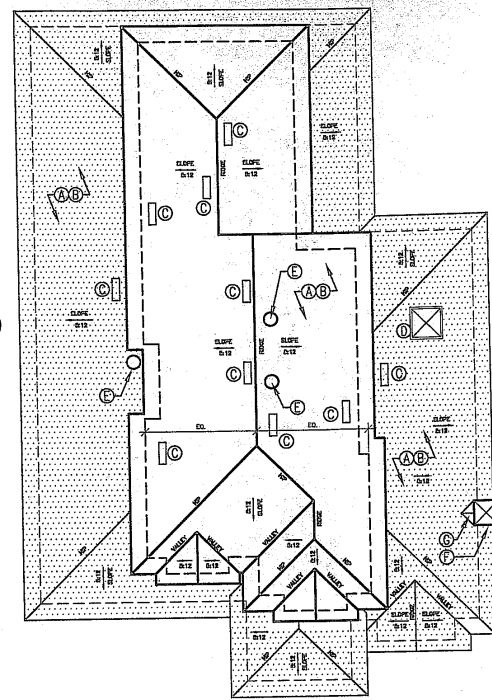
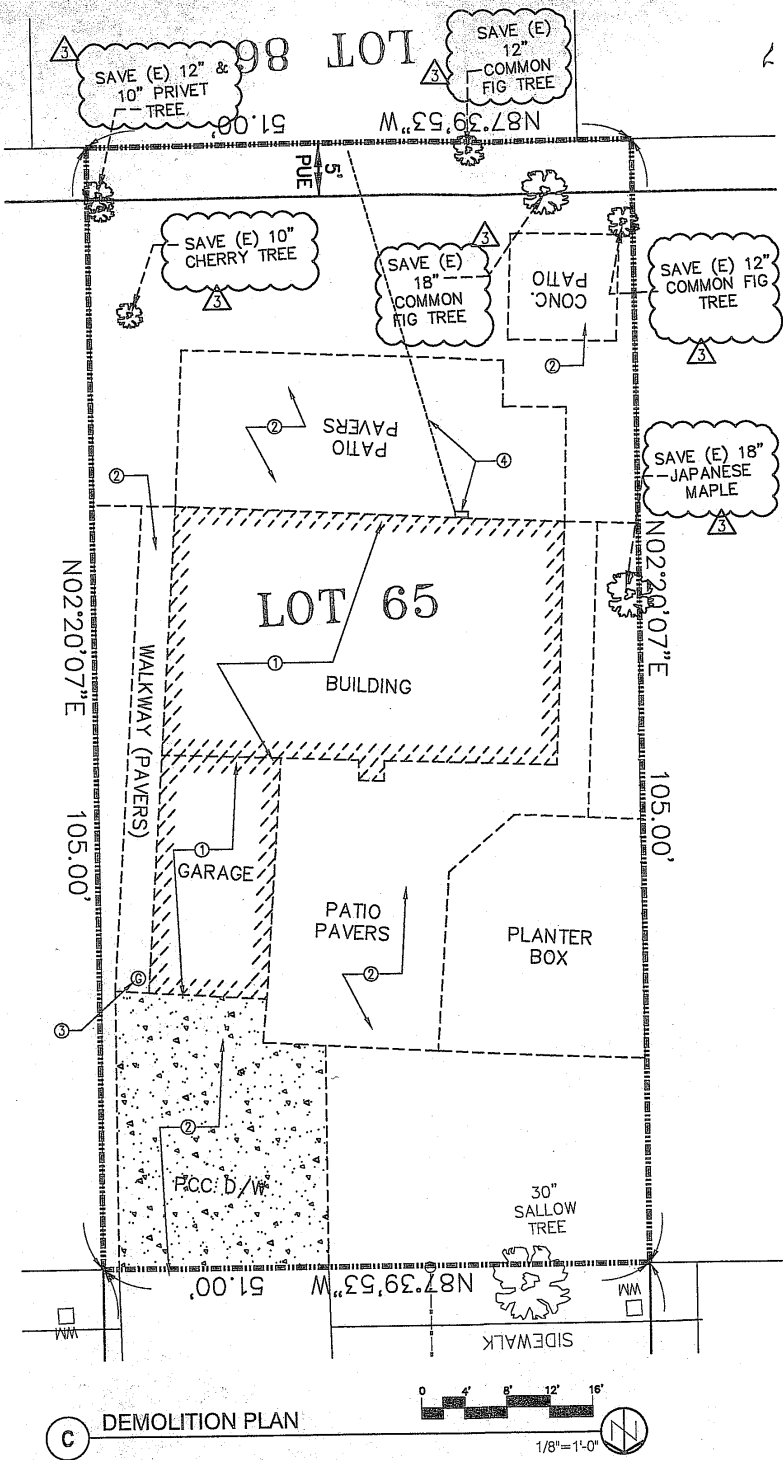
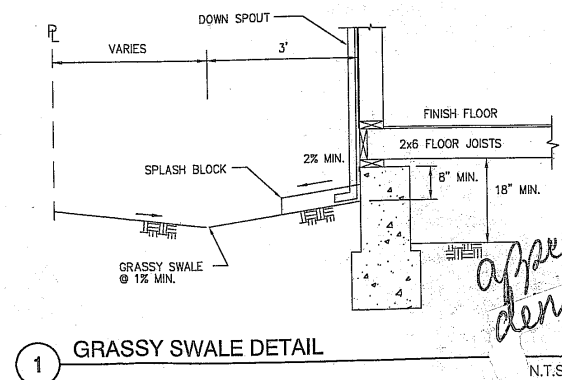
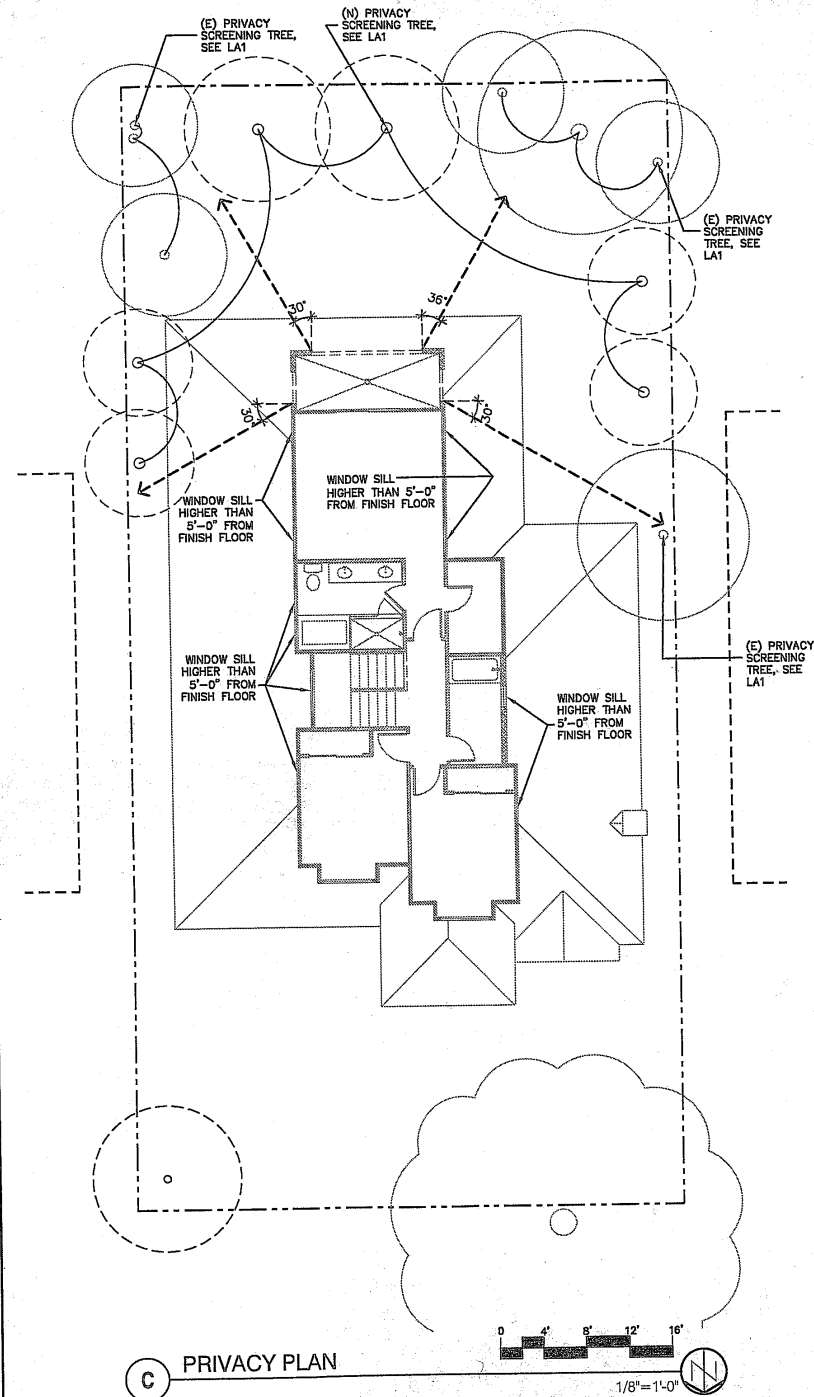
Sheet Title:

PLOT PLAN

Sheet No.:

A0.1

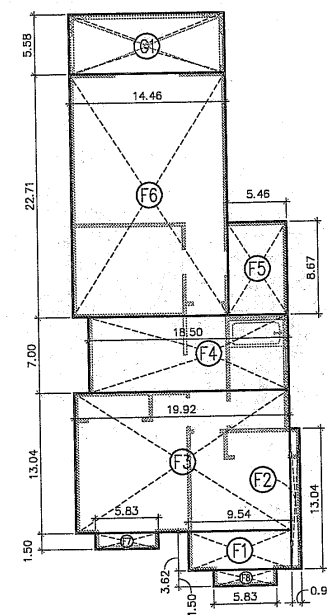
Appeal
denied
R Application R-2017-27
RM Application RM-2017-28
Approval Date 1-23-18
Signature Erika Poreda
(Case Manager)



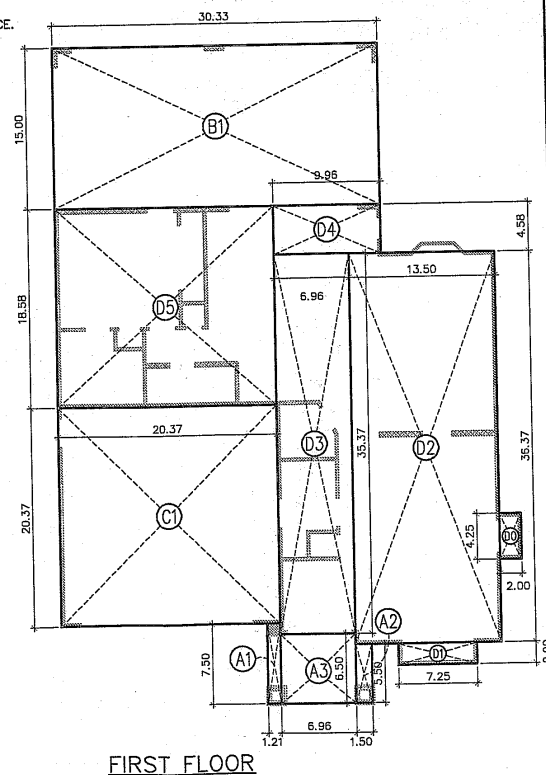
- ROOF PLAN

ROOF KEY NOTES:

- (A) ROOF TILE SEE PAGE A3.1
- (B) COOL ROOF, PROVIDE ROOF SHEATHING WITH RADIANT BARRIER
- (C) ROOF VENT 12"x24" GALVANIZED STEEL HALF ROUND DORMER VENT BY GIBRANTAR BUILDING PRODUCT, MODEL #BH24 W/ 100SGIN NET FIVE VENT AREA. TYPICAL OF 2 VENTS ON LOWER ROOF AND 8 VENT ON UPPER ROOF
- (D) SKYLIGHT, SEE A2.1
- (E) TUBULAR SKYLIGHT, SEE A2.1
- (F) CHIMNEY FOR DIRECT VENT GAS FIREPLACE. 25 GAUGE CONT. GALV. CRICKET



SECOND FLOOR



FIRST FLOOR

AREA DIAGRAM TABLE					
PORCH	FEET		FEET		SF
A1	1.21	X	7.50	=	9.08
A2	1.5	X	5.50	=	8.25
A3	6.96	X	6.50	=	45.24
TOTAL					62.57
REAR PATIO					
B1	30.33	X	15.00	=	454.95
GARAGE					
C1	20.37	X	20.37	=	414.94
AREA NOT COUNT IN F.A.R.					
D0	2.00	X	4.25	=	8.50
D1	7.25	X	2.00	=	14.50
TOTAL				=	23.00
FIRST FLOOR LIVING AREA					
D2	13.5	X	36.37	=	491.00
D3	6.96	X	35.37	=	246.18
D4	9.96	X	4.58	=	45.62
D5	20.37	X	18.58	=	378.47
TOTAL					1161.25
DECK					
G1	14.46	X	5.58	=	80.69
SECOND FLOOR					
F1	9.54	X	3.62	=	34.53
F2	0.92	X	13.04	=	12.00
F3	19.92	X	13.04	=	259.76
F4	18.50	X	7.00	=	129.50
F5	5.46	X	8.67	=	47.34
F6	14.16	X	22.71	=	321.5
F7	5.83	X	1.50	=	8.75
F8	5.83	X	1.50	=	8.75
TOTAL					822.1

61 STUDIO
P. 408.692.5020, F. 408.871.8923
12480 Saratoga Ave., Saratoga, CA 95070

Project:
Hou's Residence
New Custom Homes
18850 Barnhart Ave.
Cupertino, CA 95014

Applicant/Owner:
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76	
50	STRUCTURE ENGINEER:

4.58	<u>3</u>	Plan Check Comment	10.1
	<u>2</u>	Plan Check Comment	9.4.1
	<u>1</u>	Plan Check Comment	7.25

NO.	Revision	Date
Drawn By:	Date:	

File:

36.3 Issue:

Date: 7.25.2017

Sheet Title:

FLOOR AREA DIAGRAM

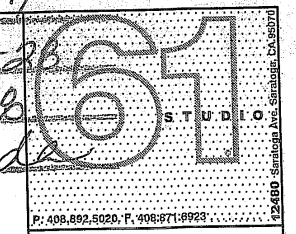
LANDSCAPE AREA DIAGRAM

Sheet No.:

AO.2

R Application R-2017-27
RM Application RM-2017-28
Approval Date 1-23-18
Signature Erika Poveda
(Case Manager)

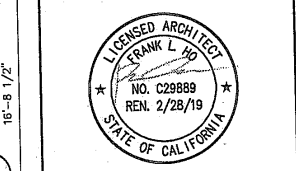
Application
RM Application
Approval Date
Signature
R-2017-27
RM-2017-26
1-23-18
Euka Ford



Project:
Hou's Residence
New Custom Homes
18850 Barnhart Ave.
Cupertino, CA 95014

Applicant/Owner:
Mr. Yunfeng Hou
18850 Barnhart Ave.
Cupertino, CA 95014
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12480 Saratoga Ave.
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T: (408) 892.5020
F: (408) 871.6923
Email: FRANKLHO@YAHOO.COM



STRUCTURE ENGINEER:

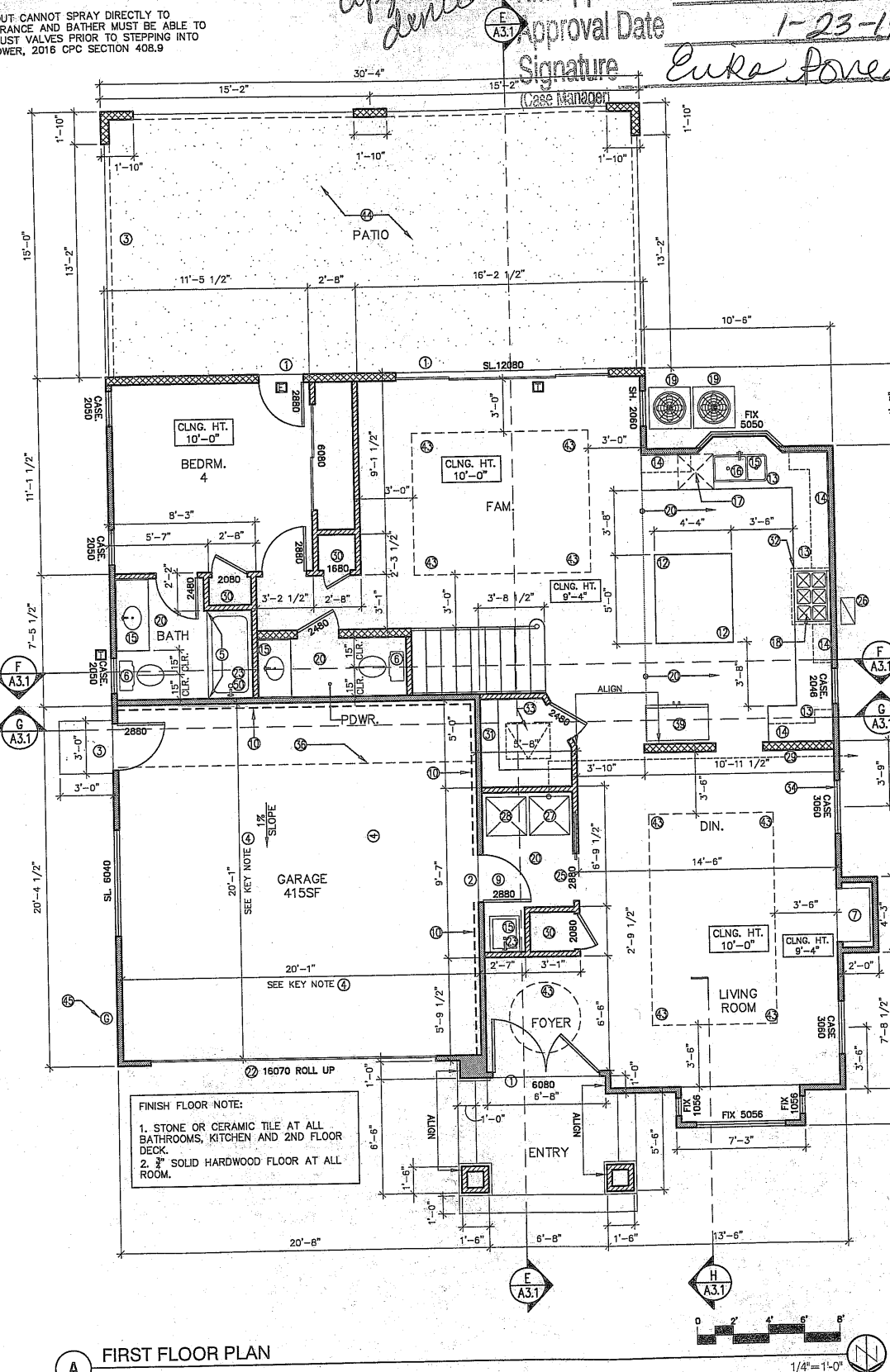
Plan Check Comment	9.4.17
Plan Check Comment	7.25.17
NO. Revision	Date
Drawn By:	Date:
File:	
Issue:	
Date:	7.25.2017
Sheet Title:	FIRST FLOOR PLAN SECOND FLOOR PLAN
Sheet No.:	

A2.1

FLOOR PLAN KEY NOTE:

- LANDING AND STEP W/ MAX. 7" RISE AND 10" MIN. RUN. PROVIDE 25 GAUGE CONT. GALV. FLASHING WHERE CONC. MEET WOOD.
- STEP IN GARAGE SHALL NOT HIGHER THAN 6"
- LANDING IN SIDE YARD SHALL NOT HIGHER THAN 18" FROM FINISH GRADE OR HAVING 10'-0" SIDE YARD SET BACK
- PROVIDE MIN. 20" CLEAR FROM FINISH WALL TO FINISH WALL INSIDE OF GARAGE. NO OBSTRUCTIONS ARE ALLOWED WITHIN THE 20' BY 20' GARAGE, MEASURED 6" TO 6" FROM THE FINISHED FLOOR.
- SHOWER AND TUB WALLS TO BE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT, HARDIE PANEL, OVER 15lbs FELD, TO A HEIGHT OF 72" ABOVE DRAIN INLET PER CRC R307.2
- WATER CLOSET MAX. 1.28 GAL/FLUSH. PROVIDE MIN. 30" WIDE BY 24" CLEAR IN FRONT OF WATER CLOSET.
- DIRECT VENT GAS FIRE PLACE, 8000C-IPI BY HEAT AND GLO. SEE ATTACHED OWNER'S MANUAL
- TEMPERED GLASS STAND SHOWER WITH MIN. 30" DIA. CLR. INSIDE, MIN. 1024 SQ. INC., WITH TEMPERGLASS DOOR WITH MIN. CLR. OPENING OF 22"
- PERMITTED OPENINGS BETWEEN GARAGE AND THE DWELLING SHALL BE EQUIPPED WITH 1 3/8" IN THICKNESS, SOLID WOOD DOORS, SOLID OR HONEYCOMB CORE STEEL DOORS, 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. (R302.5.1)
- 1/2" TYPE 'X' GYP. BD. AT ALL GARAGE WALL FROM SILL PLATE TO UNDERSIDE OF ROOF AND 1/2" TYPE 'X' GYP. AT ALL CEILING.
- LINE OF COFFER CEILING SOFFIT ABOVE
- (N) ISLAND COUNTER
- (N) LOWER COUNTER
- (N) UPPER CABINET
- PROVIDE WALL CLEAN OUT FOR ALL SINKS.
- GABAGE DISPOSAL
- DISH WASHER
- GAS RANGE, PROVIDE BOTH GAS CONNECTION AND 220VOLT OUTLET FOR FUTURE ELECTRIC RANGE WHEN THERE IS SOLAR PANEL INSTALLED.
- CONDENSER UNIT PROVIDE ON CONC. PAD MIN. 3" ABOVE FINISH GRADE. ANCHOR CONDENSER UNIT TO CONC. PAD PER MANUFACTURER. PROVIDE ELECTRICAL DISCONNECT W/ MIN. 36"x30" CLEAR IN FRONT OF ELECTRICAL DISCONNECT. ALL CONDENSER WATER SHALL ROUTE TO REAR YARD LANDSCAPE.
- CERAMIC TILE OR NATURAL STONE OVER 1/2" CONC. BOARD OVER PLYWD. SUBFLOOR
- TILE OVER THIN SET, OVER 1" CONC. W/ WIRE MESH, OVER 15lbs FELT, OVER WATER PROOF LINER, OR OVER HOT MOPPED SHOWER PAN, OVER PLYWOOD SUB-FLOOR.
- ROLL UP GARAGE DOOR 16'-0"x8'-0"
- THE MAX. HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, SHOWER AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION. (CPC 414.5 & 418.0)
- FLOOR DRAIN SEE DETAIL 7/A8.0
- PROVIDE MIN. 2" CLEAR FROM FINISH FLOOR TO BOTTOM OF DOOR TO PROVIDE COMBUSTION AIR FOR GAS DRYER.
- TANK-LESS WATER HEATER, TAKAGI TK4 INSTALLED PER MANUFACTURE. CONTRACTOR PROVIDE ONE LINE DIAGRAM PRIOR TO INSTALLATION.
- (N) CLOTH DRYER, SHALL BE VENTED WITH 4" DIA. RIGID METAL DUCT, WITH MAX. 14' LONG DUCT, EQUIP WITH 4" OPENING BACK-DRAF DAMPER. DUCT RUN THROUGH UNDER FLOOR TO OUT SIDE. DUCT TERMINATE SHALL BE 36" AWAY FROM WINDOW OPENING.
- CLOTH WASHER, PROVIDE ON DRAIN PAIN WITH DRAIN PIPE TO OUT SIDE.
- DIRECTION OF VENT
- CEILING TO FLOOR CLOSET SPACE
- BUILT IN PANTRY W/ CEILING TO FLOOR CLOSET SPACE
- HOOD W/ MIN. 100CFM, DUCT AND SHALF INSTALLED PER REQ. OF 2016 CMC.
- CRAW SPACE ACCESS, MIN. 30"x22" CLR.
- WINDOW FIX PANEL
- NOT USED
- LINE OF SOFFIT ABOVE
- WHOLE HOUSE VENTILATION: PROVIDE FOR SECONDARY UNIT, REQ. 82.38CFM. PROVIDE PANASONIC WHISPER GREEN FV-11VQCS WHICH PROVIDE 110CFM, OR EQUIVALENT, USE 4" SMOOTH METAL DUCT. PROVIDE PROPER DISTANCE BETWEEN AC AND WHOLE HOUSE VENTILATION TO PREVENT MIXING OF AIR. MAX. 1.0 SONES IS ALLOWED FOR THE NOISE LEVEL OF THE FAN. WHOLE HOUSE VENT SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2
- NOT USED
- REFRIGERATOR
- ACCESS TO LOWER ROOF. MIN. CLR OPENING IS 24"x30"
- ATTIC ACCESS, 30"x24"
- 42" HIGH HALF WALL
- DROP DOWN COFFER CEILING, PROVIDE 2x8 @ 16" O.C. ATTACHED TO 2ND FLOOR JOIST ABOVE
- PATIO FINISH WILL BE CONCRETE SLAB ON GRADE
- GAS METER, 3'-0" CLEAR FROM WINDOW OPENING
- CHIMNEY FOR DIRECT VENT GAS FIREPLACE.
- 25 GAUGE CONT. GALV. CRICKET
- ALL FINISH FLOOR SHALL BE HARDWOOD FLOOR EXCEPT BATHROOM AND KITCHEN SEE KEY NOTE 2

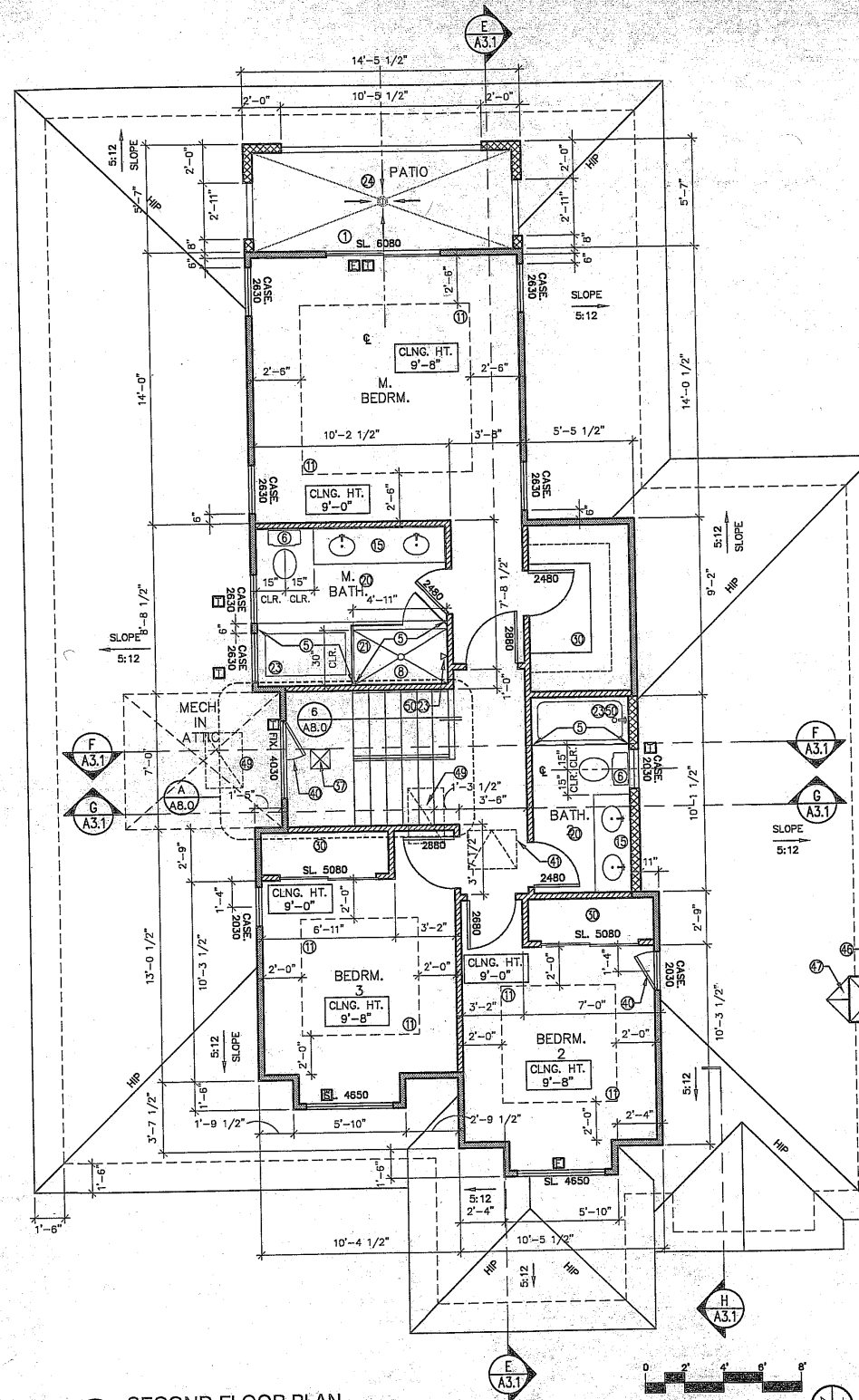
WHOLE HOUSE VENTILATION:
CFM REQ. = 10CFMx(3,738SF) + 7.50CFMx(5+1) = 82.38CFM
100SF



FIRST FLOOR PLAN

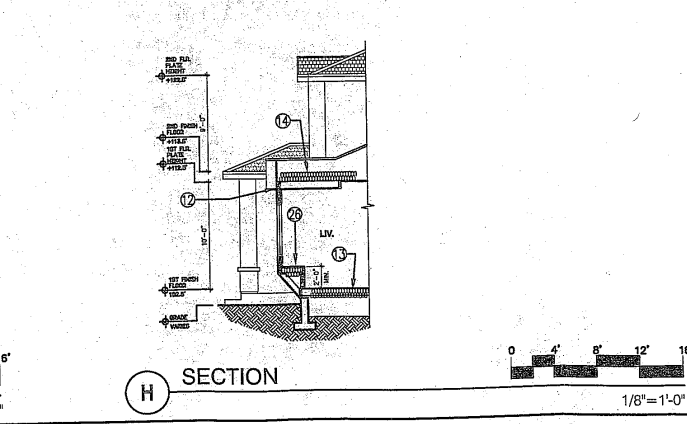
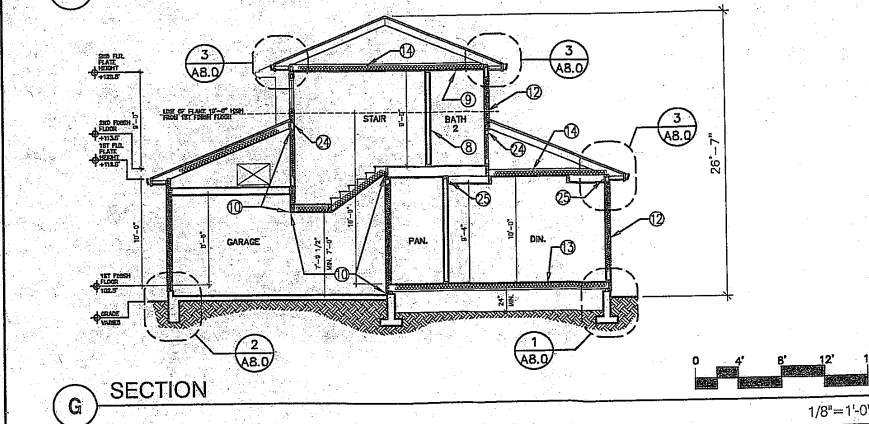
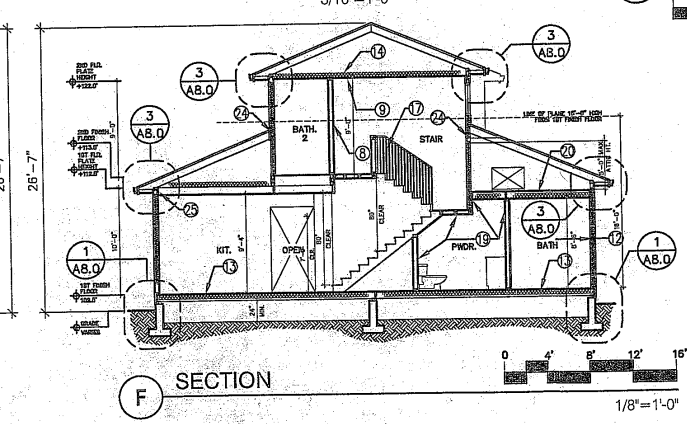
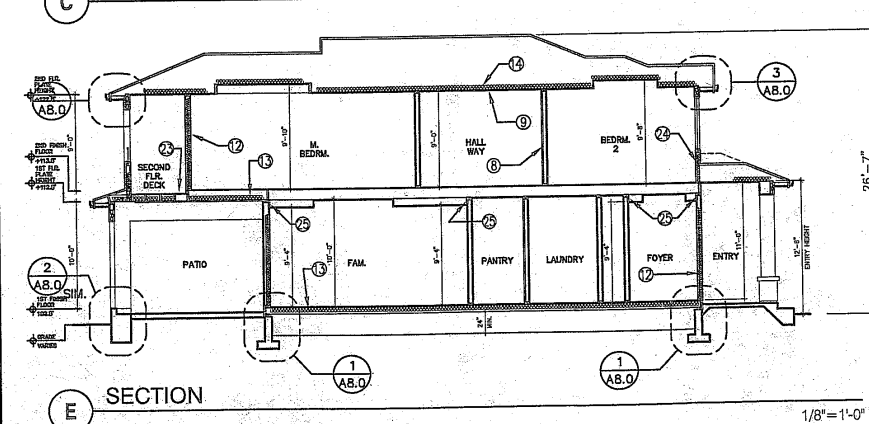
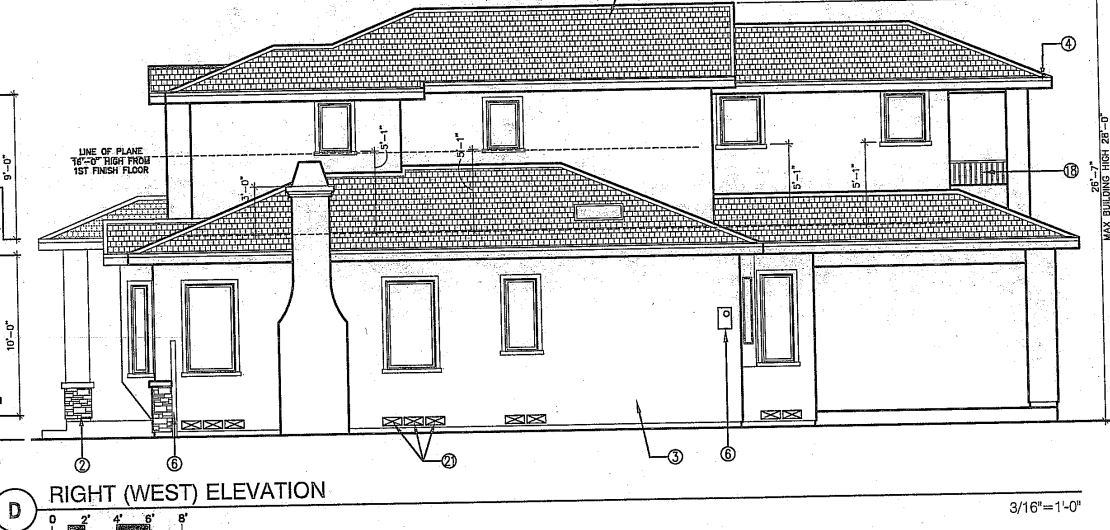
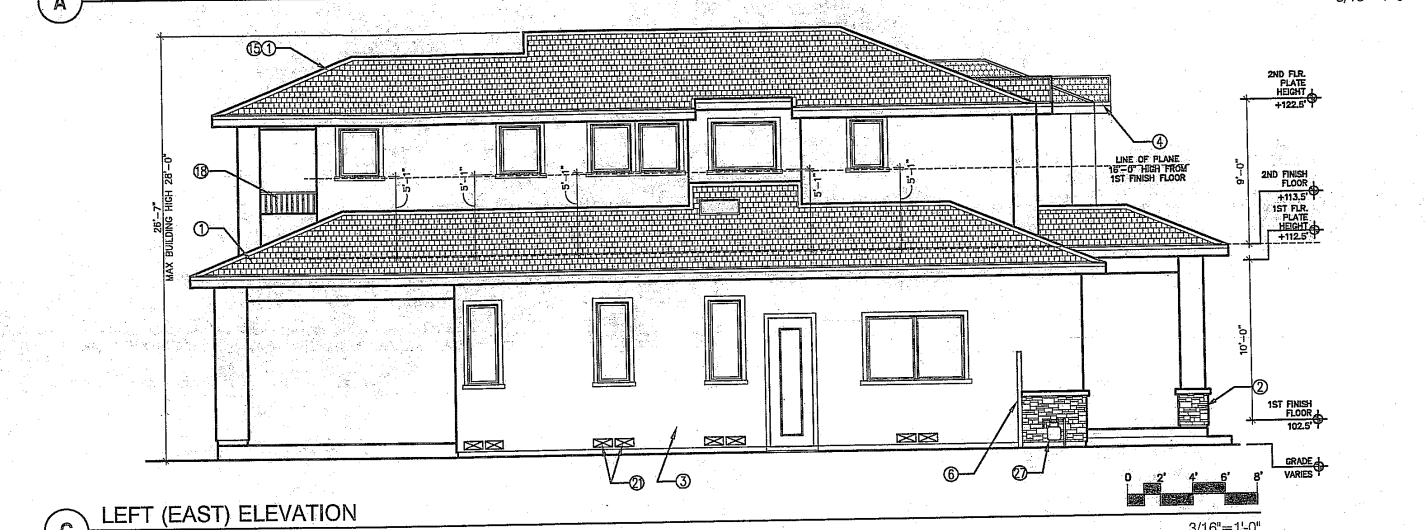
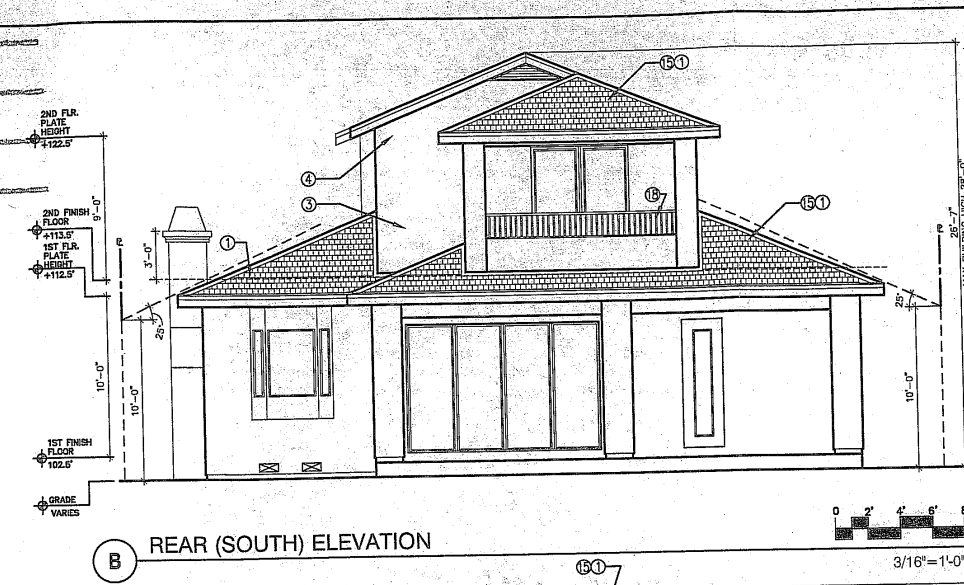
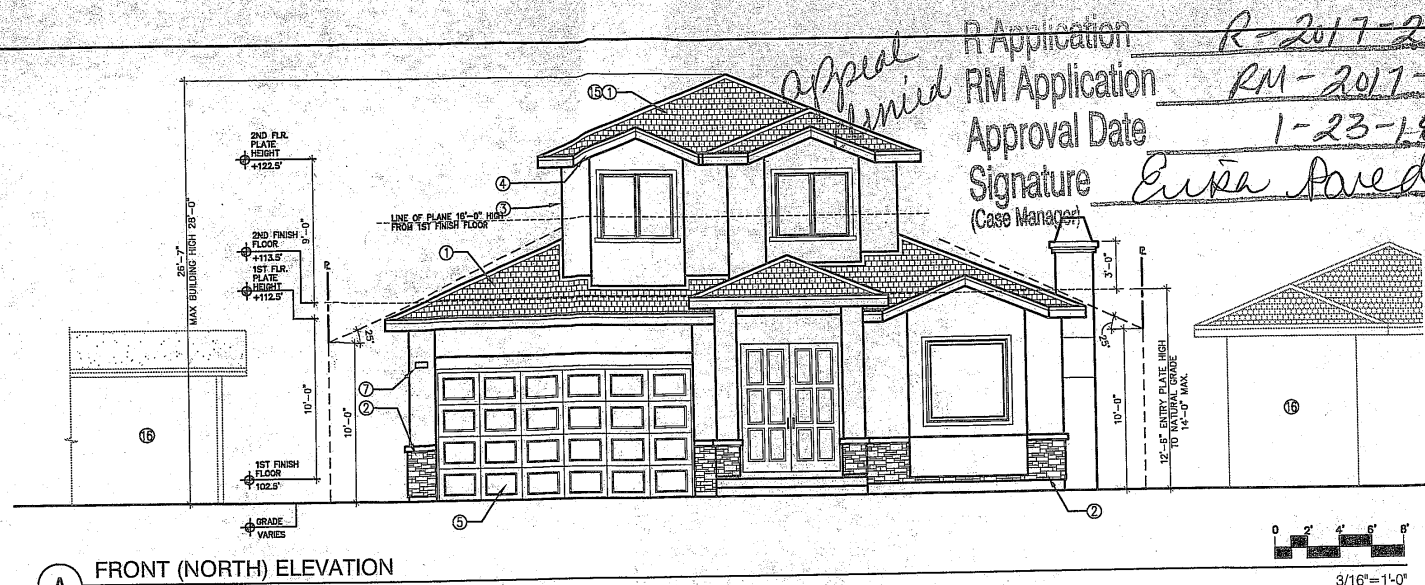
LEGEND:

- 2x6 @ 16" O.C. W/ R-19 INSULATION PLUMBING WALL
- 2x6 @ 16" O.C. STUD WALL
- EXTERIOR STUD WALL W/ MIN. R-13 INSULATION. SEE STRUCTURE DRAWING FOR WALL SCHEDULE.
- INTERIOR STUD WALL, SEE STRUCTURE DRAWING FOR WALL SCHEDULE.
- TEMPERED GLASS
- EGRESS DOOR OR WINDOW, OPENING HEIGHT NOT OVER 44" ABOVE FLOOR, 5.0SF OF OPEN AREA ON GROUND LEVEL, 5.75F MIN. OPEN AREA FOR WINDOW ON SECOND FLOOR, 24" NET CLEAR OPENING HEIGHT, 20" NET CLEAR OPENING WIDTH. ALL EGRESS WINDOWS W/ TWO OR MORE LATCHES SHALL HAVE THE LATCHES INTERCONNECTED AND OPERABLE FROM THE LOWEST LATCH.



SECOND FLOOR PLAN

- (N) FURNACE SHALL COMPLY WITH CMC SECTION 904.11. PROVIDE UL LISTED
- AN UNOBSTRUCTED PASSAGEWAY WHICH:
 - IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30" HIGH AND 30" WIDE
 - IS NO MORE THAN 20 FEET IN LENGTH WHEN MEASURED ALONG THE CENTER LINE OF THE PASSAGEWAY FROM THE ACCESS OPENING TO THE EQUIPMENT, AND
 - HAS CONTINUOUS SOLID FLOORING NOT LESS THAN 24" WIDE THROUGHOUT ITS LENGTH.
- A LEVEL SERVICE SPACE AT LEAST 30" DEEP AND 30" WIDE LOCATED AT THE FRONT OR SERVICE SIDE OF THE EQUIPMENT.
- AN APPROVED, INDEPENDENT MEANS OF DISCONNECT FOR THE ELECTRICAL SUPPLY TO EACH PIECE OF EQUIPMENT SHALL BE PROVIDED IN SIGHT OF THE EQUIPMENT SHALL BE PROVIDED IN SIGHT OF THE EQUIPMENT SERVED WHEN THE SUPPLY VOLTAGE EXCEEDS 50 VOLTS.
- A DEDICATED CIRCUIT SHALL BE PROVIDED FOR THE FURNACE.
- A 120-VOLT SERVICE RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET OF AND ON THE SAME LEVEL AS THE EQUIPMENT FOR MAINTENANCE. THE SERVICE RECEPTACLE SHALL NOT BE CONNECTED ON THE LOAD SIDE OF THE REQUIRED MEANS OF DISCONNECT.
- A PERMANENT SWITCH CONTROLLED LIGHTING FIXTURE SHALL BE INSTALLED FOR MAINTENANCE OF EQUIPMENT IS REQUIRED AND SHALL BE ACCESSIBLE. SUCH FIXTURE SHALL PROVIDE SUFFICIENT ILLUMINATION TO SAFELY APPROACH THE EQUIPMENT AND PERFORM THE TASKS FOR WHICH ACCESS IS PROVIDED.
- CONTROL OF THE LIGHTING SHALL BE PROVIDED AT THE ACCESS ENTRANCE.
- COMBUSTION AIR MUST BE MAINTAINED.
- THE CLEAR SPACE AND DISTANCE TO COMBUSTIBLE MATERIALS AROUND THE FURNACE UNIT SHALL COMPLY WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. A SEDIMENT TRAP SHALL BE INSTALLED ON THE GAS LINE DOWNSTREAM OF THE APPLIANCE SHUT OFF VALVE AND AS CLOSE TO THE INLET OF THE EQUIPMENT AS PRACTICAL.
- APPLIANCES GENERATING A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED IN A GARAGE PROVIDED THE PLOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES ARE AT 18" ABOVE FLOOR LEVEL.
- FURNACE SHALL BE PROPERLY ANCHORED AND SUPPORTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS WITHIN THE STRESS LIMITATIONS SPECIFIED PER CMC 303.4
- PROVIDE 30" HEADROOM CLEARANCE.
- PROVIDE 25 GAUGE METAL F.A.U. DUCTING IF PASS THROUGH FIRE WALL.
- PROVIDE A PAN AND A CONDENSATE DRAIN PIPE TO EXTERIOR.



- ELEVATIONS KEY NOTE:**
- ROOF TILE BY EAGLE ROOF, PRODUCT NAME MALIBU, COLOR WALNUT CREEK BLEND, PRODUCT #2773, STANDARD WEIGHT, CLASS 'A' MIN.
 - ELDERADO STONE, CASTAWAY STACKED STONE.
 - STUCCO PAINTED WITH KELLY MOORE, COLOR #41, SNIP OF TANNIN.
 - FACIA PAINTED WITH KELLY MOORE, COLOR #36, NAVAJO WHITE.
 - ROLL UP GARAGE DOOR.
 - 6'-0" MAX. HIGH REDWOOD FENCE AND GATE
 - APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. CFC SEC. 505
 - 3" GYP. BD. AT ALL INTERIOR WALL
 - 3" GYP. BD. AT ALL CEILING
 - 3" TYPE 'X' GYP. BD. FROM SILL PATE TO UNDERSIDE OF ROOF AT WALL BETWEEN GARAGE AND LIVING AREA AND AT ALL CEILING BETWEEN GARAGE AND SECOND FLOOR LIVING ROOM
 - 3" TYPE 'X' GYP. BD. AT ALL WALL AND CEILING FOR BATH ROOM, STORAGE, LAUNDRY OR ANY USABLE SPACE UNDER STAIR.
 - R-13 AT ALL EXTERIOR WALL AND WALL BETWEEN GARAGE AND LIVING AREA.
 - R-30 INS. AT ALL CRAW SPACE
 - R-38 AT ALL ATTIC
 - COOL ROOF, PROVIDE ROOF SHEATHING WITH RADIANT BARRIER
 - HOUSE IN THE NEIGHBOR
 - BALUSTERS W/ EQUAL SPACE WHICH IS NOT ALLOW 4" SPHERE BALL TO PASS THROUGH.
 - DECORATIVE WOOD BALUSTERS DO NOT ALLOW 4" SPHERE TO PASS THROUGH.
 - POWDER ROOM UNDER STAIR SHALL HAS 3" TYPE 'X' GYP. BD. AT ALL WALL AND 3" TYPE 'X' GYP. BD. AT ALL CEILING.
 - R38 SPRAY FOAM INSULATION
 - 14"x6" FLOOR JOIST VENT, COVER VENTS WITH 1/2" NON-CORROSIVE WIRE MESH. TYPICAL OF 16 VENTS THROUGH-OUT ENTIRE FIRST FLOOR CRAW SPACE.
 - FURNACE IN ATTIC, SEE KEY NOTE 19 ON A2.1
 - MAX. 72" BETWEEN PATIO FINISH AND SECOND FLOOR FINISH.
 - FIRE BLOCK
 - 2x6 LEDGER ALONG WALL WHERE CEILING MEET WALL TO ACT AS FIRE BLOCK FROM WALL TO DROP DOWN CEILING
 - WINDOW SEAT, MIN. 24" FROM FINISH FLOOR.
 - GAS METER, MIN. 36" CLR. FROM GARAGE WINDOW OPENING
 - 200A ELECTRICAL METER
- GENERAL NOTES:**
- INSTALLATION OF APPROVED CORROSION-RESISTANT FLASHING APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS: (R703.8)
- EXTERIOR WINDOW AND DOOR OPENINGS.
 - AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, W/ PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION.
 - AT WALL AND ROOF INTERSECTIONS.

NOTE:

ANY CHANGES TO THE APPROVED COLORS MATERIALS, AND EXTERIOR FINISHES SHALL BE REVIEWED AND APPROVED BY THE CITY OF CUPERTINO PLANNING DIVISION PRIOR TO INSTALLATION/ APPLICATION

(N) UNDER FLOOR VENT TABULATION:

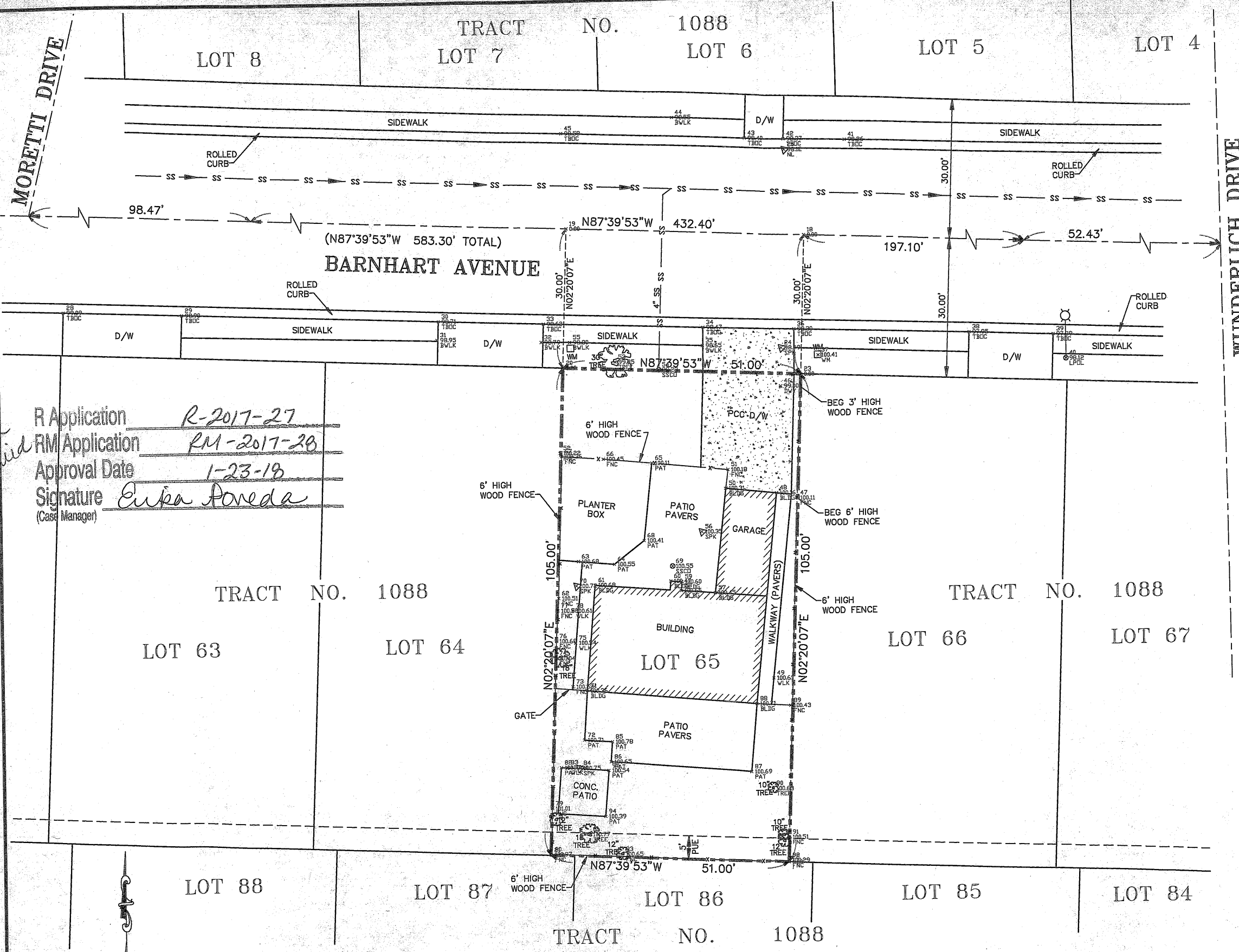
TOTAL AREA OF CRAW SPACE:	1,177SF	= 1,177SF
ROOF VENT REQUIRED FREE OF NET:	150	= 7.85SF
1. FLOOR JOIST VENT PROVIDE: (14" x 6" W/ 1/4" NON-CORROSIVE WIRE MESH)	SEE ELEVATIONS	= 8.35SF
TOTAL:		= 8.35SF > 7.85SF

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 STRUCTURE ENGINEER:

Plan Check Comment	9.4.17
Plan Check Comment	7.25.17
NO. Revision	Date
Drawn By:	Date:
File:	
Issue:	
Date:	7.25.2017
Sheet Title:	ELEVATIONS
Sheet No.:	

A3.1



LEGEND

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER		
STORM SEWER		
CENTER LINE		
PROPERTY LINE		
MATCH LINE		
GAS LINE		
WATER LINE		
JOINT TRENCH		
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		

ABBREVIATIONS

A.B.	AGGREGATE BASE
A.C.	ASPHALT CONCRETE
B.C.	BEGINNING OF CURVE(HORIZONTAL)
BLDG	BUILDING
BOW/BWLK	BACK OF WALK
B.V.C.	BEGINNING OF VERTICAL CURVE
C.B.	CATCH BASIN
CLF	CHAIN LINK FENCE
C.O.	CLEAN OUT
CONT.	CONTINUOUS
D.I.	DRAINAGE INLET
D/W	DRIVEWAY
E.C.	END OF CURVE(HORIZONTAL)
ELEV.	ELEVATION
EXIST.	EXISTING
E.V.C.	END OF VERTICAL CURVE
F.F.	FINISHED FLOOR ELEVATION
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.C.	FACE OF CURB
F.L.	FLOW LINE
FOC	FACE OF CURB
F.S.	FINISHED SURFACE
G.B.	GRADE BREAK
G.V.	GATE VALVE
H.P.	HIGH POINT
I.D.	INSIDE DIAMETER
INV.	INVERT
J.P.	JOINT POLE
L.F.	LINEAL FEET
L.P.	LOW POINT
L&T	LEAD & TACK
MAX.	MAXIMUM
M.H.	MANHOLE
MIN.	MINIMUM
M.V.C.	MIDDLE OF VERTICAL CURVE
M.W.	MONITORING WELL
NO.	NUMBER
N.T.S.	NOT TO SCALE
P.C.C.	PORTLAND CEMENT CONCRETE
P.C.R.	POINT OF CURB RETURN
P.P.B.	PEDESTRIAN PUSH BUTTON
PP&T	PLASTIC PLUG & TACK
P.V.C.	POLYVINYL CHLORIDE
P.V.I.	POINT OF VERTICAL INTERSECTION
R	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
S	SLOPE
S.D.	STORM DRAIN
S.D.M.N	STORM DRAIN MANHOLE
S.F.	SQUARE FEET
SHT.	SHEET
S.S.M.H.	SANITARY SEWER MANHOLE
S.S.	SANITARY SEWER
S/W	SIDEWALK
T.C.	TOP OF CURB
T.FOC	TOP FACE OF CURB
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.	VERTICAL CURVE
V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
W	WATER
W.M.	WATER METER
W.V.	WATER VALVE

BASIS OF ELEVATION

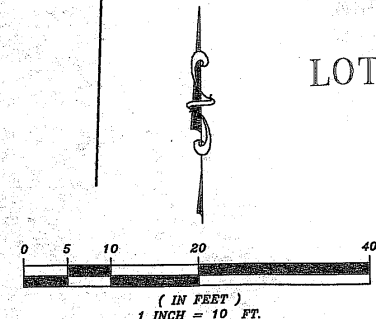
TOP OF RIM OF SANITARY SEWER MANHOLE AT INTERSECTION OF BARNHART AVENUE AND MORETTI AVENUE.
TBM ELEVATION = 100.00

BASIS OF BEARINGS

THE BEARING N87°39'53"W OF THE MONUMENT LINE OF BARNHART AVENUE BETWEEN THE INTERSECTIONS OF WUNDERLICH DRIVE AND MORETTI DRIVE, AS SAID MONUMENTS AND BEARING ARE SHOWN ON SUBDIVISION MAP ENTITLED "TRACT 1088", FILED FOR RECORD IN BOOK 42 OF MAPS, PAGES 24, 25, 26 AND 27 OF SANTA CLARA COUNTY RECORD, WAS TAKEN AS BASIS OF BEARING FOR THIS MAP.

LEGAL DESCRIPTION

LOT 65, AS SHOWN ON THAT CERTAIN MAP OF "TRACT NO. 1088", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON APRIL 15, 1953, IN BOOK 42 OF MAPS, PAGES 24, 25, 26 AND 27. CONTAINS 5,355 NET AREA



ADVANCED DEVELOPMENT

2953 BENJAMIN COURT
SAN JOSE, CALIFORNIA 95124
(408) 376-0570
JACOB SUDAN
CIVIL ENGINEER

TOPOGRAPHICAL & RECORD BOUNDARY

FOR APN: 375-33-015

18850 BARNHART AVENUE

CUPERTINO CALIFORNIA

APPROVED BY: JACOB SUDAN

DESIGNED BY: JACOB SUDAN

DRAWN BY: JACOB SUDAN

CHECKED BY: JACOB SUDAN

DATE: 6-30-2017

EXP. DATE: 06/30/18

Sheet No.

C1

1

Job No. 371

WATER-EFFICIENT LANDSCAPE CHECKLIST
 Community Development Department
 10300 Torre Avenue
 Cupertino, CA 95014
 408.777.3308 / Fax 408.777.3333
 planning@cupertino.org
 http://cupertino.org/planning

PART 1: CERTIFIED/LICENSED PROFESSIONAL INFORMATION
 LANDSCAPE ARCHITECT
 MARK BEAUDOIN
 OWNER
 P.O. BOX 2022
 SAN JOSE, CA 95109
 408.456-8550
 PROJECT # 11A19
 DATE 9/11-2017
 PROFESSIONAL SEAL

PART 2: PROPERTY & PROPERTY OWNER INFORMATION
 PROPERTY OWNER NAME YUN FENG HOU
 PROPERTY OWNER ADDRESS 18850 BARNHART AVE.
 PROJECT ADDRESS 18850 BARNHART AVE.
 PROJECT TYPE (check all that apply)
☒ New
☐ Rehabilitated
☐ Non-Residential
 WATER SOURCE
☒ Potable
☐ Recycled
☐ On-site captured rainwater
☐ Graywater
 TOTAL LANDSCAPE AREA 2369 SQ. FT.
 TURF PLANT AREA 440 SQ. FT.
 NON-TURF PLANT AREA 1929 SQ. FT.
 SPECIAL LANDSCAPE AREA 0 SQ. FT.

PART 3: COMPLIANCE CHECKLIST

Landscape Parameter	Requirements	Compliance
<input type="checkbox"/> TURF AREA	Turf shall not exceed 25% of the landscape area or 1,280 sq. ft., whichever is lesser in area. (No turf in non-residential area)	<input checked="" type="checkbox"/> YES
	Turf shall not be planted on slopes more than 25%.	<input checked="" type="checkbox"/> YES
	All portions of turf areas shall be wider than ten (10) feet (unless irrigated with subsurface irrigation or low volume irrigation system).	<input checked="" type="checkbox"/> YES
<input type="checkbox"/> PLANTING AREA	At least 80% (100% for non-residential area) of non-turf area shall consist of native or low water use plants.	<input checked="" type="checkbox"/> YES
	No invasive and/or noxious plant species shall be planted.	<input checked="" type="checkbox"/> YES
	Plants with similar water needs shall be grouped within hydrozones. Each hydrozone shall be controlled by a separate valve.	<input checked="" type="checkbox"/> YES
<input type="checkbox"/> SOIL MANAGEMENT	At least 4 cu. yds. of compost (6 inches deep) shall be applied per 1,000 sq. ft. of landscape area.	<input checked="" type="checkbox"/> YES
	A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas, except in areas of direct seeding application (e.g. hydro-seeding).	<input checked="" type="checkbox"/> YES
	Grading shall be designed to minimize soil erosion, run-off, and water waste.	<input checked="" type="checkbox"/> YES
<input type="checkbox"/> IRRIGATION SYSTEM	Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data and utilize a rain sensor.	<input checked="" type="checkbox"/> YES
	Irrigation controllers shall be a type which does not lose programming data in the event the primary power source is interrupted.	<input checked="" type="checkbox"/> YES

Page 1 of 2

WATER-EFFICIENT LANDSCAPE CHECKLIST
 Community Development Department
 10300 Torre Avenue
 Cupertino, CA 95014
 408.777.3308 / Fax 408.777.3333
 planning@cupertino.org
 http://cupertino.org/planning

PART 4: COMPLIANCE CHECKLIST

Landscape Parameter	Requirements	Compliance
<input type="checkbox"/> IRRIGATION SYSTEM	Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturer's recommended pressure range.	<input checked="" type="checkbox"/> YES
	Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.	<input checked="" type="checkbox"/> YES
	All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.	<input checked="" type="checkbox"/> YES
	Dedicated irrigation meters are required for non-residential projects with more than 1,000 sq. ft. of landscape area.	<input type="checkbox"/> YES
<input type="checkbox"/> WATER FEATURES	Pool and spa covers shall be installed.	<input type="checkbox"/> YES
	Recirculating water systems shall be used for all water features.	<input type="checkbox"/> YES
	Water features are limited to 10% of the landscaped area.	<input type="checkbox"/> YES

I am aware of available informational resources regarding native and low water use plants, irrigation efficiency, and other aspects of water-efficient landscaping. I certify that the information provided on this checklist is correct, and the installed landscape complies with the requirements of Chapter 14.15 and / or the requirements of the Prescriptive Compliance Option. I also understand that any changes to the project will necessitate a new checklist.

Signature of Project Owner or Authorized Representative: Yun Feng Hou DATE: 9/11-2017
 Signature of Licensed Professional: Mark Beaudoin DATE: 9-11-2017

Applicant Comments: _____
 Staff Evaluation: ☐ Approved ☐ Not Approved
 Permit #: _____
 Staff Comments: _____
 Signature: _____ DATE: _____

Page 2 of 2

MARK BEAUDOIN
 LANDSCAPE ARCHITECT ASLA

CERTIFIED ARBORIST I. S. A.

P. O. BOX 2032 SAN JOSE, CALIFORNIA 95109
 TELEPHONE 408-656-3580

TREE REPORT
 FILE NO. R-2017-27 ERIKA POVEDA

YUNFENG HOU
 18850 BARNHART AVE.
 CUPERTINO, CALIFORNIA

I HAVE INSPECTED AND SUBMITTED PHOTOGRAPHS OF THIS SITE WITH THE FOLLOWING FINDINGS VIEWING FROM THE STREET:

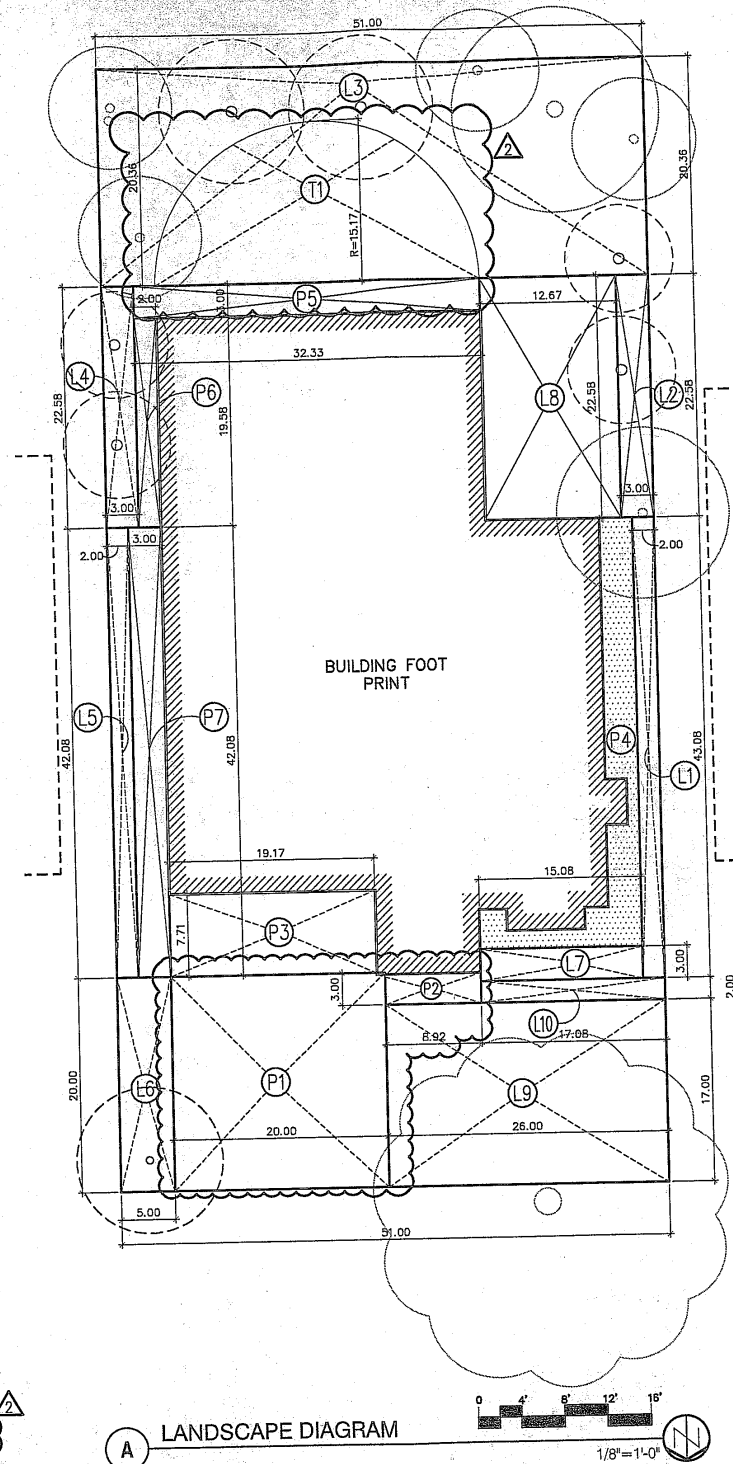
1. IN THE REAR RIGHT HAND CORNER THERE ARE EXISTING LARGE PRIVET TREES AND A FIG TREE THAT PROVIDE SCREENING.
2. ALONG THE REAR RIGHT HAND PROPERTY LINE THERE MORE PRIVET AND A LARGE JAPANESE MAPLE THAT PROVIDE SCREENING.
3. IN THE LEFT REAR CORNER THERE ARE EXISTING LARGE PRIVET TREES AND A CHERRY TREE THAT PROVIDE SCREENING.

4. THE COMBINATION OF THE NEW PLANTINGS AND THE EXISTING PLANTINGS WILL PROVIDE ADEQUATE PRIVACY PLANTINGS FOR THIS SITE.

IF THERE ARE ANY QUESTIONS ON THIS REPORT, PLEASE CALL ME AT 408-656-3580.

Sincerely,
 Mark Beaudoin
 CERT. ARBORIST WC 1650

LANDSCAPE CALCULATION				
TURF AREA	FEET	FEET		SF
T1				= 362.00
LANDSCAPE NON TURF				
L1	2.00	X	43.08	= 86.16
L2	3.00	X	22.58	= 67.74
L3	51.00	X	20.36	
		-	362.00	= 676.36
L4	3.00	X	22.58	= 67.74
L5	2.00	X	42.08	= 84.16
L6	5.00	X	20.00	= 100.00
L7	15.08	X	3.00	= 45.24
L8	12.67	X	22.58	= 286.09
L9	26	X	17	= 442.00
L10	17.08	X	2.00	= 34.16
TOTAL				1890
TOTAL LANDSCAPE AREA	362.00	+	1890	= 2252
TURF PERCENTAGE	362.00		2252	= 16.08%
PAVER AT FRONT YARD				
P1	20.00	X	20.00	= 400.00
P2	8.92	X	3.00	= 26.76
TOTAL				= 426.76
FRONT YARD	51.00	X	20.00	= 1020.00
% PAVER @ FRONT YARD	427	:	1020	= 41.86%
OTHER PAVER AREA				
P3	19.17	X	7.71	= 147.80
P4				= 145.09
P5	32.33	X	3.00	= 96.99
P6	2.00	X	19.58	= 39.16
P7	3.00	X	42.08	= 126.24
TOTAL				555.28



LANDSCAPE DIAGRAM

R Application R-2017-27
 RM Application RM-2017-28
 Approval Date 1-23-18
 Signature Erika Poveda
 (Case Manager)



Project:
 Hou's Residence
 New Custom Homes
 18850 Barnhart Ave.
 Cupertino, CA 95014

Applicant/Owner:
 Mr. Yunfeng Hou
 18850 Barnhart Ave.
 Cupertino, CA 95014
 Tel. 650.889.8643
 Email: Houfuf168@Google.com

Architect:
 STUDIO 61 ARCHITECTS, Inc.
 12480 Saratoga Ave.
 Saratoga, CA 95070
 T: (408) 892.5020
 F: (408) 871.6923
 Email: FRANKLHO@YAHOO.COM



STRUCTURE ENGINEER:

Plan Check Comment 9.4.17
 Plan Check Comment 7.25.17

NO. Revision Date
 Drawn By: _____ Date: _____

File: _____

Issue:
 Date: 7.25.2017

Sheet Title:
 LANDSCAPE AREA DIAGRAM

Sheet No.: _____

LAO

N= NATIVE DT= DROUGHT TOLERANT

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	NO.
1. NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL.	DT 15
2. DIETES VEGETA	FORTNIGHT LILY	1 GAL.	DT 6
9. ESCALLONIA FRADESI	PINK ESCALLONIA	5 GAL.	DT 4
6. PITTOSPORUM TOBIRA	TOBIRA	5 GAL.	DT 11
5. PITTOSPORUM WHEELER'S DWARF	TOBIRA	5 GAL.	DT 11
4. EPILOBIUM CALIFORNICA	CALIF. FUSCHIA	1 GAL.	N 16
3. NERIUM O. DWARF SINGLE PINK		5 GAL.	DT 4
7. LIMMONIUM PEREZII	SEA LAVENDER	5 GAL.	DT 10
8. ANIGOZANTHUS FLAVIDA KANGAROO PAW	'GIANT RED'	5 GAL.	
10. ROMNEYA COULTERI	MATILJA POPPY	5 GAL.	
11. LAGERSTROEMIA I.	CRAPE MYTLE	15 GAL.	DT 2
12. PODOCARPUS GRACILIOR	FERN PINE	15 GAL.	DT 4
13. ARBUTUS 'MARINA'	MADRONE	15 GAL.	DT 2

PLANTING WHEN SLOPE OCCURS

3" LAYER MULCH, 3' FROM BASE OF PLANT ALL AROUND

BEST PAKS 20-10-5 FERTILIZER PLANT PACKETS 4' BELOW F.B. AND 1' FROM ROOT BALL (24 GAL. 4-5 GAL. 9-15 GAL.)

UNDISTURBED EXIST. SOIL

SHRUB PLANTING

R Application R-2017-27

RM Application RM-2017-28

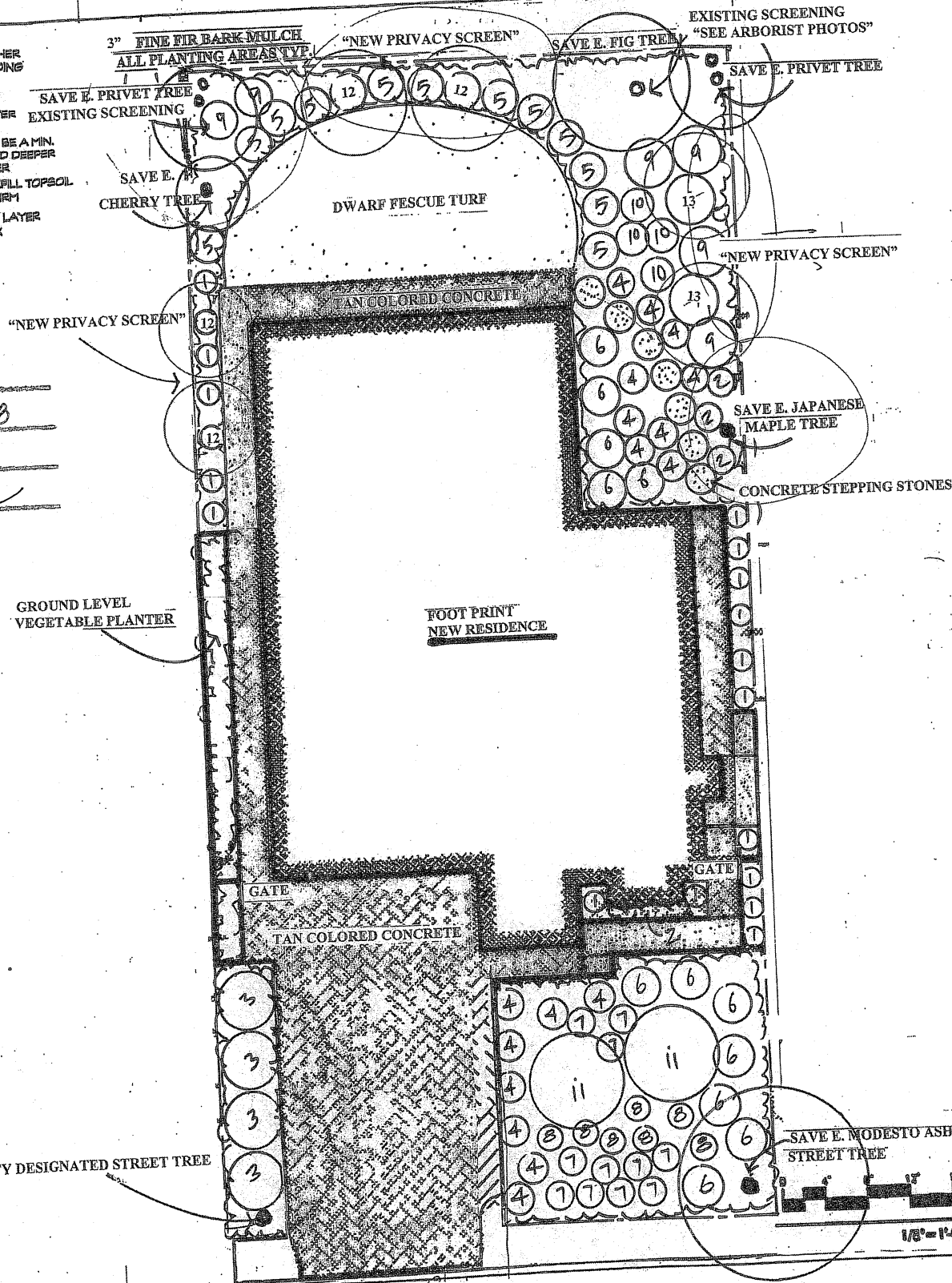
Approval Date 1-23-18

Signature Erika Parede

(Case Manager)

PLANTING NOTES

- CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL REVIEW RELATED DRAWINGS AND SHALL COORDINATE WITH ALL APPLICABLE TRADES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK THE PLANTING PLAN AND VERIFY LOCATIONS AND SPACING OF PLANTS AND SHALL SUPPLY SUFFICIENT QUANTITY TO FULFILL THE INTENT OF THE PLANTING. PLANT QUANTITIES ARE INDICATED FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY EXACT COUNT FROM THE LANDSCAPE PLANTING PLAN.
- EXTREME CAUTION SHALL BE TAKEN IN WORK AREAS WHERE THERE ARE EXISTING TREES AND SHRUBS AND THESE ROOT SYSTEMS ARE DESIGNATED TO REMAIN. ANY DAMAGE TO EXISTING PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPLACED AT HIS EXPENSE.
- RE EXISTING SOIL TO A DEPTH OF 12" IN THE LANDSCAPE AREAS PRIOR TO SPREADING THE TOPSOIL OR FILL.
- CONTRACTOR SHALL PROVIDE A SUFFICIENT AMOUNT OF IMPORTED CLASS A TOPSOIL TO BRING THE GRADE OF THE PLANTING AREAS UP TO THE PROPOSED GRADE ON THE CIVIL DRAWINGS AND PER THESE SPECIFICATIONS. CONTRACTOR SHALL PROVIDE CERTIFICATION THAT IMPORTED TOPSOIL IS CLASS A.
- SOIL AMENDMENT SHALL BE GROVERS WONDER GROW COMPOST SOIL, ORGANIC COMPOST OR EQUAL. CONTRACTOR SHALL SUBMIT ANALYSIS AND SAMPLE OF MATERIAL FOR APPROVAL PRIOR TO COMMENCEMENT OF SOIL PREPARATION OPERATIONS.
- AMEND ALL PLANTING AREAS WITH A MINIMUM OF 2 CUBIC YARDS SOIL CONDITIONER PER 1000 SQUARE FEET.
- ADD ADDITIVES TO EXISTING SOIL AS RECOMMENDED/SPECIFIED IN THE EXISTING SOIL FERTILITY ANALYSIS REPORT.
- ROTOTILL ADDITIVES THOROUGHLY INTO TOP 6" OF SOIL.
- AFTER INSTALLATION OF IRRIGATION SYSTEM, HEADERS, PAVINGS, ETC., RAKE SMOOTH ALL PLANTING AREAS TO CLEAR THEM OF ANY ROCK OR DEBRIS GREATER THAN ONE (1) INCH IN DIAMETER. REMOVE THESE MATERIALS FROM THE SITE.
- LEVEL OF PLANTING AREAS SHALL BE THREE INCHES (3") BELOW TOP OF HEADERS, PAVEMENTS, CURBS, WALKS, ETC. AND TO THE FINISH GRADE OF ADJACENT EXISTING PLANTING AREAS WITHOUT ABRUPT CHANGE IN GRADIENT EITHER IN THE SURFACE OF THE SOIL OR WHERE THE SOIL MEETS SUCH FEATURES. MINIMUM SLOPE FOR FINISHED SURFACES, UNLESS OTHERWISE INDICATED ON THE PLANS, SHALL BE TWO PERCENT (2%). PARTICULAR ATTENTION SHALL BE GIVEN TO THE CORRECT GRADING OF SURFACE DRAINAGE SWALES AND AREAS ADJACENT TO DRAINAGE STRUCTURES. DRAIN TO PAVINGS OR CATCH BASINS; DIRECT DRAINAGE AWAY FROM BUILDINGS, WALLS, ADJACENT PROPERTY, ETC. AT THE COMPLETION OF THE FINISH GRADING, NO LOW SPOTS THAT HOLD STANDING WATER WILL BE ACCEPTED AND THE SITE SHALL BE LEFT IN A CLEAN AND FINISHED CONDITION CONFORMING TO THE PLANS.
- CONTRACTOR SHALL DIG A 12" X 12" DEEP PERCOLATION HOLE AND FILL IT WITH WATER. IF WATER HAS NOT PERCOLATED OUT SO THAT NO WATER REMAINS AFTER 30 MINUTES, PROVIDE DRAIN HOLES FILLED WITH SOIL MIX FOR TREES SUFFICIENT TO ENSURE PERCOLATION OF ALL WATER IN 30 MINUTES. AUGER BORE DRAIN HOLES TO PENETRATE ANY HARDPAN AND A MINIMUM OF 12" INTO UNDISTURBED PERVIOUS SOIL. SCARIFY SIDES OF DRAIN HOLES.
- ALL PLANTS SHALL BE NURSERY GROWN, SYMMETRICAL, TYPICAL FOR VARIETY AND SPECIES, SOUND, HEALTHY, VIGOROUS, AND OF NORMAL HABIT OF GROWTH FOR THE SIZE SPECIFIED. THEY SHALL BE WELL FOLIATED FREE FROM DISEASE, INSECTS, INSECT EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALE, INJURIES, ABRASIONS, BROKEN LIMBS, DISFIGUREMENTS AND SHALL HAVE HEALTHY, NORMAL, WELL ROOTED SYSTEMS FILLING THEIR CONTAINERS, YET NOT ROOT BOUND. CONTAINER STOCK SHALL HAVE GROWN IN THE CONTAINERS IN WHICH DELIVERED FOR AT LEAST 3 MONTHS, BUT NOT OVER 2 YEARS.
- ALL PLANTS DELIVERED TO THE SITE MUST BE TAGGED WITH NURSERY TAGS LISTING GENUS, SPECIES, CULTIVAR, IF ANY, COMMON NAME, AND SIZE. PLANTS DELIVERED TO THE SITE WITHOUT TAGS WILL BE REJECTED.
- NO TREES WILL BE ACCEPTED THAT WILL NOT STAND ON THEIR OWN TRUNKS AFTER THE NURSERY STAKE HAS BEEN REMOVED. TREES SHALL HAVE STRAIGHT TRUNKS, UNLESS OTHERWISE SPECIFIED, WITH THE LEADER INTACT, UNDAUNTED AND UNLIFT.
- PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO AND/OR ON SITE WITHOUT THE SPECIFIC APPROVAL AND/OR DIRECTION OF THE LANDSCAPE ARCHITECT.
- THE OWNER'S REPRESENTATIVE SHALL INSPECT AND APPROVE ALL PLANT MATERIAL PRIOR TO THEIR INSTALLATION. DISEASED, ROOT BOUND, OR GIRDLING ROOTED PLANTS WILL BE REJECTED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- PLACE TREES AND SHRUBS ON SITE, WHILE STILL IN CONTAINERS, IN PROPER LOCATIONS AS INDICATED ON THE PLANS. LOCATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PLANT HOLES ARE DUG. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE TREES AND SHRUBS FROM POSITIONS ON THE PLANS. GROUND COVER TO EXTEND UNDER ALL SHRUB AREAS.
- PLANTING LOCATIONS WHICH INTERFERE WITH LINE OF SITE FOR VEHICULAR TRAFFIC, UNDERGROUND CONSTRUCTION, OR WHERE OBSTRUCTION CANNOT BE REMOVED, SHALL BE ADJUSTED AND THE NEW LOCATION APPROVED BY THE LANDSCAPE ARCHITECT.
- NOTIFY LANDSCAPE ARCHITECT IN WRITING OF SOIL OR DRAINAGE CONDITIONS ENCOUNTERED DURING PLANTING OPERATIONS WHICH ARE DETRIMENTAL TO GROWTH OF PLANT MATERIAL.
- TREES SHALL BE PLANTED AT LEAST 5' FROM ANY BUILDING, DRIVEWAY, DRAINAGE FLOW LINE, FIRE HYDRANTS AND UNDERGROUND UTILITIES SUCH AS SEWERS, WATERLINES AND GAS LINES.
- PLANTS SHALL BE PLANTED GREEN SIDE UP, SET VERTICALLY AND SOIL MIX FILLED IN TO HALF THE DEPTH OF THE BALL, TAMPED AND THOROUGHLY WATERED. REMAINDER OF PIT THEN SHALL BE FILLED WITH SOIL MIX, THOROUGHLY TAMPED AND WATERED, ALL WITHIN SAME DAY OF PLANTING.
- EXCAVATE PLANTING PITS AT LEAST TWICE AS WIDE AS THE DIAMETER OF THE ROOTBALL. SOIL IMMEDIATELY BELOW THE ROOT BALL SHOULD BE LEFT UNDISTURBED TO PROVIDE SUPPORT BUT THE SIDES AND THE BOTTOM OF THE PITS SHOULD BE CULTIVATED TO IMPROVE POROSITY. THE TOP 2 INCHES OF BACKFILL AROUND THE SIDES OF THE ROOTBALL OF TREES AND SHRUBS MAY CONSIST OF THE ABOVE AMENDED SOIL. BACKFILL BELOW 12 INCHES REQUIRED FOR 24 INCH BOX OR LARGER SHOULD NOT CONTAIN AN ORGANIC AMENDMENT.
- PLANTING BACKFILL MIX SHALL CONSIST OF THOROUGHLY MIXED 1 PART SOIL AMENDMENT, 3 PARTS NATIVE ON-SITE SOIL AND TERRA-SOILS SOIL. POLYMER OR EQUAL AT THE FOLLOWING RATES: 1 GALLON PLANT - 1/2 OZ. 5 GALLON - 1 1/2 OZ. 15 GALLON - 4 OZ. 25 OZ. BOX - 2 OZ. (8 TB. SPOONS), 35 OZ. BOX - 4 LBS. 45 OZ. BOX - 5 LBS. 20 OZ. BOX - 15 LBS. 72 OZ. BOX - 25 LBS. FERTILIZER PLANTS AT TIME OF PLANTING WITH ABBIFORM 21 GRAM, SLOW RELEASE PLANT PACKETS (20-10-5) PER THE PLANTING DETAILS AND PER RECOMMENDATIONS OF SOIL FERTILITY TESTING LAB.
- TWO WEEKS PRIOR TO PLANTING OF ALL PLANTING AREAS, APPLY A PRE-PLANTING HERBICIDE, ROUNDUP OR EQUAL PER MANUFACTURER'S RECOMMENDATIONS TO REMOVE OBNOXIOUS WEED GROWTH. IMMEDIATELY AFTER PLANTING AND COMPLETION OF INITIAL WATERING, APPLY A PRE-EMERGENT HERBICIDE, RONSTAR, 6, TRIFLORALYD, EPICAM, VEGETER, OR EQUAL PER MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE USE OF ALL CHEMICAL PRODUCTS AND WILL SUPPLY OWNER WITH WRITTEN RECORD OF TYPE OF CHEMICAL(S) USED, DATE APPLIED AND RATE OF APPLICATION.
- TREE AND SHRUB PLANTING TO BE WATERED WITHIN 2 HOURS OF THE TIME OF PLANTING AND FLOODED TO ELIMINATE AIR ROCKETS.
- PLANT ROOT BALL CROWNS SHALL BE 1" ABOVE FINISH GRADE AFTER WATERING AND SETTLING. ANY PLANTS WHICH HAVE ROOT BALL CROWNS BELOW FINISH GRADE AT FINAL INSPECTION, WILL BE REPLACED AT CONTRACTOR'S EXPENSE. PLANTS SHALL BE ERECT AFTER PLANTING AND ALL TREES SHALL BE SECURELY STAKED IMMEDIATELY AFTER PLANTING.



61

Project: YA FENG HOU
18850 BARNHART AVE.
CUPERTINO, CALIF. 95014
TEL NO. 650-450-9297

3609190997.000
ISA ARBORIST-LANDSCAPE ARCHITECT
MARK BEAUDOIN
OWNER
P.O. BOX 232
5841 Madison Ave. #100
408-456-5900

Plan Check Comments 5.4.17

NO. Revision Date

Drawn By: Date:

FILE:

ISSUE:

DATE: 7-2017

Sheet Title:

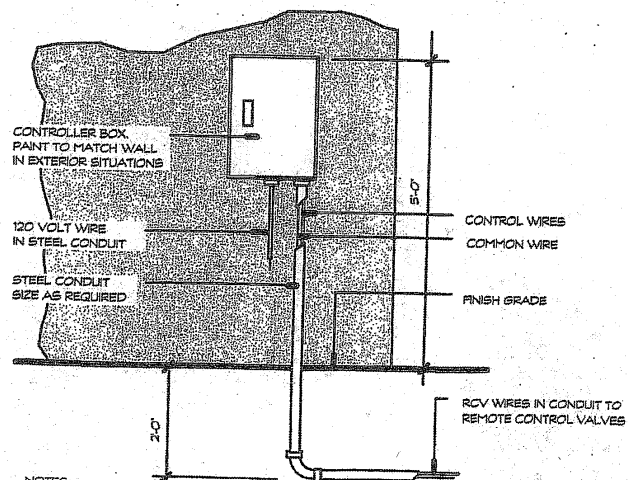
PLANTING PLAN

Sheet No.:

LA 1

IRRIGATION NOTES

1. CALL IRRIGATION ELEMENTS ARE SHOWN DIAGRAMMATICALLY. PIPES SHOWN WITHOUT SLEEVES SHALL BE LOCATED IN PLANTING AREAS. UNLESS OTHERWISE SHOWN, LOCATE ALL QUICK COUPLERS, REMOTE CONTROL VALVES, GATE VALVES AND FLUSH VALVES IN PLANTING AREAS.
2. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LOCAL BUILDING AND PLUMBING CODES HAVING JURISDICTION.
3. THE CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED FOR THIS PORTION OF WORK.
4. THE WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SERVICES AND TRANSPORTATION NECESSARY FOR AND PROPERLY INCIDENTAL TO THE INSTALLATION OF A COMPLETE SPRINKLER SYSTEM AS SHOWN ON THE IRRIGATION PLANS, INCLUDING TRENCHING, BACKFILLING, ETC.
5. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING UTILITIES, MAIN LINES, VALVES, ETC. PRIOR TO CONSTRUCTION. ALL WORK SHALL BE PROTECTED FROM DAMAGE AS A RESULT OF THIS WORK.
6. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
7. CONTRACTOR SHALL DISCUSS WITH LANDSCAPE ARCHITECT EXISTING WATER PRESSURE AND WHETHER PRESSURE REGULATOR SHALL BE INSTALLED. IF REQUIRED, PRESSURE REGULATOR SHALL BE SET FOR IRRIGATION DESIGN PRESSURE AS INDICATED IN THE IRRIGATION PLANS.
8. THE IRRIGATION CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES AND SHALL COORDINATE HIS WORK WITH OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES UNDER PAVING, ETC.
9. ALL EXCAVATIONS AND IRRIGATION RENOVATION OPERATIONS PERFORMED DURING EACH DAY SHALL BE COMPLETED. ALL HOLES SHALL BE FILLED, HEADS SET TO GRADE AND EXCAVATED TRENCHES BACKFILLED AND COMPACTED.
10. ALL HEADS SHALL BE STAKED BY CONTRACTOR TO DETERMINE WHICH HEADS WILL NEED TO BE MOVED INTO LATERAL ALIGNMENT. LANDSCAPE ARCHITECT TO APPROVE FINAL LOCATIONS.
11. PRIME AND SOLVENT WELD ALL PVC PIPE CONNECTIONS AND CAP ALL OPEN PIPE ENDS.
12. 120 VOLT ELECTRICAL POWER OUTLET AT THE AUTOMATIC CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER.
13. CONTROLLER SHALL BE PROGRAMMED SO THAT ONLY ONE VALVE OPERATES AT ONE TIME.
14. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL AS SHOWN IN THE DETAIL PERPENDICULAR TO ADJACENT ELEMENTS AS SHOWN.
15. PARALLEL PIPES MAY BE INSTALLED IN THE SAME TRENCH PROVIDED A 4" HORIZONTAL SEPARATION BETWEEN THEM IS MAINTAINED.
16. SPlicing OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPlice AND 100 FEET ON CENTER ALONG THE RUN.
17. INSTALL PULL BOXES EVERY 150' OR LESS FOR IRRIGATION CONTROL WIRE CONDUIT.
18. INSTALL 6" CLEAN SAND BED AND COVER AROUND ALL CONDUIT AND MAINLINE.
19. INSTALL A SPARE CONTROL WIRE OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
20. BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER IRREGULARITIES.



- NOTES:
1. SEE MANUAL FOR MOUNTING INSTRUCTIONS
 2. ALL WIRES TO BE INSTALLED PER LOCAL CODE.

WALL MOUNT CONTROLLER

21. INITIAL BACKFILL ON PLASTIC LINES SHALL BE OF A FINE GRANULAR MATERIAL WITH NO FOREIGN MATTER LARGER THAN 1/2" SIZE.
22. THE IRRIGATION CONTRACTOR SHALL FLUSH MAINLINES BEFORE INSTALLING REMOTE CONTROL VALVES AND LATERAL LINES BEFORE INSTALLING SPRINKLERS. INSPECT MAINLINE FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO MINIMIZE OVERSPRAY ONTO ADJACENT PROPERTY, PAVING AND/OR BUILDINGS. SELECT THE BEST DEGREE OF ARC TO FIT EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
23. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS.
24. INSTALL A SPRING LOADED CHECK VALVE BELOW THOSE SPRINKLERS WHERE LOW HEAD DRAINAGE WILL CAUSE EROSION AND EXCESS WATER.
25. FOR MAINLINE PIPING INSIDE SLEEVES USE SCHEDULE 40 PVC PLASTIC PIPE.
26. EXTEND ALL SLEEVES 12" MINIMUM BEYOND EDGE OF PAVING INTO PLANTING AREAS.
27. ALL EMPTY IRRIGATION CONTROL WIRE SLEEVES/CONDUITS SHALL HAVE PULL ROPES INSTALLED.
28. CONTRACTOR IS RESPONSIBLE FOR LOCATION AND SIZE OF SLEEVES FOR IRRIGATION CONTROL WIRES SIZES SHOWN ARE FOR PIPE. SIZE SLEEVES PER CHART.
29. PIPE MAY NOT SHARE A SLEEVE WIRING MUST BE IN A SEPARATE SLEEVE.
30. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES AND SHRUBS, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND SHRUBS AND THEIR ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. ROOTS ONE (1) INCH AND LARGER IN DIAMETER SHALL BE PAINTED WITH TWO COATS OF TREE SEAL OR EQUAL. TRENCHES ADJACENT TO TREES AND SHRUBS SHALL BE CLOSED WITHIN TWENTY-FOUR (24) HOURS; AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE AND/OR SHRUB SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.
31. IRRIGATION CONTRACTOR TO SUBMIT TO LANDSCAPE ARCHITECT A PROPOSAL DRAWING SHOWING PROPOSED MOUNTING OF CONTROLLER WITH CONDUITS. INSTALLATION SHALL BE COMPLETED AFTER APPROVAL OF PROPOSAL DRAWINGS BY LANDSCAPE ARCHITECT.
32. A COMPLETE SET OF REPRODUCIBLE "AS BUILT" DRAWINGS SHALL BE SUBMITTED TO THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT UPON COMPLETION OF CONSTRUCTION.
33. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO INDICATE A COMPLETE SPRINKLER SYSTEM WHICH IS INSTALLED AND READY FOR USE WITHOUT FURTHER COST TO THE OWNER.
34. THE SPRINKLER SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. MANUFACTURER WARRANTIES SHALL NOT REPLACE THIS GUARANTEE. THE CONTRACTOR SHALL BE LIABLE FOR LABOR AND MATERIALS TO REPAIR THE SYSTEM AND RESTORE ANY OTHER ELEMENTS DAMAGED BY FAILURE OF IRRIGATION SYSTEM.

IRRIGATION LEGEND

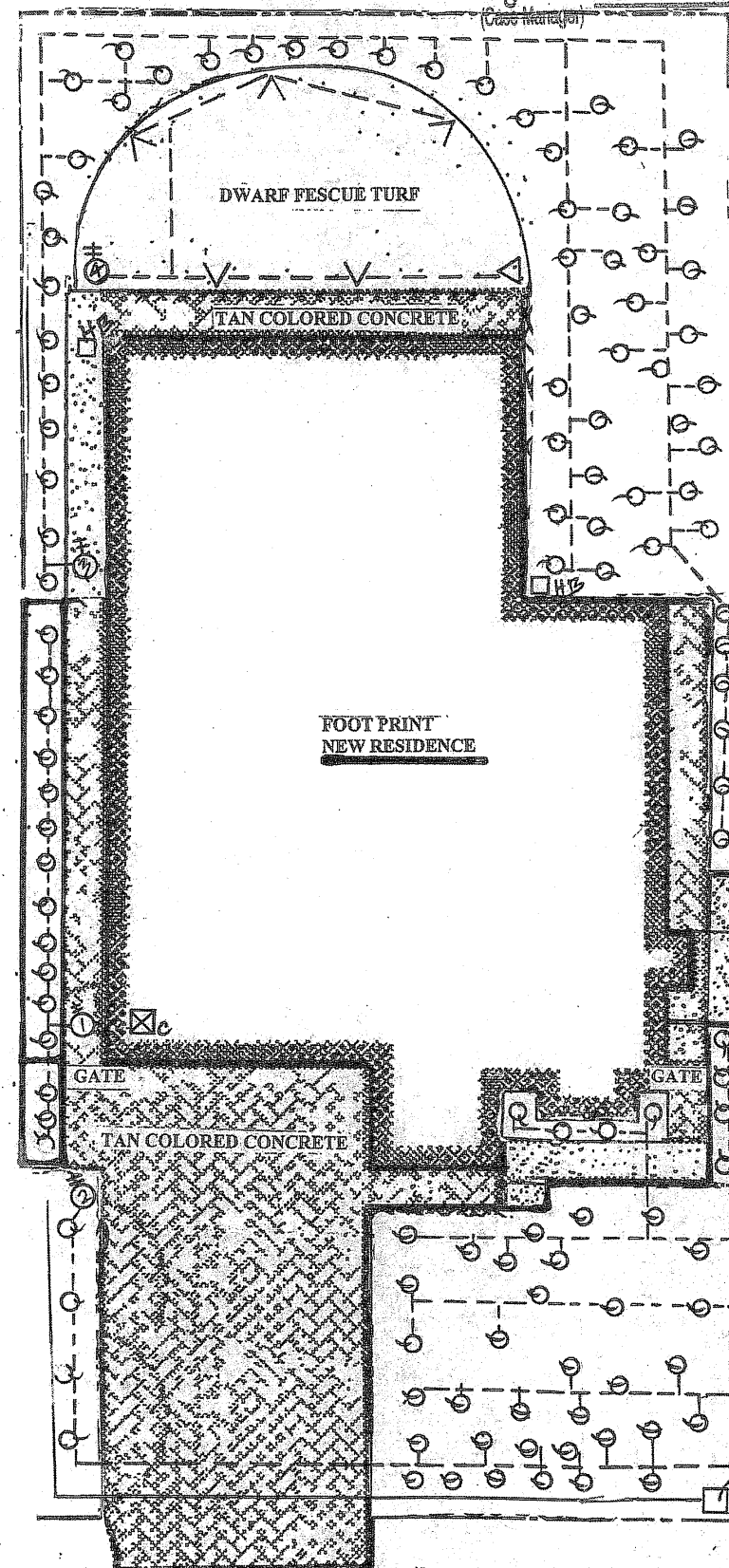
- 3/4 INCH SCHEDULE 40 PVC MAIN
- 3/4 INCH CLASS 200 PVC LATERAL
- ▽ HUNTER MP 1000 ROTATOR HEAD 14"0" ADJUSTABLE RADIUS 90 DEGREE 2 GPM
- ▽ HUNTER MP 1000 ROTATOR HEAD 14"0" ADJUSTABLE RADIUS 180 DEGREE 4 GPM
- ⊙ PEPCO QUADRA CLUSTER BLUE DRIP HEAD (4 PORTS) 2 GPH PER PORT
- ⊠ IRRITROL RD600 6 STATION AUTOMATIC CONTROLLER WITH CLIMATE LOGIC ATTACHMENT
- ⊠ 3/4 INCH HOSE BIB
- ⊠ 3/4" FEBCO BACK FLOW PREVENTER IF REQUIRED
- ⊠ IRRITROL OR RAINBIRD ANTISIPHON REMOTE CONTROL VALVES 3/4 INCH SIZE

NOTES

1. BUILDER TO INSTALL 3/4 INCH SCHEDULE 40 PVC WATER MAIN IN APPROPRIATE LOCATION FOR IRRIGATION SYSTEM
2. THE CALIFORNIA GREEN STANDARDS CODE REQUIRES A WEATHER BASED AUTOMATIC IRRIGATION CONTROLLER, SWAT TESTED AND APPROVED SUCH AS IRRITROL SD 600 OR APPROVED EQUAL.

Appeal denied

R Application R-2017-27
RM Application RM-2017-28
Approval Date 1-23-18
Signature Eusebio Pareda
(Owner/Manager)



61

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Plan Check Comments 5.4.17

NO. Revision Date
Drawn By: Date:

File:

Issue:

Date: DATE 7-2017

Sheet Title: IRRIGATION PLAN

Sheet No.:

LA 2