

**CUPERTINO**

**OFFICE OF COMMUNITY DEVELOPMENT**

CITY HALL

10300 TORRE AVENUE • CUPERTINO, CA 95014-3255

(408) 777-3308 • FAX (408) 777-3333 • [planning@cupertino.org](mailto:planning@cupertino.org)

**To:** Mayor and City Council Members  
Planning Commissioners

**From:** Benjamin Fu, Assistant Director of Community Development

**Date:** August 7, 2017

**Subj:** REPORT OF DESIGN REVIEW COMMITTEE FINAL DECISIONS MADE  
August 3, 2017

**Chapter 19.12.170 of the Cupertino Municipal code provides for  
Appeal of decisions made by the Design Review Committee**

- 1. Application**  
EXC-2017-01, Chittajallu residence, 20984 Alves Dr

**Description**

A Fence Exception to allow a six (6) foot tall wall within the required street side setback and a wall with columns exceeding the maximum permitted height within the required front setback area at a single family residence (Staff recommends denial)

**Action**

The Design Review Committee denied the application on a 2-0-0 vote. This is effective August 3, 2017. The fourteen-calendar day appeal will expire on August 17, 2017.

**Enclosures:**

Design Review Committee Report of August 3, 2017  
Resolution No(s). 329  
Plan set



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DESIGN REVIEW COMMITTEE STAFF REPORT

Meeting: August 3, 2017

Subject

Fence Exception to consider allowing a six-foot tall wall within the required street side setback and columns in a front yard fence to exceed the maximum permitted height (by up to six inches) within the required front yard setback. (Application No.(s): EXC-2017-01; Applicant(s): Santha Chittajallu; Location: 20984 Alves Drive; APN(s): 326-31-023)

Recommended Action

That the Design Review Committee deny the Fence Exception (EXC-2017-01) in accordance with the draft resolution (Attachment 1).

Discussion

Application Summary:

Fence Exception to allow a newly-constructed six-foot tall wall to encroach into the required street side setback, and a newly-constructed wall with columns exceeding the maximum permitted height within the required front yard setback.

Project Data:

General Plan Designation:	Residential Low Density (1-5 DU/ac)			
Special Area/Neighborhood:	Garden Gate			
Zoning Designation:	R1-10 Single Family Residential			
Lot Size:	11,046 sq. ft.			
Floor Area Ratio:	4,970.2 sq. ft. (44.9%)			
	Front	Street Side	Interior Side	Rear
Required fence setbacks for 6 foot tall fence	20 feet	5 feet	None	None
Project Consistency with				
General Plan:	Yes			
Zoning:	No, fence exception requested as described below			
Environmental Assessment:	Categorically Exempt			

Background:

A Two-Story Permit (R-2014-14) and associated Minor Residential Permit (RM-2014-19) was approved in August 2014 to allow a new two-story single-family home at 20984 Alves Avenue. In addition, a Director's Minor Modification (DIR-2015-01) was approved to allow design modifications to the second story massing and window placement. Subsequently, a building permit for this work was issued in March 2015. The approved building permit plan set indicates, on a red-lined landscape plan, that the applicant intended to construct a six-foot tall masonry wall, that complied with the City's Fence Ordinance - five feet from the street side property line (along North Stelling Avenue), avoiding the corner triangle and that lowered to three feet in height when located within the 20 foot front setback area (Attachment 2). However, during an onsite inspection, it was discovered that the six-foot wall along North Stelling Avenue is located within the required five-foot street side setback. It was also discovered that a section of the wall within the required front yard setback has approximately six columns that exceed the allowed height limit.

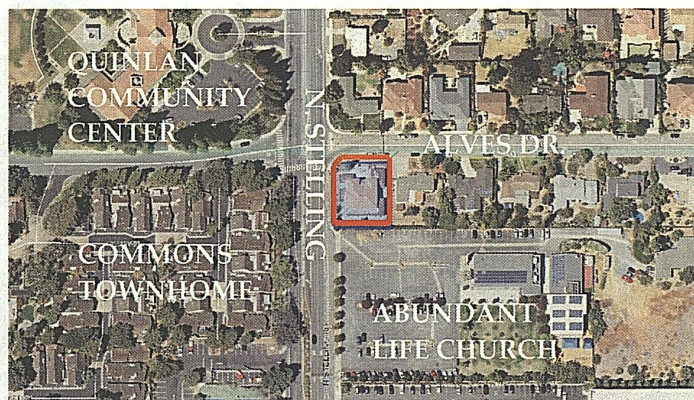
While the City does not require that fences be constructed between properties or between the right-of-way and a property, the City regulates the location and height of fences, if one is constructed. Chapter 19.12, Administration, of the Cupertino Municipal Code requires that the Design Review Committee review and approve requests for exceptions to the development standards adopted in Chapter 19.48, Fences.

Applicant Request:

The applicant, Santha Chittajallu, is requesting a Fence Exception to allow the newly constructed six-foot tall wall to encroach into the required street side setback and the three-foot tall wall with columns exceeding the maximum permitted height within the required front yard setback.

Analysis:*Project Location and Surrounding Uses*

The project is located on the corner along North Stelling Road. Single-family residential homes are located to the north and east of the property, and the Abundant Life Church is located behind the property to the south. The Commons Townhomes is located west of the property across North Stelling Road.



The setback requirements for the fence was illustrated in the redlined landscape plan from the applicant's building permit set prior to construction. The setback from the street side property line for the as-built wall along North Stelling Road varies from 41 inches (3 feet 5 inches) close to Alves Drive, to 50 inches (4 feet 2 inches) close to the Abundant Life Church. The minimum setback requirement is 60 inches (5 feet). The wall within the front yard setback is located along the front property line. The columns of the three-foot tall wall within the front setback measure up to 42 inches in height.

The applicant has offered the following as rationale for retaining the wall in its constructed location in the application for a fence exception:

1. The fence/wall was installed incorrectly due to a contractor error;

*Staff Comments:* The applicant had indicated that the wall was built in the wrong location even though the correct setbacks were measured and the wall placement was identified prior to construction. This rationale does not support the findings that need to be made to support a Fence Exception as it would establish precedence, if approved. An error made by the applicant's representative does not negate the setback requirement.

2. Conflicts with a Cupertino Sanitary cleanout cover located about five feet from the street side property line;

*Staff Comments:* While the updated site plan (Attachment 3) submitted with the Fence Exception application reflects the location of the cleanout and the as-built wall, it differs from the original grading and drainage plan (Attachment 4) approved with the building permit plans in March 2015. Originally, the cleanout was shown to be located approximately two feet from the street side property line. Therefore, the City did not provide comments on the wall placement in relation to the cleanout at the time of initial building permit approval. The location of cleanout cover does not affect the placement of the wall. The side property line wall can be constructed to accommodate the location of the cleanout cover without encroaching into the public right-of-way.

3. Conflicts with three existing trees, approximately ten feet in height and varying between four to eight inches in diameter breast height (DBH), located approximately five feet from the street side property line;

*Staff Comments:* It appears that the location of these trees were incorrectly shown on the original landscape plan (see Attachment 2). The plan indicated that the wall would be constructed to the east of the trees. However, the wall was constructed to the west of the trees. In addition, these trees, which include two fruit trees and one flowering tree, are not protected trees under Chapter 14.18, Protected Trees, of the Cupertino Municipal Code and could possibly be removed or relocated.

These conflicts would have been apparent when the setbacks were first measured out by the applicant for the contractor to construct the wall and should have been communicated to the City to determine alternatives and do not adequately justify approving a fence exception. The applicant has also indicated an unwillingness to break up the wall plane in order to avoid these conflicts or build the wall setback farther from within the property line. However, alternate options that would warrant lesser modifications or intensification from the regulations in the Fence Ordinance could have been pursued including:

1. Encroaching into the setback only for the areas affected by the location of the sanitary cleanout cover and existing trees or
2. Relocating the wall to a location that avoided these conflicts.

*Other Department/Agency Review:*

The City's Building Division, the Santa Clara County Fire Department, and the County's Sheriff's Office reviewed the project and indicate that the fence complies with relevant and applicable codes.

Environmental Assessment:

The use permit is categorically exempt from the California Environmental Quality Act (CEQA) per section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines.

Public Noticing and Outreach

The following table is a brief summary of the noticing done for this project:

Notice of Public Hearing and Intent, Site Notice & Legal Ad	Agenda
<ul style="list-style-type: none"><li>▪ Site Signage (14 days prior to the hearing)</li><li>▪ Legal ad placed in newspaper (at least 10 days prior to the hearing)</li><li>▪ Eight public hearing notices mailed to adjacent property owners (10 days prior to the hearing)</li></ul>	<ul style="list-style-type: none"><li>▪ Posted on the City's official notice bulletin board (one week prior to the hearing)</li><li>▪ Posted on the City of Cupertino's website (one week prior to the hearing)</li></ul>

No public comments have been received as of the date of production of this staff report.

Permit Streamlining Act

This project is subject to the Permit Streamlining Act (Government Code Section 65920 – 65964). The City has complied with the deadlines found in the Permit Streamlining Act.

*Project Received:* March 29, 2017; *Deemed Incomplete:* April 6, 2017

*Project Received:* April 27, 2017; *Deemed Incomplete:* May 3, 2017

*Project Received:* May 9, 2017; *Deemed Complete:* May 25, 2017

Since this project is Categorically Exempt, the City has up to 60 days from the date of deeming the project complete (until July 25, 2017) to make a decision on the project. However, the applicant had made a request per an email dated July 11, 2017 to reschedule for a hearing date after July 20, 2017.

### Conclusion

Staff recommends denial of the project and that the wall be brought into compliance as the necessary findings to grant approval of the exception consistent with Chapter 19.48 Fences of the Cupertino Municipal Code cannot be made. Granting approval would set a precedent for future constructions and create unequal treatment of other properties in the City that had experienced similar situations but complied with rules and regulations.

### Next Steps

The Design Review Committee's decision on this project is final unless an appeal is filed within 14 calendar days of the decision, on August 18, 2017. If appealed, the City Council will be the approval authority on the appeal.

If approved, the approval will expire on August 3, 2018, at which time the applicant may apply for a one-year extension. However, since the wall is already constructed, the decision to approve will simply affirm the location of the existing fence.

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Prepared by: Jeffrey Tsumura, Assistant Planner

Reviewed by: Piu Ghosh, Principal Planner

Approved by: Benjamin Fu, Assistant Director of Community Development

### **ATTACHMENTS:**

1 – Draft Resolution for EXC-2017-01

2 – Landscape Plan (Sheet L1.0), approved March 24, 2015

3 – Revised Site Plan (Sheet A1), submitted June 20, 2017

4 – Grading and Drainage Plan (Sheet C2), approved March 24, 2015

CITY OF CUPERTINO  
10300 Torre Avenue  
Cupertino, California 95014

RESOLUTION NO. 329

OF THE DESIGN REVIEW COMMITTEE OF THE CITY OF CUPERTINO  
DENYING A FENCE EXCEPTION TO ALLOW A SIX-FOOT TALL WALL  
WITHIN THE REQUIRED STREET SIDE SETBACK AND A WALL WITH  
COLUMNS EXCEEDING THE MAXIMUM PERMITTED HEIGHT WITHIN  
THE REQUIRED FRONT YARD SETBACK AT A SINGLE-FAMILY RESIDENCE  
LOCATED AT 20984 ALVES DRIVE (APN 326-31-023)

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SECTION I: PROJECT DESCRIPTION

Application No.: EXC-2017-01  
Applicant: Santha Chittajallu  
Location: 20984 Alves Drive (APN 326-31-023)

SECTION II: FINDINGS:

WHEREAS, the Design Review Committee of the City of Cupertino received an application for a Fence Exception from the Residential Single Family Zoning regulations as described in Section I of this Resolution; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Design Review Committee has held at least one Public Meeting in regards to the application; and

WHEREAS, the project is determined to be exempt from the California Environmental Quality Act (CEQA); and

WHEREAS, the applicant has not met the burden of proof required to support said application; and

WHEREAS, the Design Review Committee finds as follows with regard to this application:

1. The literal enforcement of the provisions of this chapter will result in restrictions inconsistent with the spirit and intent of this chapter.

*The strict compliance of the setback and height regulations in the Fence Ordinance would not have caused unnecessary hardship or deprived the residents of the safety, privacy, and property protection rights intended in the chapter. There are no special circumstances applicable to the subject property (e.g. location, irregular shape, topography) that would have prevented the street side wall from being located behind the five-foot setback. Additionally, the column heights on the front yard wall provide aesthetics but do not serve a functional purpose for security or privacy.*

2. The granting of the exception will not result in a condition which is materially detrimental to the public health, safety or welfare.

*The wall is not detrimental to the health, safety or welfare because the fence is otherwise consistent in design and material with the City's Fence Ordinance and provides safety and privacy for the property owners.*

3. The exception to be granted is one that will require the least modification of the prescribed regulation and the maximum variance that will accomplish the purpose.

*The six-foot tall wall was built within the required street side setback due to installation error and does not result in the least modification of the prescribed regulation. The applicant could have considered alternate layouts resulting in less setback encroachment to resolve interference with the Cupertino Sanitary cleanout cover and the existing trees which include encroaching only for the portions of the wall where conflicts exist or relocating the wall to an area where no conflicts would exist. The as-built column heights on the front wall are not a necessity as they do not serve a functional purpose for safety and privacy.*

4. The proposed exception will not result in a hazardous condition for pedestrian and vehicular traffic.

*Public Works has reviewed the project and has determined that the existing wall location and height will not be detrimental to pedestrian or vehicular traffic.*

5. The proposed development is otherwise consistent with the City's General Plan and with the purpose of this chapter as described in Section 19.48.010.

*The existing structures on the property, other than the portions of the fence/wall that are the subject of this Fence Exception, are otherwise consistent with the City's General Plan.*

6. The proposed development meets the requirements of the Santa Clara Fire Department and Sheriff's Department, and if security gates are proposed, that attempts are made to standardize access.

*The Santa Clara Fire Department and the Sheriff's Department have reviewed the plans and have no issues with the walls. These Departments are normally concerned when security gates are proposed.*

NOW, THEREFORE, BE IT RESOLVED:

That after careful consideration of the maps, facts, exhibits, testimony and other evidence submitted in this matter, subject to the conditions which are enumerated in this Resolution beginning on PAGE 2 thereof,:

The application for a Fence Exception to the Residential Single Family zoning regulations, Application no. EXC-2017-01 is hereby **DENIED** and that the wall be brought into compliance, and

That the sub-conclusions upon which the findings and conditions specified in this Resolution are based and contained in the Public Meeting record concerning Application no.(s) EXC-2017-01 as set forth in the Minutes of Design Review Committee Meeting of August 3, 2017 and are incorporated by reference as though fully set forth herein.

PASSED AND ADOPTED this 3<sup>rd</sup> day of August, 2017, at the Regular Meeting of the Design Review Committee of the City of Cupertino, State of California, by the following roll call vote:

AYES: MEMBERS: Chair Paulsen, Fung  
NOES: MEMBERS: none  
ABSTAIN: MEMBERS: none  
ABSENT: MEMBERS: none

ATTEST:

/s/Jeffrey Tsumura

Jeffrey Tsumura  
Assistant Planner

APPROVED:

/s/Geoffrey Paulsen

Geoffrey Paulsen, Chair  
Design Review Committee

NOTES:  
1. HOUSE SHALL MEET ASHRAE 62.2 STD FOR CONTINUOUS SUPPLY, EXHAUST & BALANCED VENTILATION, WITH OR WITHOUT HEAT RECOVERY.  
2. REDUCE FORMALDEHYDE IN INTERIOR FINISH TO MEET CURRENT CARB AIRBORNE TOXIC CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD.  
3. HERS INSPECTION REQUIRED.  
4. SEE GREEN POINT CHECK LIST ON SHEET GB1.  
ALL MANDATORY CALGREEN CODES APPLY

GEOTECHNICAL INVESTIGATION BY  
KAMRAN GHASSI, PH.D., PE, GE  
PRINCIPAL  
GEOENGINEERING CONSULTANTS (GEC)  
7567 AMADOR VALLEY BLVD., SUITE 310  
DUBLIN, CA 94568  
800-GEC-3752 (WORK)  
925-321-5550 (CELL)

SPECIAL INSPECTIONS LIST  
ALL INSPECTIONS SHALL BE DONE BY SPECIAL INSPECTION AGENCY  
1. BASEMENT WATER PROOFING  
2. FIELD WELDING  
3. EPOXY HOLDUPVN  
4. SHORING  
5. PIER DRILLING  
ALL PROPERTY LINES SHALL BE STAKED AND A WRITTEN STATEMENT CONFIRMING THE SURVEY RESULT AND STAKING METHOD SHALL BE SUBMITTED PRIOR TO FOUNDATION INSPECTION.

GRADING AND DRAINAGE NOTES  
1. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.  
2. THE CONTRACTOR SHALL PROVIDE TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.  
3. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.  
4. ALL ROOF DRAINS AND/OR DOWNSPOUTS SHALL BE DRAINED SHEET FLOW 5% AWAY FROM THE BUILDING AND MAY BE COLLECTED BY DRAINAGE INLET CONNECTED TO PUBLIC STORM DRAIN FACILITY. IF AND ONLY IF THE DRAINAGE IS IN THE HILLSIDE AREA CAN THE WATER BE DIRECTLY CONNECTED TO THE PUBLIC STORM DRAIN.  
5. SPLASH BLOCKS TO BE PLACED AT EACH DOWN SPOUT.  
6. GRADING TO BE MIN. 2" DEEP X 18" WIDE.  
7. GRADING TO BE MIN. 5% AWAY FROM HOUSE.

WATERPROOFING NOTE:  
WATERPROOFING MEASURES DELINEATED IN THE PLAN SET ARE SUGGESTIONS ONLY. OWNER AND CONTRACTOR SHALL CONSULT WITH A WATERPROOFING EXPERT FOR PROPER INSTALLATION METHODS FOR ALL AREAS REQUIRING WATERPROOFING

NOTE:  
ALL WORK ON THIS PROJECT IS TO SUPERVISED BY A LICENCED GENERAL CONTRACTOR. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE TO BE LICENSED BY THE STATE OF CALIFORNIA. ALL CONTRACTORS ARE REQUIRED TO HAVE WORKMAN'S COMPENSATION AND GENERAL LIABILITY INSURANCE COMMENSURATE WITH THE SCOPE OF THE PROJECT.  
PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR AND OWNER SHALL MEET WITH THE ARCHITECT TO REVIEW ANY QUESTIONS OR CLARIFICATIONS OF THE WORK DESCRIBED IN THESE DOCUMENTS. THE CONTRACTOR'S COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE THAT THE PROJECT, AS DRAWN, IS BUILDABLE. SEE A1.1 FOR ADDITIONAL GENERAL COMMENTS.

VENTILATION NOTES:  
1. VENTILATION KITCHEN MUST INCLUDE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM. CA ENERGY CODE 150 (C) AND 152(A).  
2. UNDER THE ASHRAE 62.2 REQUIREMENT, PROVIDE A NOTE THAT A LABEL MUST BE PROVIDED NEXT TO THE SYSTEM SWITCH THAT STATES TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH, THE FAN CONTROL SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED, UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION.



LEGEND

PROPERTY LINE =	---
SETBACK LINE =	---
BASEMENT	[Hatched Pattern]
FIRST FLOOR	[Solid Pattern]
SECOND FLOOR	[Dashed Pattern]
EXISTING BLDG DEMOLISHED	[Cross-hatched Pattern]

PROJECT DATA

PROJECT ADDRESS	20984 ALVES DRIVE
APN	326-31-004
ZONING DISTRICT	R1-10

AREA CALCULATION

LOT AREA	11046 S.F.
ALLOWABLE FLOOR AREA	4970.7 S.F. (45%)
ALLOWABLE LOT COVERAGE	4970.7 S.F. (45%)
ALLOWABLE EAVE COVERAGE	552 S.F. (5%)

FLOOR AREA SUMMARY

NEW FIRST FLOOR	2410.7 S.F.
ATTIC ABOVE 7 FT.	0.0 S.F.
FIRST FLOOR ROOF 0/16 FT.	0.0 S.F.
NEW SECOND FLOOR	1874.4 S.F.
SECOND FLOOR AREA= 60.5% OF FIRST FLR AREA	
TOTAL LIVING AREA ABV. GROUND	4285.1 S.F.

BASEMENT LIVING AREA

BASEMENT LIVING AREA	1360 S.F.
BASEMENT MECH. ROOM	93 S.F.
TOTAL BASEMENT AREA	1453 S.F.

NEW 2 CAR GARAGE

NEW 2 CAR GARAGE	440.78 S.F.
NEW ONE CAR GARAGE	240.90 S.F.
TOTAL GARAGE AREA	685.09 S.F.

TOTAL PROPOSED FLOOR AREA

TOTAL PROPOSED FLOOR AREA	4970.2 S.F. (45%)
ALLOWABLE FLOOR AREA	4970.7 S.F.

LOT COVERAGE SUMMARY

NEW FIRST FLOOR	2410.7 S.F.
NEW FRONT PORCH	44.3 S.F.
REAR PORCH	808.3 S.F.
RIGHT SIDE PORCH	161 S.F.
TOTAL GARAGE	685.0 S.F.

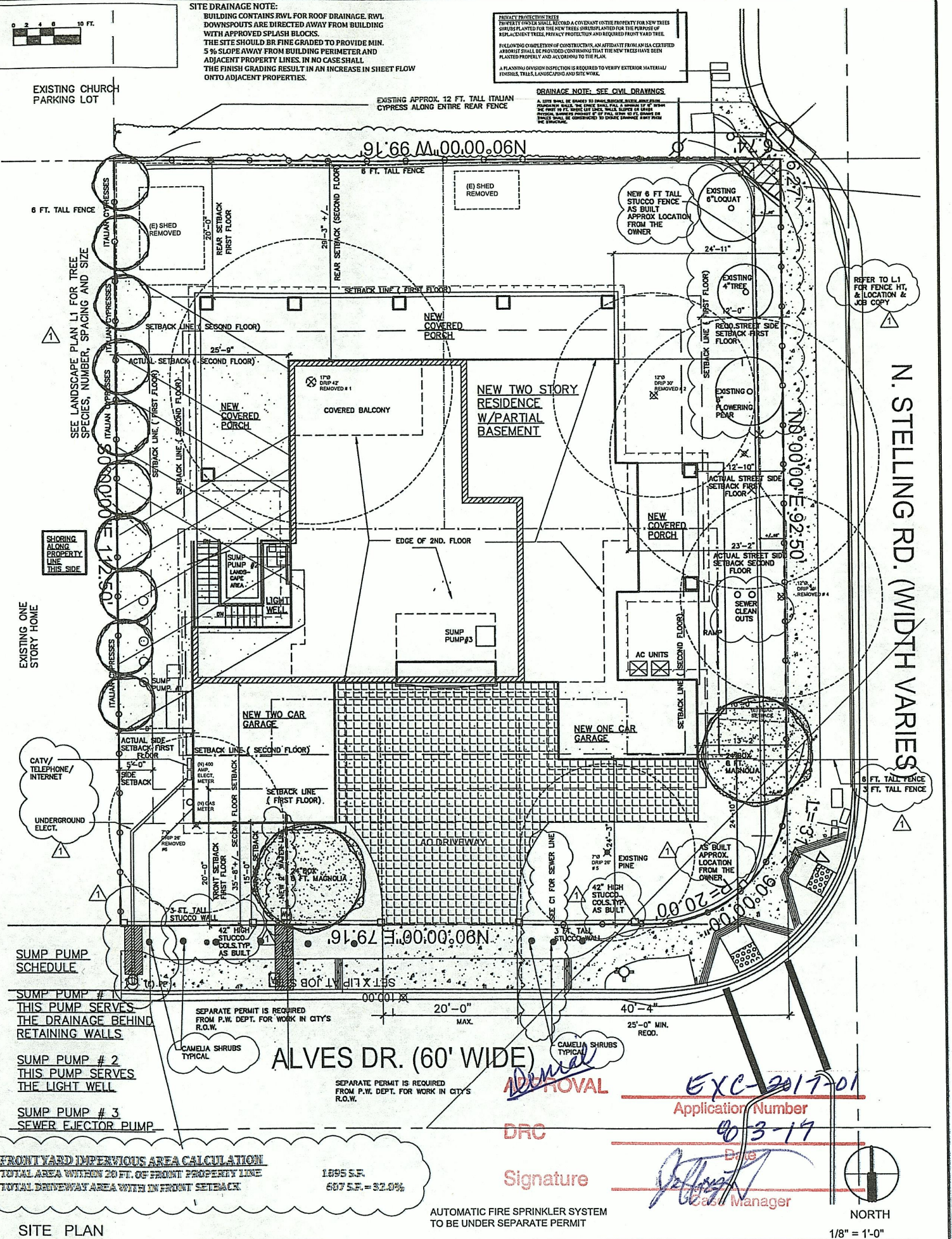
TOTAL PROPOSED LOT COVERAGE

TOTAL PROPOSED LOT COVERAGE	4109.3 S.F. (37.2%)
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NEW EAVE

NEW EAVE	514.7 S.F. (4.6%)
ALLOWABLE EAVE	552.3 S.F.

BUILDING OCCUPANCY GROUP R3 & U  
TYPE OF CONSTRUCTION V-B  
STORIES 2 W/ BASEMENT  
AUTOMATIC SPRINKLERS YES



- SUMP PUMP SCHEDULE
- SUMP PUMP # 1  
THIS PUMP SERVES THE DRAINAGE BEHIND RETAINING WALLS
  - SUMP PUMP # 2  
THIS PUMP SERVES THE LIGHT WELL
  - SUMP PUMP # 3  
SEWER EJECTOR PUMP

FRONTYARD IMPERVIOUS AREA CALCULATION  
TOTAL AREA WITHIN 20 FT. OF FRONT PROPERTY LINE  
TOTAL DRIVEWAY AREA WITH IN FRONT SETBACK  
1895 S.F.  
687 S.F. = 32.0%

AUTOMATIC FIRE SPRINKLER SYSTEM TO BE UNDER SEPARATE PERMIT

REVISIONS

REVISIONS	BY
2.9.15	
3.6.15	
4.6.17	
4.13.17	

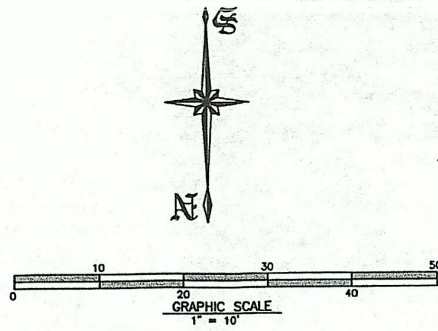
ADITI MUKHERJEE  
ARCHITECT LIC. C31611  
1448 S. STELLING ROAD  
CUPERTINO, CALIFORNIA  
ARCHITECTADITI@gmail.com  
408 455 3793

NEW RESIDENCE FOR  
RAVI GAMPALA & SANTHA S CHITTALALLU  
20984 ALVES DRIVE  
CUPERTINO, CALIFORNIA

SITE PLAN  
AREA SUMMARY  
VICINITY MAP  
APPLICABLE CODES

DRAWN AM  
CHECKED  
DATE 1.6.15  
SCALE 1/8" = 1'-0"  
JOB NO. ALVES  
SHEET  
A1

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THE CONTRACTOR SHALL BE LIMITED TO NORMAL WORKING HOURS AND SHALL NOT BE ALLOWED TO CONDUCT ANY WORK OUTSIDE OF HIS OWN PROPERTY OR THE PROPERTY OF THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

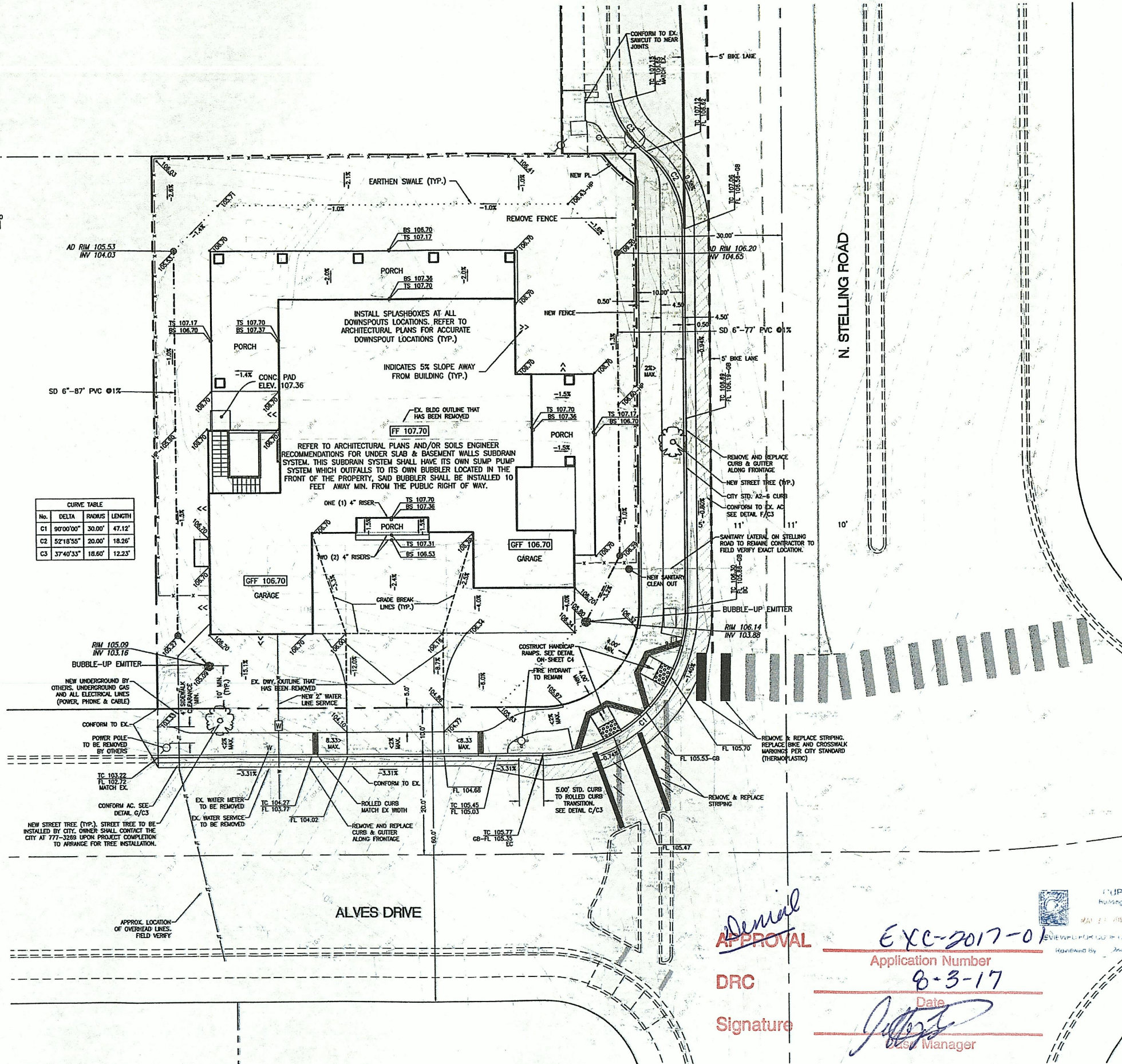


**CUPERTINO SANITARY DISTRICT NOTES:**

1. INSTALL NEW PROPERTY LINE CLEANOUT OR LOCATE AND RAISE TO GRADE AN EXISTING PROPERTY LINE CLEANOUT. PROPERTY LINE CLEANOUT MUST BE WITHIN 5 FEET OF THE PROPERTY LINE. CLEANOUT SHALL BE THE SAME DIAMETER AS THE STREET PORTION OF THE SERVICE LATERAL. GRAVITY LATERAL IS 4" DIAMETER MINIMUM.
2. DISTRICT INSPECTION IS REQUIRED PRIOR TO CLEARANCE FOR CITY OF CUPERTINO FINAL INSPECTION. OWNER TO CALL DISTRICT AT LEAST 48 HOURS TO SCHEDULE DISTRICT INSPECTION. DISTRICT TO PROVIDE BUILDING DEPARTMENT WITH WRITTEN NOTIFICATION UPON COMPLETION OF INSPECTION.
3. STORM WATER FROM SURFACE OR ROOF DRAINS, OTHER GENERAL SURFACE RUNOFF WATER OR CONDENSATE FROM ANY RESIDENTIAL HVAC EQUIPMENT SHALL NOT BE DISCHARGED TO THE SANITARY SEWER.

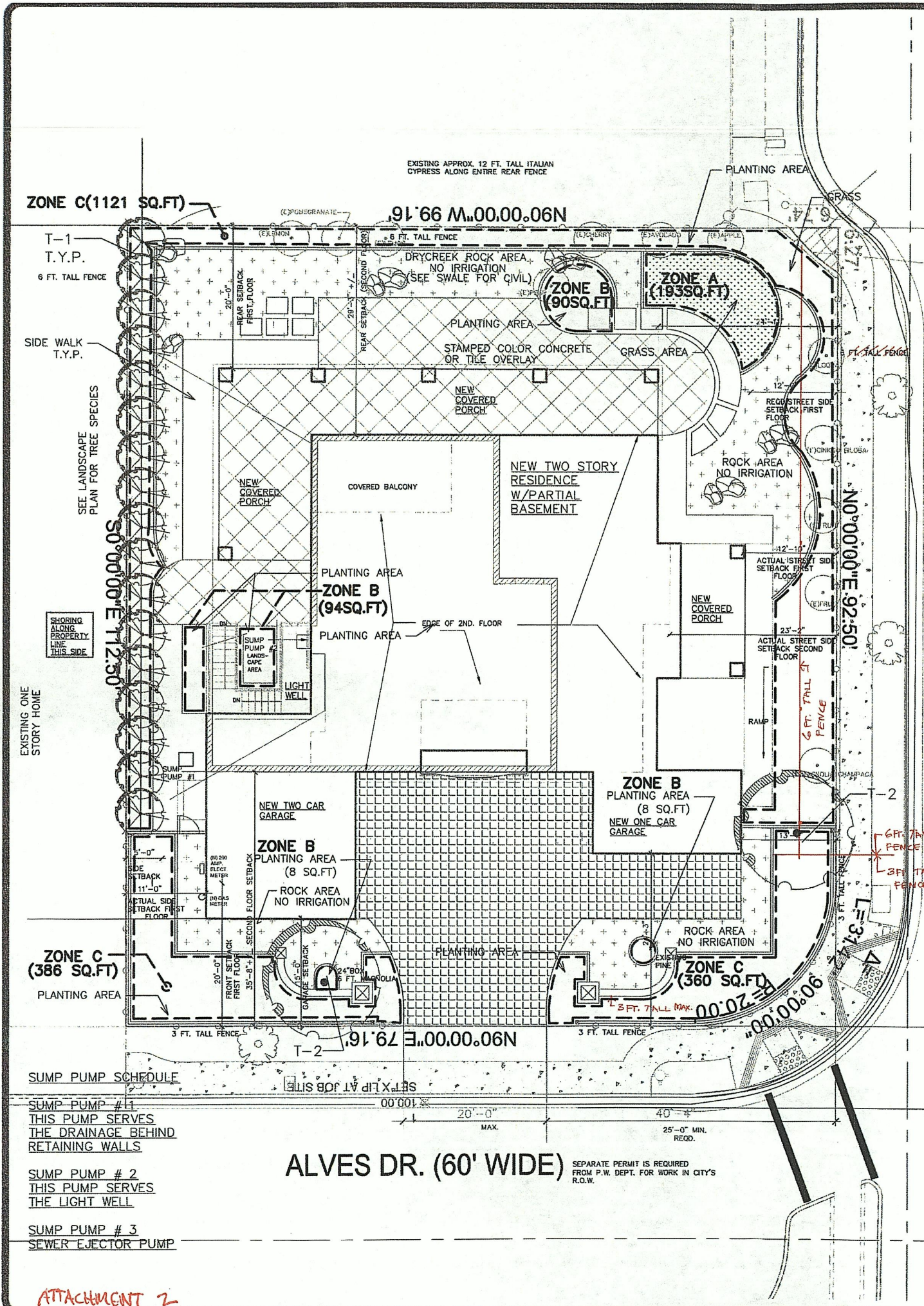
CURVE TABLE			
No.	DELTA	RADIUS	LENGTH
C1	90°00'00"	30.00'	47.12'
C2	52°18'55"	20.00'	18.26'
C3	37°40'33"	18.60'	12.23'

EARTHWORK QUANTITIES		
DESCRIPTION	CUT (-)	FILL (+)
NEW HOUSE WITH BASEMENT, HARDSCAPE, AND LANDSCAPE IMPROVEMENTS.	960 C.Y.	50 C.Y.
TOTALS RAW:	960 C.Y.	50 C.Y.
10% SHRINKAGE FACTOR (ASSUMED)		5 C.Y.
TOTAL ADJUSTED:	960 C.Y.	55 C.Y.
NET EXPORT = CUT - FILL	905 C.Y.	
<u>NOTES &amp; CALCULATIONS ASSUMPTIONS:</u>		
1. EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.		
2. ASSUMED 2.7' DELTA FROM FINISH FLOOR TO PAD		
3. ASSUMED 1.0' DELTA FROM GARAGE FINISH FLOOR GRADE TO SUB-GRADE FOR GARAGE PORCH, & BASEMENT		
4. ASSUMED 1.0' DELTA FROM FINISH GRADE TO SUB-GRADE FOR DRIVEWAY.		
5. ASSUMED 11' CEILING AND 1,795 S.F. BASEMENT		



ATTACHMENT #

REVISIONS	
DATE	BY
PORTFOLIO OSCAR OSUNA RCE 70829 EXP. 6-30-15	
LANDS OF GAMPALA & CHITTJALLU 20984 ALVES DRIVE CUPERTINO, CA 95014 PH. (408) 480-0602	
GreenBlueEarth Inc. CONSULTING CIVIL ENGINEERS & LAND SURVEYORS 294 BROWLEY CROSS DRIVE SAN JOSE, CA 95119 TEL. (408) 772-4381 osuna@greenblueearth.com	
PUBLIC IMPROVEMENTS & GRADING AND DRAINAGE PLAN	PROPOSED NEW RESIDENCE
CITY OF CUPERTINO	CALIFORNIA
Project No.: 1153	Designed: O.O. Checked: O.O. Date: 3/11/15
SHEET	C2
OF 5 SHEETS	



SUMP PUMP SCHEDULE  
SUMP PUMP #1  
THIS PUMP SERVES  
THE DRAINAGE BEHIND  
RETAINING WALLS  
SUMP PUMP #2  
THIS PUMP SERVES  
THE LIGHT WELL  
SUMP PUMP #3  
SEWER EJECTOR PUMP

ALVES DR. (60' WIDE)

SEPARATE PERMIT IS REQUIRED  
FROM P.W. DEPT. FOR WORK IN CITY'S  
R.O.W.

ATTACHMENT 2

### WATER USAGE LEGEND

ZONE	DESCRIPTION	IRRIGATION	AREA
ZONE A.	GRASS AREA	HIGH	193 SF
ZONE B.	PLANTING AREA	MIX	200 SF
ZONE C.	PLANTING AREA	LOW	1867 SF

TOTAL LANDSCAPE AREA 2,260 SF

### HARDSCAPE LEGEND

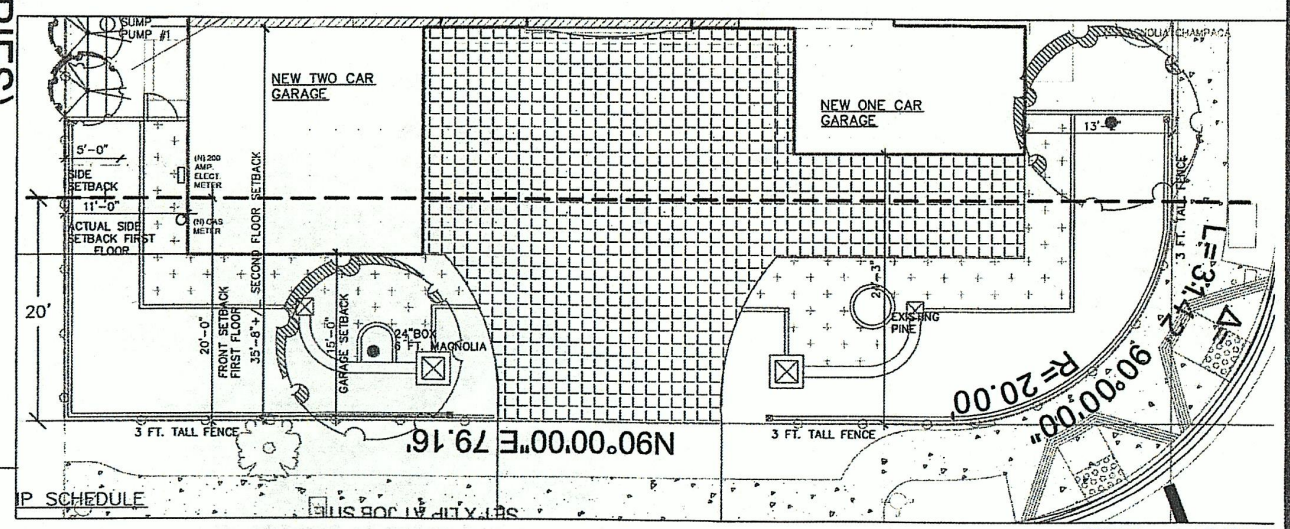
SYMBOL	DESCRIPTION
[Symbol]	CONCRETE PATH WAY WITH BROOM FINISH
[Symbol]	TILE OVERLAY OVER CONCRETE
[Symbol]	INTER LOCKING PAVER
[Symbol]	BLDG AREA
[Symbol]	FLAGSTONE STEPPING STONE

### GENERAL NOTES:

1. ALL HARDSCAPE AND LANDSCAPE AREAS SHALL HAVE PROPER SLOPE AND DRAINAGE AWAY FROM THE HOUSE OR TOWARD APPROPRIATE DRAINAGE STRUCTURE TO CARRY WATER TO AN APPROVED DRAINAGE OUTLET
2. CONTRACTOR IS RESPONSIBLE FOR PROPER DRAINAGE OF ALL AREAS AND SHALL ADHERE TO ALL APPLICABLE LOCAL BUILDING CODES AND INDUSTRY STANDARD FOR ALL WORK CONTAINED IN THESE PLANS.
3. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING APPROVED, BEST INDUSTRY ACCEPTED PRACTICES, SPECIFICATIONS AND METHOLDS FOR INSTALLATION OF ALL ITEMS CONTAINED IN THESE PLANS.
4. CONTRACTOR SHALL PROVIDE A WRITTEN WARRANTY FOR ALL WORK CONTAINED IN THESE PLANS.

PRIVACY SCREENING MATERIALS			
	HEIGHT	SPREAD	PLANTING DISTANCE MAXIMUM
T-1 15 GAL CUPRESSUS SEMPERVIRENS	60'	3-6'	5'
FRONT YARD TREE			
	SPREAD	PLANTING DISTANCE MAXIMUM	
T-2 24" BOX ST. MARY MAGNOLIA	20'	10'	

APPROVAL  
Signature  
Date  
Case Manager



### FRONT YARD PAVING CALS

TOTAL FRONT YARD WITHIN 20': 2002 SQ.FT.  
TOTAL NON-PERVIOUS INTER LOCKING PAVER AREA WITH FRONT SETBACK ': 608 SQ.FT.  
TOTAL HARDSCAPE AREA WITHIN 20': 50 SQ.FT.  
658/2002=32.8%

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NEW RESIDENCE FOR  
RAVI GAMPALA & SANTHA S  
CHITTAJALLU  
20984 ALVES ROAD  
CUPERTINO, CA

LANDSCAPE PLAN  
MATERIAL  
REFERENCE &  
LAYOUT PLAN

DATE:	
REVISION:	
SCALE:	1/8" = 1'
DWG BY:	HYP
DWG DATE:	2/20/2017
CHECK BY:	
CHECK DATE:	
PJT NO:	
FILE NO:	

Sheet: L1.0  
1 of 1 Sheets.