



CITY OF CUPERTINO

AGENDA

ADMINISTRATIVE HEARING

This will be a teleconference meeting with no physical location.

Thursday, June 10, 2021

5:00 PM

TELECONFERENCE / PUBLIC PARTICIPATION INFORMATION TO HELP STOP THE SPREAD OF COVID-19

In accordance with Governor Newsom's Executive Order No-29-20, this will be a teleconference meeting without a physical location to help stop the spread of COVID-19.

Members of the public wishing comment on an item on the agenda may do so in the following ways:

1) E-mail comments by 4:00 p.m. on Thursday, June 10th, to the Hearing Officer at planning@cupertino.org. These e-mail comments will be received by the Hearing Officer before the meeting and posted to the City's website after the meeting.

2) E-mail comments during the times for public comment during the meeting to the Hearing Officer at planning@cupertino.org. The staff liaison will read the emails into the record, and display any attachments on the screen, for up to 3 minutes (subject to the Hearing Officer's discretion to shorten time for public comments). Members of the public that wish to share a document must email planning@cupertino.org prior to speaking.

3) Teleconferencing Instructions

Members of the public may observe the teleconference meeting or provide oral public comments as follows:

Oral public comments will be accepted during the teleconference meeting. Comments may be made during "oral communications" for matters not on the agenda, and during the public comment period for each agenda item.

Online:

To address the Commission, click on the link below to register in advance and access the meeting:

Please click the link below to join the webinar:
https://cityofcupertino.zoom.us/webinar/register/WN_WEoxk1uKTy-FMxeW9iEsLA

Phone

Dial 669-900-6833 and enter Webinar ID: 920 6323 9596 (Type * 9 to raise hand to speak)
Unregistered participants will be called on by the last four digits of their phone number.

Or an H.323/SIP room system: H.323:

162.255.37.11 (US West)

162.255.36.11 (US East)

Meeting ID: 920 6323 9596

SIP: 92063239596@zoomcrc.com

After registering, you will receive a confirmation email containing information about joining the webinar.

Please read the following instructions carefully:

1. You can directly download the teleconference software or connect to the meeting in your internet browser. If you are using your browser, make sure you are using a current and up-to-date browser: Chrome 30+, Firefox 27+, Microsoft Edge 12+, Safari 7+. Certain functionality may be disabled in older browsers, including Internet Explorer.
2. You will be asked to enter an email address and a name, followed by an email with instructions on how to connect to the meeting. Your email address will not be disclosed to the public. If you wish to make an oral public comment but do not wish to provide your name, you may enter "Cupertino Resident" or similar designation.
3. When the Hearing Officer calls for the item on which you wish to speak, click on "raise hand." Speakers will be notified shortly before they are called to speak.
4. When called, please limit your remarks to the time allotted and the specific agenda topic.

In compliance with the Americans with Disabilities Act (ADA), anyone who is planning to attend this teleconference meeting who is visually or hearing impaired or has any disability that needs special assistance should call the City Clerk's Office at 408-777-3223, at least 48 hours in advance of the meeting to arrange for assistance. In addition, upon request, in advance, by a person with a disability, meeting agendas and writings distributed for the meeting that are public records will be made available in the appropriate alternative format.

ROLL CALL

APPROVAL OF MINUTES

1. Subject: Draft Minutes of March 11, 2021
Recommended Action: Approve or modify the Draft Minutes of March 11, 2021
[1. Draft Minutes](#)

ORAL COMMUNICATIONS

This portion of the meeting is reserved for persons wishing to address the Committee on any matter within the jurisdiction of the Committee and not on the agenda. Speakers are limited to three (3) minutes. In most cases, State law will prohibit the Commission from making any decisions with respect to a matter not on the agenda.

WRITTEN COMMUNICATIONS

PUBLIC MEETING

2. Subject: Architectural and Site Permit to consider exterior and landscape modifications to an existing amenity space in an apartment complex, and a Tree Removal Permit to allow the removal and replacement of two protected trees at the existing apartment complex. Application No(s): ASA-2020-005, TR-2021-005; Applicant(s): Mike Egusa (Woodmont Real Estate Services); Location: 20800 Valley Green Drive APN #326-09-040
Recommended Action: That the Hearing Officer conduct the public meeting and find:
1) Find that the proposed actions are exempt from CEQA; and,
2) Approve the Architectural and Site Approval Permit (ASA-2020-006) and the Tree Removal Permit (TR-2020-044)
[Staff Report](#)
[1. Draft Resolution for ASA-2020-005](#)
[2. Draft Resolution for TR-2021-005](#)
[3. Plan Set](#)
[4. Arborist Report](#)

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

In compliance with the Americans with Disabilities Act (ADA), anyone who is planning to attend this teleconference meeting who is visually or hearing impaired or has any disability that needs special assistance should call the City Clerk's Office at 408-777-3223, at least 48 hours in advance of the meeting to arrange for assistance. In addition, upon request, in advance, by a person with a disability, meeting agendas and writings distributed for the meeting that are public records will be made available in the appropriate alternative format.

Any writings or documents provided to a majority of the members after publication of the agenda will be made available for public inspection. Please contact the City Clerk's Office in City Hall located at 10300 Torre Avenue during normal business hours.

IMPORTANT NOTICE: Please be advised that pursuant to Cupertino Municipal Code 2.08.100 written communications sent to the Cupertino City Council, Commissioners or City staff concerning a matter on the agenda are included as supplemental material to the agendized item. These written communications are accessible to the public through the City's website and kept in packet archives. You are hereby admonished not to include any personal or private information in written communications to the City that you do not wish to make public; doing so shall constitute a waiver of any privacy rights you may have on the information provided to the City.

Members of the public are entitled to address the members concerning any item that is described in the notice or agenda for this meeting, before or during consideration of that item. If you wish to address the members on any other item not on the agenda, you may do so during the public comment.



CITY OF CUPERTINO

Agenda Item

21-9396

Agenda Date: 6/10/2021
Agenda #: 1.

Subject: Draft Minutes of March 11, 2021

Approve or modify the Draft Minutes of March 11, 2021

Cupertino, CA 95014
(408) 777-3308

**ACTION MINUTES OF THE REGULAR MEETING OF
THE ADMINISTRATIVE HEARING HELD ON March 11, 2021**

ROLL CALL

Hearing Officer present: Albert Salvador, Assistant Director of Community Development

Staff present: Erika Poveda, Associate Planner

Applicant(s) present: Andre Herring, Property Owner, CIM Group
Karen Chiu, Property Owner, CIM Group
Peter Lam, Property Owner, CIM Group
Rick Yeh, Architect, Studio G Architects
Bill Henn, Civil Engineer, Hohbach-Lewin, Inc.
J Lee Stickles, Landscape Architect, TS Studios

APPROVAL OF MINUTES:

1. February 11, 2021

The minutes of February 11, 2021 were approved as written

POSTPONEMENTS/REMOVAL FROM CALENDAR:

None

ORAL COMMUNICATIONS:

None

WRITTEN COMMUNICATIONS:

None

PUBLIC MEETING ITEMS:

2. Application No.(s): ASA-2020-006, TR-2020-044
Applicant: Tim Barnes (Studio G Architects, Inc)
Location: 19608 Pruneridge Ave APN #316-45-016

Architectural and Site Permit to consider exterior and landscape alterations to the Arioso Apartments existing pool deck area; and a Tree Removal Permit to allow the removal and replacement of four (4) protected trees at an existing apartment complex (Arioso)

Administrative Hearing Officer's decision final unless appealed.

Staff member Poveda addressed the Hearing Officer. The applicant is seeking approval to demo the existing upper and lower deck amenities to install new trellises, seating areas, and a BQ area. They will also be replacing fencing materials, lighting and hardscape. The landscape enhancements will include the removal and replacement of four development trees. These improvements will modernize the look of the space to provide better a better resident experience. All of the proposed modifications are in conformance with the City's Municipal Codes. The City's Consulting Arborist and other City Departments have reviewed the project and have no concerns. Staff recommends that the Hearing Officer approve the project per the Draft Resolution. The Hearing asked for clarification regarding the fence heights, occupancy load, and the path of travel (accessibility) requirements. The project's Landscape Architect reviewed the site plan showing the paths of travel for the Hearing Officer. The Hearing Officer mentioned that panic hardware may be required on the gates depending on the occupancy load.

The Hearing Officer opened the public comment period.

None

The Hearing Officer closed the comment period.

The Hearing Officer concurred with Staff's findings.

DECISION: The application was approved by the Hearing Officer per the draft resolution(s)

ADJOURNMENT

Respectfully submitted:

 /s/Beth Ebben

Beth Ebben

Deputy Board Clerk



CITY OF CUPERTINO

Agenda Item

21-9395

Agenda Date: 6/10/2021
Agenda #: 2.

Subject: Architectural and Site Permit to consider exterior and landscape modifications to an existing amenity space in an apartment complex, and a Tree Removal Permit to allow the removal and replacement of two protected trees at the existing apartment complex. Application No(s): ASA-2020-005, TR-2021-005; Applicant(s): Mike Egusa (Woodmont Real Estate Services); Location: 20800 Valley Green Drive APN #326-09-040

That the Hearing Officer conduct the public meeting and find:

- 1) Find that the proposed actions are exempt from CEQA; and,
- 2) Approve the Architectural and Site Approval Permit (ASA-2020-006) and the Tree Removal Permit (TR-2020-044)



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

CITY HALL
10300 TORRE AVENUE • CUPERTINO, CA 95014-3255
TELEPHONE: (408) 777-3308 • FAX: (408) 777-3333
CUPERTINO.ORG

ADMINISTRATIVE HEARING STAFF REPORT

Meeting Date: June 10, 2021

Subject

Architectural and Site Approval Permit to consider exterior and landscape modifications to an existing amenity space in an apartment complex, and a Tree Removal Permit to allow the removal of two (2) protected trees at existing apartment complex. (Application No(s): ASA: 2020-005, TR-2021-005; Applicant: Mike Egusa; Location: 20800 Valley Green Drive; APN(s): 326-09-054)

Recommended Action

That the Hearing Officer adopt the draft resolutions (Attachments 1 and 2) to:

1. Find that the proposed actions are exempt from CEQA; and
2. Approve the Architectural and Site Approval Permit (ASA-2020-006) and the Tree Removal Permit (TR-2020-044).

Discussion

Project Data

General Plan Designation	Medium (10-20 DU/Ac.)	
Zoning Designation	R-3	
Lot Size (amenity area)	116,134 sq. ft. (2.69 acres)	
	Existing	Proposed
Floor Area (amenity area)	2,270 sq. ft. (1.95%)	No Change
Lot Coverage (amenity area)	3,355 sq. ft. (2.89%)	No Change
Project Consistency With:		
General Plan	Yes	
Zoning	Yes	
Environmental Assessment	Categorically Exempt per Section 15301 (Class 1) of the California Environmental Quality Act (CEQA)	

Background

The subject site is located at the center of the apartment development known as Villages at Cupertino. The current site provides community and fitness amenities to residents of the development. The subject site is surrounded by the development's apartments to the north, south, west and east (see Figure 1).

The 358-unit apartment project was approved in with application Z-1962-07 and constructed in 1964. The existing exterior materials for the complex and associated amenity area consist of stucco walls in a neutral color palette.



Figure 1: Project Area

The proposed project is limited to renovations within the existing amenity area of the Villages at Cupertino apartments. The amenity area consists of a club house, pool area, green space, and tennis courts.

The property owner is proposing to modernize this space by improving functionality and developing attractive gathering spaces for the users.

Analysis

The applicant is requesting exterior and landscape modifications as follows:

- Modifications to the existing club house including adding a new entrance and replacing an existing deck/railing;
- New outdoor gathering spaces that include a new lounge and replacing an outdoor barbeque area with a kitchen lounge;
- Additional fencing around the amenity spaces with new pedestrian gates;
- Installation of enhanced landscaping; and,
- Removal and replacement of two protected development trees.

The scope of work does not include any changes to existing uses, parking supply or demand, floor area, lot coverage, building height, or building color for the subject site and will not result in an increased intensity of the existing use. Pursuant to Chapter 19.36: Multiple Family Residential (R-3) Zones, the project is required to obtain an Architectural and Site Approval permit for the proposed improvements.

Clubhouse Modifications

The applicant is requesting to make several modifications to the existing amenity building. Currently, the space is used as a fitness room and clubroom. The applicant seeks to modify the space to be used solely as a fitness space. This requires the removal of an existing wall between the fitness space and club room.

Additionally, the proposal includes exterior modifications. New dormers and new panoramic doors are proposed along the north and south elevations, see Figure 2 below. Exterior colors and materials are not proposed for modifications. The new dormers will not extend past the existing ridgeline of the roof and therefore, will not increase the height or size of the building.

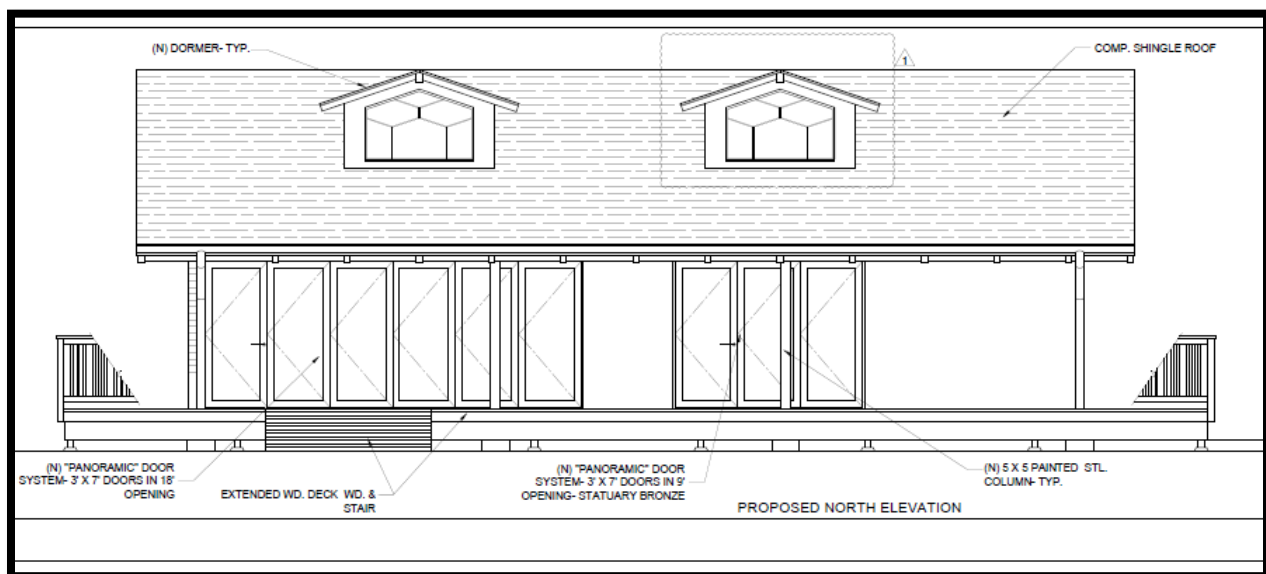


Figure 2: Proposed North Elevation

The building will be further modified with an updated concrete decking along the south elevation adjacent to the pool area, and replacing an existing deck and railing on the north side of the building with a new larger redwood deck and railing, *see Sheet A1.02*. New steel columns are proposed along the north elevation to support the roof structure. Additionally, as part of the site and building upgrades, the applicant is proposing a new entrance with an Americans with Disabilities Act (ADA) compliant ramp along the east elevation, *see Sheet A1.02 and Sheet A2.01*. Two trees are proposed for removal to accommodate the ADA upgrades.

Site Modifications

The area surrounding the pool area will be updated with new structures, updated landscaping, and fencing.

Two new structures, a lounge/fire pavilion and kitchen pavilion, are proposed in the pool area. The lounge/fire pavilion will measure approximately 19'9" by 38'10" by 12'4", and the kitchen pavilion will measure 19'9" by 30'3" by 12'4". Both structures are to have an open trellis as a roof, and the structures are to be made with red cedar. The lounge/fire pavilion will have a gas burning fireplace which separates the area into two distinctive areas. The kitchen pavilion includes two gas burning barbeque grills, a kitchen island with seating. There is additional room for seating/lounge area as well. While no outdoor furniture is indicated in this area at this time, it is anticipated that outdoor seating will be placed in these areas. These will be reviewed and approved by the City prior to issuance of building permits.

Landscaping has been updated to include additional plantings and to replace some of the water intensive lawn areas with drought resistant landscaping. Plantings have increased throughout the site, see Figure 3. A total of 19 trees are also proposed for planting.

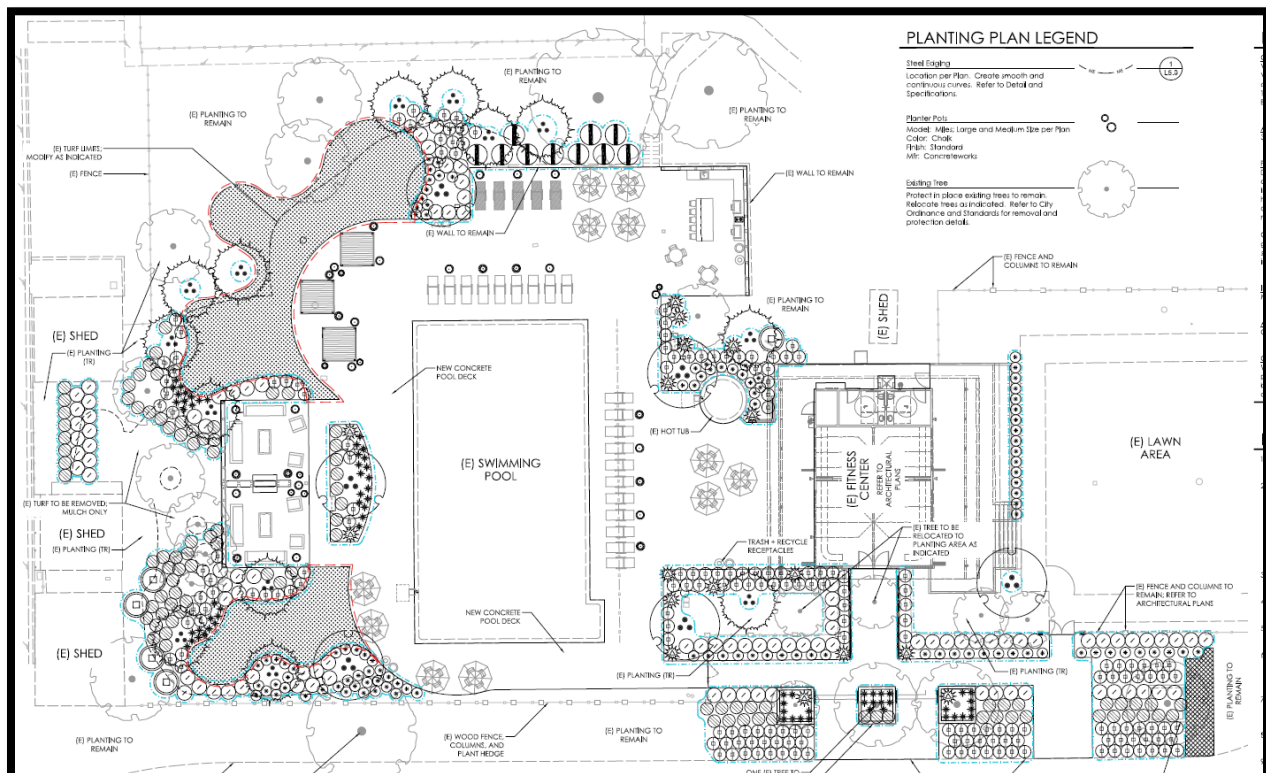


Figure 3: Proposed Planting Plan

Additional fencing is proposed along the northern edge of the parcel. There is existing wrought iron fencing along the perimeter of the amenities area except for the existing lawn area directly in front of the fitness building. The applicant proposed to fence this area off from public access. The proposed 6' tall fence is designed to match the existing onsite fencing. Three new pedestrian gates are also proposed for access.

Tree Removals/Replacements

Per the Protected Trees Ordinance (Chapter 14.18) of the Cupertino Municipal Code (CMC), all approved development trees (i.e. trees required to be planted or retained as part of a development application, building permit, tree removal permit, or code enforcement action) are considered “protected” and require approval of a Tree Removal Permit prior to removal. Replacements for the removed trees are required as part of the Tree Removal Permit.

The proposed project will impact a total of two protected development trees as part of the proposed modification to accommodate the ADA ramp and associated modifications. One (1) Chinese Elm measuring 14” DBH will be removed and one (1) multi-trunk Japanese Maple tree measuring a combined 4” DBH will be transplanted. The trees are in conflict with the proposed ADA ramp to access the amenity building. The Japanese Maple is in the direct path of the proposed ramp, and the grading required to accommodate the ADA ramp will have significant and unavoidable impact to the roots of the Chinese Elm. The arborist report and supplemental materials was peer-reviewed by the City’s Consulting Arborist, who does not disagree with the assessment of the project Arborist.

Based on the size of the trees, removal of the Chinese Elm will require two (2) 24”-box trees as replacements per the City’s Municipal Code. The applicant is proposing to replace the Chinese Elm with two (2) 24”-box Chinese Pistache trees. The Municipal Code requires one (1) 24”-box tree if the Japanese Maple was to be removed; therefore, in the event the Japanese Maple does not survive the transplant, the applicant is required to plant one (1) 24”-box tree as a replacement. In the event the transplant fails, the final replacement tree shall be reviewed and approved by staff, prior to planting.

Bird-Safe and Dark Sky Ordinance

The proposed project was submitted as the City implemented the new ordinance for Bird-Safe and Dark Sky Regulations, Cupertino Municipal Code (CMC) Chapter 19.102 Glass and Lighting Standards. The ordinance went into effect on May 6, 2021. The project will be conditioned to implement bird-safe treatments and dark-sky compliant lighting as applicable to the project prior to building permit issuance.

Environmental Review

This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15301 – Existing Facilities.

Other Department/Agency Review

The City's Building Division, Environmental Programs Division, Public Works Department, and the Santa Clara County Fire Department have no objections to the project.

Public Noticing & Community Outreach

The following table is a brief summary of the noticing for this project:

Notice of Public Hearing	Agenda
<ul style="list-style-type: none"> ▪ Site Signage (<i>at least 10 days prior to hearing</i>) ▪ 11 notices mailed to property owners adjacent to the project site (<i>at least 10 days prior to the hearing</i>) 	<ul style="list-style-type: none"> ▪ Posted on the City's official notice bulletin board (<i>five days prior to hearing</i>) ▪ Posted on the City of Cupertino's Web site (<i>five days prior to hearing</i>)

No comments have been received at the time of production of this staff report.

Permit Streamlining Act

This project is subject to the Permit Streamlining Act (Government Code Section 65920 – 65964). The City has complied with the deadlines found in the Permit Streamlining Act.

Project Received: July 22, 2020; ***Deemed Incomplete:*** August 26, 2020

Revisions Received: November 10, 2020; ***Deemed Incomplete:*** December 3, 2020

Revisions Received: January 15, 2021; ***Deemed Incomplete:*** February 11, 2021

Revisions Received: March 27, 2021; ***Deemed Incomplete:*** April 19, 2021

Revisions Received: April 28, 2021; ***Deemed Complete:*** May 17, 2021

The City has 60 days from when the project is deemed categorically exempt to decide on the project.

Conclusion

Staff recommends approval of the Architectural and Site Approval Permit and the Tree Removal Permit as the proposed project will not create adverse impacts to the surrounding area. Additionally, all the findings for approval of the proposed project, consistent with Chapter 19.168 and 14.18 of the Cupertino Municipal Code, may be made as reflected in the draft resolutions.

With respect to the Architectural and Site Approval Permit, the following findings may be made:

1. The proposal, at the proposed location, will not be detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety, general welfare, or convenience;

The proposal includes interior, exterior, and landscape modification to an existing amenity space located at the Villages at Cupertino. The exterior enhancements will incorporate new outdoor gathering spaces, updated landscaping, and provide for ADA accessibility to the primary building on the parcel. The proposal includes minor improvements to the existing use. No changes to the location of the use are being proposed. Therefore, the exterior and landscape modifications will not be detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety, general welfare, or convenience.

2. The proposal is consistent with the purposes of Chapter 19.168, the General Plan, any specific plan, zoning ordinances, applicable planned development permit, conditional use permits, variances, subdivision maps or other entitlements to use which regulate the subject property including, but not limited to, adherence to the following specific criteria:

- a) Abrupt changes in building scale should be avoided. A gradual transition related to height and bulk should be achieved between new and existing buildings.

The project proposes to add additional architectural details to the existing building, and new unenclosed accessory structures (kitchen and lounge pavilions). The existing building will include new dormers that will help to reduce the massing of the structure, and no increase in height or size of the existing structure is proposed. The new unenclosed accessory structures are located approximately 47' and 142' from Valley Green, the nearest public right of way. Due to the additional architectural details to the existing building and the large setback from Valley Green Drive, abrupt changes in building scale will be avoided.

- b) In order to preserve design harmony between new and existing buildings and in order to preserve and enhance property values, the materials, textures and colors of new building should harmonize with adjacent development by being consistent or compatible with design and color schemes with the future character of the neighborhoods and purposes of the zone in which they are situated. The location, height and materials of walls, fencing, hedges and screen planting should harmonize with adjacent development. Unsightly storage areas, utility installations and unsightly elements of parking lots should be concealed. The planting of ground cover or various types of pavements should be used to prevent dust and erosion, and the unnecessary destruction of existing healthy trees should be avoided. Lighting for development should be adequate to meet safety requirements as specified by the engineering and building departments and provide shielding to prevent spill-over light to adjoining property owners.

The exterior and landscape modification are harmonious with the existing development. The color scheme and design will remain the same and is consistent with the properties throughout the development. New structures are made of red cedar that is consistent with the neutral color palette throughout the development. Additional landscaping further harmonizes the development through its integration of the improvements and planting areas. The proposed tree removals (two trees) are due to their conflict with proposed ADA upgrades and their inability to be maintained based on good urban forestry practices. The project proposes replacements consistent with the Cupertino Municipal Code. Additionally, the project will be conditioned to implement bird-safe and dark sky compliant lighting to accommodate the City's new Bird-Safe and Dark Sky Regulations.

- c) The number, location, color, size, height, lighting and landscaping of outdoor advertising signs and structures have been designed to minimize traffic hazard, positively affect the general appearance of the neighborhood and harmonize with adjacent development.

No signs are proposed as part of this project.

- d) With respect to new projects within existing residential neighborhoods, new development should be designed to protect residents from noise, traffic, light and visually intrusive effects by use of buffering, setbacks, landscaping, walls and other appropriate design measures.

This application is not a new development project.

With respect to the Tree Removal Permit, the following findings may be made:

- 2. That the location of the trees restricts the economic enjoyment of the property by severely limiting the use of property in a manner not typically experienced by owners of similarly zoned and situated property, and the applicant has demonstrated to the satisfaction of the approval authority that there are no reasonable alternatives to preserve the tree(s).

The proposed tree removals are to accommodate the proposed project with ADA access to the building. The City's consulting arborist has reviewed and determined that there are no reasonable alternatives to maintaining the trees because the trees are in direct conflict with

the ramp and grading to accommodate the proposed ramp. The City's consulting arborist has reviewed the arborist report and takes no exception to the proposal for removal.

3. That the protected trees are a detriment to the subject property and cannot be adequately supported according to good urban forestry practices due to the overplanting or overcrowding of trees on the subject property.

The proposed trees are a detriment to the subject property in that they are in conflict with proposed ADA upgrades. The City's consulting arborist has reviewed the arborist report, drawings, and supplemental materials to determine that the proposed removals cannot be adequately supported according to good urban forestry practices.

Next Steps

The permit will become effective 14 calendar days from the date of the hearing. The decision of the Administrative Hearing Officer is final, unless appealed within 14 calendar days from the date of the hearing. The applicant team may apply for building and/or other permits with the City at the end of the appeal period (June 24, 2021 at 5:00pm).

This approval is valid until June 10, 2023. The applicant team may apply for a one-time extension before the approval expires.

Prepared by:

Erick Serrano, Senior Planner

Reviewed and Approved for submission by:

Piu Ghosh, Planning Manager

ATTACHMENTS

1. Draft Resolution for ASA-2020-005
2. Draft Resolution for TR-2021-005
3. Plan Set
4. Arborist Report

CITY OF CUPERTINO
10300 Torre Avenue
Cupertino, California 95014

RESOLUTION NO. ____

OF THE ADMINISTRATIVE HEARING OFFICER OF THE CITY OF
CUPERTINO APPROVING AN ARCHITECTURAL AND SITE PERMIT
TO ALLOW EXTERIOR AND LANDSCAPE MODIFICATION TO AN
EXISTING AMENITY SPACE AT AN EXISTING APARTMENT
DEVELOPMENT 20800 VALLEY GREEN DRIVE

SECTION I: PROJECT DESCRIPTION

Application No.: ASA-2020-005
Applicant: Mike Egusa
Location: 20800 Valley Green Drive (APN 326-09-054)

SECTION II: FINDINGS

WHEREAS, the City of Cupertino received an application for an Architectural and Site Approval to consider allowing modifications to the existing pool deck and landscaping for an existing multi-family residential complex, as described in Section I. of this Resolution; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Administrative Hearing Officer has held at least one public meeting with regard to the application; and

WHEREAS, pursuant to the provisions of the California Environmental Quality Act of 1970 (Public Resources Code section 21000 et seq.) ("CEQA"), together with the State CEQA Guidelines (California Code of Regulations, Title 14, Section 15000 et seq.) (hereinafter, "CEQA Guidelines"), the City staff has independently studied the proposed Project and has determined that the Project is exempt from environmental review pursuant to the categorical exemption in CEQA Guidelines section 15301 for the reasons set forth in the staff report dated June 10, 2021 and incorporated herein; and

WHEREAS, the applicant has met the burden of proof required to support said application; and

WHEREAS, the Administrative Hearing Officer finds as follows with regard to this application:

1. The proposal, at the proposed location, will not be detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety, general welfare, or convenience;

The proposal includes interior, exterior, and landscape modifications to an existing amenity space located at the Villages at Cupertino. The exterior enhancements will incorporate new outdoor gathering spaces, updated landscaping, and provide ADA accessibility to the primary building on the parcel. The proposal includes minor improvements to the existing use. No changes to the location of the use are being proposed. Therefore, the exterior and landscape modifications will not be detrimental or injurious to property or improvements in the vicinity, and will not be detrimental to the public health, safety, general welfare, or convenience.

2. The proposal is consistent with the purposes of Chapter 19.168, the General Plan any specific plan, zoning ordinances, applicable planned development permit, conditional use permits, variances, subdivision maps or other entitlements to use which regulate the subject property including, but not limited to, adherence to the following specific criteria:

- a) Abrupt changes in building scale should be avoided. A gradual transition related to height and bulk should be achieved between new and existing buildings.

The project proposes to add additional architectural details to the existing building, and new unenclosed accessory structures (kitchen and lounge pavilions). The existing building will include new dormers that will help to reduce the massing of the structure, and no increase in height or size of the existing structure is proposed. The new unenclosed accessory structures are located approximately 47' and 142' from Valley Green, the nearest public right of way. Due to the additional architectural details to the existing building, the large setback from Valley Green Drive, and a nominal height of approximately 12 foot of the proposed accessory structures, abrupt changes in building scale will be avoided.

- b) In order to preserve design harmony between new and existing buildings and in order to preserve and enhance property values, the materials, textures and colors of new building should harmonize with adjacent development by being consistent or compatible with design and color schemes with the future character of the neighborhoods and purposes of the zone in which they are situated. The location, height and materials of walls, fencing, hedges and screen planting should harmonize with adjacent development. Unsightly storage areas, utility installations and unsightly elements of parking lots should be concealed. The planting of ground cover or various types of pavements should be used to prevent dust and erosion, and the unnecessary destruction of existing healthy trees should be avoided. Lighting for development should be adequate to meet safety

requirements as specified by the engineering and building departments and provide shielding to prevent spill-over light to adjoining property owners.

The exterior and landscape modification are harmonious with the existing development. The color scheme and design will remain the same and is consistent with the properties throughout the development. New structures are made of red cedar that is consistent with the neutral color palette throughout the development. Additional landscaping further harmonizes the development through its integration of the improvements and planting areas. The proposed tree removals (one removal and one transplantation) are due to their conflict with proposed ADA upgrades and their inability to be maintained based on good urban forestry practices. The project proposes replacements consistent with the Cupertino Municipal Code. Additionally, the project will be conditioned to implement bird-safe and dark sky compliant lighting to accommodate the City's new Bird-Safe and Dark Sky Regulations.

- c) The number, location, color, size, height, lighting and landscaping of outdoor advertising signs and structures have been designed to minimize traffic hazard, positively affect the general appearance of the neighborhood and harmonize with adjacent development.

No signs are proposed as part of this project.

- d) With respect to new projects within existing residential neighborhoods, new development should be designed to protect residents from noise, traffic, light and visually intrusive effects by use of buffering, setbacks, landscaping, walls and other appropriate design measures.

This application is not a new development project.

NOW, THEREFORE, BE IT RESOLVED:

That after careful consideration of the maps, facts, exhibits, testimony, staff's report and presentation, and other evidence submitted in this matter, subject to the conditions which are enumerated in this Resolution beginning on PAGE 4 thereof,

The application for an Architectural and Site Approval, Application no. ASA-2020-005 is hereby approved and that the subconclusions upon which the findings and conditions specified in this resolution are based and contained in the Public Meeting record concerning Application no. ASA-2020-005 as set forth in the Minutes of the Administrative Hearing Meeting of June 10, 2021 and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPARTMENT

1. APPROVED EXHIBITS

Approval is based on the plan set drawn by Eroc Knuston of Knutson Architectue, titled "The Villages at Cupertino 20875 Valley Green Drive Cupertino, California" consisting of 23 sheets labeled as A0.01 – A5.02, S1 – S5, and L1.0 – L6.2, except as may be amended by conditions in this resolution.

2. ACCURACY OF PROJECT PLANS

The applicant/property owner is responsible to verify all pertinent property data including but not limited to property boundary locations, building setbacks, property size, building square footage, any relevant easements and/or construction records. Any misrepresentation of any property data may invalidate this approval and may require additional review.

3. ANNOTATION OF THE CONDITIONS OF APPROVAL

The conditions of approval set forth shall be incorporated into and annotated on the first page of the building plans.

4. BUILDING AND FIRE CODE

The applicant shall apply for and obtain building permits to allow the construction of the approved project. The applicant shall provide information and plans to allow the Building Official and the Fire Marshall, or their designee, to determine that the proposed plans comply with Building and Fire Codes in effect at the time of application for a building permit.

5. CONSULTATION WITH OTHER DEPARTMENTS

The applicant is responsible to consult with other departments and/or agencies with regard to the proposed project for additional conditions and requirements. Any misrepresentation of any submitted data may invalidate an approval by the Community Development Department.

6. CONCURRENT APPROVAL CONDITIONS

The conditions of approval contained in file no. TR-2021-005 shall be applicable to this approval.

7. DEMOLITION REQUIREMENTS

All demolished building and site materials shall be recycled to the maximum extent feasible subject to the Building Official. The applicant shall provide evidence that materials were recycled prior to occupancy.

8. DUST CONTROL

The following construction practices shall be implemented during all phases of construction for the proposed project to prevent visible dust emissions from leaving the site:

- a. Water all exposed surfaces areas (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) at least twice daily and more often during windy periods to prevent visible dust from leaving the site; active areas adjacent to windy periods; active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

The applicant shall incorporate the City's construction best management practices into the building permit plan set prior to any grading, excavation, foundation or building permit issuance.

9. EXTERIOR BUILDING MATERIALS/TREATMENTS

The final building exterior plan shall closely resemble the details shown on the original approved plans. Final building exterior treatment plan (including but not

limited to details on exterior color, materials, architectural treatments, doors, windows, lighting fixtures, and/or embellishments) shall be reviewed and approved by the Director of Community Development prior to issuance of building permits to ensure quality and consistency. Any exterior changes determined to be substantial by the Director of Community Development shall either require a modification to this permit or a new permit based on the extent of the change.

10. DARK SKY AND BIRD SAFE COMPLIANCE

Prior to issuance of Building Permits, the applicant/property owner shall submit final plans to comply with development standards of Cupertino Municipal Code Section 19.102.030 Bird-Safe Development Requirement and Section 19.102.040 Outdoor Lighting Requirements. In the event changes are proposed from the approved plans, said changes must be reviewed and approved by the Director of Community Development or their designee. The applicant shall provide all documentation required to determine compliance with the Municipal Code.

11. GRADING AND CONSTRUCTION HOURS AND NOISE LIMITS

- a. All grading activities shall be limited to the dry season (April 15 to October 1), unless permitted otherwise by the Director of Public works.
- b. Construction hours and noise limits shall be compliant with all requirements of Chapter 10.48 of the Cupertino Municipal Code.
- c. Grading, street construction, underground utility and demolition hours for work done more than 750 feet away from residential areas shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Grading, street construction, demolition or underground utility work within 750 feet of residential areas shall not occur on Saturdays, Sundays, holidays, and during the nighttime period as defined in Section 10.48.053(b) of the Municipal Code.
- d. Construction activities shall be limited to Monday through Friday, 7 a.m. to 8 p.m. and Saturday and Sunday, 9 a.m. to 6 p.m. Construction activities are not allowed on holidays as defined in Chapter 10.48 of the Municipal Code. Night time construction is allowed if compliant with nighttime standards of Section 10.48 of the Cupertino Municipal Code.
- e. Rules and regulations pertaining to all construction activities and limitations identified in this permit, along with the name and telephone number of an applicant appointed disturbance coordinator, shall be posted in a prominent location at the entrance to the job site.
- f. The applicant shall be responsible for educating all contractors and subcontractors of said construction restrictions.

The applicant shall comply with the above grading and construction hours and noise limit requirements unless otherwise indicated.

12. LANDSCAPE PROJECT SUBMITTAL

Prior to issuance of building permits, the applicant shall submit a full Landscape Documentation Package, per sections 14.15.050 A, B, C, and D of the Landscape Ordinance, **for projects with landscape area 500 square feet or more** or elect to submit a Prescriptive Compliance Application per sections 14.15.040 A, B, and C **for projects with landscape area between 500 square feet and 2,500 square feet**. The Landscape Documentation Package or Prescriptive Compliance Application shall be reviewed and approved to the satisfaction of the Director of Community Development prior to issuance of building permits, and additional requirements per sections 14.15.040 D, E, F, and G or 14.15.050 E, F, G, H, and I will be required to be reviewed and approved prior to final inspections.

13. NESTING BIRDS

Nests of raptors and other birds shall be protected when in active use, as required by the federal Migratory Bird Treaty Act and the California Department of Fish and Game Code.

- a. Construction and tree removal/pruning activities shall be scheduled to avoid the nesting season to the extent feasible. If feasible, tree removal and/or pruning shall be completed before the start of the nesting season to help preclude nesting. The nesting season for most birds and raptors in the San Francisco Bay area extends from February 1 through August 31. Preconstruction surveys (described below) are not required for tree removal or construction activities outside the nesting period.
- b. If construction activities and any required tree removal occur during the nesting season (February 1 and August 31), a qualified ornithologist shall be required to conduct surveys prior to tree removal or construction activities. Preconstruction surveys shall be conducted no more than 14 days prior to the start of tree removal, pruning or construction. Preconstruction surveys shall be repeated at 14-day intervals until construction has been initiated in the area after which surveys can be stopped. During this survey, the ornithologist shall inspect all trees and other possible nesting habitats in and immediately adjacent to the construction areas for nests.
- c. If the survey does not identify any nesting birds that would be affected by construction activities, no further mitigation is required. If an active nest containing viable eggs or young birds is found sufficiently close to work areas to be disturbed by these activities, their locations shall be documented and

protective measures implemented under the direction of the qualified ornithologist until the nests no longer contain eggs or young birds.

- d. Protective measures shall include establishment of clearly delineated exclusion zones (i.e. demarcated by identifiable fencing, such as orange construction fencing or equivalent) around each nest location as determined by the qualified ornithologist, taking into account the species of birds nesting, their tolerance for disturbance and proximity to existing development. In general, exclusion zones shall be a minimum of 300 feet for raptors and 75 feet for passerines and other birds. The active nest within an exclusion zone shall be monitored on a weekly basis throughout the nesting season to identify signs of disturbance and confirm nesting status. The radius of an exclusion zone may be increased by the qualified biologist, if project activities are determined to be adversely affecting the nesting birds. Exclusion zones may be reduced by the qualified biologist only in consultation with California Department of Fish and Wildlife. The protection measures and buffers shall remain in effect until the young have left the nest and are foraging independently or the nest is no longer active.
- e. A final report on nesting birds and raptors, including survey methodology, survey date(s), map of identified active nests (if any), and protection measures (if required), shall be submitted to the Planning Manager, through the building permit review process, and be completed to the satisfaction of the Community Development Director prior to the start of grading.

14. SIGNAGE

Signage is not approved with this application. Signage shall conform to the City Sign Code.

15. TREE AND LANDSCAPE MAINTENANCE

The property owner shall be responsible for ensuring that the existing trees and newly planted trees are properly maintained including but not limited to ensuring that there is adequate soil drainage, that the soil is well-aerated, and irrigation systems are thoroughly tested to provide sufficient water to landscaped areas while reducing water waste.

16. TREE PROTECTION

As part of the demolition or building permit drawings, a tree protection plan shall be prepared by a certified arborist for the trees to be retained. In addition, the following measures shall be added to the protection plan:

- For trees to be retained, chain link fencing and other root protection shall be installed around the dripline of the tree prior to any project site work.

- No parking or vehicle traffic shall be allowed under root zones, unless using buffers approved by the Project Arborist.
- No trenching within the critical root zone area is allowed. If trenching is needed in the vicinity of trees to be retained, the City's consulting arborist shall be consulted before any trenching or root cutting beneath the dripline of the tree.
- Wood chip mulch shall be evenly spread inside the tree projection fence to a four-inch depth.
- Tree protection conditions shall be posted on the tree protection barriers.
- Retained trees shall be watered to maintain them in good health.
- A covenant on the property shall be recorded that identifies all the protected trees, prior to final occupancy.

The tree protection measures shall be inspected and approved by the certified arborist prior to issuance of building permits. The City's consulting arborist shall inspect the trees to be retained and shall provide reviews prior to issuance of demolition, grading or building permits. A report ascertaining the good health of the trees mentioned above shall be provided prior to issuance of final occupancy.

17. INDEMNIFICATION

As part of the application, to the fullest extent permitted by law, the applicant shall agree to indemnify, defend with the attorneys of the City's choice, and hold harmless the City, its City Council, and its officers, employees, and agents (collectively, the "indemnified parties") from and against any liability, claim, action, cause of action, suit, damages, judgment, lien, levy, or proceeding (collectively referred to as "proceeding") brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant related to any Ordinance, Resolution, or action approving the project, the related entitlements, environmental review documents, finding or determinations, or any other permit or approval authorized for the project. The indemnification shall include but not be limited to damages, fees, and costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities, and expenses incurred in connection with such proceeding whether incurred by the Applicant, the City, or the parties initiating or bringing such proceeding.

The applicant shall agree to (without limitation) reimburse the City its actual attorneys' fees and costs incurred in defense of the litigation. Such attorneys' fees and costs shall include amounts paid to the City's outside counsel and shall include City Attorney time and overhead costs and other City staff overhead costs

and any costs directly related to the litigation reasonably incurred by City. The applicant shall likewise agree to indemnify, defend, and hold harmless the indemnified parties from and against any damages, attorneys' fees, or costs awards, including attorneys' fees awarded under Code of Civil Procedure section 1021.5, assessed or awarded against the indemnified parties. The Applicant shall cooperate with the City to enter a Reimbursement Agreement to govern any such reimbursement.

The Applicant shall agree to (without limitation) reimburse the City for all costs incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (such as an Environmental Impact Report, negative declaration, specific plan, or general plan amendment) if made necessary by proceedings challenging the project approvals and related environmental review, if the applicant desires to continue to pursue the project.

The Applicant shall agree that the City shall have no liability to the Applicant for business interruption, punitive, speculative, or consequential damages.

18. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions.

SECTION IV: CONDITIONS ADMINISTERED BY THE BUILDING DIVISION

19. BUILDING CODE COMPLIANCE

Pool and pool decks must comply with the 2019 California Building Code Chapter 11B.

20. CLUB HOUSE ADDRESS

A separate address is to be provided for the Club house.

SECTION V: CONDITIONS ADMINISTERED BY THE SANTA CLARA COUNTY FIRE DEPARTMENT

21. OPEN-FLAME COOKING DEVICES

(As noted on Sheets A1.03 and within provided device spec docs) Open-flame cooking devices shall not be operated on combustible balconies or within 10 feet of combustible construction. Exceptions: 1) One- and two-family dwellings. 2) Where buildings, balconies and decks are protected by an automatic sprinkler system. 3) LP-gas cooking devices having LP-gas container with a water capacity not greater

than 2 1/2 pounds. *Use is commercial. Installation instructions for listed appliance provided. Distances required between the device and any combustible construction or vegetation are exhibited in the plans.*

22. PORTABLE OUTDOOR FIREPLACES

(As noted on Sheets A1.03 and within provided device spec docs) Portable outdoor fireplaces shall be used in accordance with the manufacturer's instructions and shall not be operated within 15 feet of a structure or combustible material. Exception: Portable outdoor fireplaces used at one- and two-family dwellings. *Use is commercial. Installation instructions for listed appliance provided. Distances required between the device and any combustible construction or vegetation are exhibited in the plans.*

23. FIRE APPARATUS ACCESS ROADS REQUIRED FOR BUILDING AND FACILITIES

(As noted on Sheet A0.01) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or with the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. [CFC, Section 503.1.1].

24. REQUIRED BUILDING ACCESS

(As noted on Sheet A0.01) Exterior doors and openings required by this code or the International Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official. CFC Sec. 504.

25. KNOX KEY BOXES//LOCKS WHERE REQUIRED FOR ACCESS

(As noted on Sheet A5.02) Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for lifesaving or firefighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The Knox Key Box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official. Locks. An approved Knox Lock shall be installed on gates or similar barriers when required by the fire code official. Key box maintenance. The operator of the building shall immediately notify the fire code official and provide the new key when a lock is changed or re-keyed. The key to such lock shall be

secured in the key box. [CFC Sec. 506]. *All new gates shall be equipped with 'keyed' lock. Knoxbox shall be provided at minimum at new main entry gate (further evaluation by field review) and shall contain keys for all new gates.*

26. ACCESS MAINTAINED

(As noted on Sheet A0.01) Fire department access to the site, the building, and to all fire protection systems shall be maintained at all times, in accordance with CFC Chapter 5.

27. CONSTRUCTION SITE FIRE SAFETY

(As noted on Sheet A0.01) Fire department access to the site, the building, and to all fire protection systems shall be maintained at all times, in accordance with CFC Chapter 5.

SECTION VI: CONDITIONS ADMINISTERED BY THE ENVIRONMENTAL SERVICES DEPARTMENT

28. BUILDING PERMIT SUBMITTAL

The project will be reviewed at the time of building permit submittal and there will be additional requirements related to stormwater pollutant management and solid waste diversion and management.

29. COPPER

Copper metal roofing, copper granule containing asphalt shingles, copper gutters and downspouts, and/or other exterior ornamental copper are not permitted for use on any commercial or industrial building.

30. ENVIRONMENTAL PROGRAMS DIVISIONS CONDITIONS OF APPROVAL FOR TENANT IMPROVEMENTS AND DEVELOPMENT

The applicant and property owner must sign and submit to the Environmental Programs Division, the attached "Environmental Programs Division Conditions of Approval for Tenant Improvements and Development" form. The form may be downloaded at www.cupertino.org/greendev

PASSED AND ADOPTED this 10th day of June 2021 at a noticed Public Meeting of the Administrative Hearing Officer of the City of Cupertino, State of California, held by the Director of Community Development, or his or her designee, pursuant to Cupertino Municipal Code Section 19.12.120.

ATTEST:

APPROVED:

Erick Serrano
Senior Planner

Albert Salvador
Assistant Director of Community Development

CITY OF CUPERTINO
10300 Torre Avenue
Cupertino, California 95014

RESOLUTION NO. ____

OF THE ADMINISTRATIVE HEARING OFFICER OF THE CITY OF
CUPERTINO APPROVING A TREE REMOVAL PERMIT TO ALLOW
THE REMOVAL AND REPLACEMENT OF TWO
PROTECTED TREES LOCATED AT 20800 VALLEY GREEN DRIVE

SECTION I: PROJECT DESCRIPTION

Application No.: TR-2021-005
Applicant: Mike Egusa
Location: 20800 Valley Green Drive (APN 326-09-054)

SECTION II: FINDINGS TREE REMOVAL PERMIT:

WHEREAS, the City of Cupertino received an application for a Tree Removal permit as described in Section I of this Resolution; and

WHEREAS, the necessary public notices have been given as required by the Procedural Ordinance of the City of Cupertino, and the Administrative Hearing Officer has held at least one public meeting in regard to the application; and

WHEREAS, pursuant to the provisions of the California Environmental Quality Act of 1970 (Public Resources Code section 21000 et seq.) ("CEQA"), together with the State CEQA Guidelines (California Code of Regulations, Title 14, Section 15000 et seq.) (hereinafter, "CEQA Guidelines"), the City staff has independently studied the proposed Project and has determined that the Project is exempt from environmental review pursuant to the categorical exemption in CEQA Guidelines section 15304 for the reasons set forth in the staff report dated June 10, 2021 and incorporated herein; and

WHEREAS, the applicant has met the burden of proof required to support said application; and

WHEREAS, the Administrative Hearing Officer finds as follows with regard to this application:

1. That the location of the trees restricts the economic enjoyment of the property by severely limiting the use of property in a manner not typically experienced by owners of similarly zoned and situated property, and the applicant has

demonstrated to the satisfaction of the approval authority that there are no reasonable alternatives to preserve the tree(s).

The proposed tree removals (one removal and one transplantation) are to accommodate the proposed project with ADA access to the building. The City's consulting arborist has reviewed and determined that there are no reasonable alternatives to maintaining the trees in their current location because the trees are in direct conflict with the ramp and grading to accommodate the proposed ramp. The City's consulting arborist has reviewed the arborist report and takes no exception to the proposal for removal.

2. That the protected trees are a detriment to the subject property and cannot be adequately supported according to good urban forestry practices due to the overplanting or overcrowding of trees on the subject property.

The proposed trees are a detriment to the subject property in that they are in conflict with proposed ADA upgrades. The City's consulting arborist has reviewed the arborist report, drawings, and supplemental materials to determine that the proposed removals cannot be adequately supported according to good urban forestry practices.

NOW, THEREFORE, BE IT RESOLVED:

That after careful consideration of the maps, facts, exhibits, testimony, staff's report and presentation, and other evidence submitted in this matter, subject to the conditions which are enumerated in this Resolution beginning on PAGE 2 thereof:

The application for a Tree Removal permit, Application no. TR-2021-005 is hereby approved and that the subconclusions upon which the findings and conditions specified in this resolution are based and contained in the Public Meeting record concerning Application no. TR-2021-005 as set forth in the Minutes of the Administrative Hearing Meeting of June 10, 2021 and are incorporated by reference as though fully set forth herein.

SECTION III: CONDITIONS ADMINISTERED BY THE COMMUNITY DEVELOPMENT DEPT.

1. APPROVED EXHIBITS

This approval for tree removals is based on the certified arborist report prepared by Samuel Oakley (ISA Certified Master Arborist, WE-9474B TRAQ) with Arborwell, dated March 10, 2021 consisting of three (3) pages that includes the tree removal and replacement plan, except as may be amended by conditions in this resolution.

2. ACCURACY OF PROJECT PLANS

The applicant/property owner is responsible to verify all pertinent property data including but not limited to property boundary locations, building setbacks, property

size, building square footage, any relevant easements and/or construction records. Any misrepresentation of any property data may invalidate this approval and may require additional review.

3. CONCURRENT APPROVAL CONDITIONS

The conditions of approval contained in file no. ASA-2020-005 shall be applicable to this approval.

4. TREE AND LANDSCAPE MAINTENANCE

The property owner shall be responsible for ensuring that the existing trees and newly planted trees are properly maintained including but not limited to ensuring that there is adequate soil drainage, that the soil is well-aerated, and irrigation systems are thoroughly tested to provide sufficient water to landscaped areas while reducing water waste.

5. TREE REPLACEMENTS

- a. The required replacements for removal of the Chinese Elm are two (2) 24-inch box Chinese Pistache trees to be planted on the subject property within 30 days of tree removal.
- b. The applicant shall provide arborist reports **prior to final occupancy** and 6 months **after final occupancy** to indicate whether the Japanese Maple tree has survived the transplantation, prepared by the project arborist. At the City's discretion, the arborist review may be peer reviewed. If the tree does not survive the transplant, one (1) 24-inch box tree shall be planted on the subject property within 30 days of removal of tree from its new location, subject to review and approval by Planning staff, in consultation with the arborist, prior to planting.
- c. Additionally, the applicant shall provide the Department of Community Development adequate documentation, including but not limited to photographs, receipts or invoices, to verify that the replacement trees have been planted.

6. TREE PROTECTION

As part of the demolition or building permit drawings, a tree protection plan shall be prepared by a certified arborist for the trees to be retained. In addition, the following measures shall be added to the protection plan:

- For trees to be retained, chain link fencing and other root protection shall be installed around the dripline of the tree prior to any project site work.
- Signs indicating the protected status of the tree shall be installed on the protective fencing.
- Tree protection conditions shall be posted on the tree protection fencing.

- No parking or vehicle traffic shall be allowed under root zones, unless using buffers approved by the Project Arborist.
- No trenching within the critical root zone area is allowed. If trenching is needed in the vicinity of trees to be retained, the City's consulting arborist shall be consulted before any trenching or root cutting beneath the dripline of the tree.
- Wood chip mulch shall be evenly spread inside the tree projection fence to a four-inch depth.
- Retained trees shall continue to be irrigated or hand-watered to maintain them in good health.

The tree protection measures shall be inspected and approved by the certified arborist prior to issuance of building permits. The City's consulting arborist shall inspect the trees to be retained and shall provide reviews prior to issuance of demolition, grading or building permits. Additionally, a report ascertaining the good health of the trees mentioned above shall be provided prior to issuance of final occupancy. Any trees identified to be in poor health or incongruent with the site-wide tree replacement plan in the report shall be required to be removed and replaced.

7. INDEMNIFICATION

As part of the application, to the fullest extent permitted by law, the applicant shall agree to indemnify, defend with the attorneys of the City's choice, and hold harmless the City, its City Council, and its officers, employees, and agents (collectively, the "indemnified parties") from and against any liability, claim, action, cause of action, suit, damages, judgment, lien, levy, or proceeding (collectively referred to as "proceeding") brought by a third party against one or more of the indemnified parties or one or more of the indemnified parties and the applicant related to any Ordinance, Resolution, or action approving the project, the related entitlements, environmental review documents, finding or determinations, or any other permit or approval authorized for the project. The indemnification shall include but not be limited to damages, fees, and costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities, and expenses incurred in connection with such proceeding whether incurred by the Applicant, the City, or the parties initiating or bringing such proceeding.

The applicant shall agree to (without limitation) reimburse the City its actual attorneys' fees and costs incurred in defense of the litigation. Such attorneys' fees and costs shall include amounts paid to the City's outside counsel and shall include City Attorney time and overhead costs and other City staff overhead costs and any costs directly related to the litigation reasonably incurred by City. The applicant shall likewise agree to indemnify, defend, and hold harmless the indemnified parties from

and against any damages, attorneys' fees, or costs awards, including attorneys' fees awarded under Code of Civil Procedure section 1021.5, assessed or awarded against the indemnified parties. The Applicant shall cooperate with the City to enter a Reimbursement Agreement to govern any such reimbursement.

The Applicant shall agree to (without limitation) reimburse the City for all costs incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (such as an Environmental Impact Report, negative declaration, specific plan, or general plan amendment) if made necessary by proceedings challenging the project approvals and related environmental review, if the applicant desires to continue to pursue the project.

The Applicant shall agree that the City shall have no liability to the Applicant for business interruption, punitive, speculative, or consequential damages.

8. NOTICE OF FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS

The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions.

PASSED AND ADOPTED this 10th day of June 2021 at a noticed Public Meeting of the Administrative Hearing Officer of the City of Cupertino, State of California, held by the Director of Community Development, or his or her designee, pursuant to Cupertino Municipal Code Section 19.12.120.

ATTEST:

APPROVED:

Erick Serrano
Senior Planner

Albert Salvador
Assistant Director of Community Development

ABBREVIATIONS

A.B.	ANCHOR BOLT
A/C	AIR CONDITION
A.F.F.	ABOVE FINISHED FLOOR
APP	APPROVED
ARCH.	ARCHITECT
ARCH.	ARCHITECTURAL
BD.	BOARD
BLDG.	BUILDING
BLKS	BLOCKING
BM.	BEAM
B.O.	BY OWNER
BOT.	BOTTOM
B.O.W.	BASE OF WALL
B.U.	BUILT-UP
CL.	CENTERLINE
CLR.	CLEAR
CLG.	CEILING
COL.	COLUMN
CSK.	COUNTERSINK
COMP.	COMPOSITION
CONC.	CONCRETE
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
CRC	COLD-ROLLED CHANNEL
C.T.	CERAMIC TILE
DBL.	DOUBLE
DET.	DETAIL
DWR.	DRAWER
DIM.	DIMENSION
(E)	EXISTING
EA.	EACH
ELEV.	ELEVATION
EQ.	EQUAL
EXH.	EXHAUST
EXP.	EXPANSION
EXT.	EXTERIOR
F.A.	FLOOR AREA
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.G.	FIXED GLAZING
FIN.	FINISH
FL/FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.	FACE OF
FTG.	FOOTING
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GYPSON BOARD
G.I.	GALVANIZED IRON
GLB.	GLUE-LAMINATED BEAM
GFRG.	GLASS FIBER REINFORCED GYPSON
GSM.	GALVANIZED SHEET METAL
H.B.	HOSE BIB
H.C.	HOLLOW CORE
H.D.	HOLDDOWN
HDR.	HEADER
HT.	HEIGHT
INCL.	INCLUDE(D)
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOIST
JT.	JOINT
L.H.	LEFT HAND
L.H.R.	LEFT HAND REVERSE
LS.	LANDSCAPE
LI.	LIGHT
LL.	LANDLORD IMPROVEMENTS
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL
MEMB.	MEMBRANE
MTL.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MTD.	MOUNTED
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.A.	OVERALL
O.C.	ON CENTER
OP.	OPERABLE
OPG.	OPENING
OPP.	OPPOSITE
PL.	PLATE
P-LAM.	PLASTIC LAMINATE
PLY.	PLYWOOD
PROP.	PROPERTY
P.T.	PRESSURE-TREATED
R.	RISER
(R)	RE-LOCATE(D)
R.D.	ROOF DRAIN
REC.	RECESSED
REG.	REGISTER
REINF.	REINFORCED
REQD.	REQUIRED
REV.	REVERSE
R.H.	RIGHT HAND
R.H.R.	RIGHT HAND REVERSE
RWD.	REDWOOD
R.W.L.	RAINWATER LEADER
S.C.	SOLID CORE
S.D.	SMOKE DETECTOR
SHTG.	SHEATHING
SIM.	SIMILAR
SQ.	SQUARE
S.S.D.	SEE STRUCTURAL DRAWINGS
T.	TREAD
T&G.	TONGUE & GROOVE
TBD.	TO BE DETERMINED
TEMP.	TEMPERED
THK.	THICK
TI.	TENANT IMPROVEMENTS
T.O.C.	TOP OF CURB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
UHMW.	ULTRA HIGH MOLECULAR WEIGHT POLY-ETHELENE
W.	WITH
W.C.	WATER CLOSET
W.H.	WATERHEATER
W.P.	WATERPROOF
W.W.M.	WELDED WIRE MESH
WN.	WINDOW
WO.	WITHOUT
WD.	WOOD

FIRE DEPARTMENT NOTES

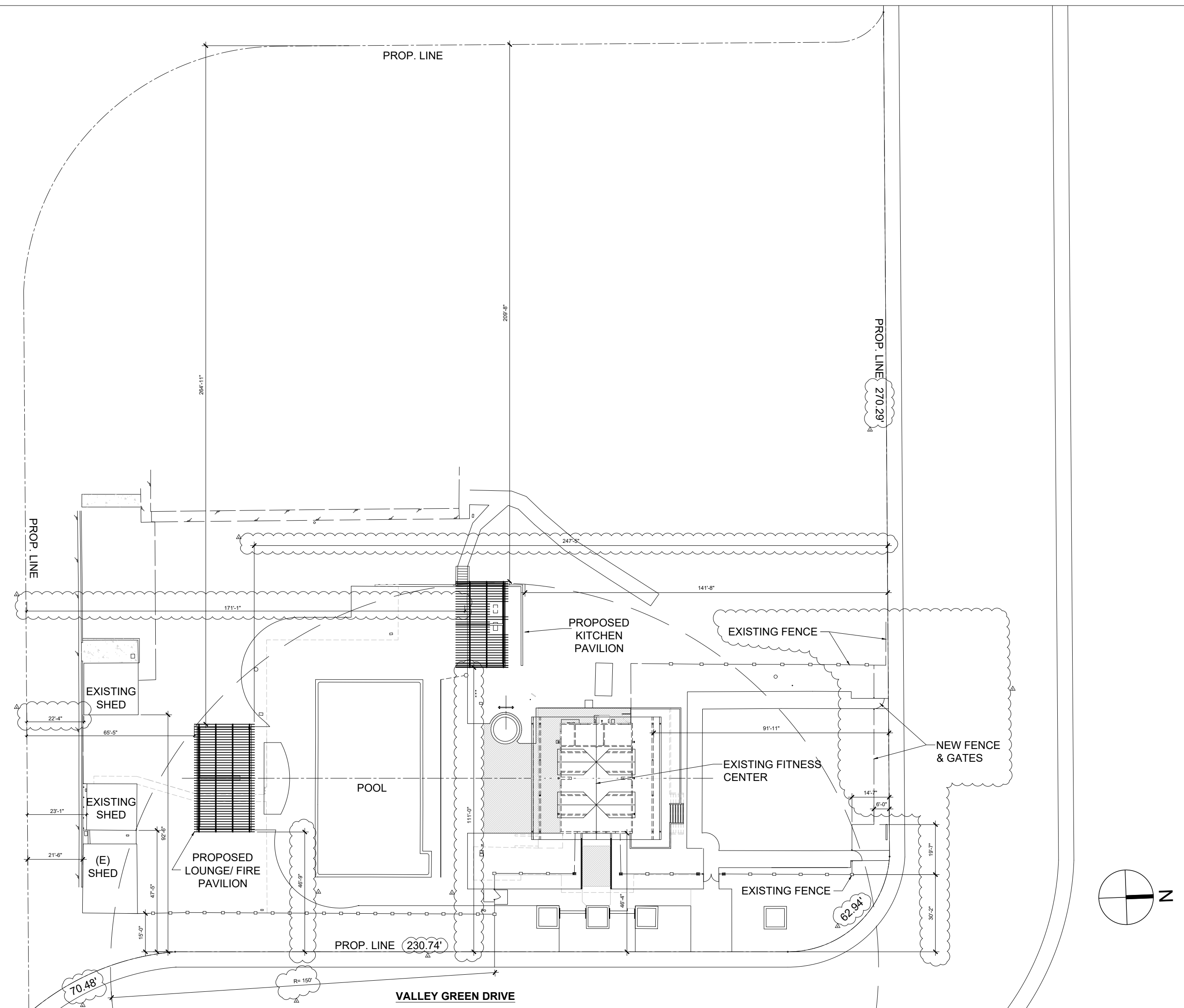
- EXIT SIGNS, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, FIRE DEPARTMENT LOCK BOX AND ADDRESS POSTING LOCATIONS TO BE FIELD VERIFIED BY FIRE INSPECTOR. FIRE DEPARTMENT ACCESS TO THE SITE, THE BUILDING, AND TO ALL FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AT ALL TIMES, IN ACCORDANCE WITH CFC CHAPTER 5.
- EXTERIOR DOORS AND OPENINGS REQUIRED BY THIS CODE OR THE INTERNATIONAL BUILDING CODE SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCY ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM FIRE APPARATUS ACCESS ROADS TO EXTERIOR OPENINGS SHALL BE PROVIDED WHEN REQUIRED BY THE FIRE CODE OFFICIAL. CFC SEC. 504
- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SANTA CLARA COUNTY FIRE STANDARD DETAIL AND SPECIFICATION SI-7. CFC CHP. 33.

GENERAL NOTES

- EXISTING CONSTRUCTION DATA HAS BEEN OBTAINED IN THE FIELD BY VISUAL MEANS ONLY. DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB SITE BY EACH CONTRACTOR. ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE WORK BEGINS OR SUPPLIES ARE ORDERED.
- SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS UNLESS INDICATED OTHERWISE.
- ALL DISCREPANCIES BETWEEN DRAWINGS SHALL BE CLARIFIED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN OR DETAILED ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
- REPAIR, REPLACEMENT AND/OR PATCHING IN EXISTING AREAS ARE TO MATCH SUBSTRATE AND ADJACENT FINISH.
- VERIFY ELECTRICAL, MECHANICAL AND FIRE ALARM REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
- WORK SHALL BE PERFORMED IN CONFORMANCE WITH STATE & FEDERAL CODES. LAWS AND REGULATIONS APPLICABLE TO THIS WORK INCLUDE SPECIFICALLY BUT ARE NOT LIMITED TO CBC 2019 AS WELL AS CAL GREEN 2019 MANDATORY MEASURES. VOLUNTARY CAL GREEN MEASURES ARE ENCOURAGED AND WORKSHEETS FOR CONFORMANCE ARE AVAILABLE FROM ARCHITECT.
- ALL DIMENSIONS ARE TO FACE OF FINISH, FACE OF CONCRETE, TO CENTERLINES OF COLUMNS AND OTHER GRID POINTS, & TO CENTERLINES OF DOORS AND OTHER SCHEDULED OPENINGS UNLESS OTHERWISE NOTED.
- OFFSET STUDS WHERE REQUIRED TO ALIGN WITH FINISH MATERIAL.
- WHERE UL, GA OR UBC CONSTRUCTION ASSEMBLIES ARE DESIGNATED, THE COMPONENTS AND INSTALL DETAILS MUST CONFORM IN EVERY PARTICULAR WITH THE DESIGN NUMBER SPECIFIED.
- CEILING HEIGHTS ARE MEASURED TO BOTTOM OF FINISH CEILING.
- IN CEILINGS, LOCATE PENETRATING ITEMS (FIXTURES, SPRINKLERS, ETC.) IN PATTERNS SHOWN ON REFLECTED CEILING PLANS. IF NOT SHOWN, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- G.C. TO PROVIDE & COORDINATE ACCESS DOOR LOCATIONS (FOR CONCEALED ITEMS) WITH APPROPRIATE CONTRACTOR AND REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF PROJECT, ARCHITECT/ENGINEER REVIEW AND COORDINATION, WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (EG WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.
- THIS BUILDING SHALL BE EQUIPPED WITH AN APPROVED MANUAL AND AUTOMATIC FIRE ALARM SYSTEM PER FIRE CODE AND CALIFORNIA ELECTRICAL CODE - SEE FIRE DWG. FOR INFO.
- RATED WALLS AND CEILINGS SHALL NOT BE PENETRATED WITH PLASTIC PIPE OR BOXES (EXCEPT UL FIRE BOXES MAY BE USED PER NEC 300-21, CBC 709.710).
- ANY ITEM OR WORK NOT NOTED AS "EXISTING" (E) SHALL BE NEW.
- ALL WORK TO BE DONE IN CONFORMANCE WITH ALL GOVERNING CODES WHETHER INDICATED ON THE DRAWINGS OR NOT.
- THE CONTRACTOR SHALL LEAVE THE JOB BROOM CLEAN AT THE END OF EACH DAY'S WORK.
- THE CONTRACTOR SHALL LEAVE THE JOB BROOM CLEAN, WINDOWS AND FIXTURES WASHED AND DEBRIS REMOVED FROM THE JOB SITE AT THE COMPLETION OF THE PROJECT.
- ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION AND RECOMMENDATIONS UNLESS OTHERWISE NOTED.
- PRIOR TO FINAL ACCEPTANCE, ALL SYSTEMS, EQUIPMENT, APPARATUS AND APPLIANCES SHALL OPERATE SAFELY AND SATISFACTORILY AS THE DESIGN INTENDED.
- CONTRACTOR TO PROVIDE OWNER WITH A HARD COVERED (3-RING, ETC.) BINDER OWNER'S MANUAL THAT SHALL INCLUDE MANUFACTURER'S INFORMATION, WARRANTIES, DIRECTIONS, ETC., ON ALL MECHANICAL ELEMENTS OF THE PROJECT.
- SHOP DRAWINGS SHALL BE PROVIDED FOR REVIEW AND FINAL APPROVAL BY THE OWNER AND ARCHITECT FOR DOORS, WINDOWS AND CABINETS.
- CUT SHEETS OR SAMPLES SHALL BE PROVIDED FOR REVIEW AND FINAL APPROVAL BY THE OWNER AND ARCHITECT FOR ALL EQUIPMENT, LIGHTING FIXTURES, PLUMBING FIXTURES, HARDWARE AND FINISH MATERIALS THROUGHOUT THE PROJECT.
- ALL INTERIOR FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.11.

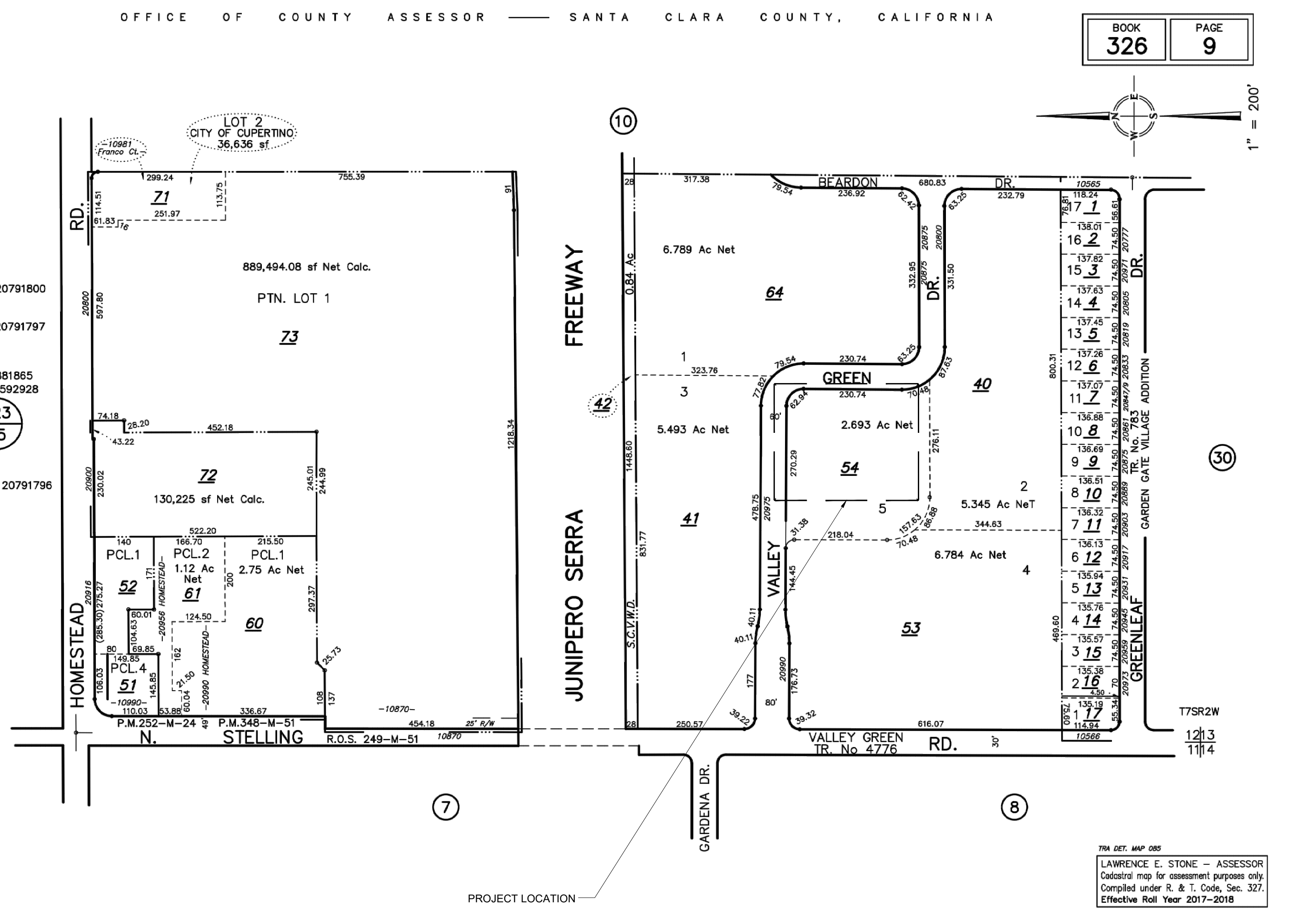
LOCATION/ ASSESSOR'S MAP

N.T.S.



SITE PLAN SHOWING SETBACKS

1/32" = 1'-0"



DRAWING INDEX

ARCHITECTURAL DRAWINGS

A0.01	PROJECT INFORMATION
AB1.00	AS-BUILT TOPOGRAPHIC SURVEY
AB1.01	AS-BUILT FLOOR PLAN
AB2.01	AS-BUILT EXTERIOR ELEVATIONS
A1.01	PROPOSED SITE PLAN
A1.02	FITNESS CENTER PROPOSED FLOOR PLAN
A1.03	PAVILIONS PROPOSED PLANS
A1.04	FITNESS CENTER PROP. REFLECTED CEILING PLAN
A1.05	SITE PLAN IMPERVIOUS SURFACE COVERAGE
A2.01	FITNESS CENTER PROPOSED EXTERIOR ELEVATIONS
A2.02	PAVILIONS PROPOSED EXTERIOR ELEVATIONS
A3.01	PROPOSED BUILDING SECTIONS
A4.01	PROPOSED WALL SECTIONS
A5.01	PROPOSED DETAILS
A5.02	PROPOSED DETAILS

STRUCTURAL DRAWINGS

S1	STRUCTURAL NOTES & ABBREVIATIONS
S2	TYPICAL DETAILS
S3	PLANS
S4	SECTIONS & DETAILS
S5	PLANS & DETAILS

LANDSCAPE DRAWINGS

L1.0	MATERIALS PLAN
L2.0	LAYOUT PLAN
L3.0	IRRIGATION PLAN
L4.0	PLANTING PLAN
L5.0	SITE DETAILS
L5.1	IRRIGATION CALCULATIONS & DETAILS
L5.2	IRRIGATION DETAILS
L5.3	PLANTING DETAILS
L5.4	KITCHEN DETAILS
L6.0	MATERIALS SPECIFICATIONS
L6.1	IRRIGATION SPECIFICATIONS
L6.2	LANDSCAPE PLANTING SPECIFICATIONS

PROJECT DIRECTORY

PROPERTY MANAGERS	WOODMONT REAL ESTATE SERVICES 1050 RALSTON AVE. BELMONT, CA 94002 PROJ. MANAGER: JAMES TREGEMBO T. 650.802.1649
ARCHITECT	KNUTSON ARCHITECTURE - ERIC KNUTSON 2231 H STREET SACRAMENTO, CA 95816 T. 925.324.0587
STRUCTURAL ENGINEER	BAY STRUCTURAL ENGINEERING 2601 BLANDINGS AVE., SUITE C218 ALAMEDA, CA 94501 T. 415.816.2390
LANDSCAPE ARCHITECT	QUADRIGA LANDSCAPE ARCHITECTURE & PLANNING, INC. SACRAMENTO & SANTA ROSA, CA T. 916.441.2129

PROJECT SUMMARY

OCCUPANCY GROUP:	A-3
CONSTRUCTION TYPE:	V-B (NON-RATED)
SPRINKLERED:	NO
APPLICABLE BUILDING CODES (ORIGINAL):	UBC 1991, UMC 1991, UPC 1991 & NEC 1991
APPLICABLE BUILDING CODES FOR NEW CONSTRUCTION:	CRC 2019 & CBC 2019 & ASCE 7-10 MIN. DESIGN LOADS
APPLICABLE PLUMBING CODE FOR NEW CONSTRUCTION:	CPC 2019
APPLICABLE ELECTRICAL CODE FOR NEW CONSTRUCTION:	CEC 2019
CA ENERGY STANDARDS FOR NEW CONSTRUCTION (TITLE 24):	2019
CA GREEN BUILDING STANDARDS FOR NEW CONSTRUCTION (CAL GREEN):	2019
CA FIRE CODE:	2019
ZONING:	R3
FLOOR AREAS:	
(E & N) FITNESS CENTER (N.C.):	910 SF
(OCCUPANT LOAD: 19)	
(E) SHEDS (TO REMAIN):	1360
TOTAL (E) PARCEL COVERAGE:	2270 SF
(N) FIRE/LOUNGE PAVILION:	805
(N) KITCHEN PAVILION:	661
TOTAL (N) PARCEL COVERAGE:	3736 SF

PROJECT SCOPE

NEW SITE WORK LANDSCAPING TO INCLUDE NEW APPROACH/ ACCESS FROM VALLEY GREEN DRIVE. REMODEL/ REPAIR OF EXISTING POOL, SPA AND POOL DECK. ADDITION OF NEW DINING AND LOUNGE PAVILIONS AT POOL AREA. REMODEL OF EXISTING FITNESS/ COMMUNITY CENTER INTO FITNESS CENTER. ENLARGE EXISTING NORTH WOOD DECK AND REPAIR/ REPLACE ACCESS STAIR.

DRAWING SYMBOLS

FIN. FL. +0'-0"	DATUM POINT, DIMENSION POINT
1 (DRAWING NO.) 1 (SHEET NO.)	SECTION TAG
1 (DRAWING NO.) 1 (SHEET NO.)	DETAIL TAG
1 (DRAWING NO.) 1 (SHEET NO.)	EXTERIOR ELEVATION TAG
A (DRAWING NO.) B/A.1.01/D (SHEET NO.)	INTERIOR ELEVATION TAG
1	DOOR NUMBER
1	FINISH DESIGNATION- SEE FINISH SCHEDULE, SHT. A0.02
A	APPLIANCE/ EQUIPMENT DESIGNATION- SEE EQUIPMENT SCHEDULE, SHEET A0.02

ERIC KNUTSON
architect
2231 H STREET
SACRAMENTO, CA 95816
925-324-0587
eric@knutsonarchitecture.com
www.knutsonarchitecture.com

THE VILLAGES AT CUPERTINO
20875 VALLEY GREEN DRIVE
CUPERTINO, CALIFORNIA
95014-1799 APN: 326-09-054



Revisions:	
07/20/18	
01/28/19	
03/29/19	PERMIT SET
1/21/20	PERMIT SET REV.
6/18/20	PERMIT ASA SET REV.
8/12/20	PERMIT BUILD. REV.
9/25/20	ASA/ PLANNING REV.
12/24/20	ASA/ PLANNING REV.
2/17/21	ASA/ PLANNING REV.

PROJECT INFO

DATE 7/9/18
SCALE N.T.S.
DRAWN: ek

A0.01

Revisions:	
	07/20/18
	01/28/19
	03/29/19 PERMIT SET
	1/21/20 PERMIT SET REV.
1	6/18/20 PERMIT/ ASA SET REV.
2	8/12/20 PERMIT/ BUILD. REV.
3	9/25/20 ASA/ PLANNING REV.
4	12/24/20 ASA/ PLANNING REV.
5	2/17/21 ASA/ PLANNING REV.
6	5/4/21 ASA/ PLANNING REV.

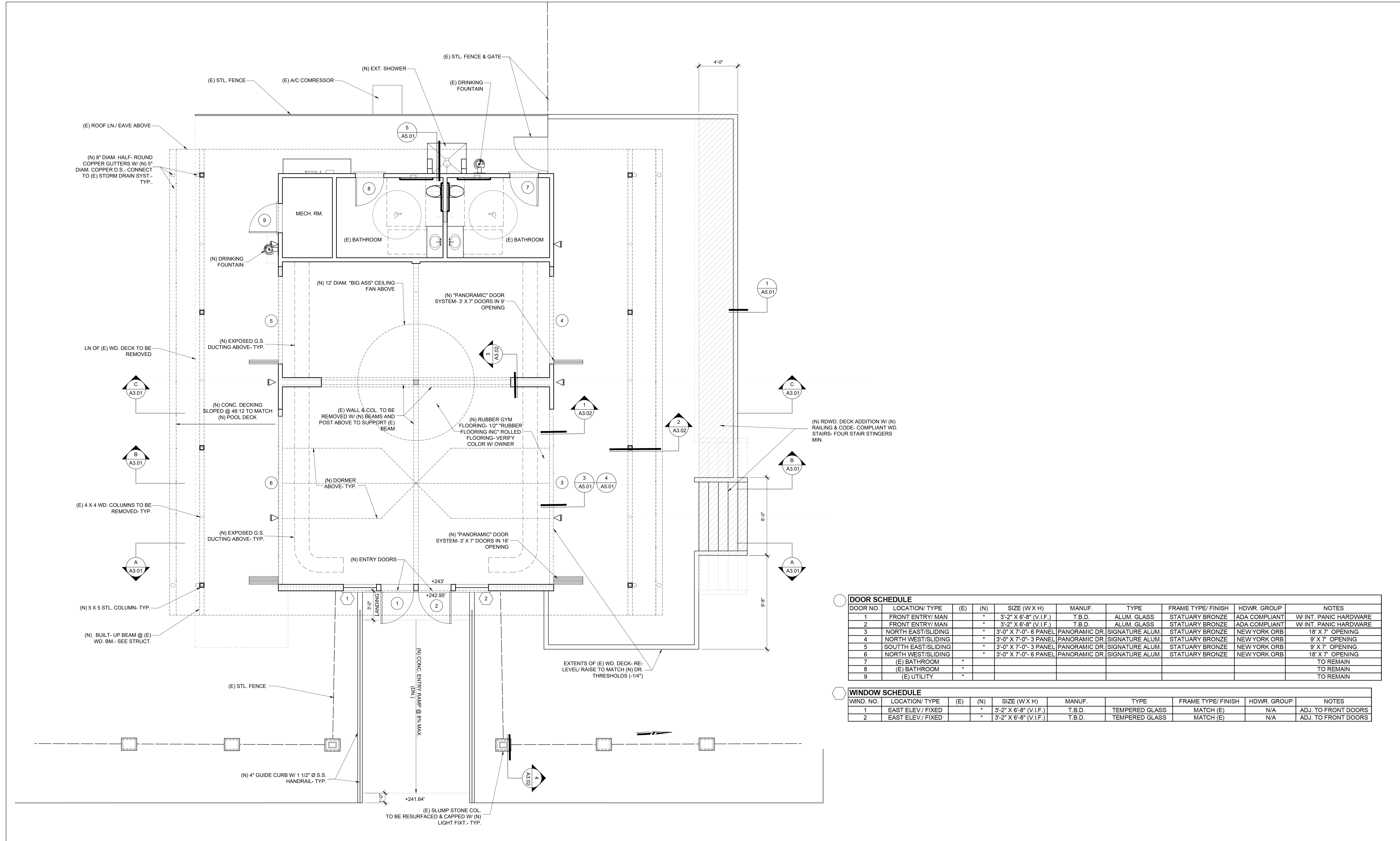
PROPOSED FITNESS CENTER SITE PLAN

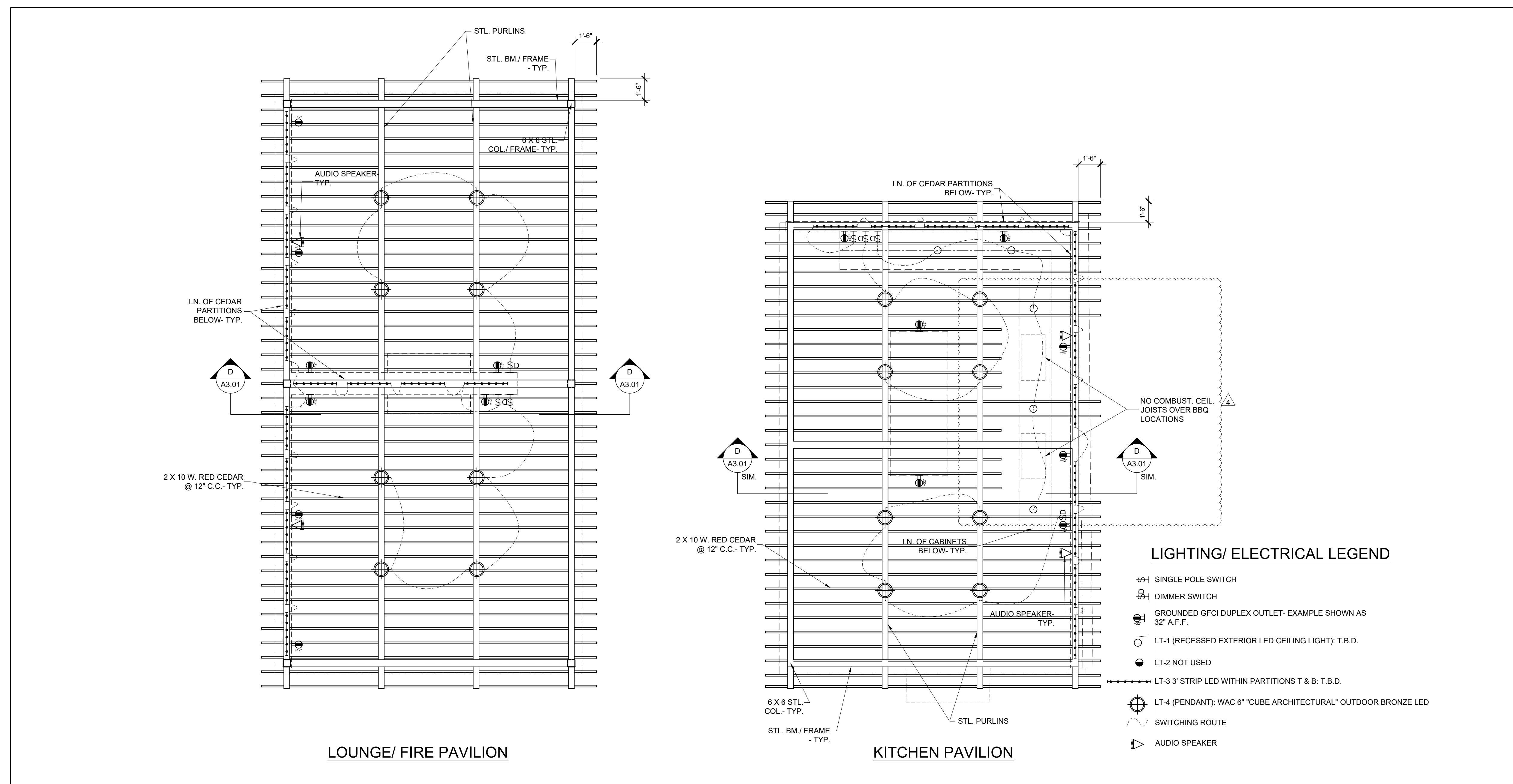
DATE: 7/9/18
SCALE: 1/8" = 1'-0"
DRAWN: ek



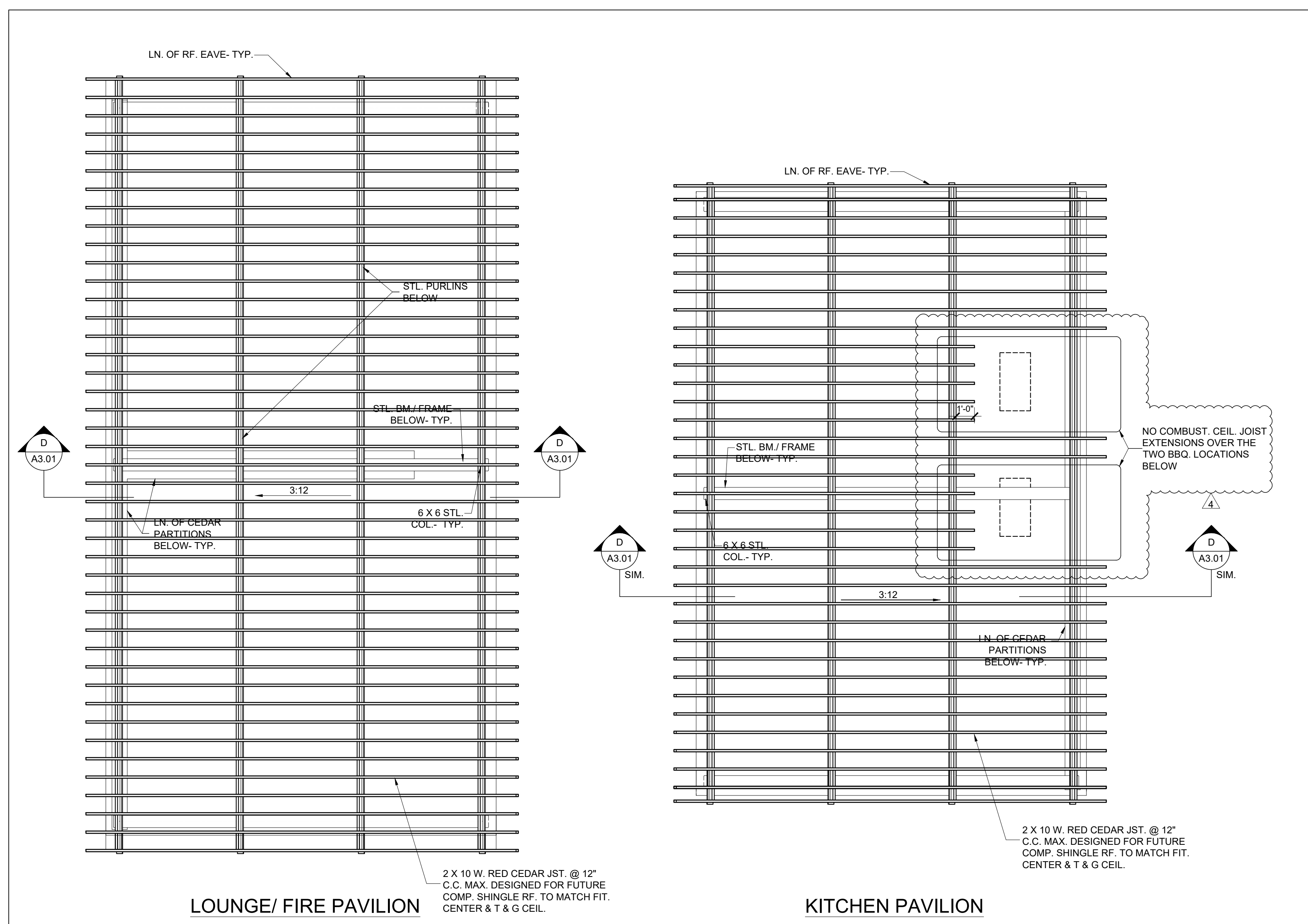
Revisions:
07/20/18
01/28/19
03/29/19 PERMIT SET
1/21/20 PERMIT SET REV.PROPOSED FITNESS
CENTER FLOOR
PLANDATE 7/9/18
SCALE 1/4" = 1'-0"
DRAWN: ek

A1.02

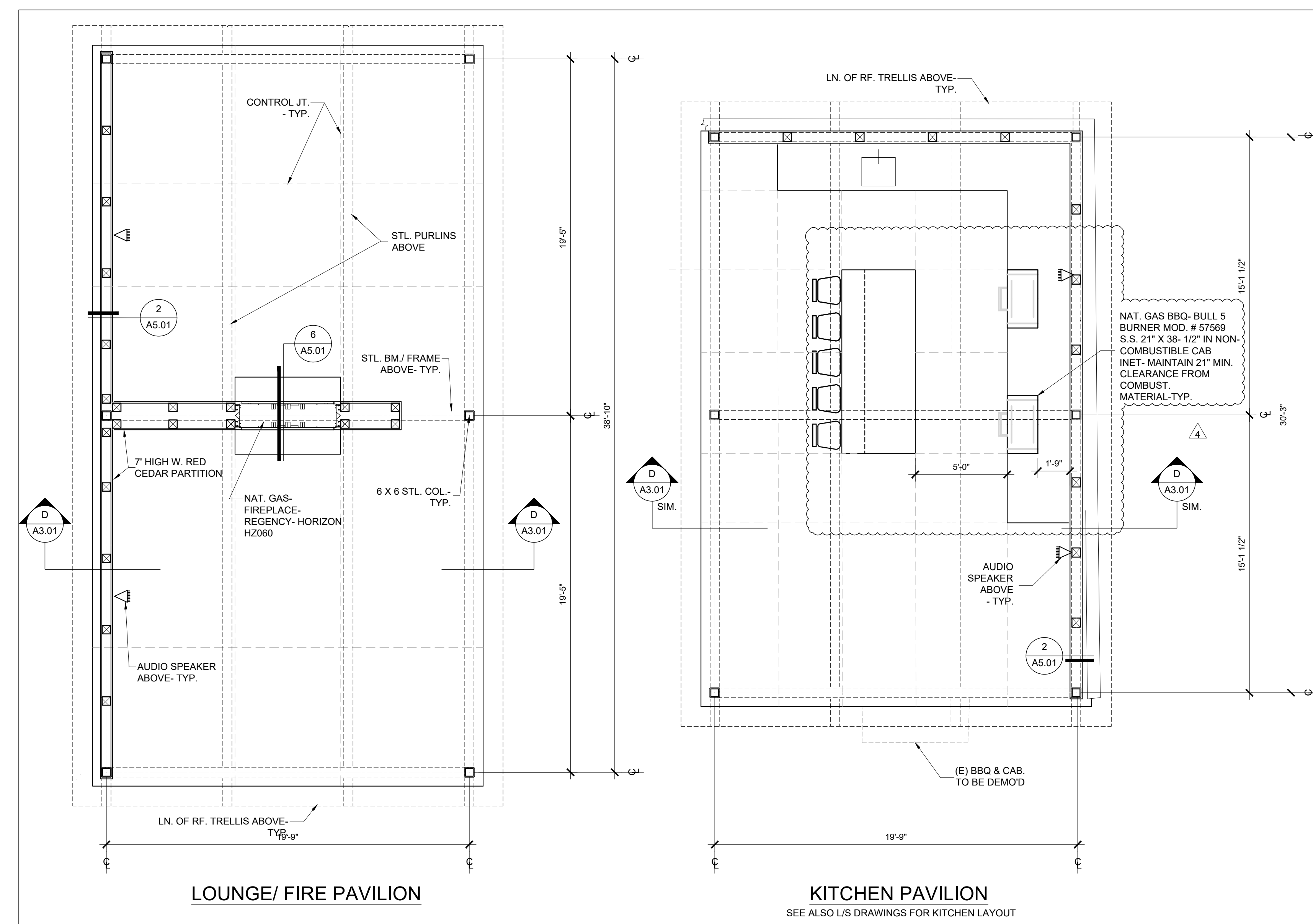
1 FITNESS CENTER PROPOSED FLOOR PLAN
1/4" = 1'-0"



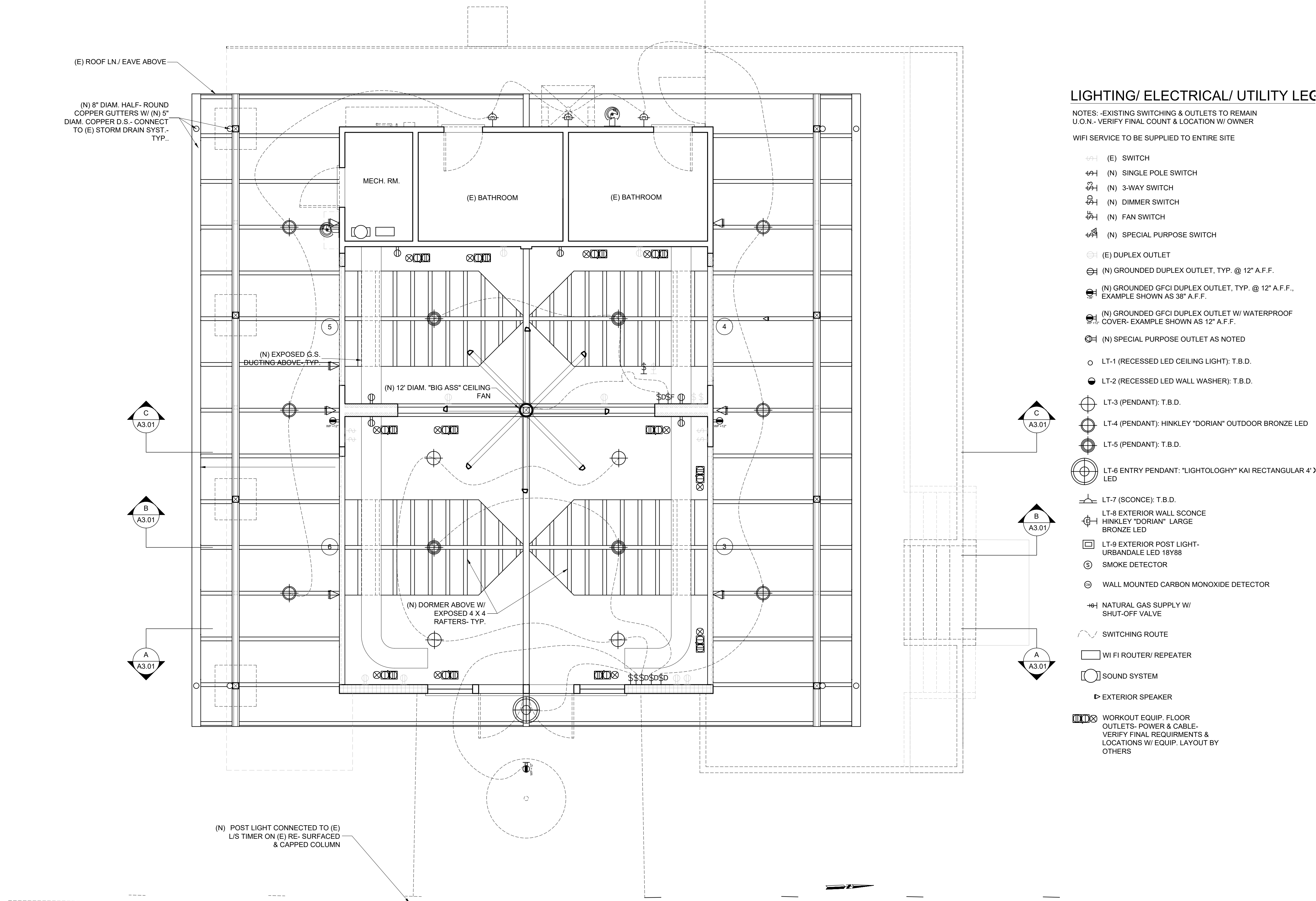
3 PAVILIONS REFLECTED CEILING PLANS PLANS SHOWING LIGHTING & ELECTRICAL
1/4" = 1'-0"



2 PAVILIONS PROPOSED ROOF PLANS
1/4" = 1'-0"

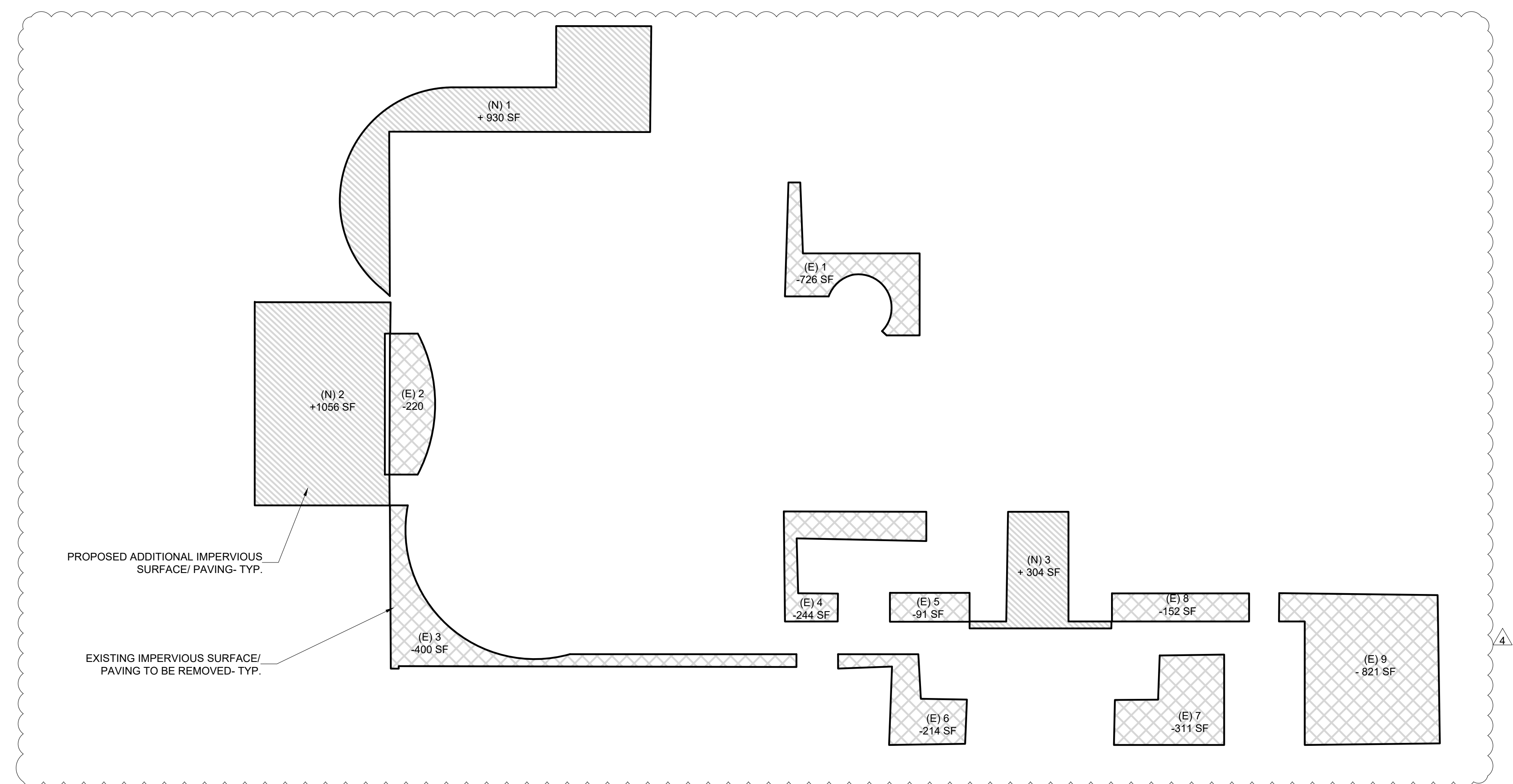


1 PAVILIONS PROPOSED FLOOR PLANS
1/4" = 1'-0"

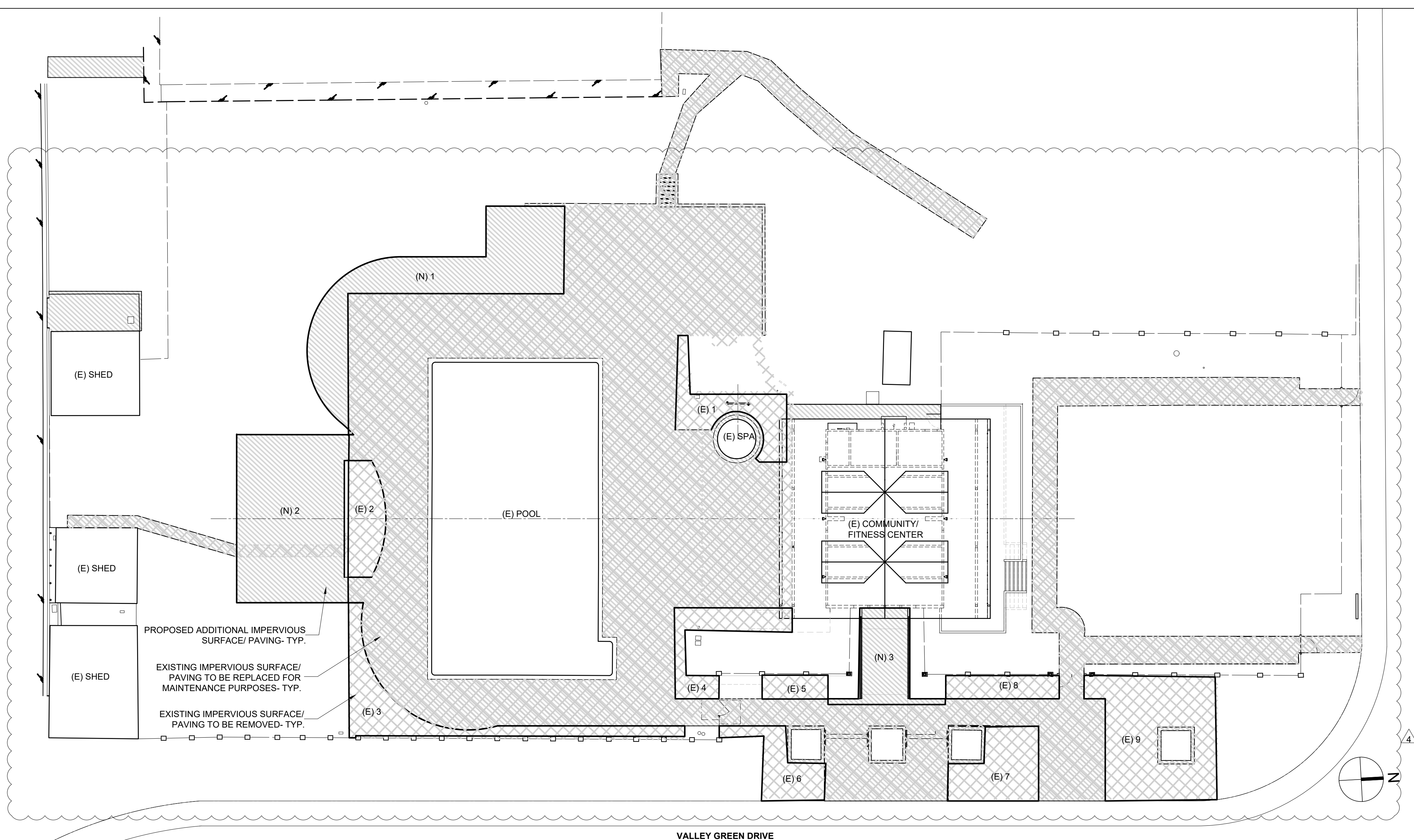


1 PROPOSED REFLECTED CEILING PLAN SHOWING LIGHTING & ELECTRICAL

1/4" = 1'-0"



2 SITE PLAN IMPERVIOUS SURFACE AREA ANALYSIS/ SCHEMATIC
1/16" = 1'-0"

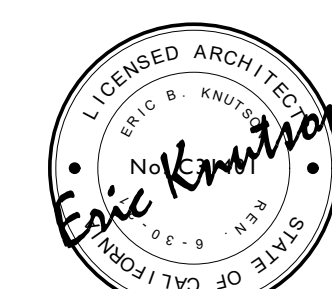


1 SITE PLAN/ IMPERVIOUS SURFACES
1/16" = 1'-0"

IMPERVIOUS SURFACE ANALYSIS

TOTAL PARCEL AREA:	117,307 SF (2.693 ACRE)
IMPERVIOUS SURFACE:	
AS-BUILT IMPERVIOUS SURFACE:	13,200 SF 11.25% PARCEL COVERAGE
PROPOSED IMPERVIOUS SURFACE:	12,311 SF 10.49% PARCEL COVERAGE
	-889 SF, .76% REDUCED COVERAGE
(N) 1:	+ 930 SF
(N) 2:	+ 1056
(N) 3:	+ 304
TOTAL	+ 2290 SF ADDED PAVING/ IMPERVIOUS SURFACE
(E) 1:	-726 SF
(E) 2:	-220
(E) 3:	-400
(E) 4:	-244
(E) 5:	-91
(E) 6:	-214
(E) 7:	-311
(E) 8:	-152
(E) 9:	-821
TOTAL	-3179 SF REMOVED PAVING/ IMPERVIOUS SURFACE
3179	
-2290	
889 SF REDUCTION IN IMPERVIOUS/ PAVING SURFACES	

THE VILLAGES AT CUPERTINO
20875 VALLEY GREEN DRIVE
CUPERTINO, CALIFORNIA

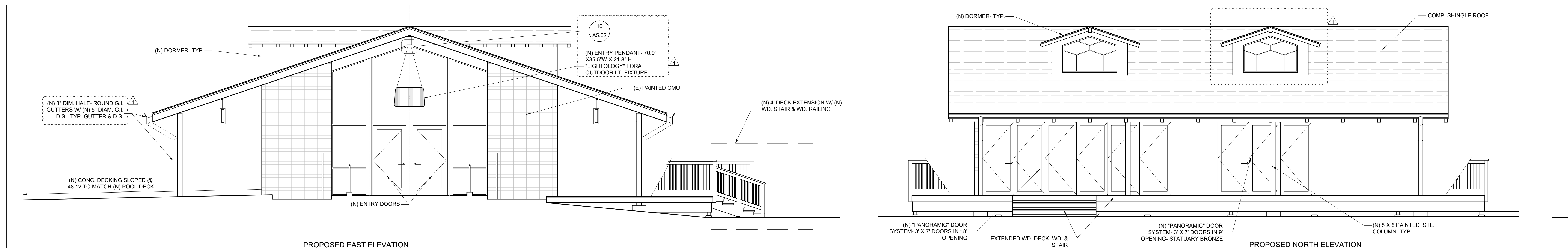


Revisions:	
	07/20/18
	01/28/19
	03/29/19 PERMIT SET
	1/21/20 PERMIT SET REV.
1	6/18/20 PERMIT/ ASA SET RE
2	8/12/20 PERMIT/ BUILD. REV.
3	9/25/20 ASA/ PLANNING REV
4	12/24/20 ASA/ PLANNING RE

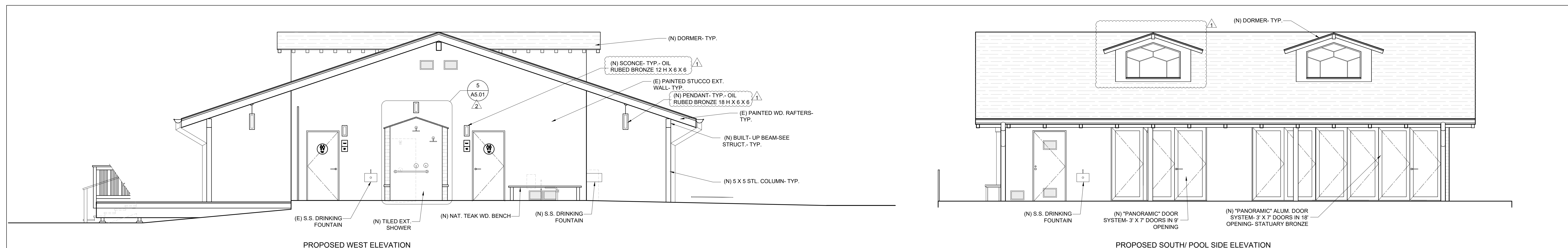
PROPOSED FITNESS CENTER EXTERIOR ELEVATIONS

DATE: 7/9/18
SCALE: 1/4" = 1'-0"
DRAWN: ek

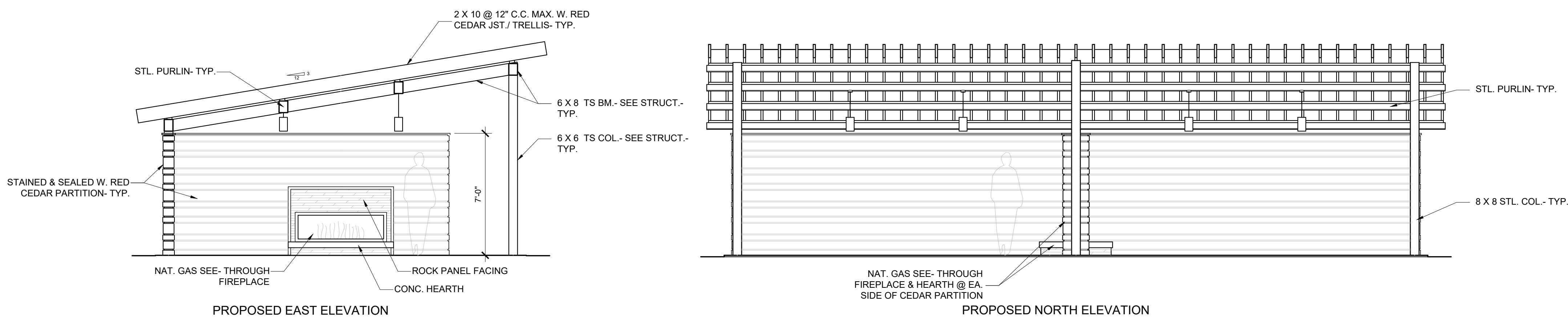
A2.01



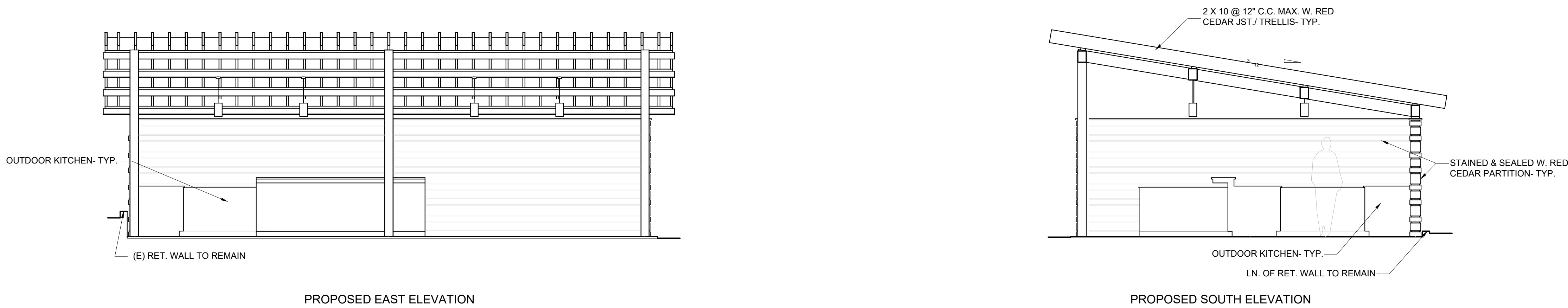
1 PROPOSED EXTERIOR ELEVATIONS



2 PROPOSED EXTERIOR ELEVATIONS



1 PROPOSED LOUNGE PAVILION EXTERIOR ELEVATIONS
1/4" = 1'-0"



2 PROPOSED KITCHEN PAVILION EXTERIOR ELEVATIONS
1/4" = 1'-0"



95014-1799 APN: 326-09-054

20875

EV.

ek

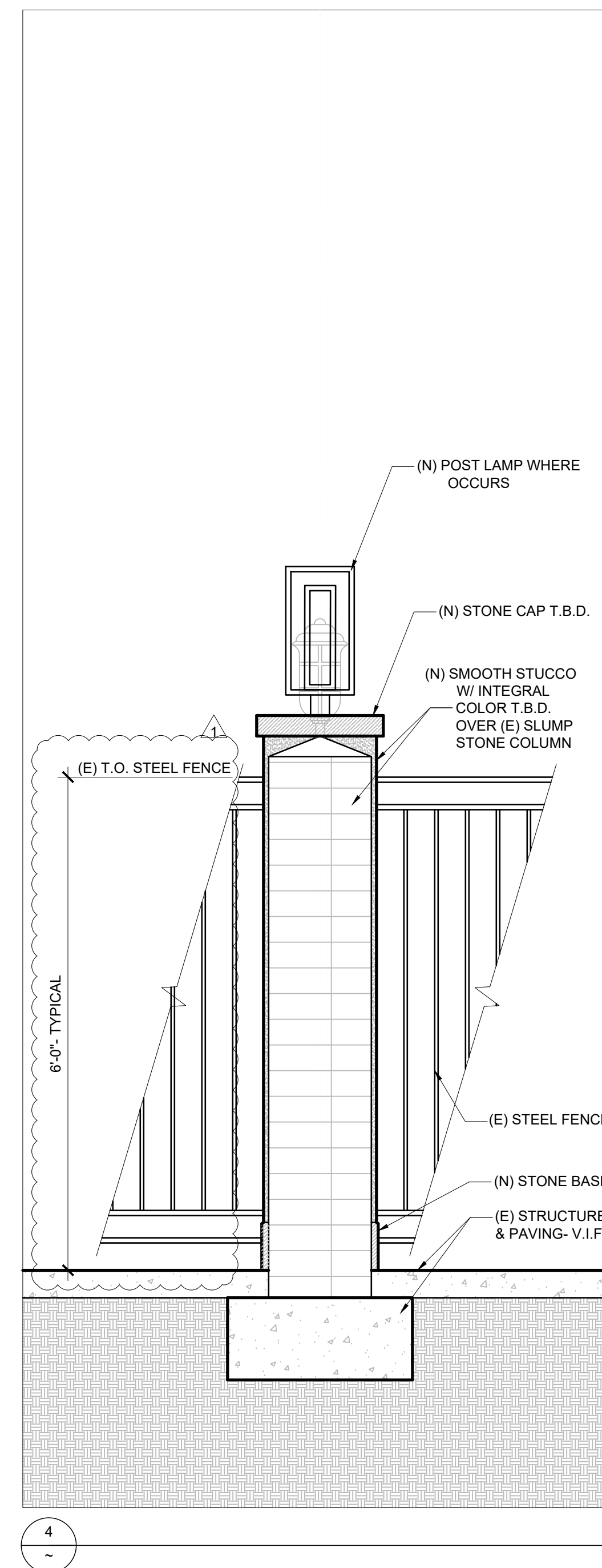
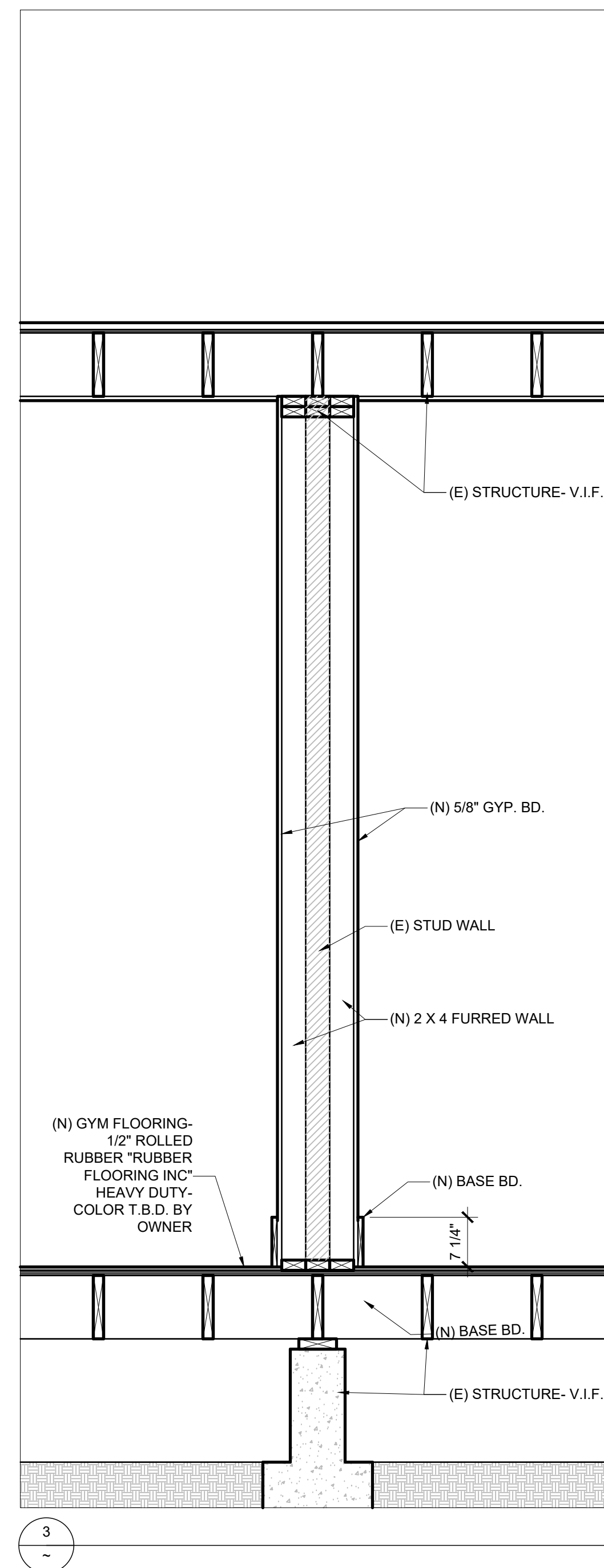
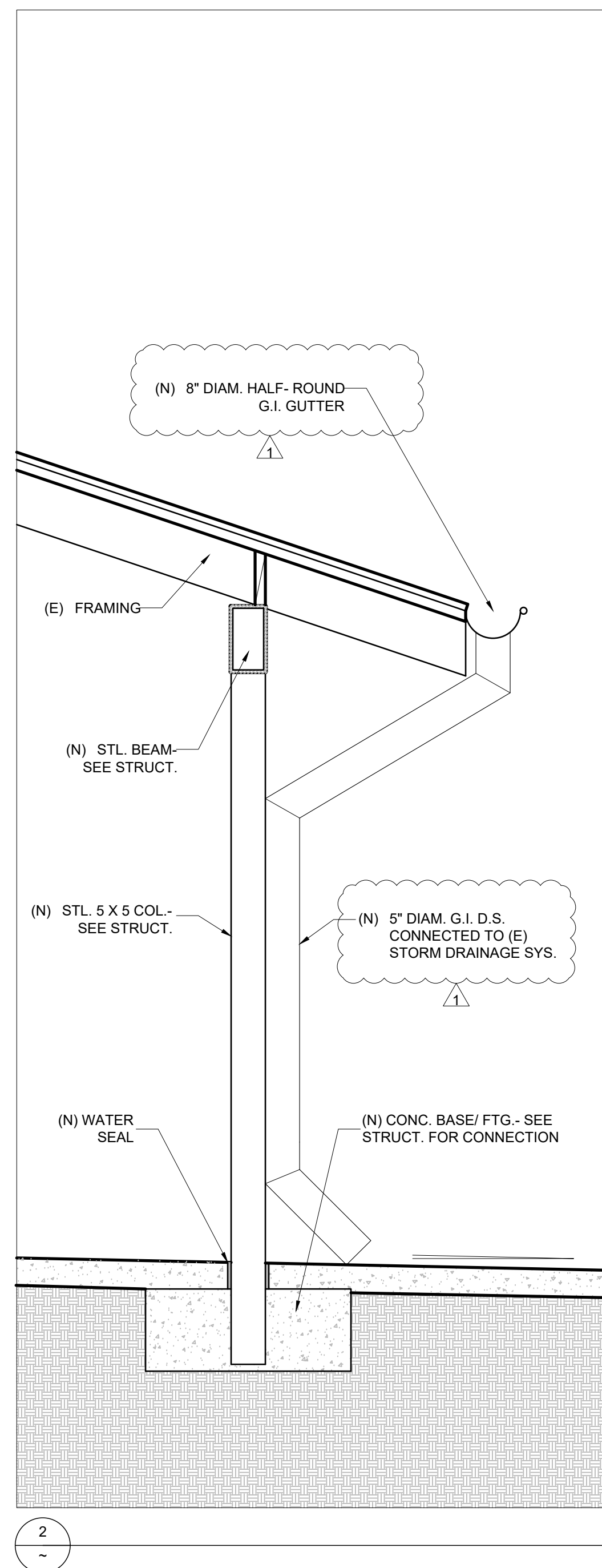
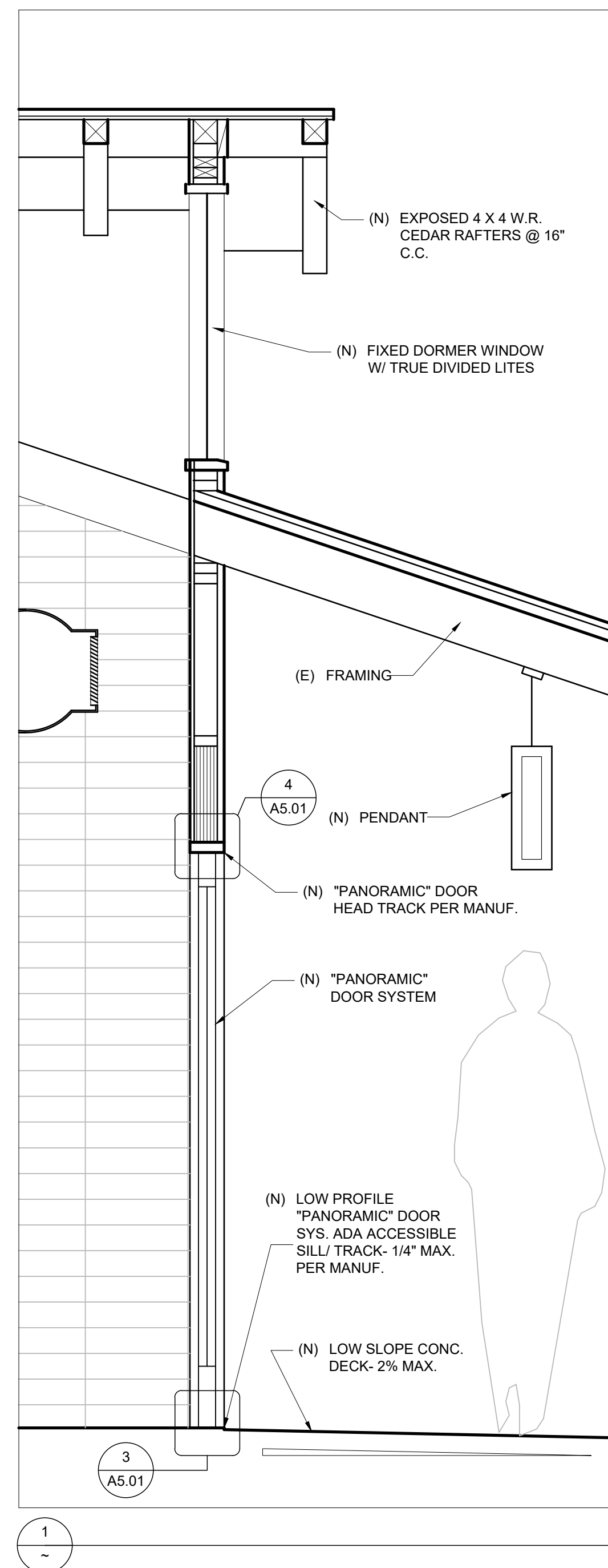


PROP
1/4" = 1'-0"

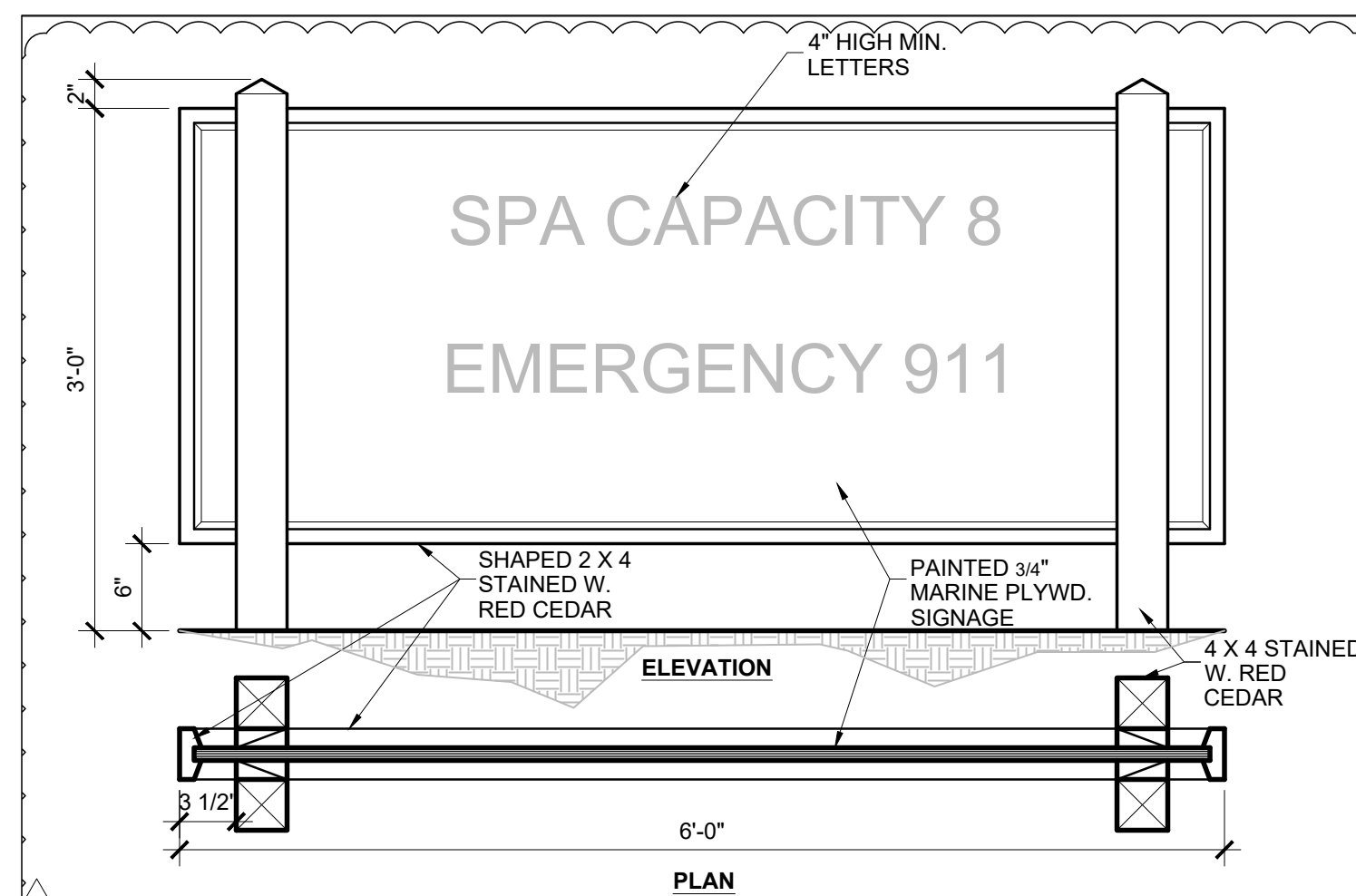
PROF
1 (4" = 1' 0")

PROF
1 (4" = 1' 0")

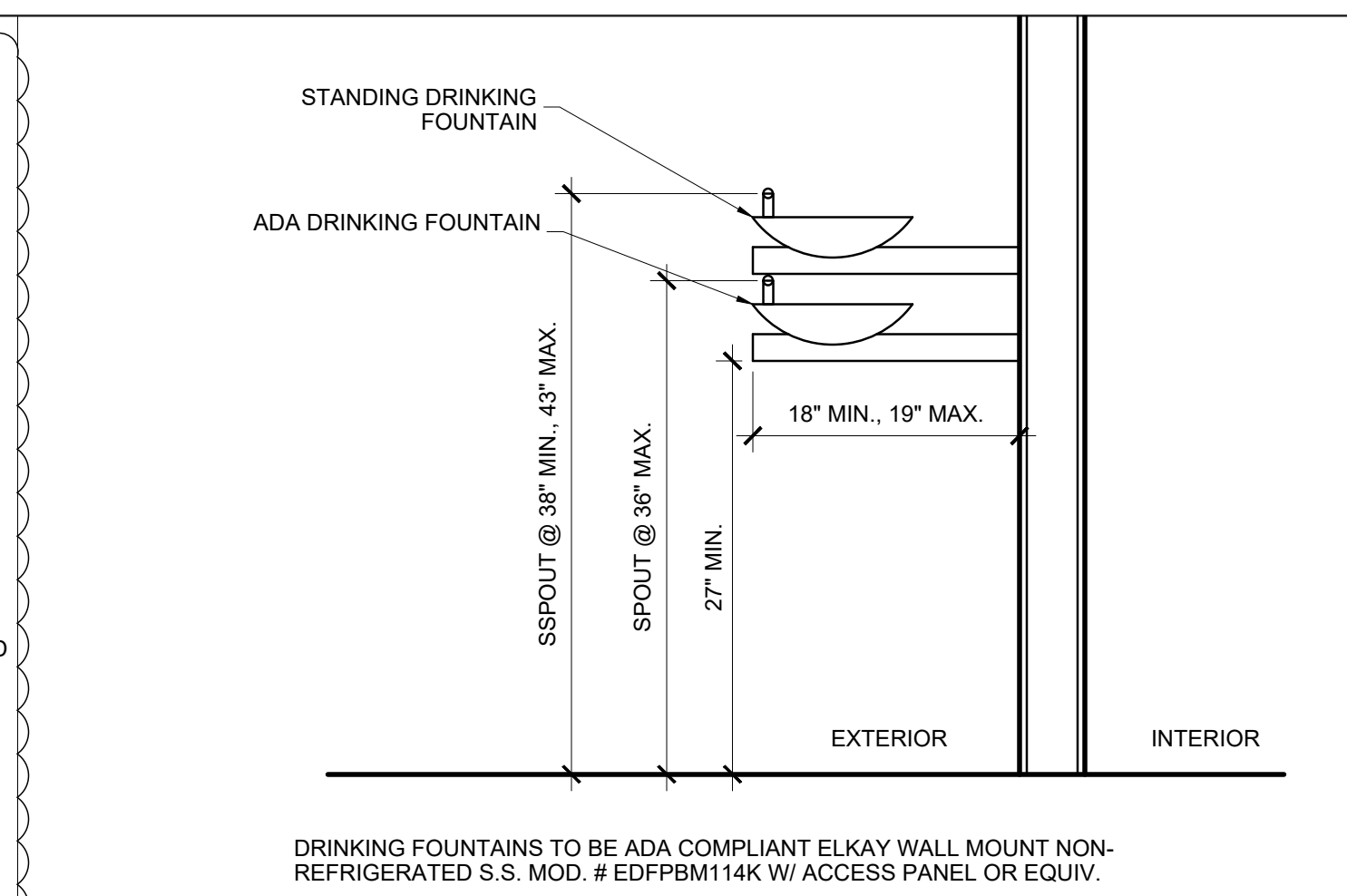
PROP
1/4" = 1'-0"



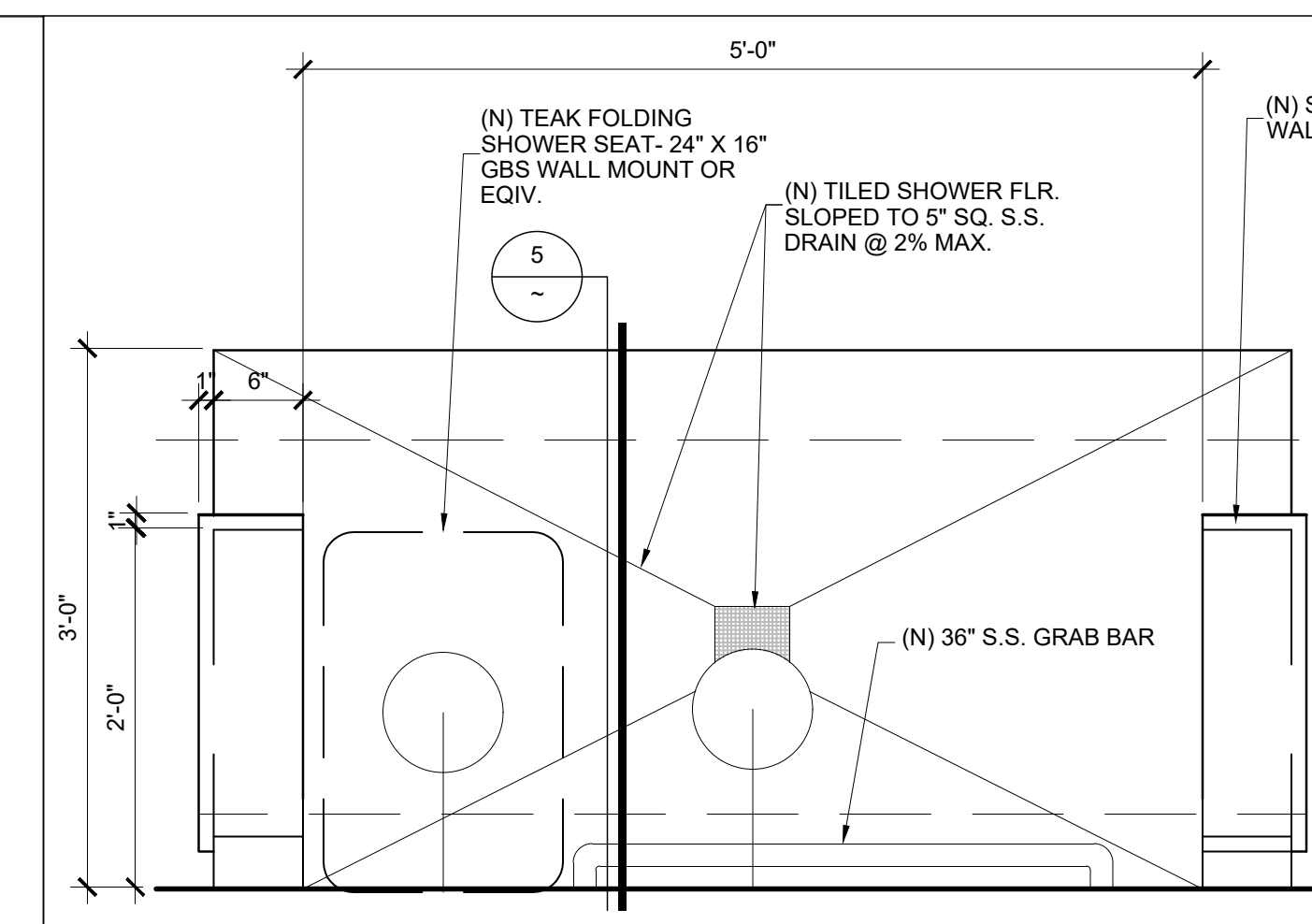
1 PROPOSED WALL/ COLUMN SECTIONS
3/4" = 1'-0"



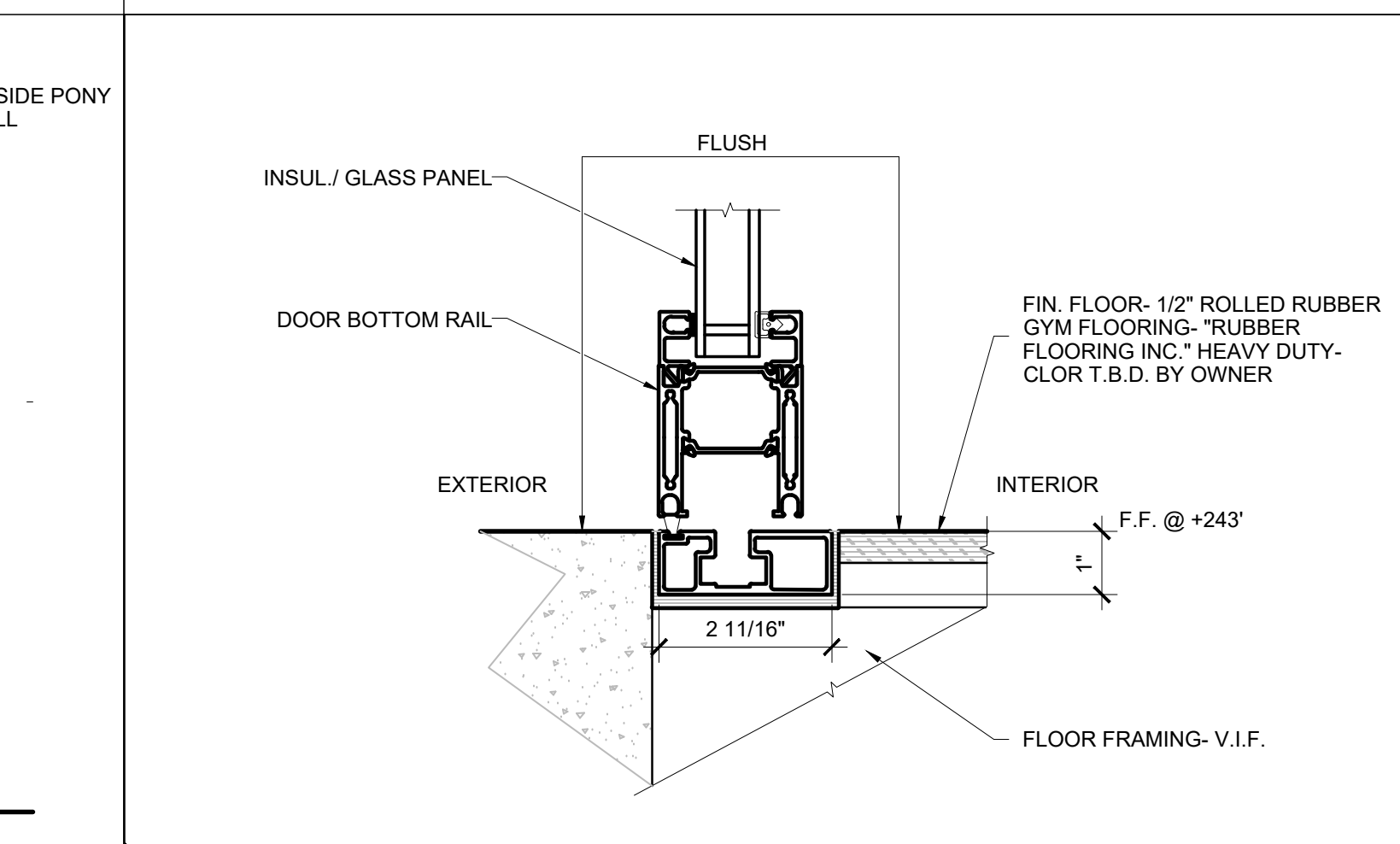
9 (N) SPA SIGN SCALE: 1" = 1'-0" VEG-046001



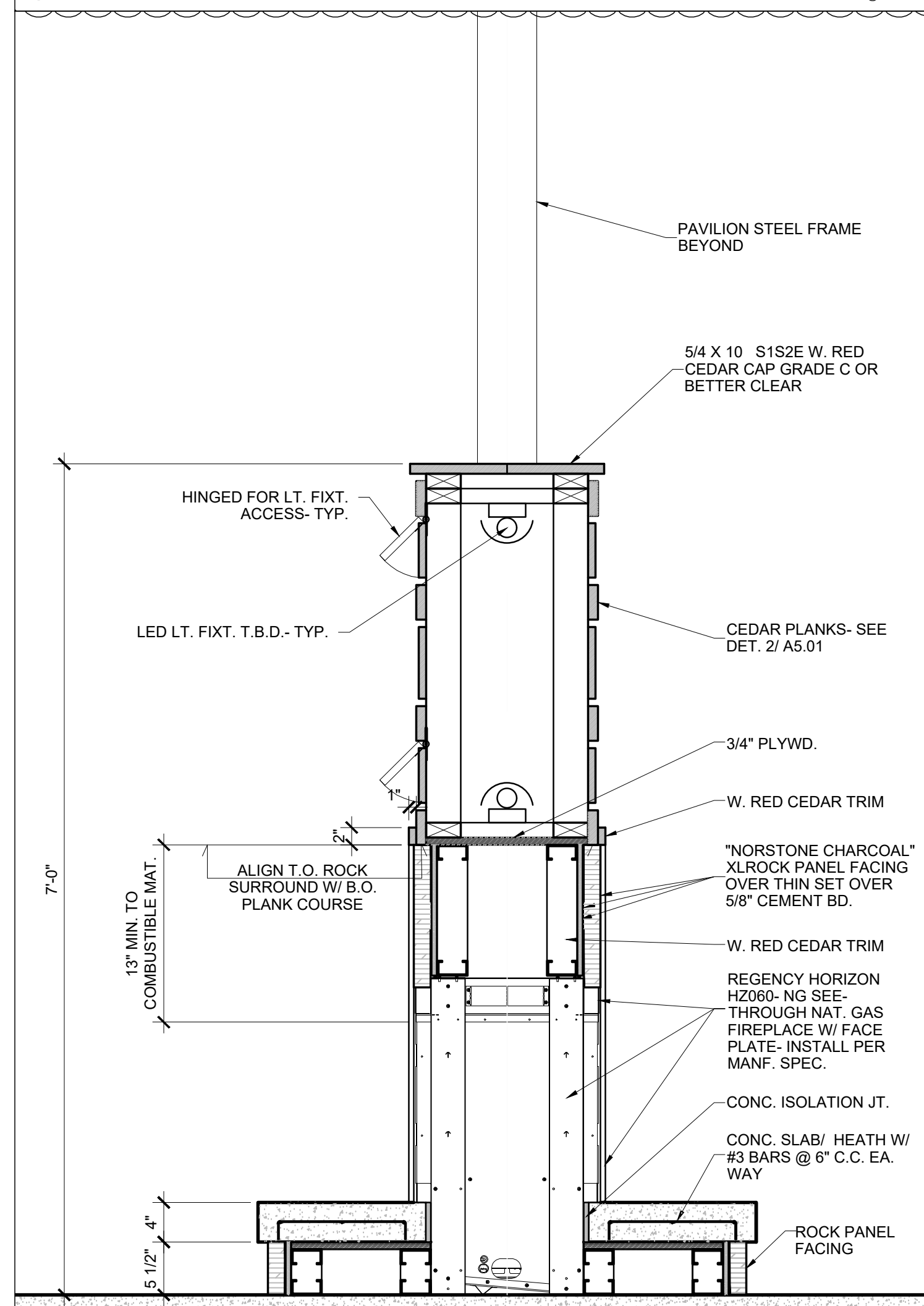
8 (N) DRINKING FOUNTAINS SCALE: 1" = 1'-0" VEG-046001



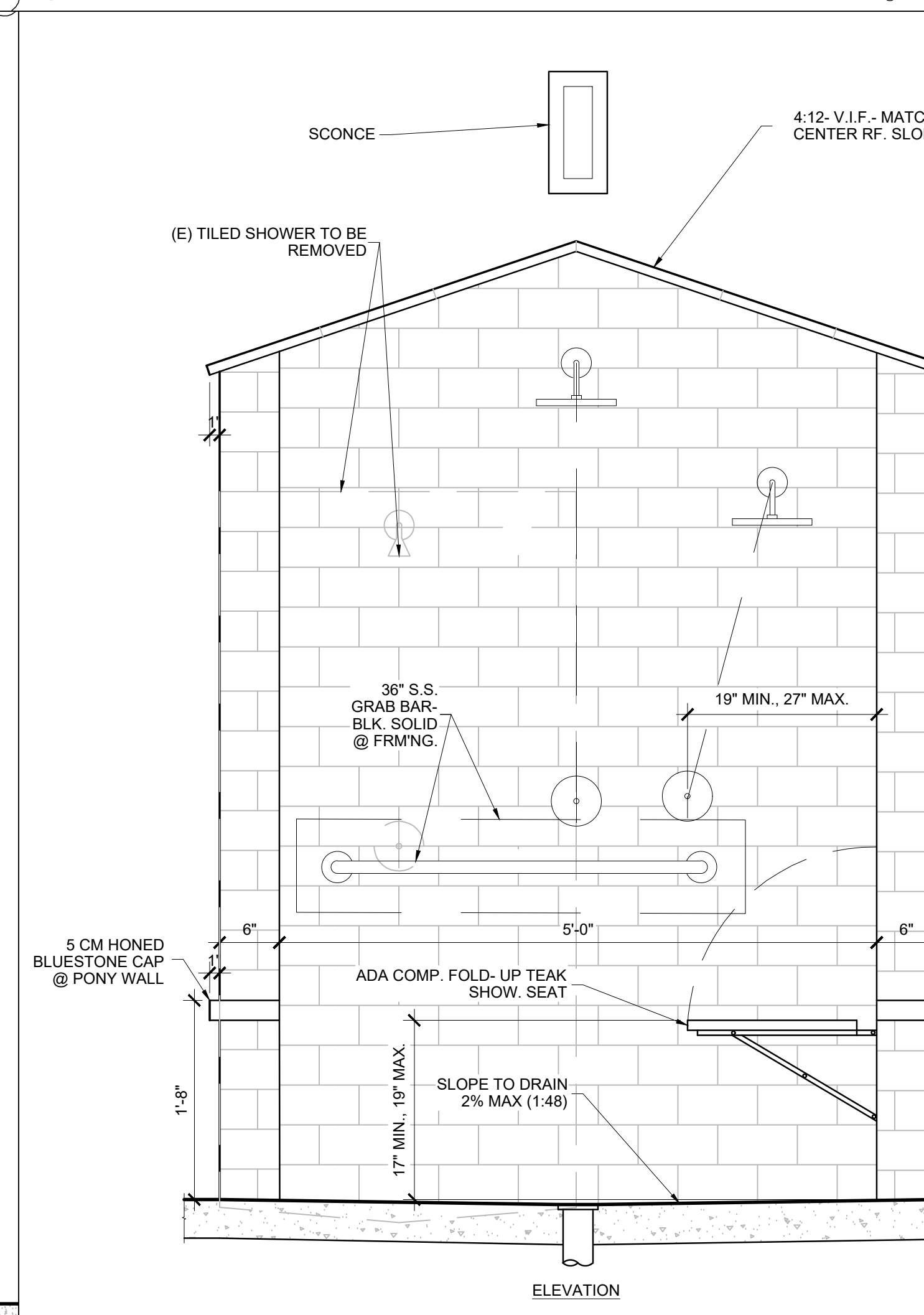
7 (N) POOL RINSE SHOWER DETAIL PLAN SCALE: 1" = 1'-0" VEG-046001



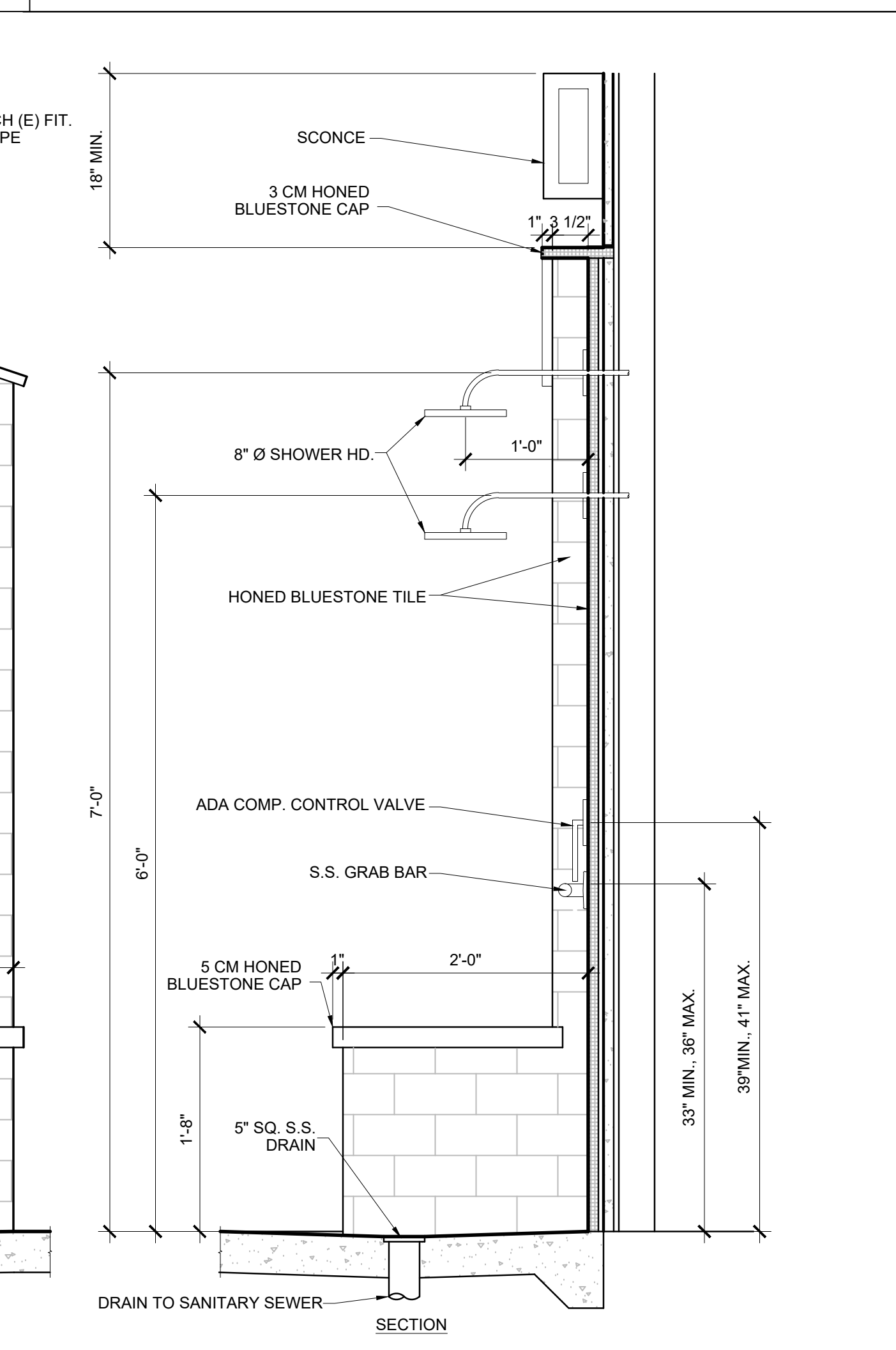
3 PANORAMIC DOOR SILL N.T.S. VEG-046001



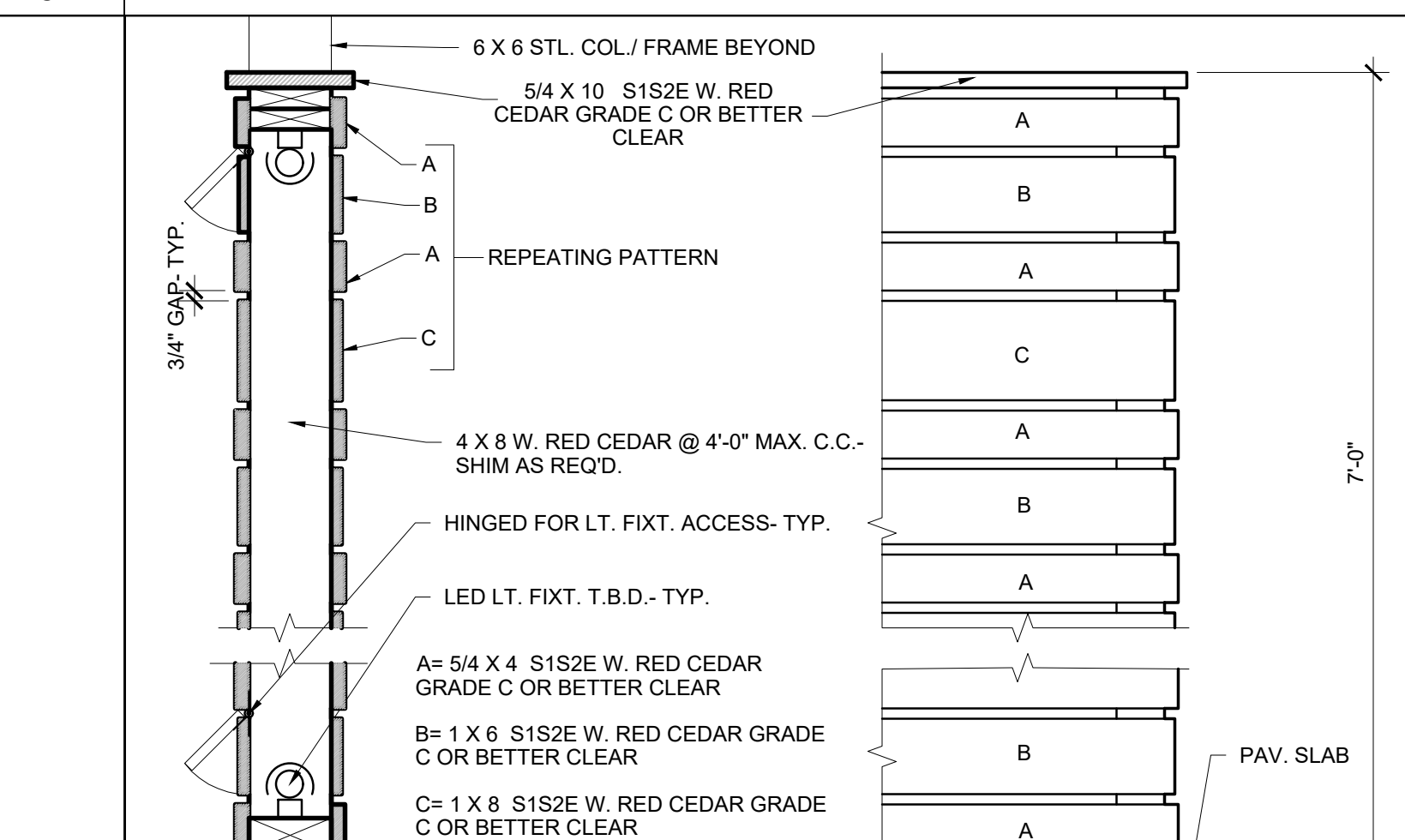
6 (N) PAVILION PARTITION WALL @ FIREPLACE SCALE: 1" = 1'-0" VEG-046001



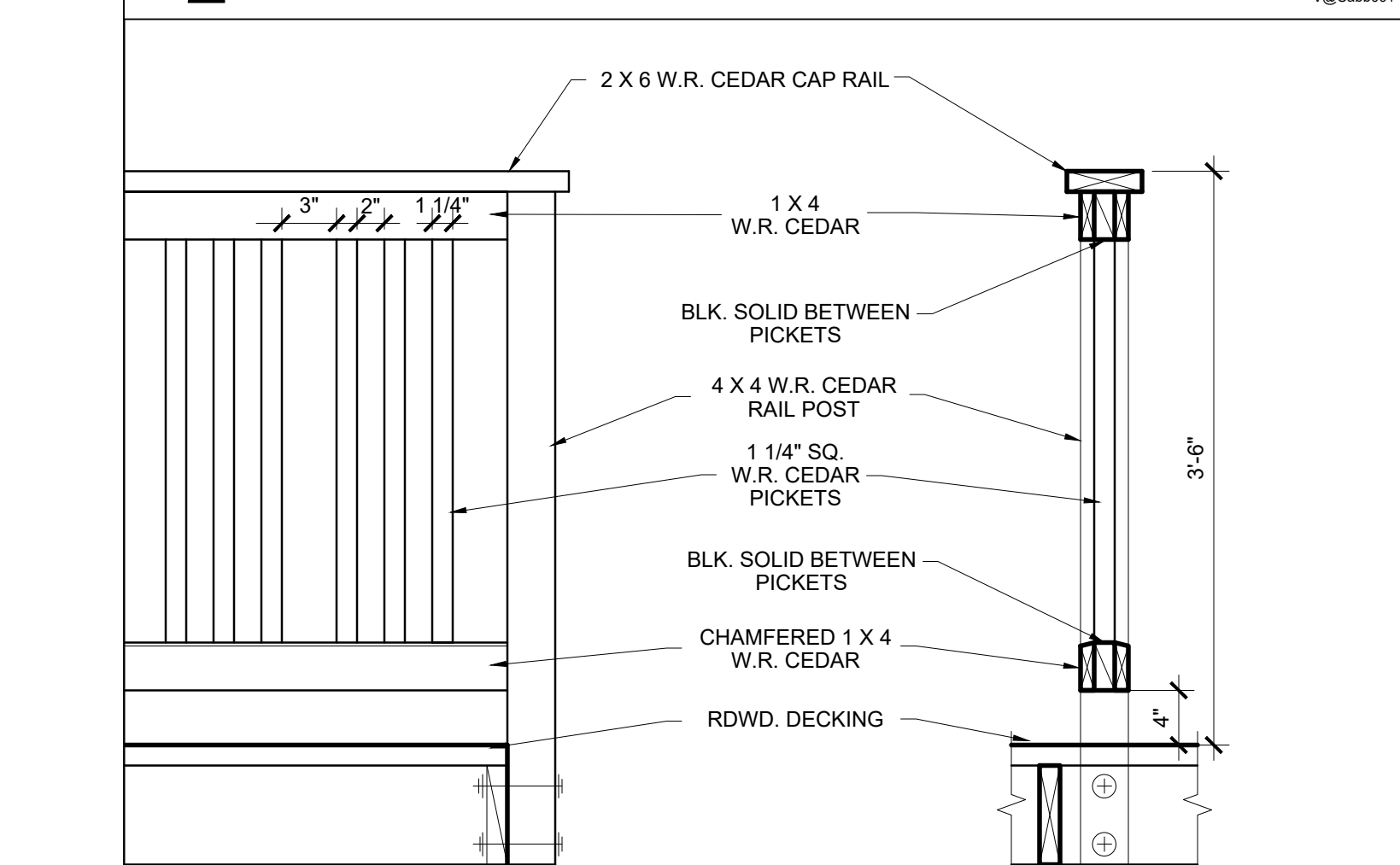
5 (N) EXTERIOR POOL RINSE SHOWER



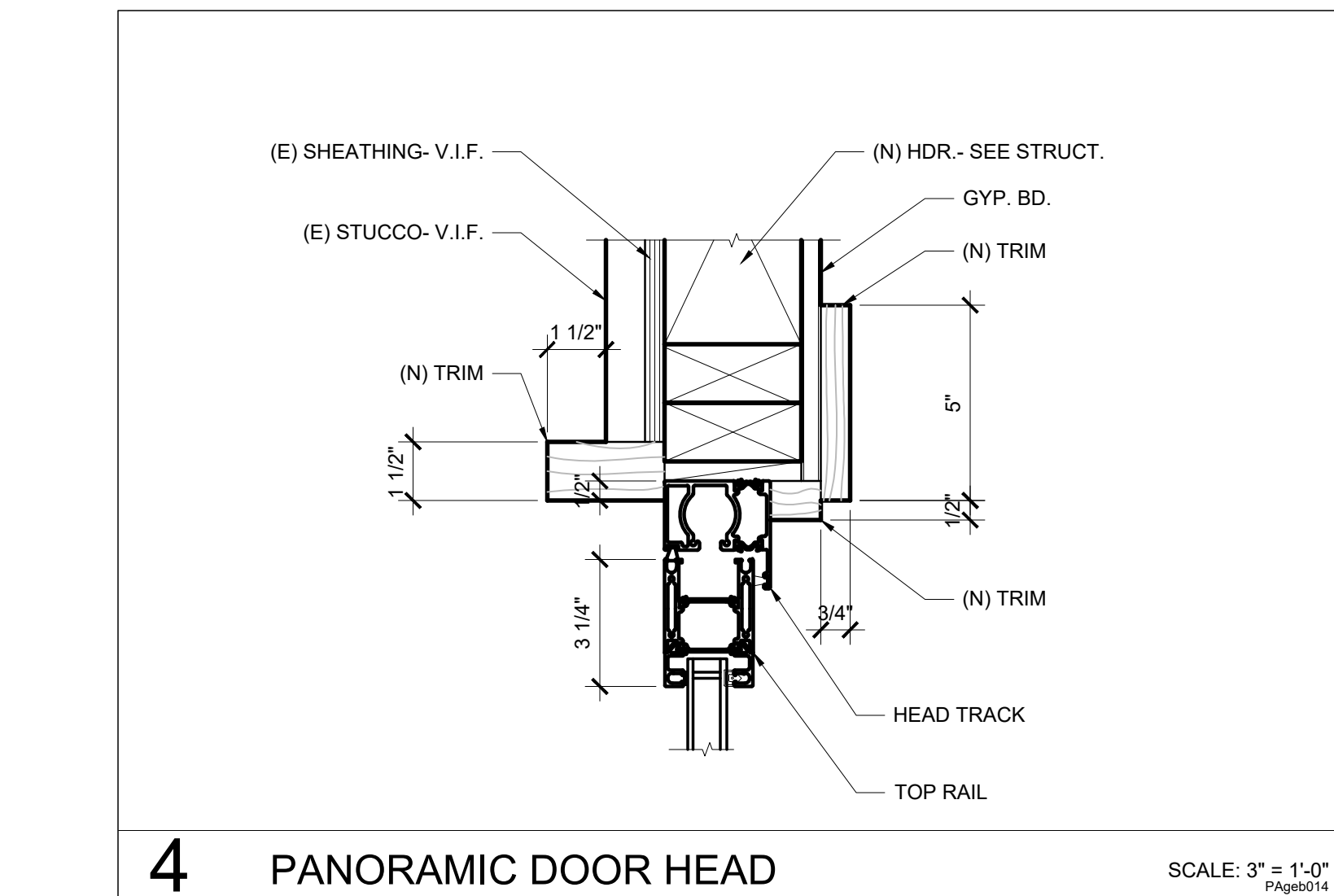
SCALE: 1" = 1'-0" VEG-046001



2 (N) PAVILION PARTITION WALL SCALE: 1" = 1'-0" VEG-046001

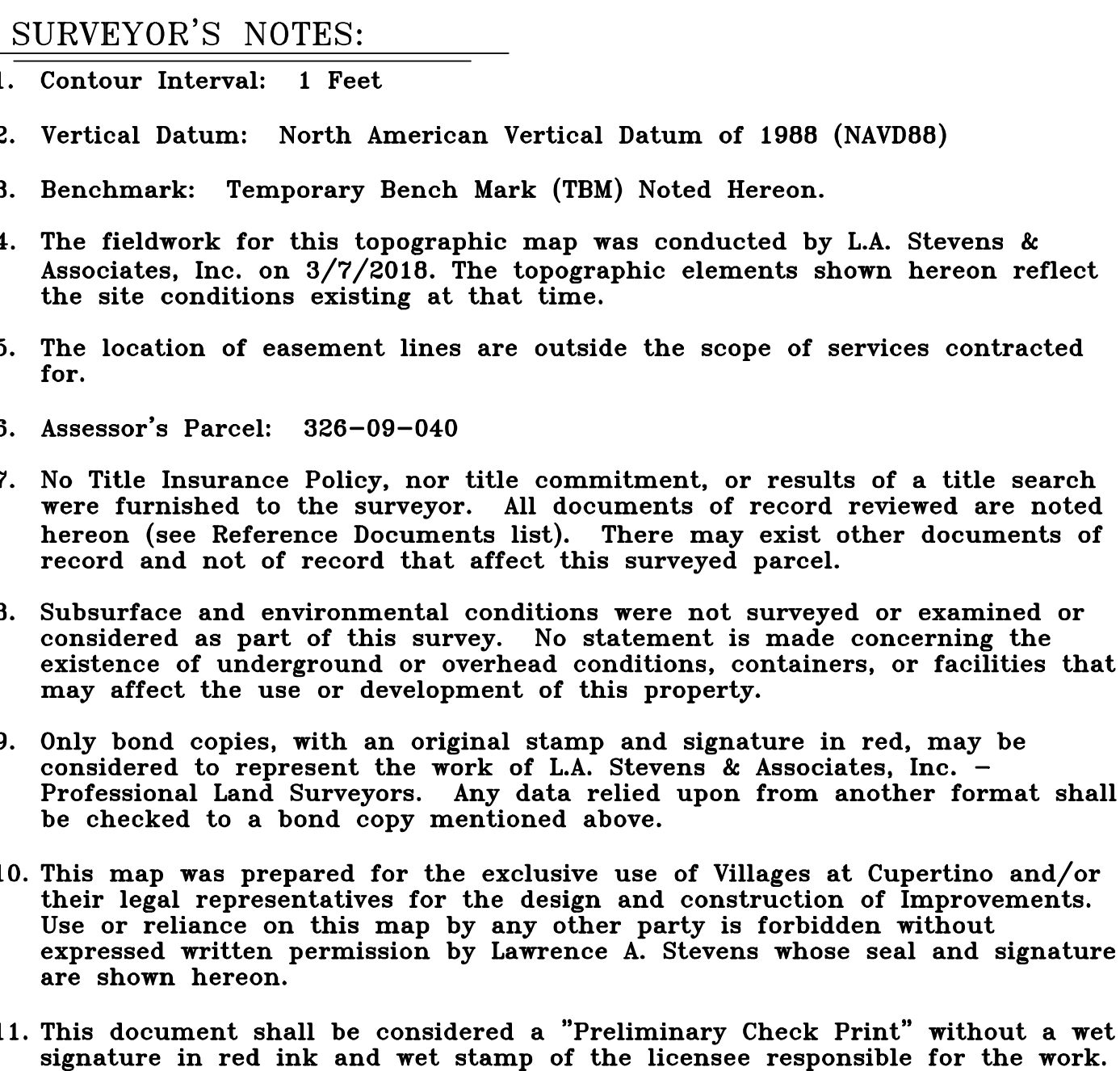


1 (N) DECK GUARDRAIL SCALE: 1" = 1'-0" VEG-046001



4 PANORAMIC DOOR HEAD SCALE: 3" = 1'-0" VEG-046001





Accuracy Note:

The expected accuracy for 90% of Spot Elevations shown hereon on hard surfaces (Concrete & Asphalt) are $\pm 0.03'$.

LAWRENCE. A. STEVENS. PLS 6649

No.	REVISION	BY	DATE
L.A. Stevens & Associates, Inc. Professional Land Surveyors • (415) 382-7713 7 Commercial Blvd., Suite 1 • Novato, California 94949			
VILLAGES AT CUPERTINO RECREATION AREA 20800 Green Valley Drive Cupertino, California		BY: N.D./L.A.S. DATE: 3-13-2018 SCALE: 1" = 10' DRAWING NO. 181885fld	
PARTIAL SITE TOPOGRAPHY			

eric@knutsonarchitecture.com
www.knutsonarchitecture.com

95014-157 APN: 259-33-074

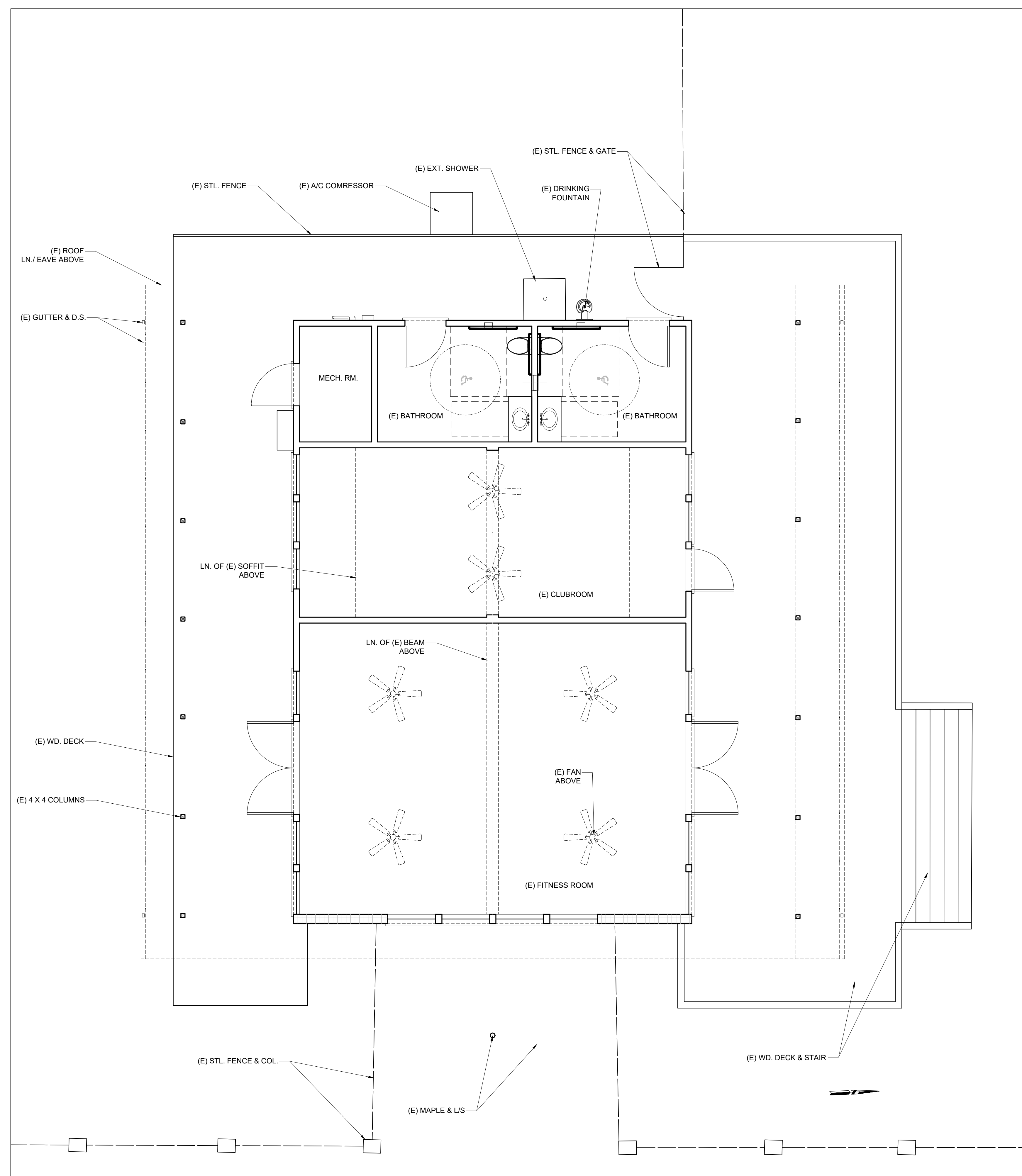


03/29/19 PERMIT SET
1/21/20 PERMIT SET REV.

AS- BUILT FITNESS
CENTER FLOOR
PLAN

DATE: 7/9/18
SCALE: 1/4" = 1'-0"
DRAWN: ek

ABI.01



1 AS- BUILT FLOOR PLAN

$$\frac{1}{4}'' = 1'-0''$$



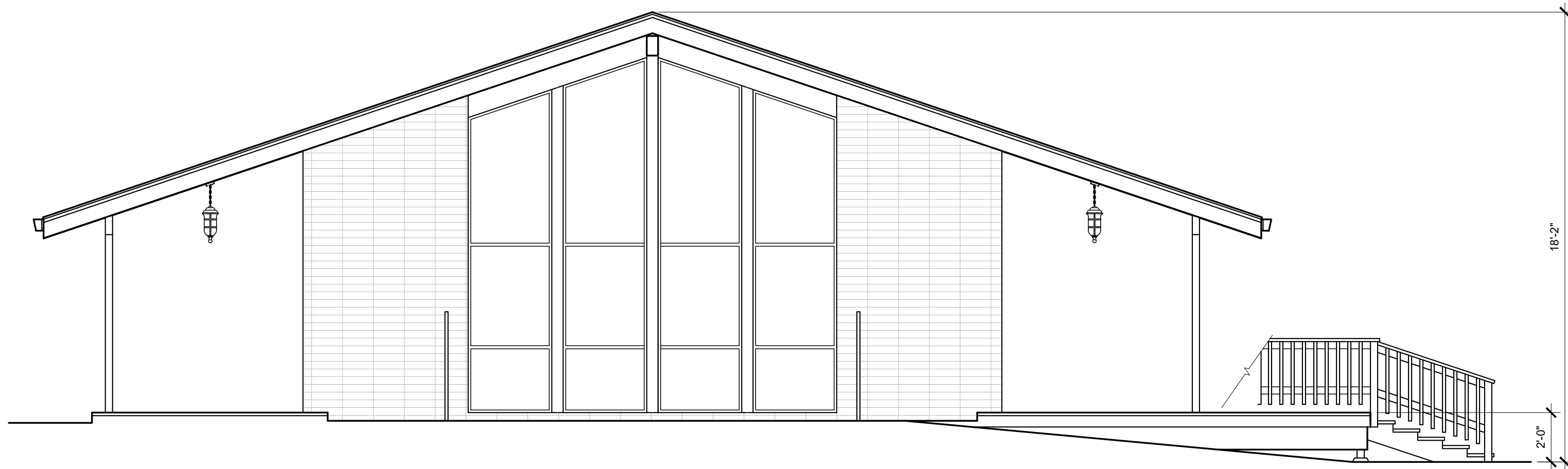
Revisions:

07/20/18	
01/28/19	
03/29/19	PERMIT SET
1/21/20	PERMIT SET REV.
6/18/20	PERMIT/ ASA SET REV.
8/12/20	PERMIT/ BUILD. REV.
9/25/20	ASA/ PLANNING REV.

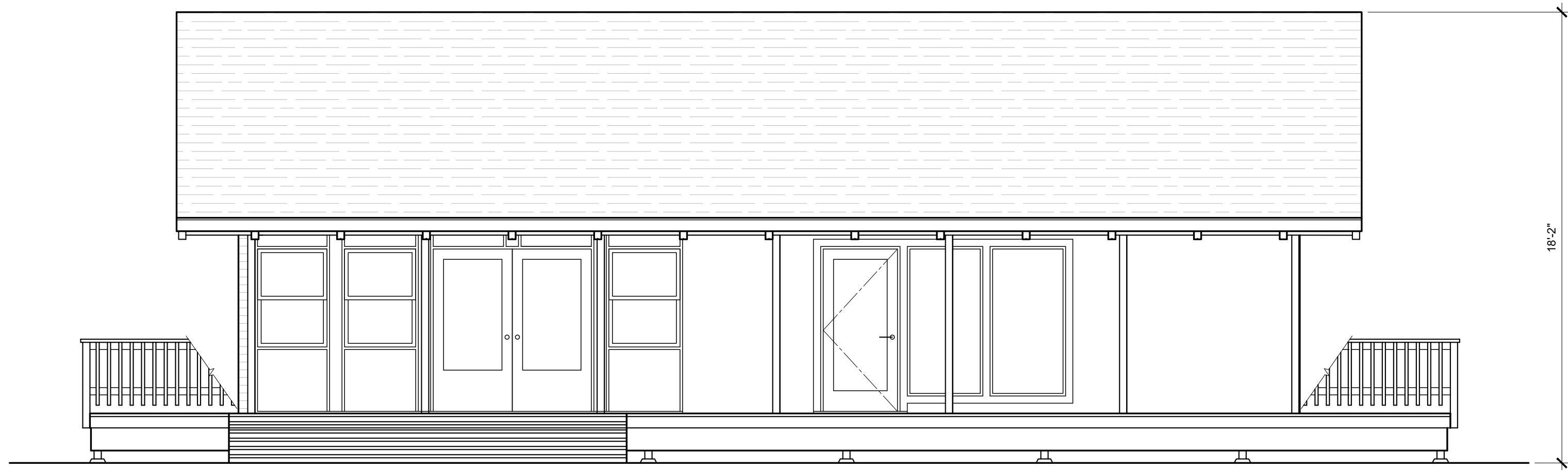
AS- BUILT FITNESS
CENTER EXTERIOR
ELEVATIONS

DATE 7/9/18
SCALE 1/4" = 1'-0"
DRAWN: ek

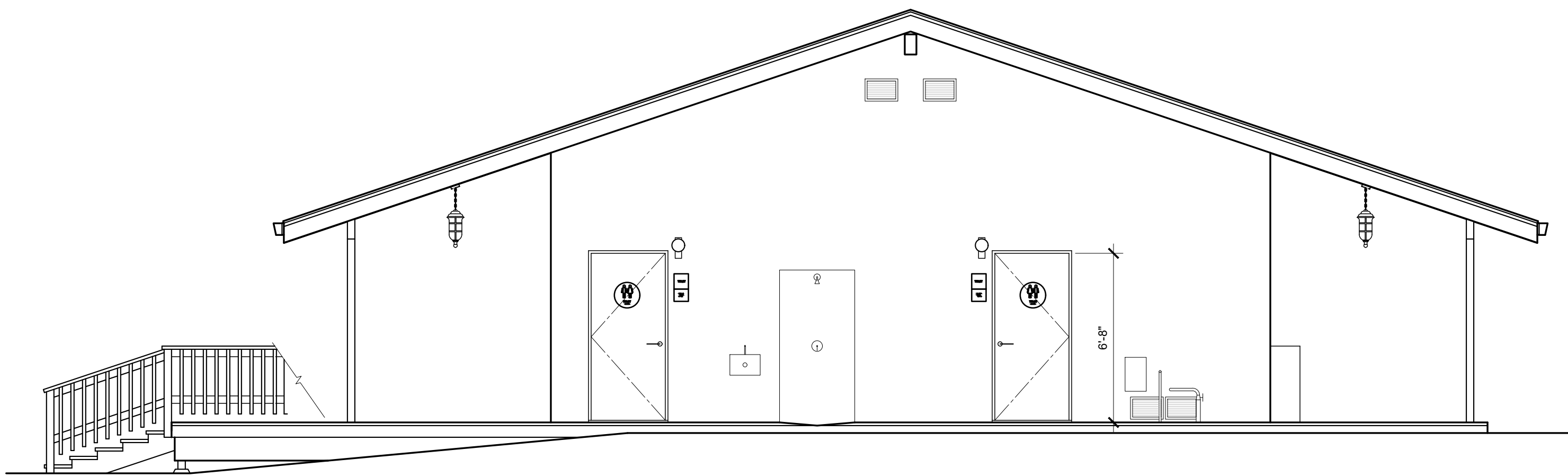
AB2.01



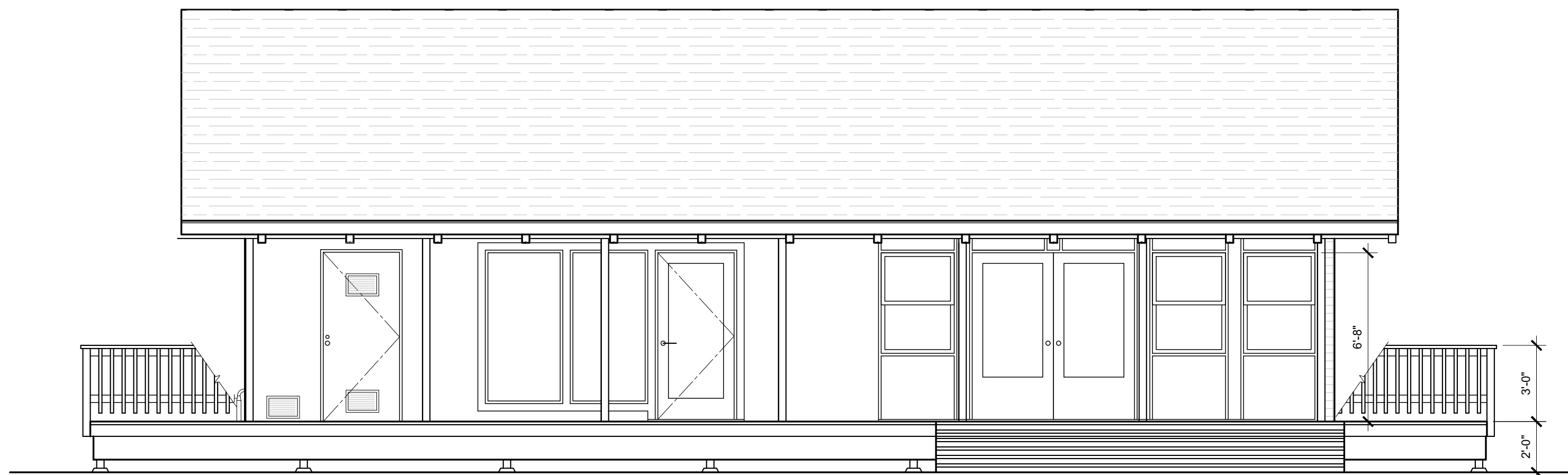
AS- BUILT EAST ELEVATION



AS- BUILT NORTH ELEVATION



AS- BUILT WEST ELEVATION



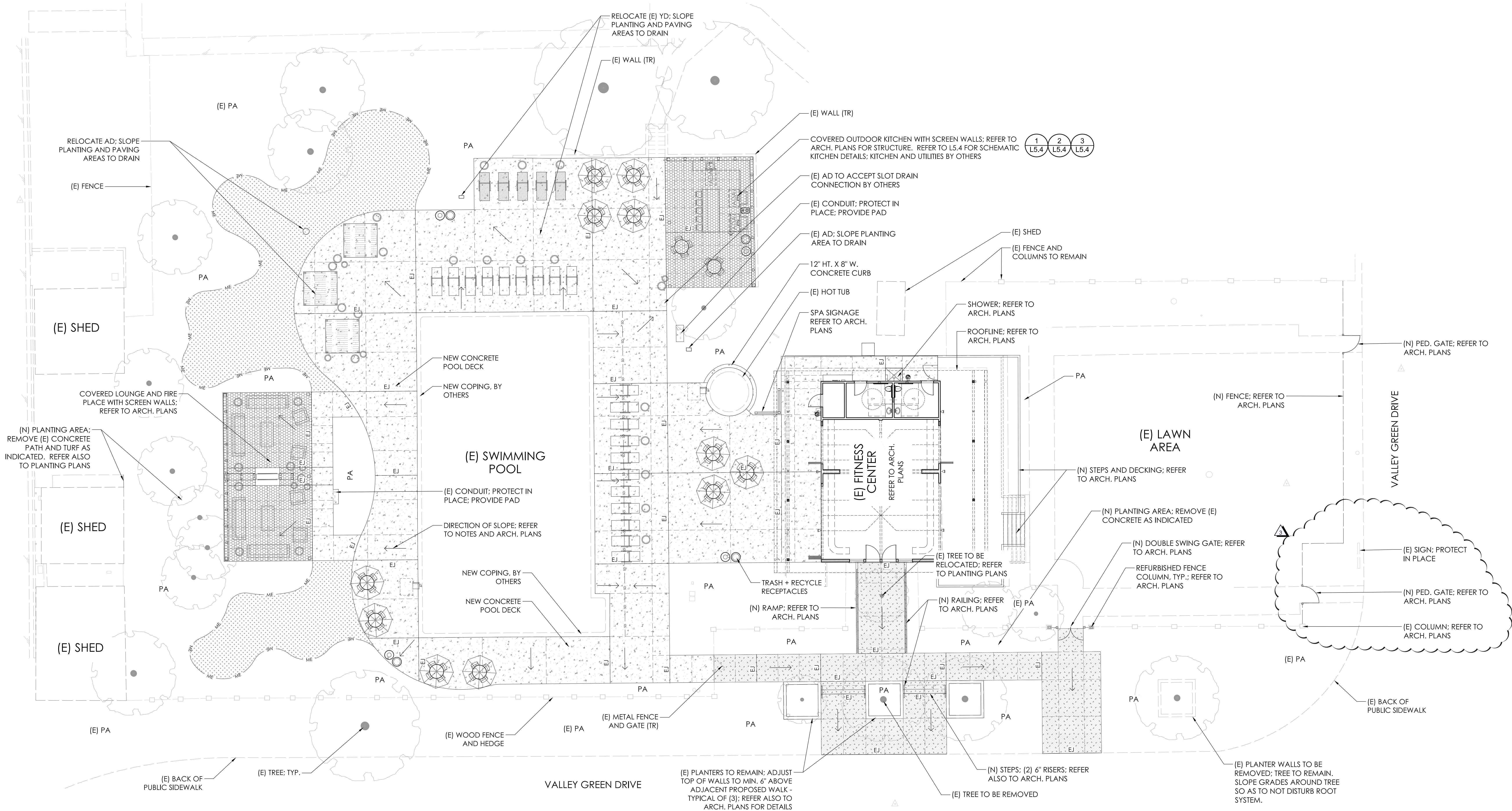
AS- BUILT SOUTH/ POOL SIDE ELEVATION

1 AS- BUILT EXTERIOR ELEVATIONS
1/4" = 1'-0"

2 AS- BUILT EXTERIOR ELEVATIONS
1/4" = 1'-0"


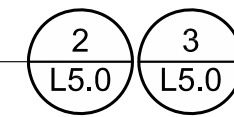
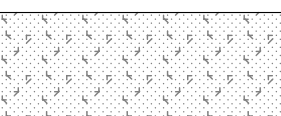

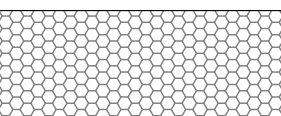
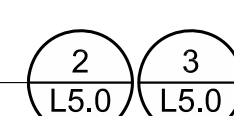

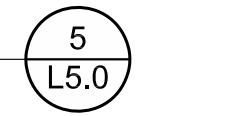
THE VILLAGES AT CUPERTINO

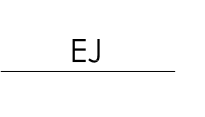
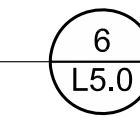

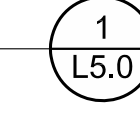
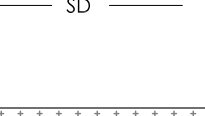

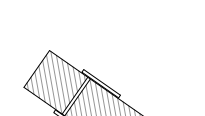

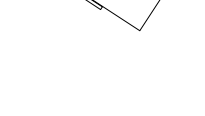



Pool Area Renovation
20875 Valley Green Drive
Cupertino, CA 95014


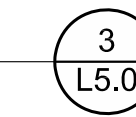
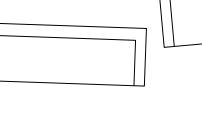

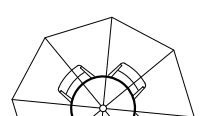

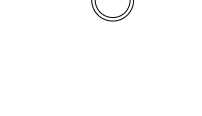





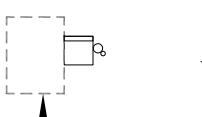





MATERIALS PLAN

MATERIALS LEGEND

Concrete Paving 01 Integral Color: Scofield 3987 Porcelain Gray Finish: Dayton Superior #05 Micro Etch Top-Cast® Slope to Planting Areas and adjacent drains between 0.75% and 2%. Refer also to Architectural Plans.		
Concrete Paving 02 Color: Match Existing Finish: Match Existing Slope to Planting Areas as best possible. Refer also to Architectural Plans.		
Concrete Paving 03 Color: Scofield C-14 French Gray Finish: Dayton Superior #50 Medium Exposure Top-Cast® Slope to Planting Areas and adjacent drains between 0.75% and 2%. Refer also to Arch. Plans.		
Sawcut Control Joint Refer to Sheet L2.0 for Layout, and Detail and Specifications for more information.		

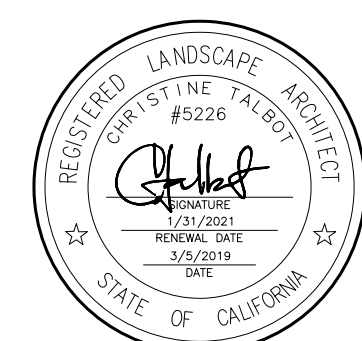
Expansion Joint Refer to Sheet L2.0 for Layout. See detail and verify with Soils Engineer for placement.		
Metal Edging Location per Plan. Create smooth and continuous curves. Refer to Detail and Specifications.		
Slot Drain with Stainless Steel ADA Cover By Others. Connect to Adjacent Area Drain.		
Lawn Area - Rhizomatous Tall Fescue (RTF) Refer to Planting Plan and Specifications for details. Slope at min. 2% / max. 5% to drains.		
Padded Chaise Lounge By Others		
Chaise Lounge By Others		

8' X 8' Family Cabana Secure to pool deck; provide thickened slab at posts per detail. Refer to Specifications. Model: Eclipse 8'x8' square with trellis and Roman shade roof, and trellis back wall and right side Mfr: TUUCI Finish: Powder coat Satin Silver Mounting: In-ground security mount per Manufacturer Furnishings: Per Woodmont Real Estate Services Refer to Specifications.		
Lounge Furniture By Others		
Trash and Recycling Receptacles One of each Receptacle per Plan. Model: By Others		
Table and Chairs with Umbrella By Others		
Planter Pots Model: Miles; Large and Medium Size per Plan Color: Chalk Finish: Standard Mfr: Concreteworks Refer to Specifications		

Chairlift Model: #1000287 Stationary Equipment Mfr: Lifeguard Lift Installation Details and Specifications per Mfr. Refer to Specifications.		
Planting Area Refer to Planting Plan, Notes and Specifications. Slope as needed to drain at min. 2% / max. 10% to meet existing grades.		
Existing Tree Protect in place existing trees to remain. Relocate trees as indicated. Refer to City Ordinance and Standards for removal and protection details.		

REFER TO SHEET L2.0 FOR LAYOUT PLAN AND NOTES
REFER TO SHEET L5.0 FOR SITE DETAILS
REFER TO SHEET L6.0 FOR SPECIFICATIONS

Stamp



© Copyright 2019 QUADRIGA landscape architecture & planning, inc.

Issuances & Revisions		
No.	Description	Date
1	Permit Set	3/29/2019
2	Permit Set Rev.	1/21/2020
3	Permit/ASA Set Rev.	6/18/2020
4	Building Dept Rev.	8/12/2020
5	ASA/Planning Rev.	9/25/2020

MATERIALS PLAN

Date: 09/25/2020
Project Number: 18-1643

THE VILLAGES AT CUPERTINO

Pool Area Renovation
20875 Valley Green Drive
Cupertino, CA 95014

LAYOUT PLAN

LAYOUT LEGEND

Sawcut Control Joint Refer to Detail and Specifications		5 L5.0
Expansion Joint See detail and verify with Soils Engineer for placement.		6 L5.0
Metal Edging Location per Plan. Create smooth and continuous curves. Refer to Detail and Specifications.		1 L5.0
Slot Drain with Stainless Steel ADA Cover By Others. Connect to Adjacent Area Drain.		
Planting Area Refer to Planting Plan, Notes and Specifications. Slope as needed to drain at min. 2% / max. 10% to meet existing grades.		
ADA Clear Space 30" x 48" clear space for universal access at kitchen elements; refer to Sheet L5.4 for details.		

LAYOUT NOTES

- Contractors shall not scale drawings. Verify all dimensions and conditions in the field. Notify the Owner's representative of any discrepancies on drawings requiring clarification or revision before commencing with the work.
- Contractor shall protect all existing conditions that are to remain, and secure the property during construction.
- Verify all existing conditions and utilities in the field. Notify Owner's representative of any discrepancies that may occur.
- Contractor shall verify and locate all existing underground or underfloor utilities and shall avoid damage to the same.
- All critical dimensions for existing conditions shall be verified in the field before fabrication or construction of new work.
- All work is new unless otherwise noted as "existing", "existing to remain", "(E)", or "to remain", "(TR)".
- All edging and concrete form work is to be laid out with continuous, smooth, and tangential curves per layout plan and points of reference. Adjust as necessary to meet points of tangency for smooth transitions.
- Extend paving joints from corners of existing and proposed features. Extend across pathways perpendicular to one another as indicated on the plans. Variations may be required to meet existing features and are indicated on the plans. For saw cut joints use hand tools to continue joints to vertical faces so as to not impact/cut/deface any existing vertical surfaces.
- Any discrepancy discovered by Contractor in these plans or any field conditions discovered by contractor that may delay or obstruct the proper completion of the work per these plans shall be brought to the attention of the Owner's representative immediately upon discovery. Said notification shall be in writing.
- Construction Contractor agrees that in accordance with generally accepted construction practices, General Contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours.
- Contractor shall independently review ground, topography, and tree conditions throughout the site, and assume wholly and unconditionally the risk of completing the work set out on these plans, regardless of rock, water table, or other conditions which contractor may encounter in the course of the work.
- Refer to architectural drawings for rough grading and drainage construction.
- Any excess materials shall be considered the property of the Contractor and shall be disposed of away from the job site in accordance with applicable local, state and federal regulations, at all times during construction and until final completion.
- It is the Contractor's responsibility to maintain and use current contract documents for this project, copies of these contract documents shall be available for review by Landscape Architect during site observation.
- Contractor to locate and install pipe sleeves under paving as needed in order to install irrigation piping according to Irrigation plan. Coordinate with Paving Contractor prior to paving installation.
- Contractor to coordinate electrical and telephone needs for irrigation controller with Electrical Contractor.
- Contractor to review, adhere to, and comply with all Construction Documentation including written General Notes and Specifications.

REFER TO SHEET L1.0 FOR MATERIALS PLAN
REFER TO SHEET L5.0 FOR SITE DETAILS
REFER TO SHEET L6.0 FOR SPECIFICATIONS

Stamp



© Copyright 2019 QUADRIGA landscape architecture & planning, inc.

Issues & Revisions		
No.	Description	Date
1	Permit Set	3/29/2019
2	Permit Set Rev.	1/21/2020
3	Permit/ASA Set Rev.	6/18/2020
4	Building Dept Rev.	8/12/2020
5	ASA/Planning Rev.	9/25/2020

LAYOUT PLAN

Date: 09/25/2020
Project Number: 18-1643

L2.0



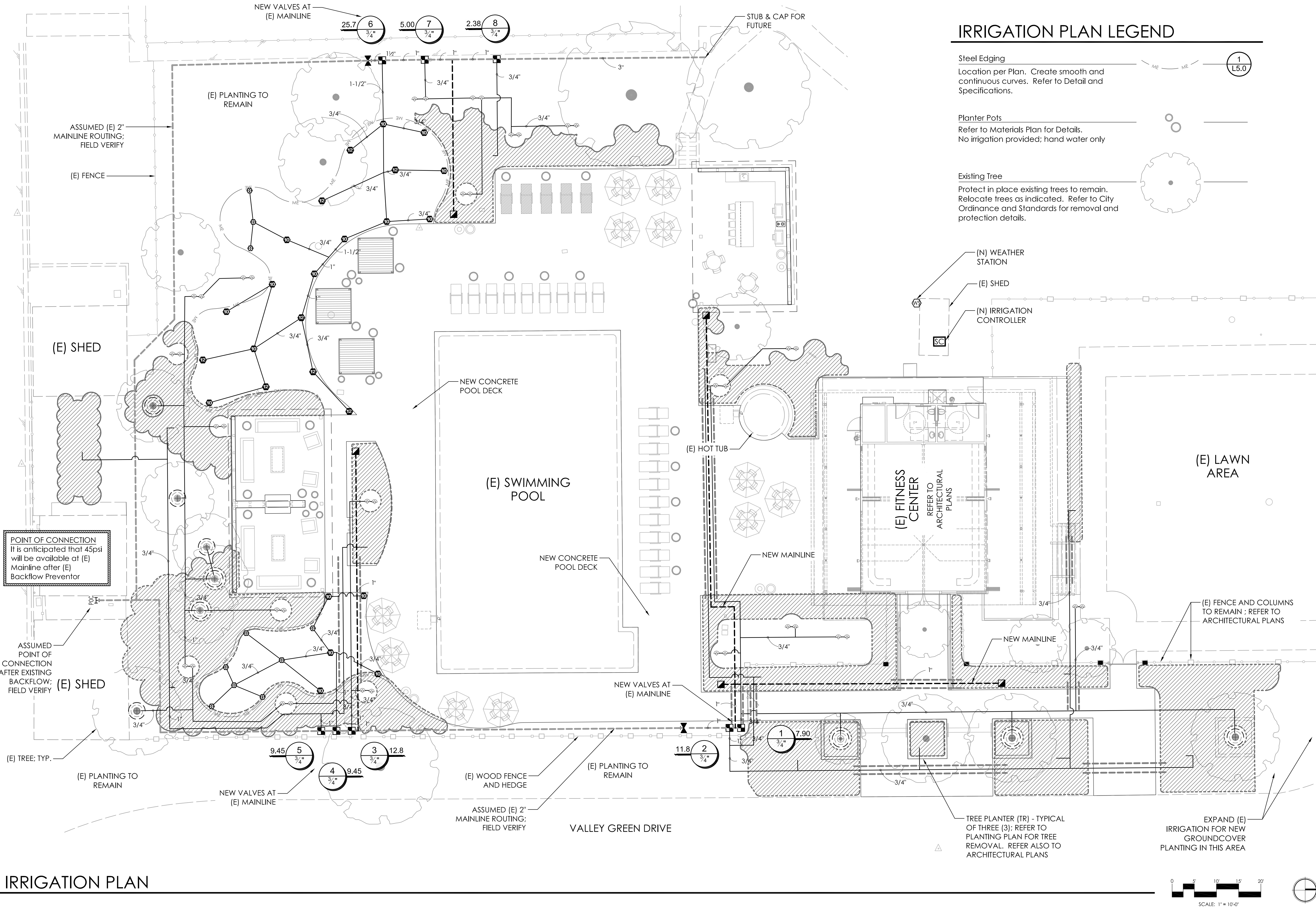
Issuances & Revisions		
No.	Description	Date
1	Permit Set	3/29/2019
2	Permit Set Rev	1/21/2020

Key Plan/Consultant Stamp

IRRIGATION PLAN

Date: 01/21/2020
Project Number: 18-1643

L3.0



IRRIGATION PLAN LEGEND

Steel Edging

Location per Plan. Create smooth and continuous curves. Refer to Detail and Specifications.

Planter Pots

Refer to Materials Plan for Details. No irrigation provided; hand water only

Existing Tree

Protect in place existing trees to remain. Relocate trees as indicated. Refer to City Ordinance and Standards for removal and protection details.

(N) WEATHER STATION

(E) SHED

(N) IRRIGATION CONTROLLER

(E) HOT TUB

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

NEW MAINLINE

STATEMENT OF COMPLIANCE

I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the irrigation design plan.

PREPARER NAME: Christine Talbot

PREPARER SIGNATURE: [Signature]

PROFESSIONAL LICENSE: PLA CA #5226

IRRIGATION PLAN

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊗	Rain Bird RD-06-S-P30-U HE-VAN Series	10	Adj	30		8'	■	Hunter HQ-33DLRC Quick coupler valve, red brass and stainless steel, with 3/4" NPT inlet, 2-piece body.	5
⊗	Rain Bird RD-06-S-P30-U HE-VAN Series	17	Adj	30		10'			
⊗	Rain Bird RD-06-S-P30-U HE-VAN Series	8	Adj	30		12'	⌵	Nibco T-113-K Class 125 bronze gate shut off valve with cross handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"	2
⊗	Rain Bird 1804-SAM-PRS-1400 Flood	19	360	30	0.50	3'			
⊗	Rain Bird RWS-M-B-C-SOCK-1402	19	360	30	0.50	3'			
SC	Rain Bird ESP4-SMTE with (3) ESP-SM6 22 Station Outdoor Smart Modular Control System for Residential and Light Commercial Use. Wall Mount, Tipping Bucket Rain Sensor that Measures Rainfall.	1							
⊗	On-surface Dripline Rings at Existing Tree Rain Bird XFD-09-12 On-surface Dripline Tree rings 0.9gph on-surface dripline with 12" O.C. emitter spacing at 24" O.C. offset ring-to-ring. Refer to Tree Drip Ring Irrigation Details on Sheets L5.1 and L5.2.	9					⊗	On-site Weather Station Weather Station package with Controller	1
⊗	Area to Receive Dripline Rain Bird XFCV-06-18" XFCV On-Surface Landscape Dripline with a Heavy-Duty 3.5 psi Check Valve, 0.6 GPH emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Great for elevation change. Specify XF insert fittings.	3,547 Lf.					POC	Point of Connection 2"	1
							---	Irrigation Lateral Line: PVC Schedule 40	1,520 Lf.
							---	Existing Irrigation Mainline. Assume Size 2". Verify Location and size. Notify Landscape Architect if different. Reuse in existing location. Add new valves as shown. Replace as needed to accommodate new routing.	
							---	New Irrigation Mainline: PVC Schedule 40 Size per Plans	244.3 Lf.
							---	Pipe Sleeve: PVC Schedule 40 Min. 4" for Laterals; Min. 6" for Mainline	166.9 Lf.

IRRIGATION NOTES

- The Landscape Contractor shall inspect the site and verify conditions and dimensions prior to construction.
- Install irrigation system in accordance with all local codes and ordinances.
- See details and specifications for procedures, material and installation requirements.
- Prior to cutting into soil, locate all cables, conduits, sewers, and other utilities or architectural features that are commonly encountered underground and take proper precautions not to damage or disturb such improvements. Any damage made during the installation of the irrigation system of the aforementioned items shall be repaired and/or replaced to the satisfaction of the Owner at the Contractor's own expense.
- Contractor to minimize disturbance to existing tree roots on site. Cut minor roots (less than 2" in diameter) of trees indicated to remain in a clean and careful manner where such roots obstruct installation of new construction. If any roots greater than 2" are encountered stop work and contact the Owner's representative immediately.
- The irrigation design is diagrammatic. All piping, valves, etc., shown within paved areas are for design clarification only and shall be installed in planting areas. Main and valves shall be installed in shrub/ground cover areas only. Avoid conflicts with utilities, new planting, new site or architectural elements.
- All valves shall be placed in existing valve boxes. Add boxes as needed for new/replaced valves. All valve boxes shall be located in groundcover areas whenever possible, and shall be bolted down.
- Station operation times shall not exceed the soil's infiltration rate as determined by the soils report.
- All lateral end runs shall be 3/4" size unless otherwise noted.
- Where pipe sizes have been omitted or there is a conflict, refer to the lateral pipe sizing chart for sizes.
- Install two spare common and four spare control wires from each controller in a continuous loop through each valve box connected to that controller for future use.
- Contractor shall coordinate sleeving for irrigation piping with Paving Contractor prior to paving installation. It is the contractor's responsibility for providing appropriate sleeving under landscape. At each mainline sleeve, provide a separate, appropriate-size sleeve for control/common wiring.
- The landscape Contractor shall coordinate his work with other trades involved (I.E. Grading, Plumbing and Electrical Contractors).
- Contractor shall verify all locations and function of existing irrigation equipment and points of connection that are to remain or to connect to new irrigation systems, upon notification of award of contract. Contractor to immediately notify Landscape Architect if any discrepancies are found between plans and existing irrigation conditions.
- The overall site plan is designed to channel all potential overspray of the irrigation system to planting areas adjacent to the pool deck. Drains are placed within landscape planting areas so water from any potential overspray infiltrates before reaching drains. Drains are located to provide relief from storms and excessive water at the site in those particular events.

IRRIGATION DESIGN

Required Pressure at P.O.C.: 45psi
Required GPM: 26gpm

- Pressure available downstream of BF should be greater than or equal to 45psi
- Contractor to contact landscape architect if found to be different and to determine needed pressure regulation devices (i.e., boost pump or regulating valve).

LATERAL SIZING GUIDE

CIRCUIT GPM	PIPE SIZE	PIPE CLASS
0-8 GPM	3/4"	SCH. 40 PVC
9-12 GPM	1"	SCH. 40 PVC
13-22 GPM	1-1/4"	SCH. 40 PVC
23-30 GPM	1-1/2"	SCH. 40 PVC
31-50 GPM	2"	SCH. 40 PVC
51-70 GPM	2-1/2"	SCH. 40 PVC
71-110 GPM	3"	SCH. 40 PVC

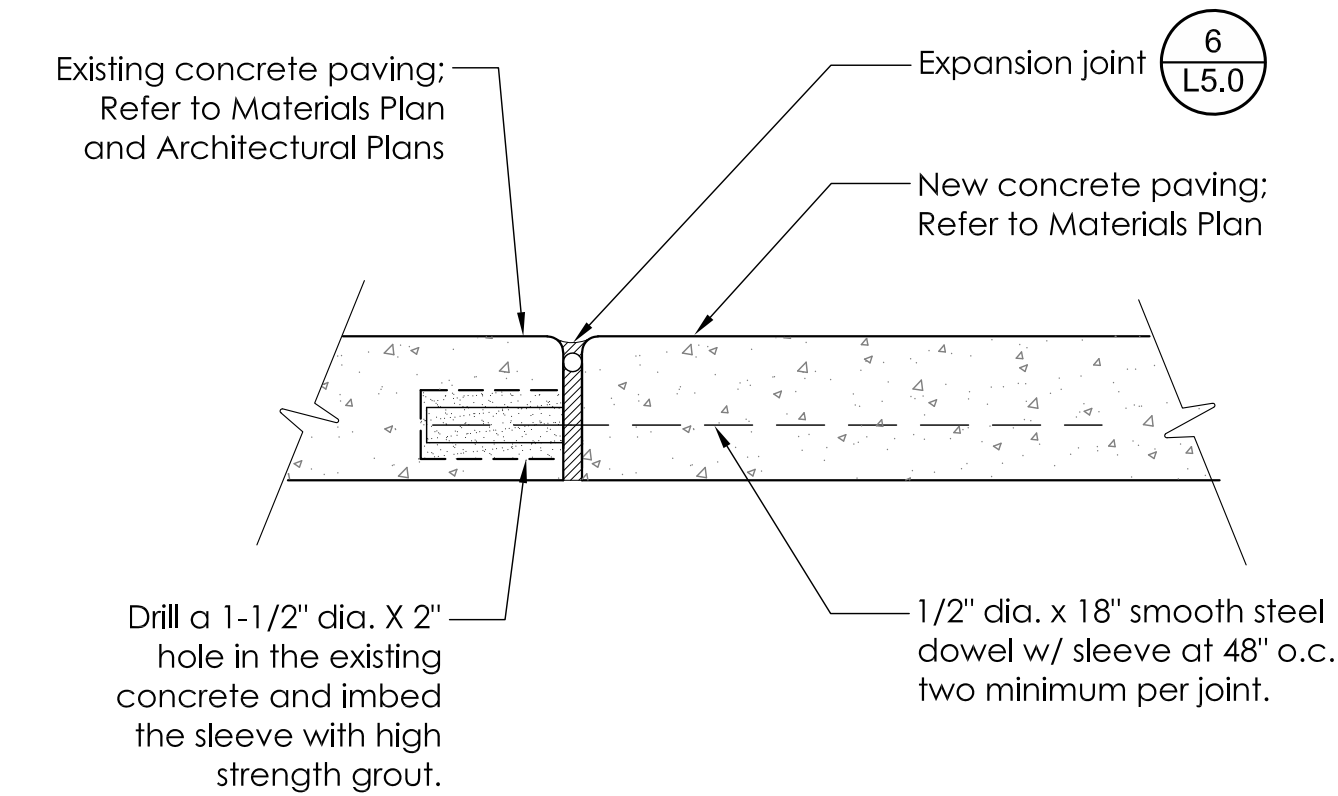
CONTROL WIRE SIZING GUIDE

Control/ Common Wire	No. 14	No. 12	No. 10	No. 8
No. 14	1700'	2000'	2400'	2700'
No. 12		2700'	3300'	3800'
No. 10			4800'	5200'
No. 8				6700'

System Operating Flow & Pressure

Maximum flow: 27 GPM
Static Design Pressure: 30 psi
Normal Operating Pressure: 45 psi
Contractor to confirm pressure at point of connection, per plan, prior to the installation of any irrigation equipment.

REFER TO SHEET L4.0 FOR PLANTING PLAN AND NOTES
REFER TO SHEET L5.1 AND L5.2 FOR CALCS AND DETAILS
REFER TO SHEET L6.1 FOR IRRIGATION SPECIFICATIONS

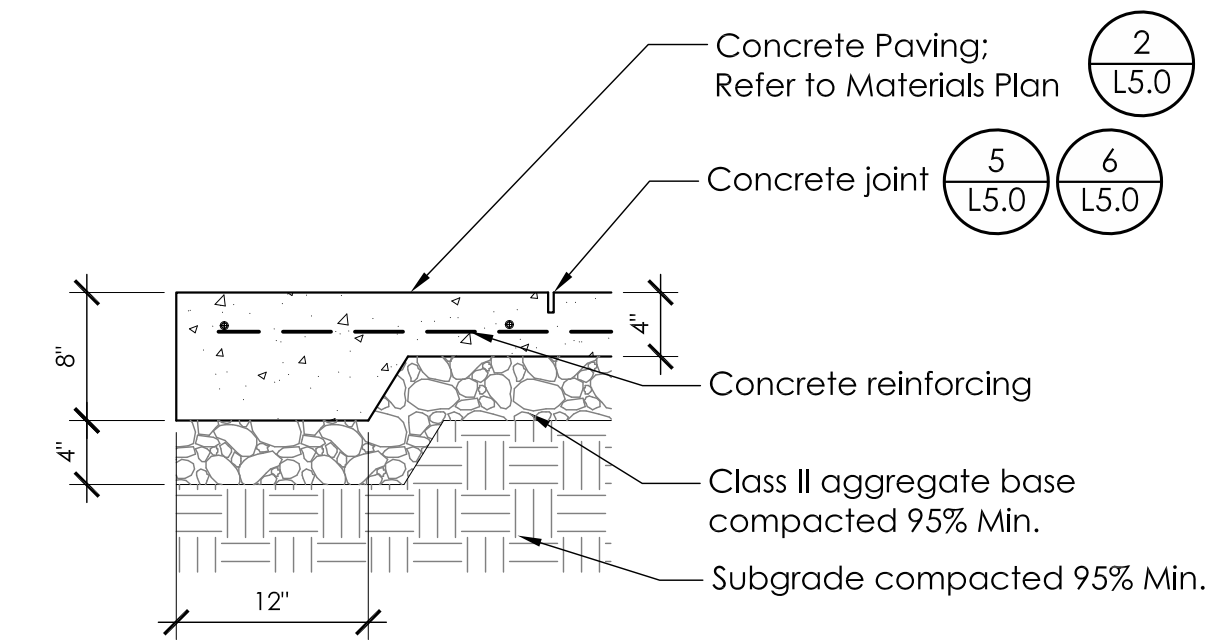


4

CONCRETE JOINT AT EXISTING PAVING

NOT TO SCALE

P-RE-VIL-12



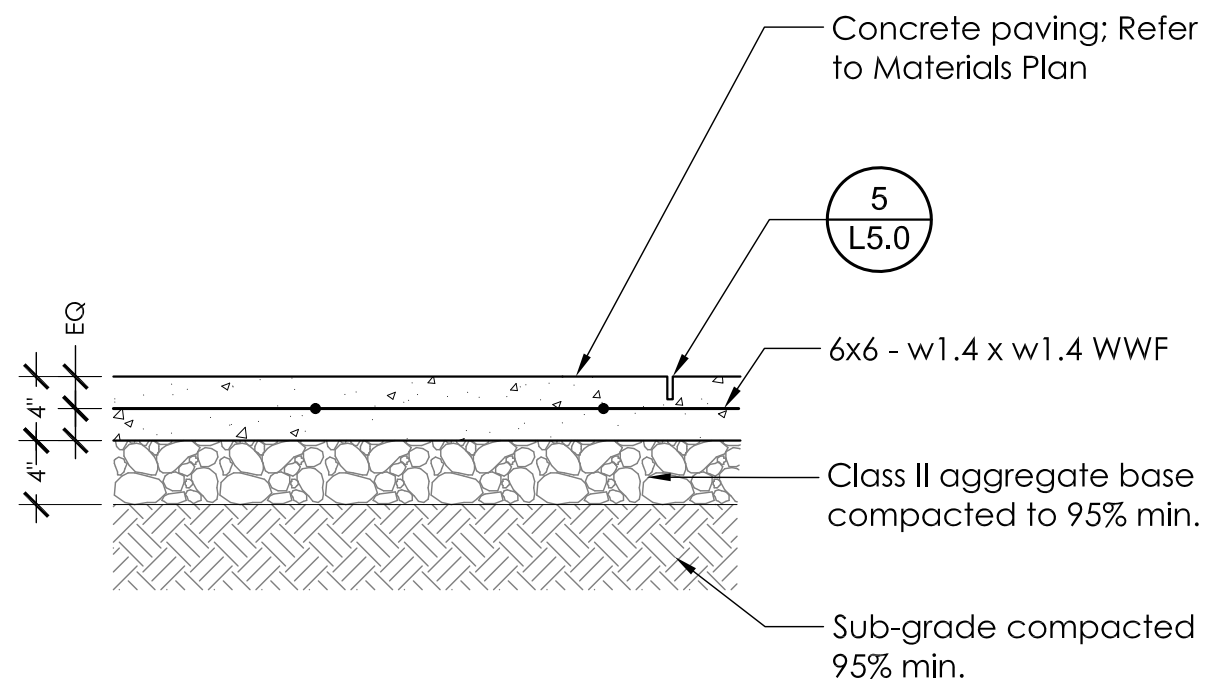
NOTES:
Thickened cross-sections are to be used along outside edges of concrete paving and where anchoring is required for site features and furnishings, i.e., Family Cabana.

3

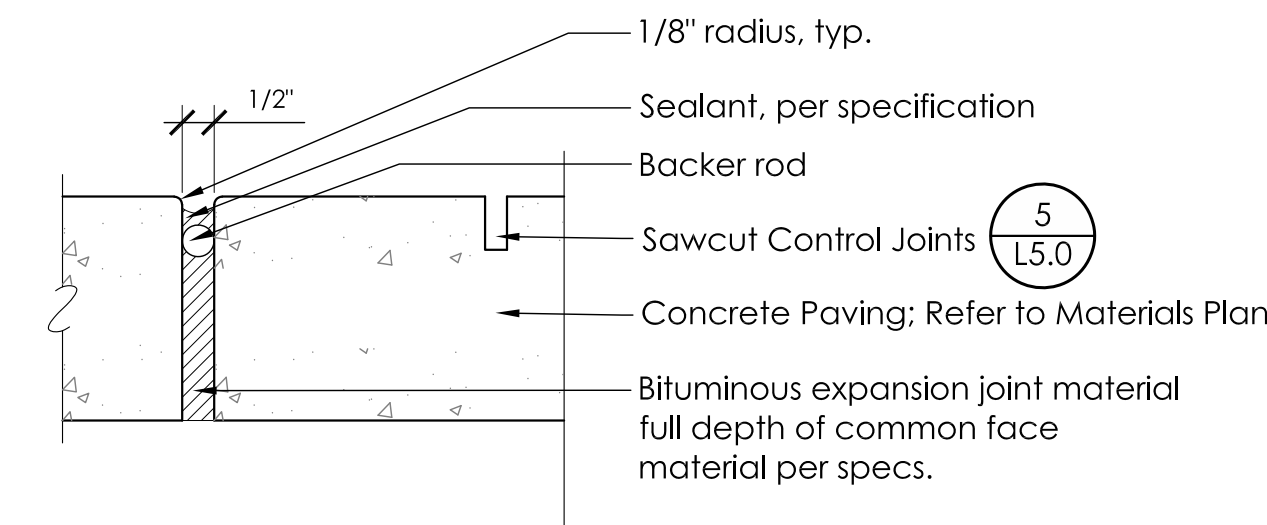
PEDESTRIAN CONC. PAVING - THICKENED EDGE

NOT TO SCALE

P-RE-VIL-10



NOTES:
Install expansion joints where new paving meets existing paving, wall and foundations. Additionally, create expansion joints in all new paving per Geotechnical and/or Soils Engineer recommendations. Contractor to submit a 4x4 panel sample of each concrete finish to landscape architect for approval. See Materials, Layout, and Architectural Plans for details. See also Specifications.

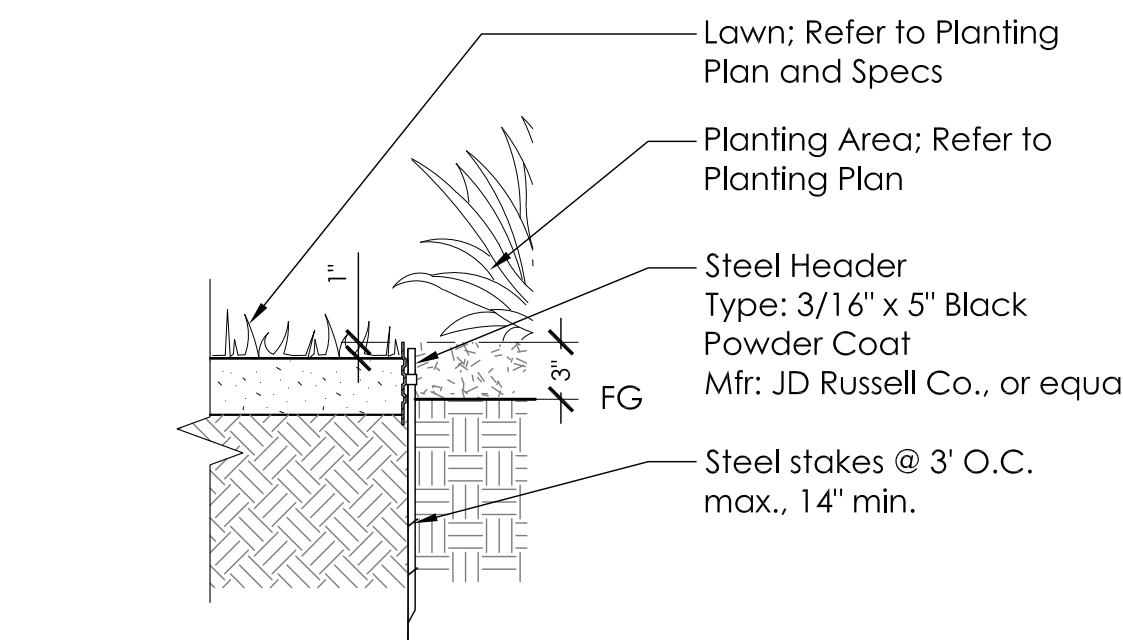
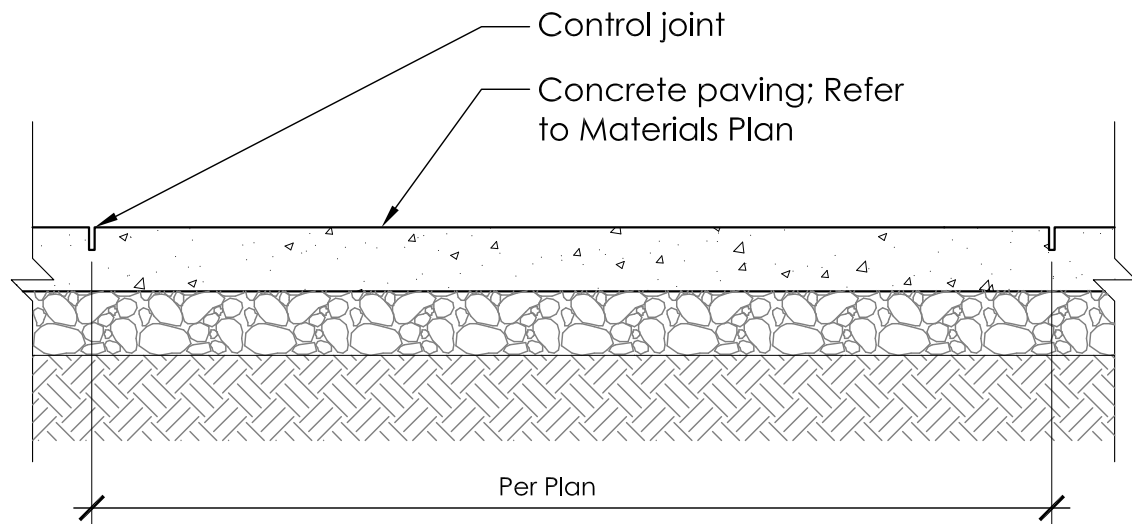


6

EXPANSION JOINT

NOT TO SCALE

P-RE-VIL-16



NOTES:
1. Compact grades adjacent to edging to avoid settling.
2. Corners - Cut base of edging up half way and form a continuous corner.
3. Stake on inside of planting area when adjacent to lawn area.

5

SAWCUT CONTROL JOINT

NOT TO SCALE

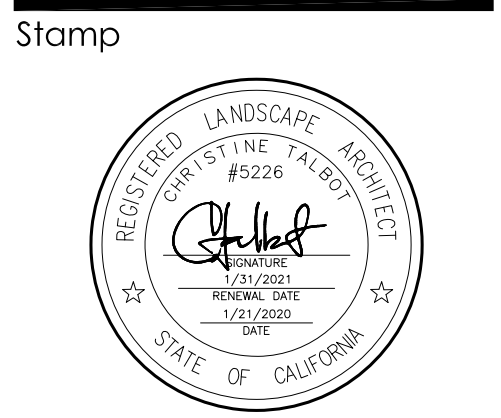
P-RE-VIL-06

1

METAL HEADER

NOT TO SCALE

P-RE-VIL-05



© Copyright 2019 QUADRIGA landscape architecture & planning, inc.

Issuances & Revisions		
No.	Description	Date
Permit Set		3/29/2019
Permit Set Rev		1/21/2020

Key Plan/Consultant Stamp

SITE DETAILS

Date: 01/21/2020
Project Number: 18-1643

L5.0

Pool Area Renovation

Date: 01/21/2020
Project Number: 18-1643

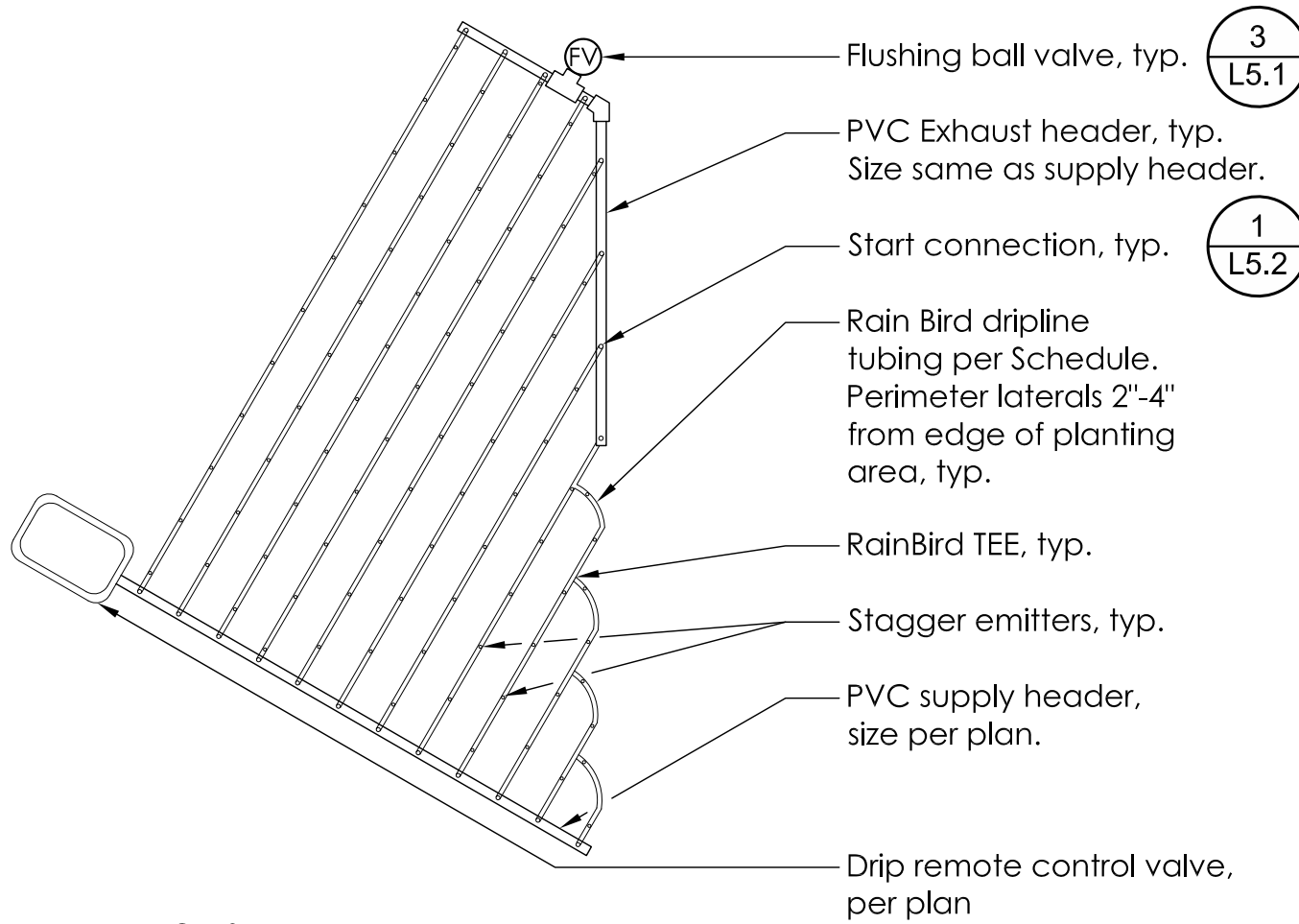
L5.1



THE VILLAGES AT CUPERTINO

Pool Area Renovation

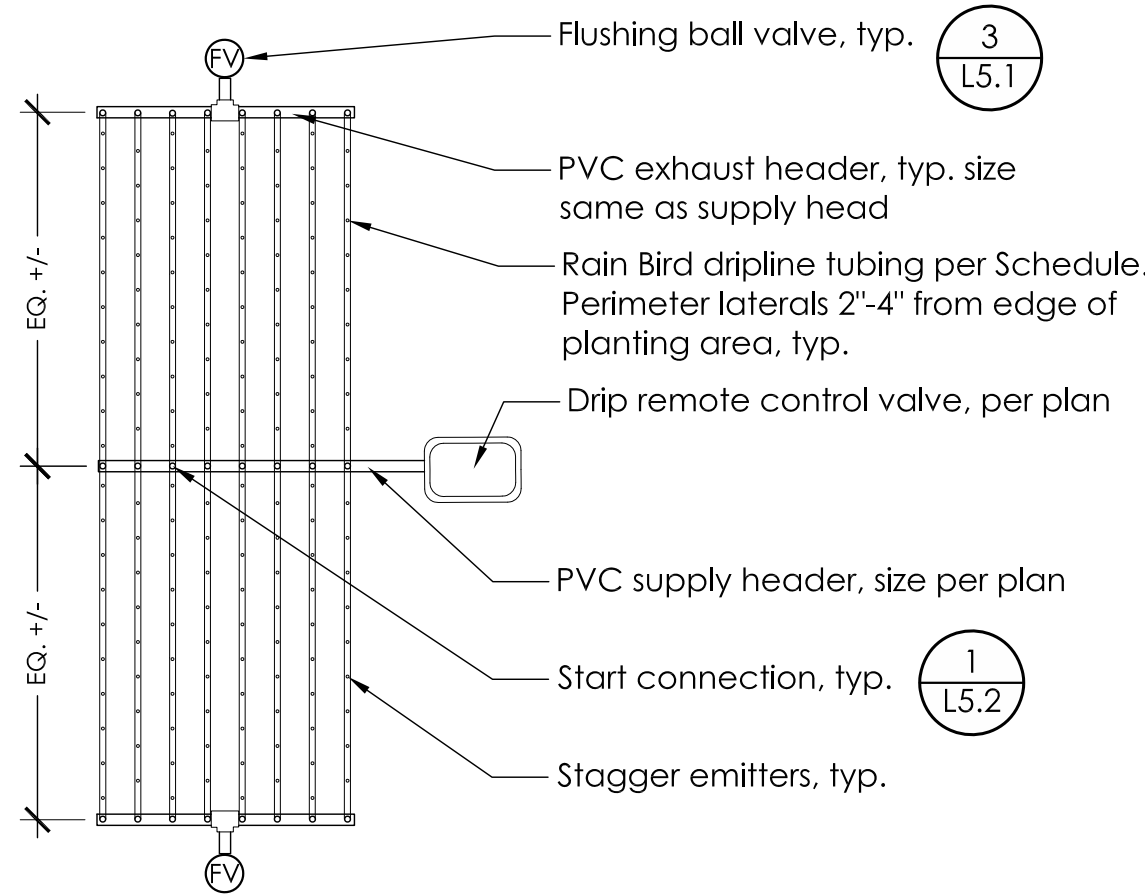
20800 Valley Green Drive
Cupertino, CA 95014



- NOTES:
1. Affix all lines to ground using soil staples every 3' from drip valve.
 2. Rain Bird XFS emitters are pressure compensating and have check valves.
 3. See Irrigation Schedule for emitter and row spacing.
 4. Install check valves on supply and exhaust headers where elevation meets/exceeds 4-1/2' & as needed to prevent low-head drainage.

4 LAYOUT FOR IRREGULAR AREAS - TRIANGULAR

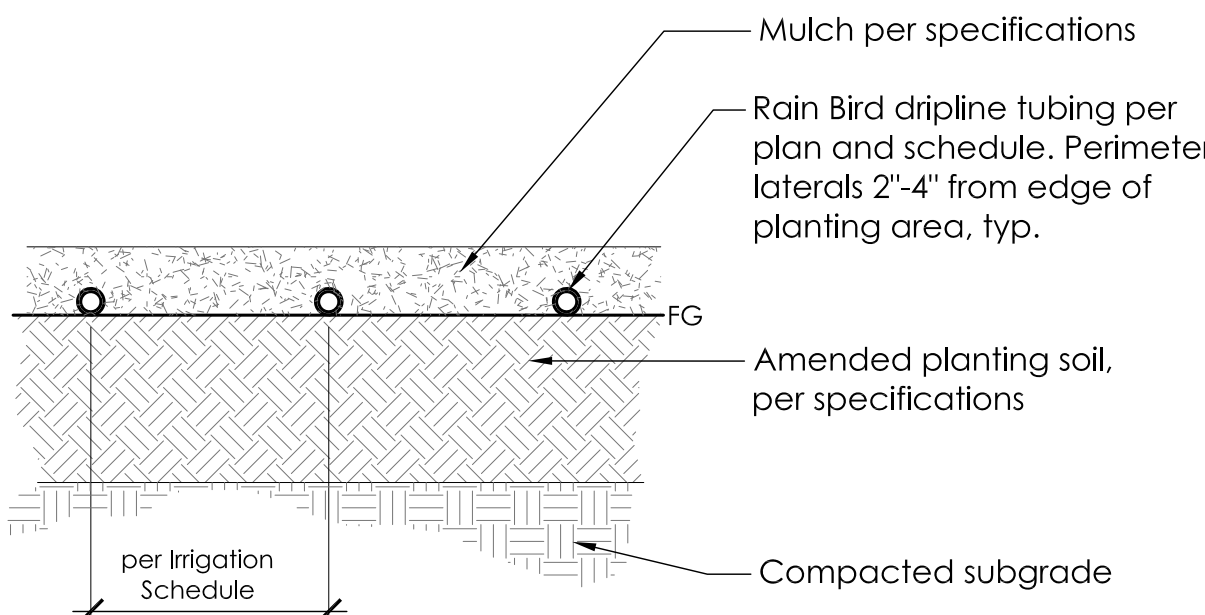
NOT TO SCALE P-RE-VIL-41



- NOTES:
1. Affix all lines to ground using soil staples every 3' from drip valve.
 2. Rain Bird XFS emitters are pressure compensating and have check valves.
 3. See Irrigation Schedule for emitter and row spacing.
 4. Install check valves on supply and exhaust headers where elevation meets/exceeds 4-1/2' & as needed to prevent low-head drainage.

3 DRIPLINE LINEAR LAYOUT

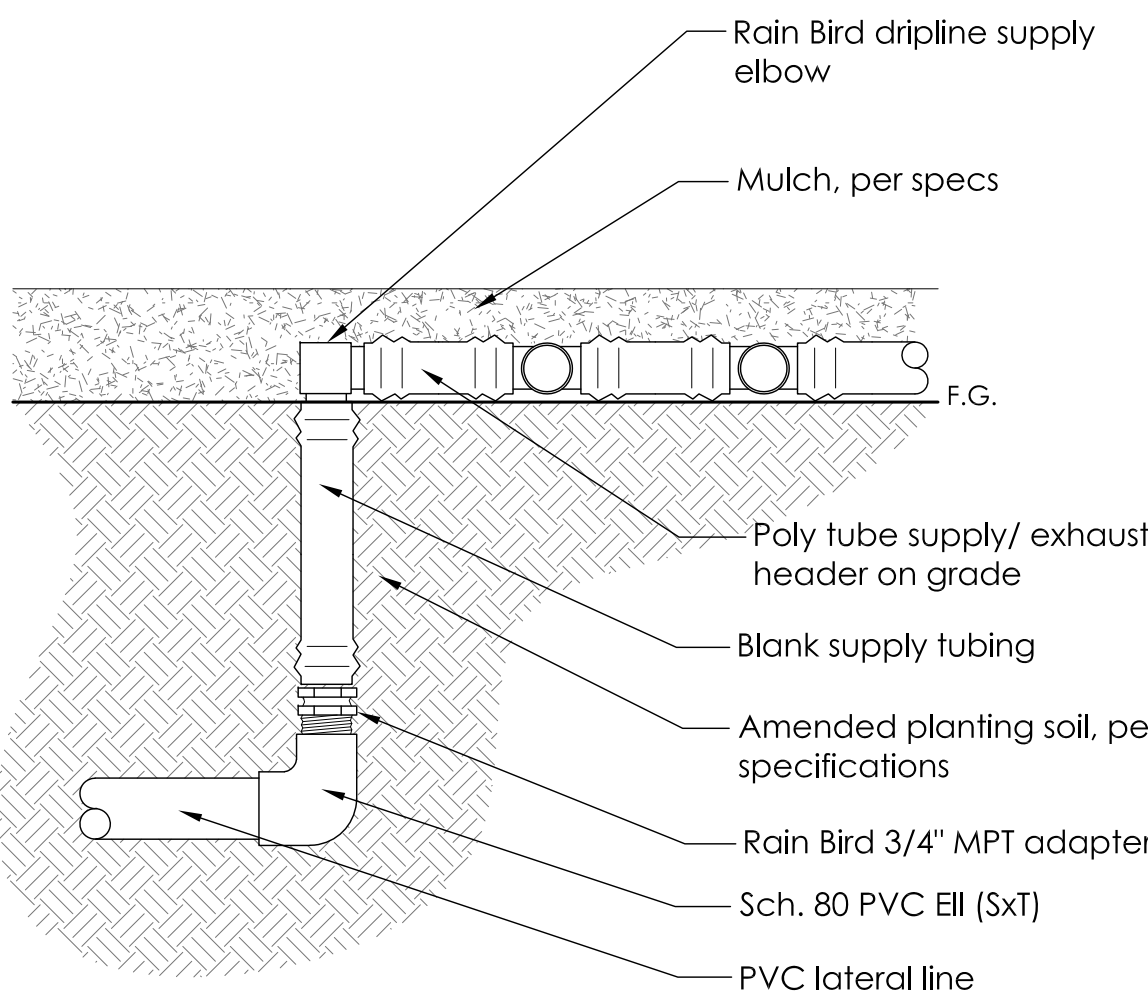
NOT TO SCALE P-RE-VIL-43



- NOTE:
1. Install dripline tubing at finish grade, staple in place, per layout detail, then cover with mulch layer per planting details and specifications.

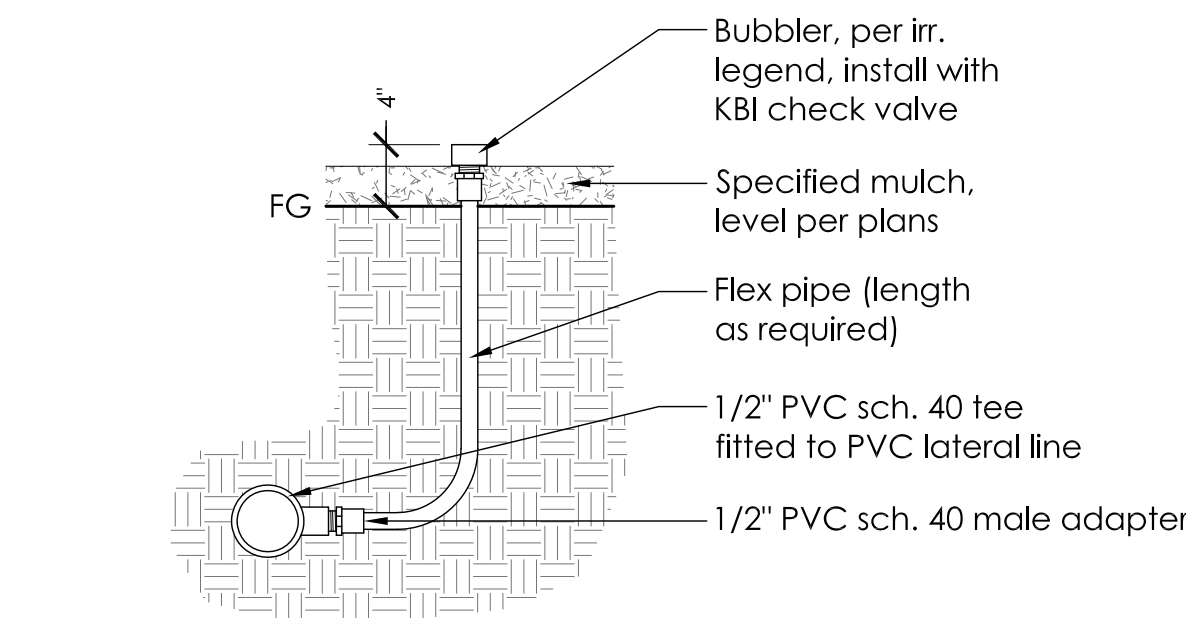
2 RAIN BIRD DRIPLINE ON-GRADE INSTALLATION

NOT TO SCALE P-RE-VIL-53



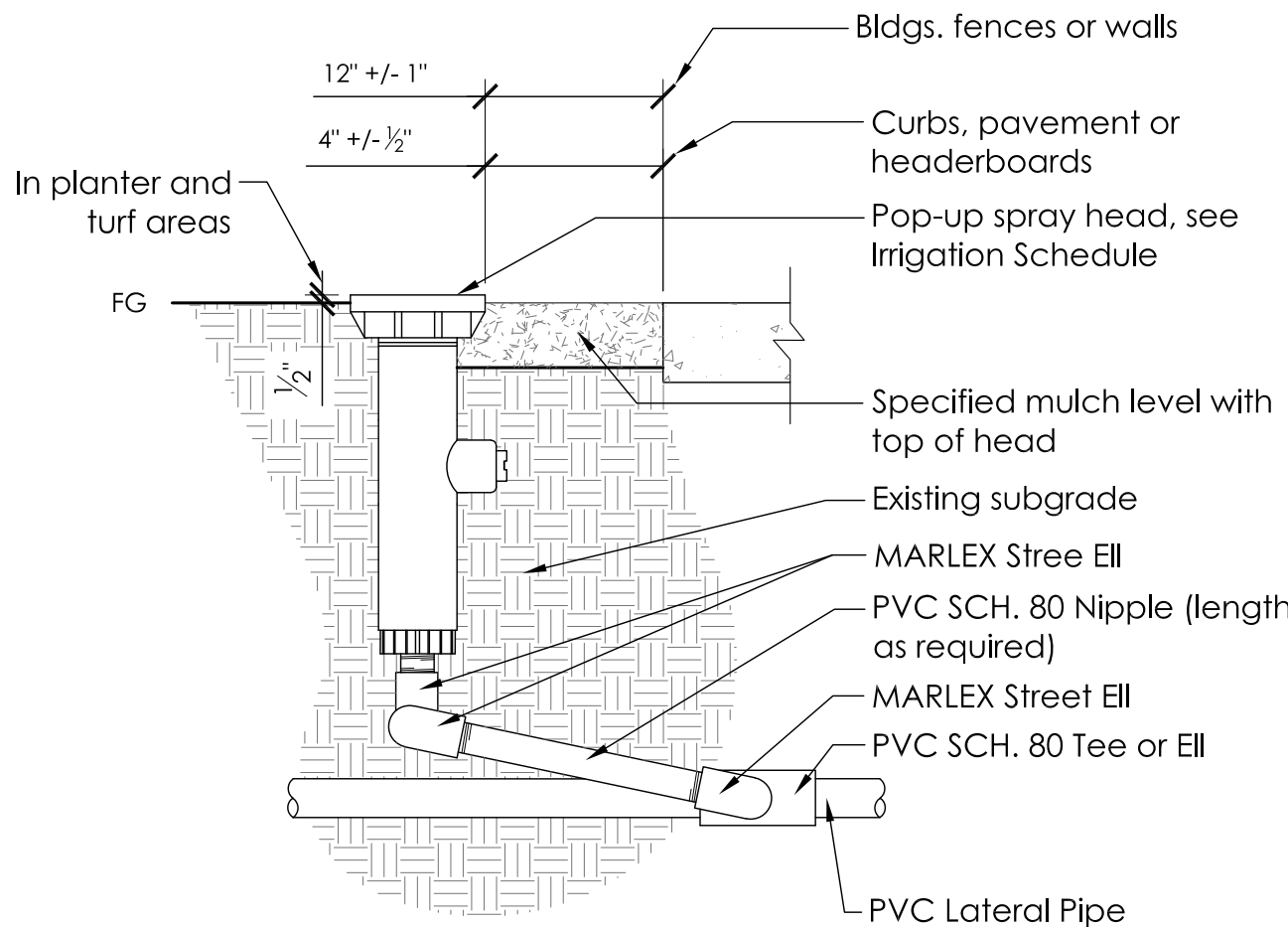
1 DRIPLINE START CONNECTION ON GRADE

NOT TO SCALE P-RE-VIL-44



7 FLOOD BUBBLER

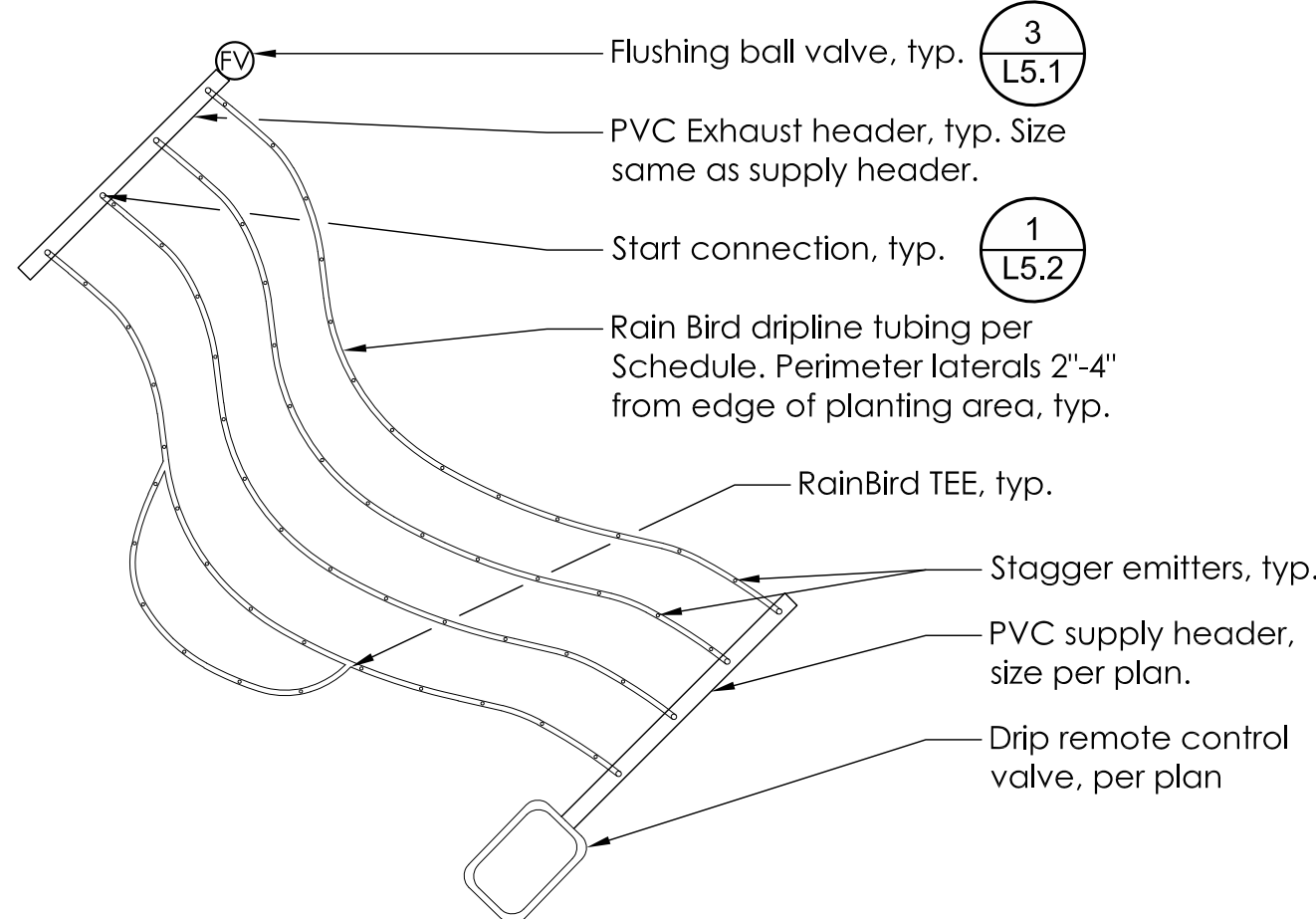
NOT TO SCALE P-RE-VIL-38



- NOTES:
1. All pvc threads shall have teflon tape, except at ell to ell or ell to tee connections.
 2. Install sprinkler heads 3\"/>

6 POP-UP SPRAY HEAD

NOT TO SCALE P-RE-VIL-36



- NOTES:
1. Affix all lines to ground using soil staples every 3' from drip valve.
 2. Rain Bird XFS emitters are pressure compensating and have check valves.
 3. See Irrigation Schedule for emitter and row spacing.
 4. Install check valves on supply and exhaust headers where elevation meets/exceeds 4-1/2' & as needed to prevent low-head drainage.

5 DRIPLINE LAYOUT FOR IRREGULAR AREAS - CURVES

NOT TO SCALE P-RE-VIL-39

Stamp



© Copyright 2019 QUADRIGA landscape architecture & planning, inc.

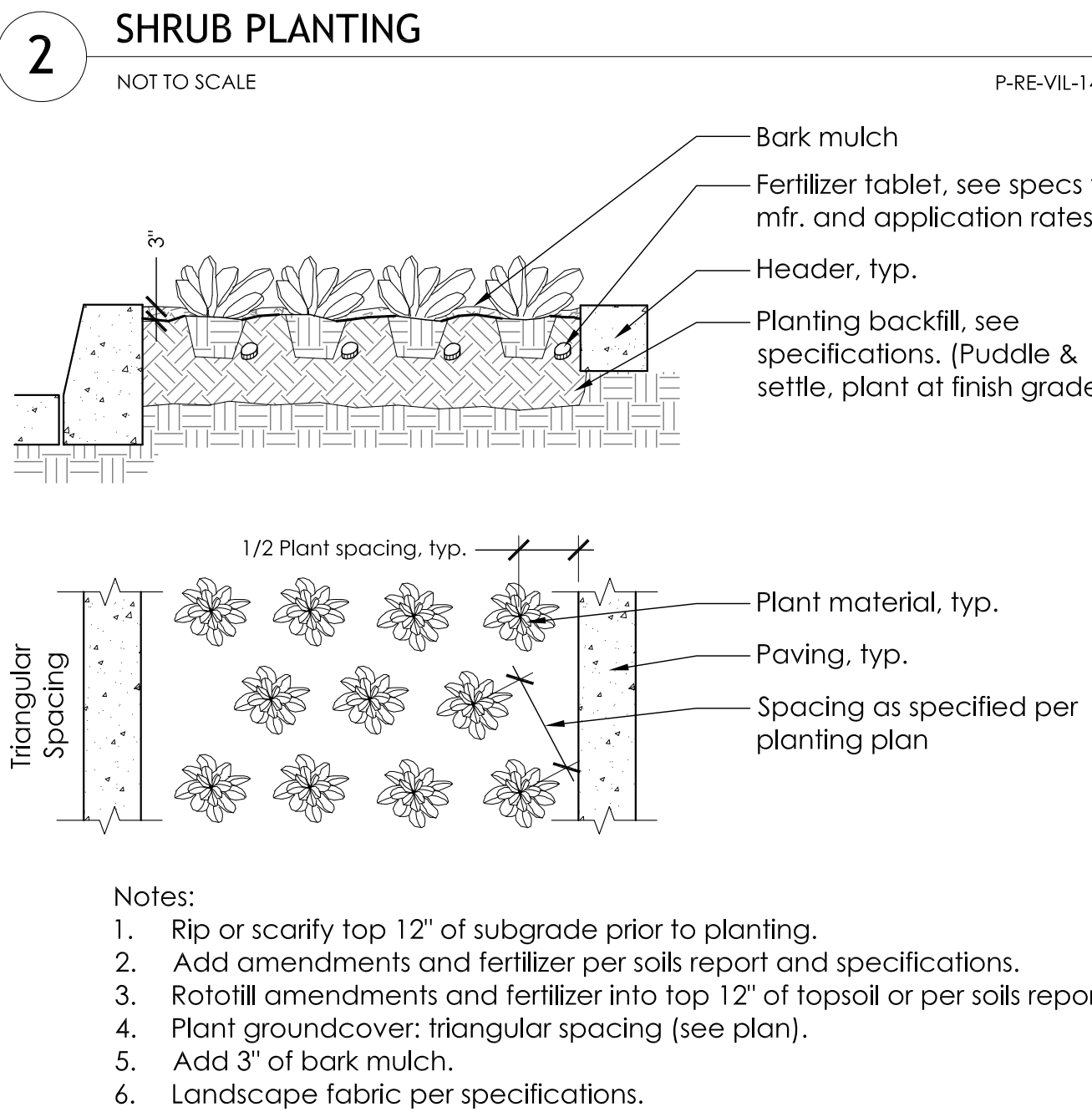
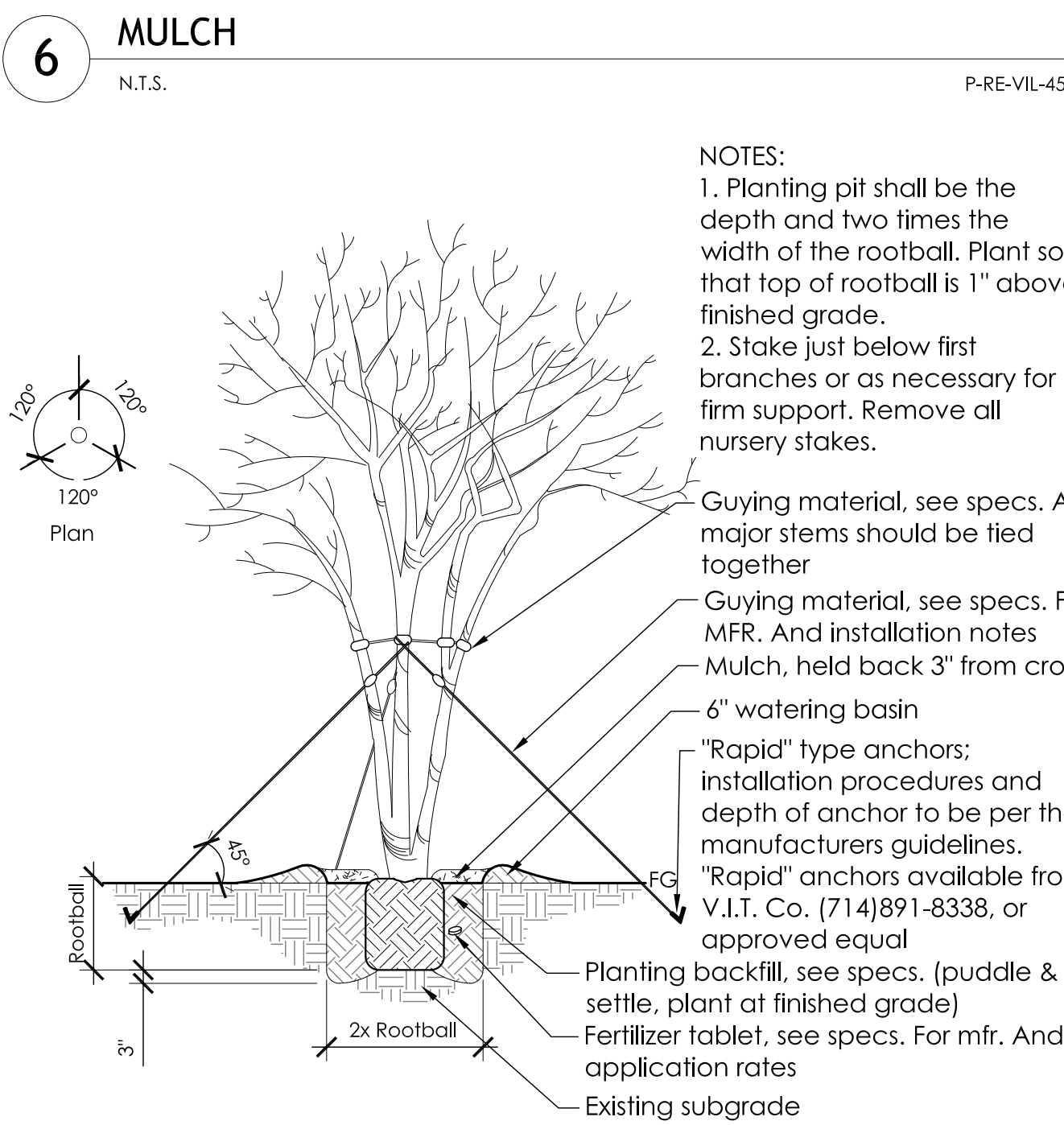
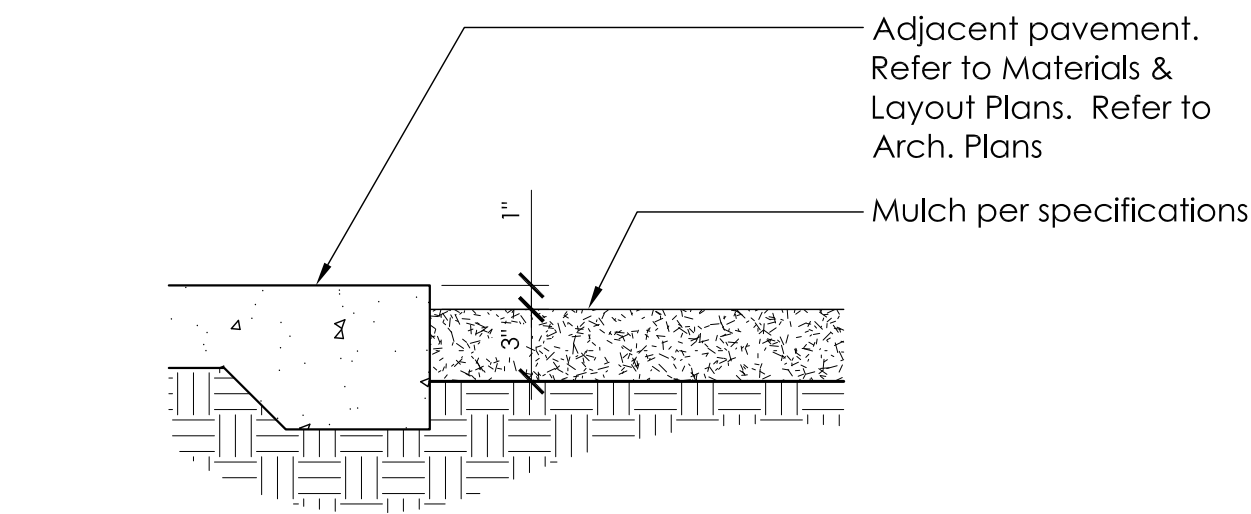
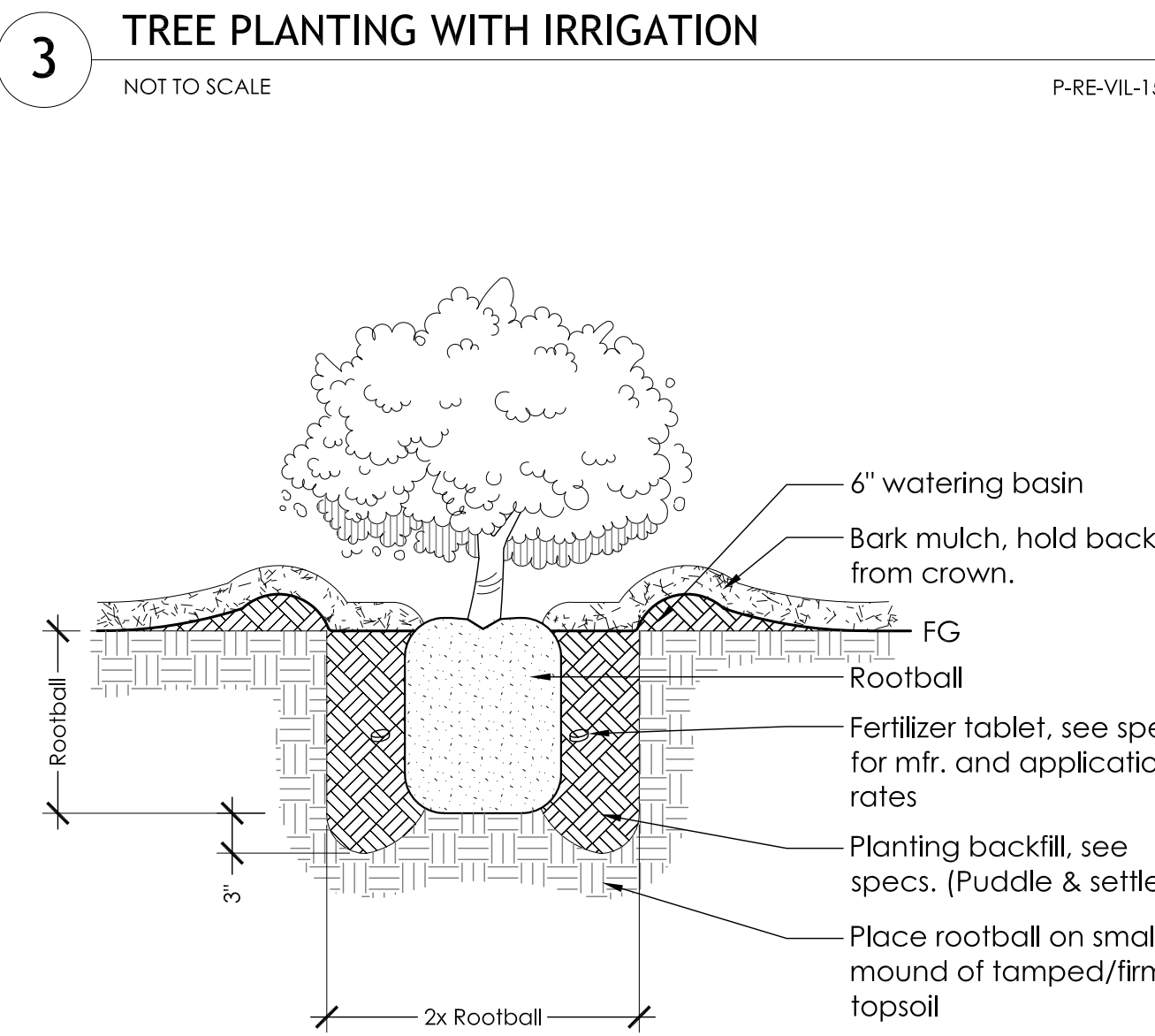
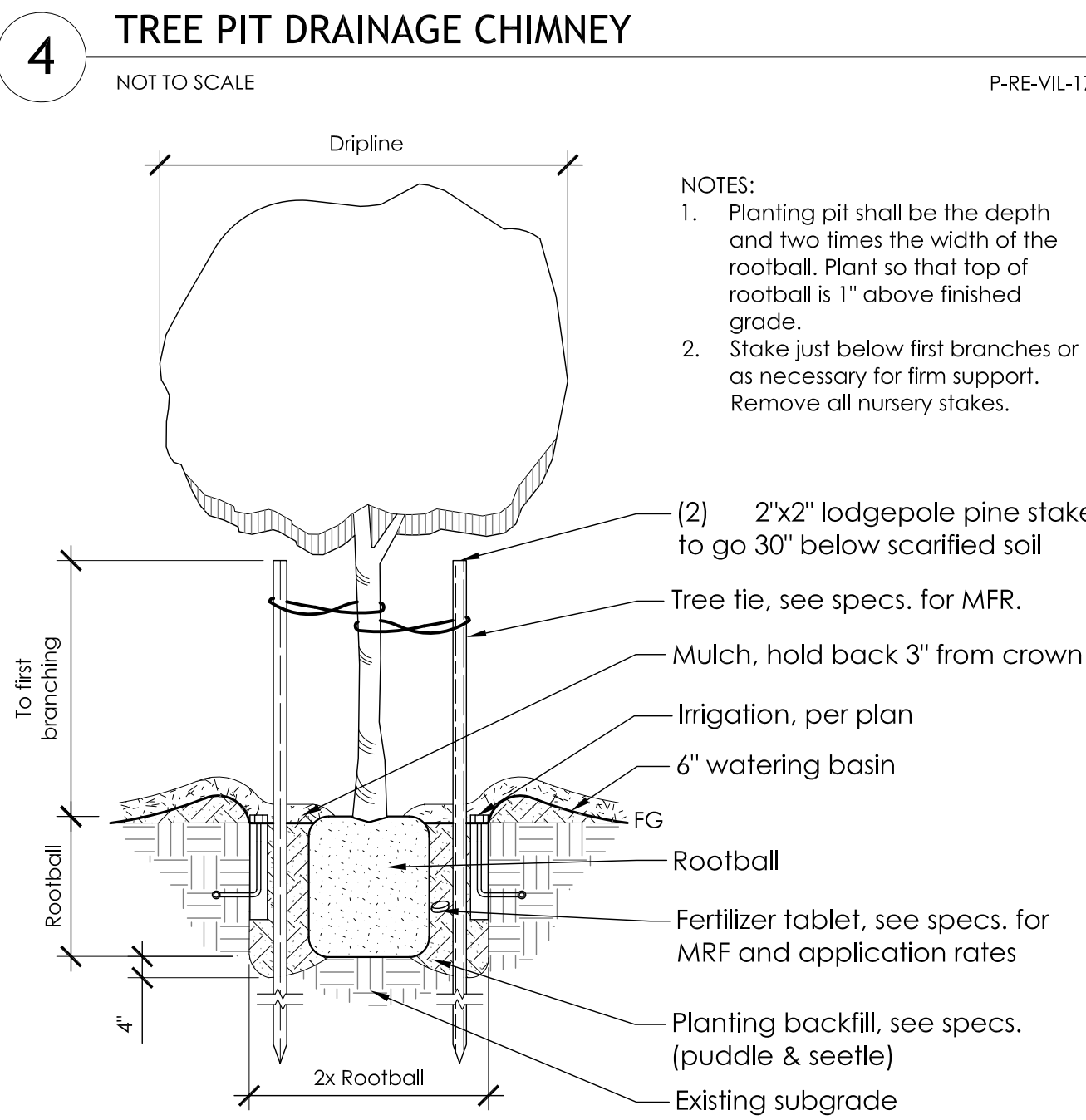
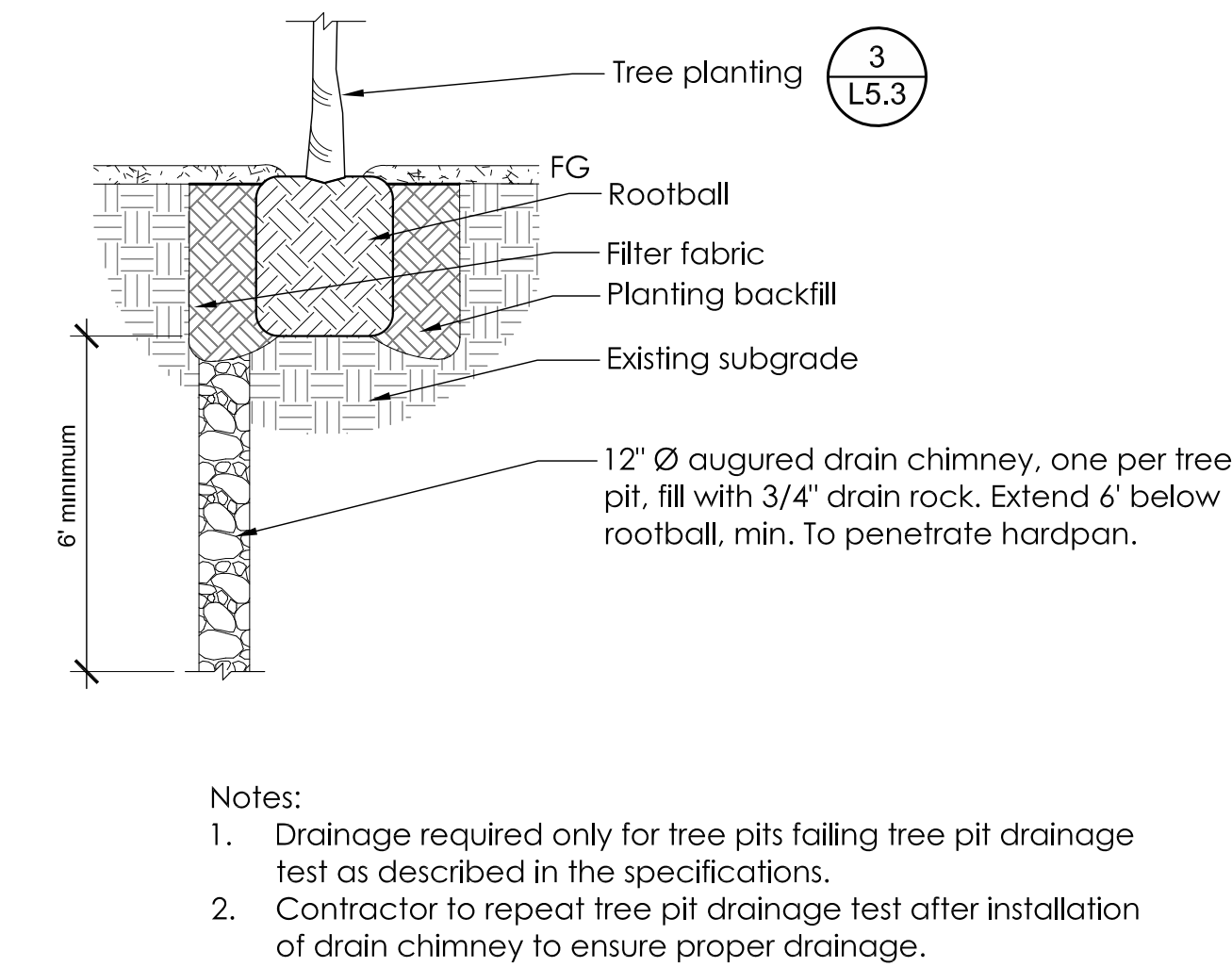
Issuances & Revisions		
No.	Description	Date
Permit Set		3/29/2019
Permit Set Rev		1/21/2020

Key Plan/Consultant Stamp

IRRIGATION DETAILS

Date: 01/21/2020
Project Number: 18-1643

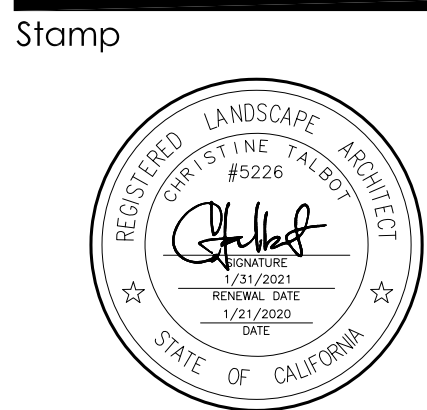
L5.2



THE VILLAGES AT CUPERTINO

Pool Area Renovation

20800 Valley Green Drive
Cupertino, CA 95014



© Copyright 2019 QUADRIGA landscape architecture & planning, inc.

Issues & Revisions		
No.	Description	Date
Permit Set		3/29/2019
Permit Set Rev		1/21/2020

Key Plan/Consultant Stamp

PLANTING DETAILS

Date: 01/21/2020
Project Number: 18-1643



March 10, 2021

City of Cupertino
10300 Torre Avenue
Cupertino, California 95014

Re: Live Tree Removals at 20875 Valley Green Drive, Cupertino, CA

To whom it may concern,

This letter intends to address the removal of one (1) *Ulmus parvifolia* (Chinese elm) and the relocation one (1) live *Acer palmatum* (Japanese maple) fronting the proposed path to the new fitness center on the 20875 Valley Green Drive property in Cupertino, California. Please see Exhibit 1.1 for the relative locations of the subject trees indicated as white/red dots, and for the location of the replacement trees. The trees are live but will need to be removed (Tree A) and relocated on-site (Tree B) due to the proposed project.

Tree A is approximately 30-feet tall with a 30-foot canopy width and a 14-inch trunk diameter at 4.5-feet above grade. Tree B is approximately 5-feet tall with a 5-foot canopy width and a 2-inch and 2-inch multi-trunk diameter at 3-feet above grade. The trees are in good health and have good structure. The trees are in direct conflict with the proposed pathway to the fitness center entrance to the building. Please see Exhibit 1.2 an image of the subject trees.

The reason for their removal is due to capital improvements. The adjacent building entrance has an ADA egress through the existing planting areas of the trees—a walkway planned to be installed through the subject trees' growing space. Please see Exhibit 1.2 for a section of the plans showing the ADA walkway located in the trees' growing space. Due to the close proximity of the planned excavation for the walkway, the trees will require removal.

The trees are considered protected pursuant to Section 14.18.035 of the City of Cupertino's Municipal Code and require a permit from the City's Planning Department prior to their removal. The property owner would like to transplant Tree B on-site to mitigate its removal as well as replace Tree A with two (2) 24-inch box Chinese pistache. The replacements and relocation will be planted in the planting locations shown in Exhibit 1.1.

Please review this information and contact me with any questions or concerns regarding the information provided in this letter.

Sincerely,

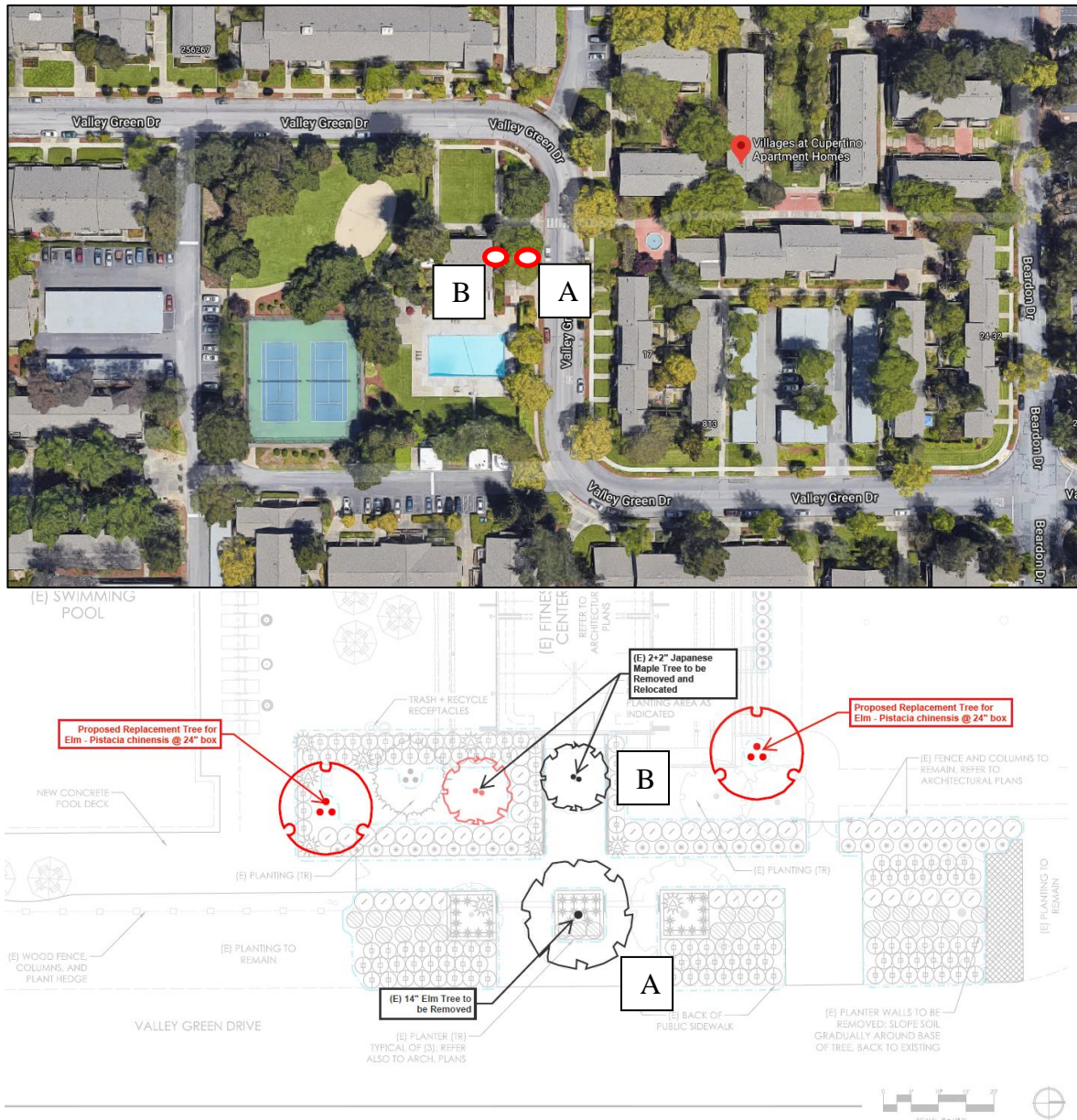
A handwritten signature in black ink, appearing to read "S. Oakley".

Samuel Oakley
ISA Board Certified Master Arborist, WE-9474B TRAQ
ASCA Registered Consulting Arborist #556

2337 AMERICAN AVE, HAYWARD, CA 94545
1993 EAST BAYSHORE ROAD, REDWOOD CITY, CA 94063

OFFICE: (888) 969-8733
DIRECT: (925) 518-2028
SOAKLEY@ARBORWELL.COM

The locations of the proposed removals are shown with white/red dots (top image). The replacement tree locations are shown in the bottom image.

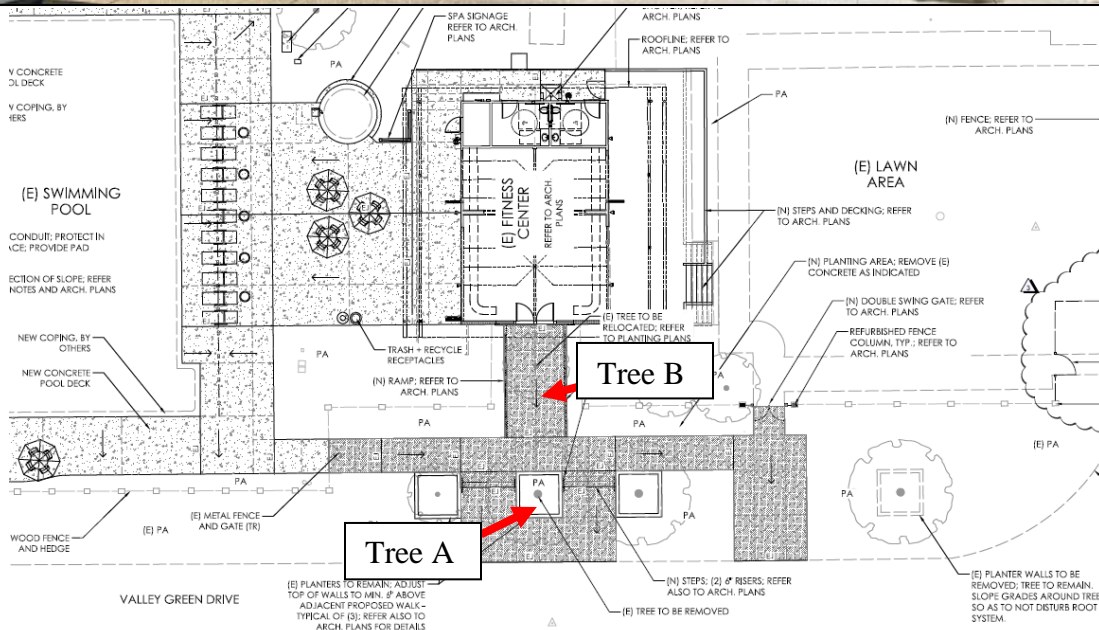


OFFICE: (888) 969-8733
DIRECT: (925) 518-2028
SOAKLEY@ARBORWELL.COM



Exhibit 1.2 - Supporting Image:

Tree B will be relocated to one side of the building entrance and Tree A's replacement installed on the other side.



2337 AMERICAN AVE, HAYWARD, CA 94545
1993 EAST BAYSHORE ROAD, REDWOOD CITY, CA 94063

OFFICE: (888) 969-8733
DIRECT: (925) 518-2028
SOAKLEY@ARBORWELL.COM