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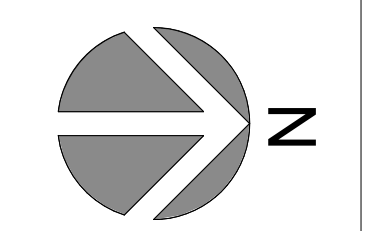
The De Anza
 De Anza Properties
 10931 N De Anza Blvd, Cupertino, CA

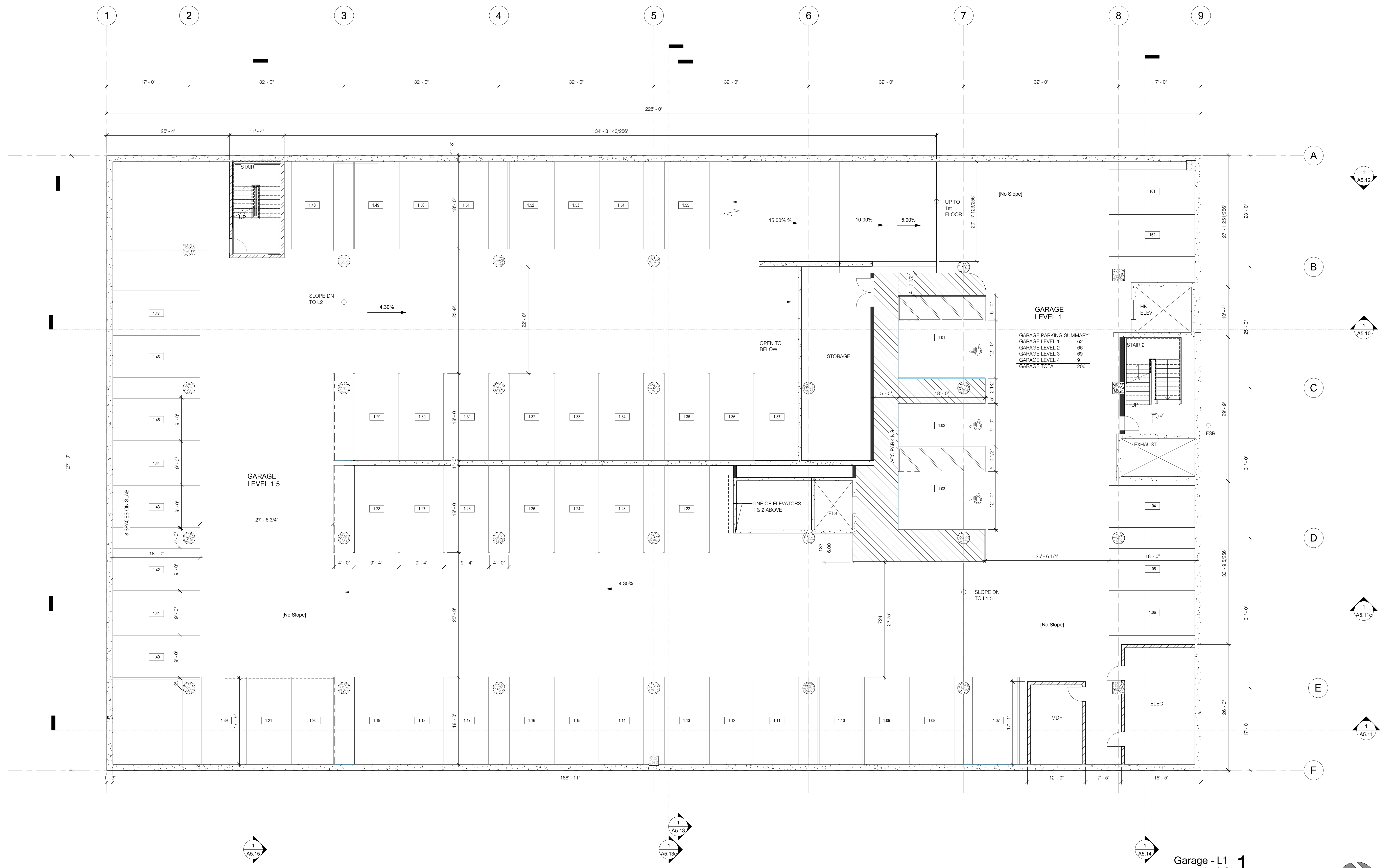
Site Plan

REVISIONS

No.	Date	Description

Date:	11/13/18
Sheet No.:	4/19/19
Scale:	1" = 20'-0"
Units:	W
Plot:	17200
Sheet:	A1.00





GARAGE LEVEL 1

GARAGE PARKING SUMMARY:
 GARAGE LEVEL 1 62
 GARAGE LEVEL 2 66
 GARAGE LEVEL 3 69
 GARAGE LEVEL 4 8
 GARAGE TOTAL 205

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Garage Level 1 Plan

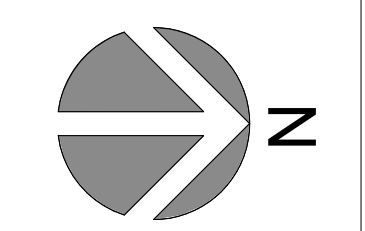
REVISIONS

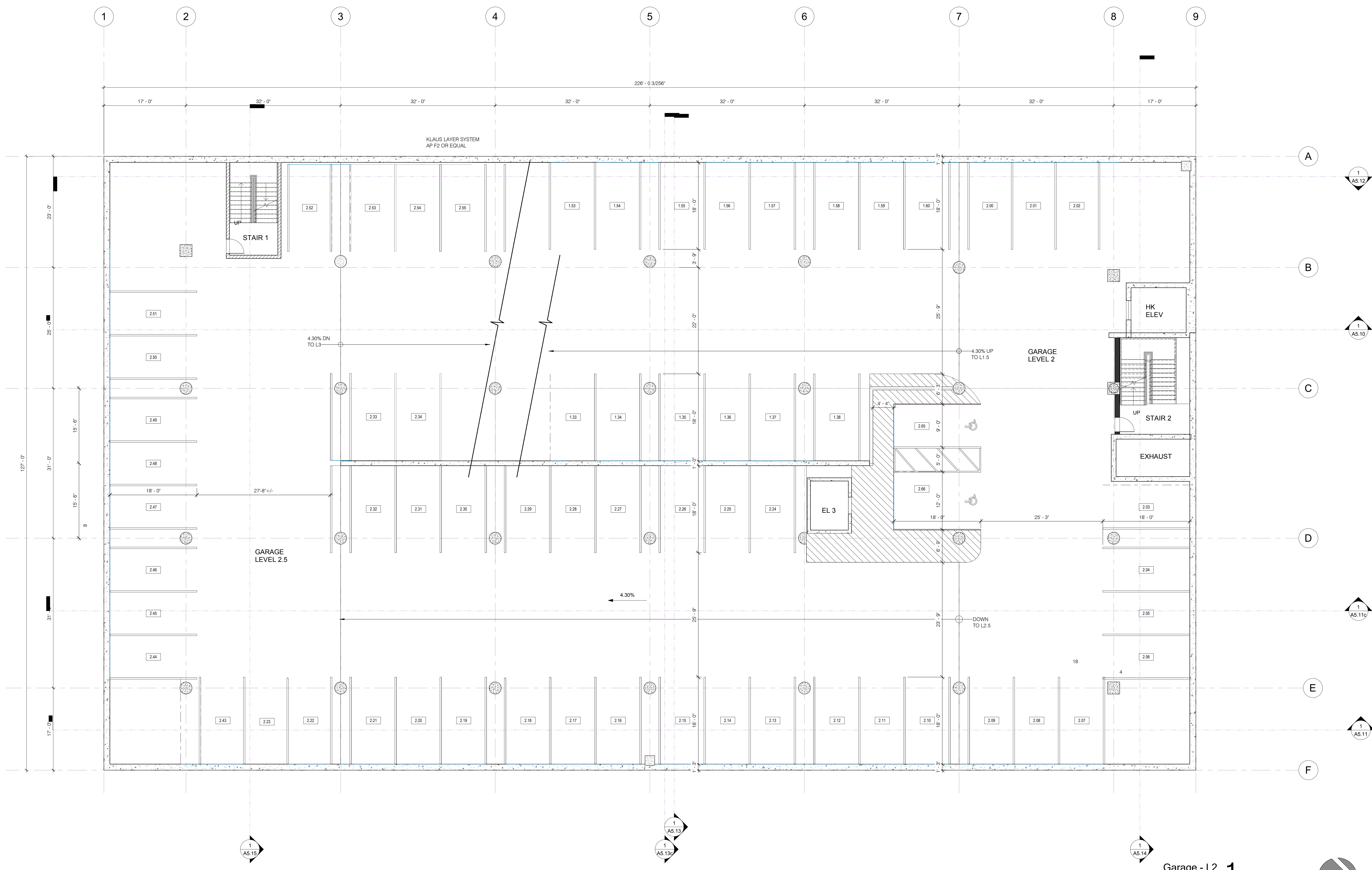
No.	Date	Description
1		

Date:	11/13/18
Sheet Size:	4/19/19
Scale:	1/8" = 1'-0"
Author:	
17200	

A2.0-GL1

Garage - L1 1





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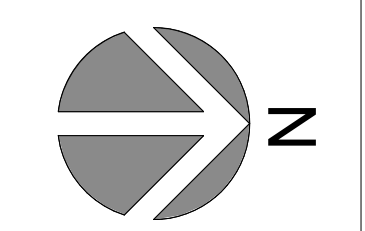
Garage Level 2 Plan

REVISIONS

No.	Date	Description

Date:	11/13/18
Sheet Size:	4/19/19
Scale:	1/8" = 1'-0"
Author:	
Plot:	17200
Sheet:	A2.0-GL2

Garage - L2 1
 1/8" = 1'-0"



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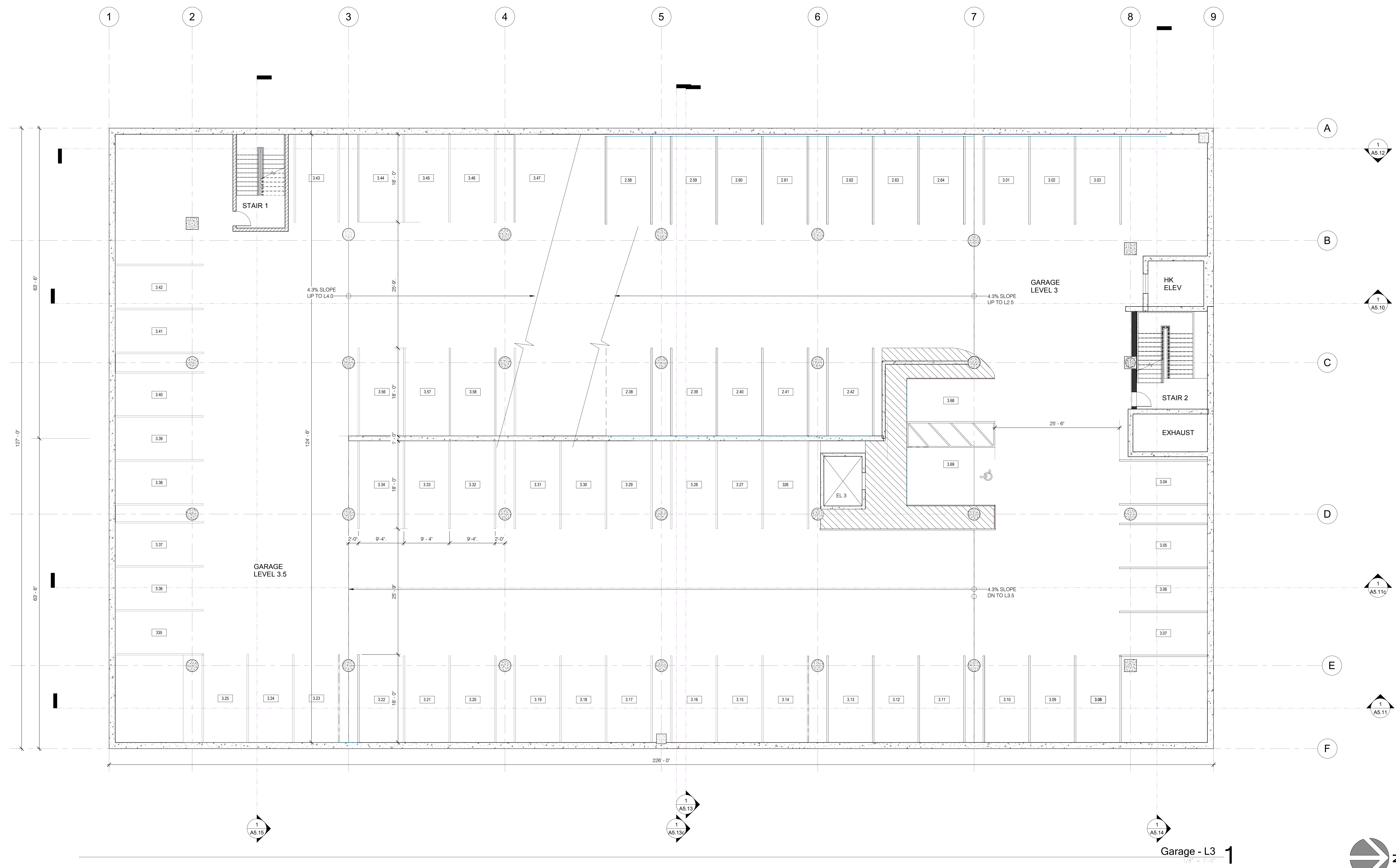
Garage Level 3 Plan

REVISIONS

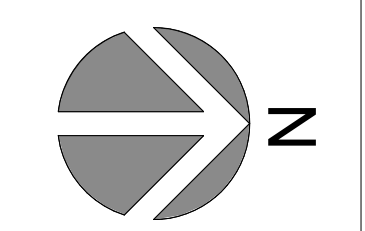
No.	Date	Description

Date:	11/13/18
Sheet Size:	4/19/19
Scale:	1/8" = 1'-0"
Author:	

A2.0-GL3
 Winklemans Designs 2018



Garage - L3 1
 1/8" = 1'-0"



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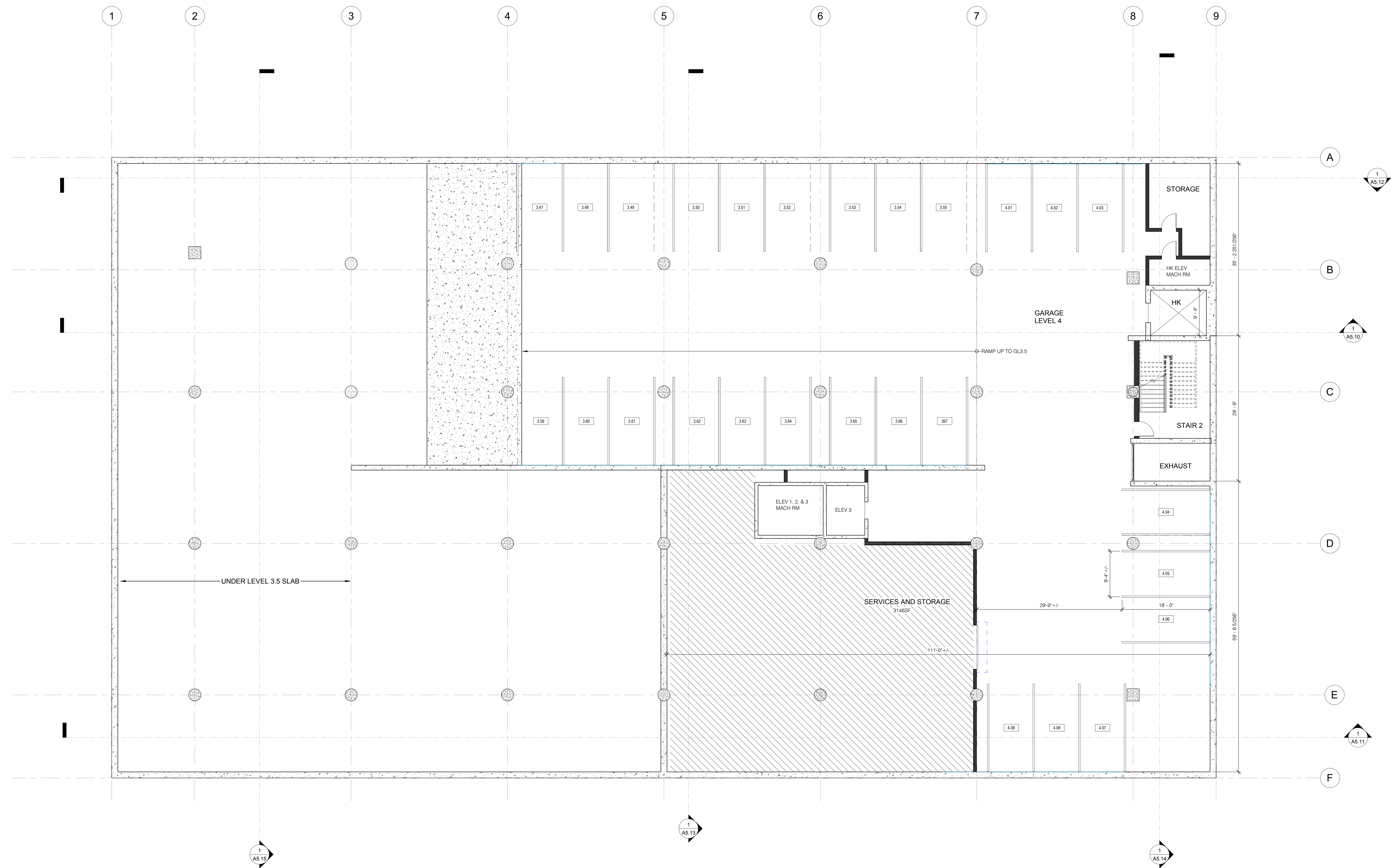
Garage Level 4 Plan

REVISIONS

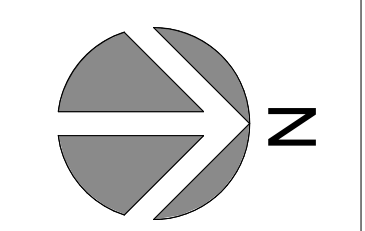
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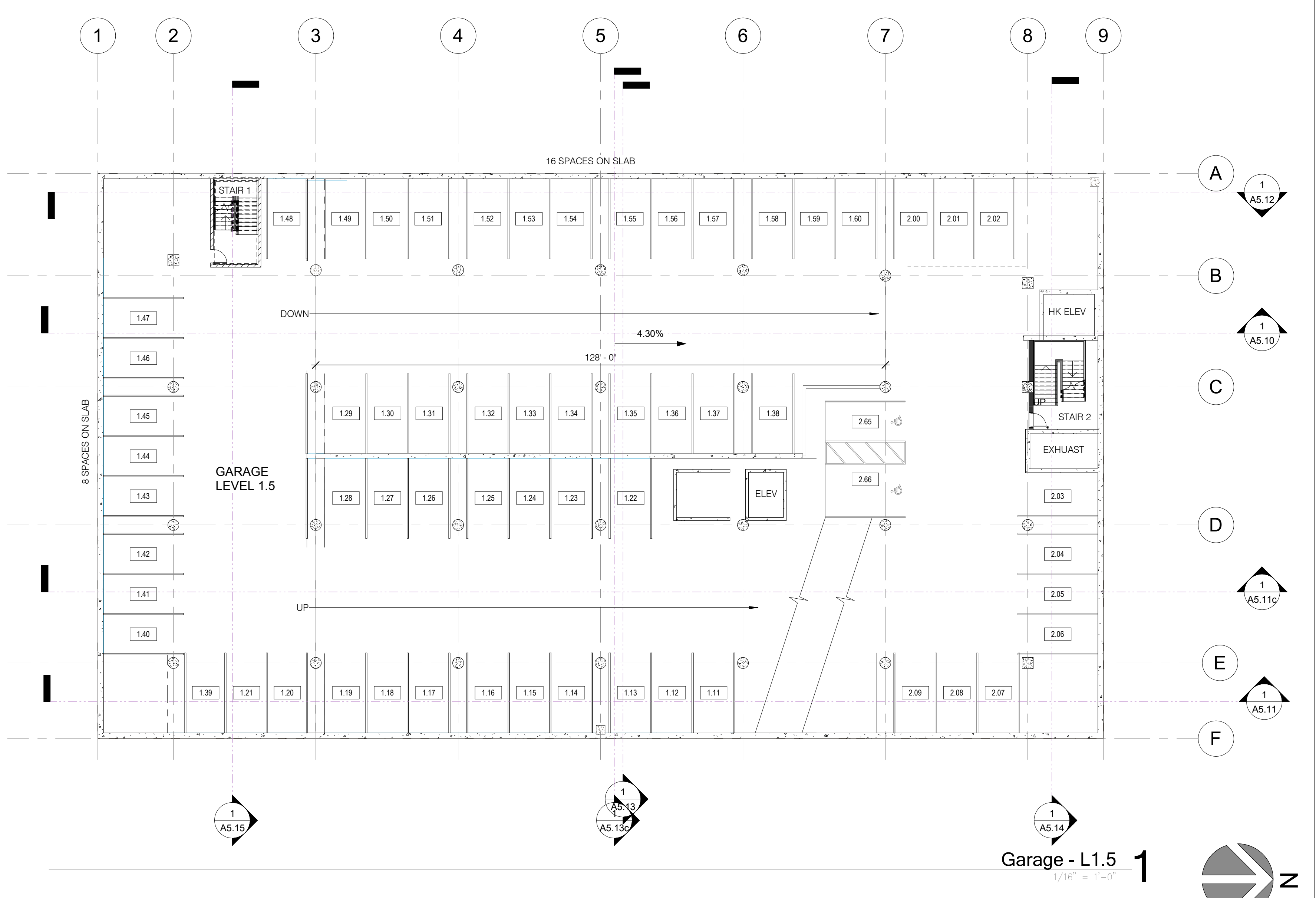
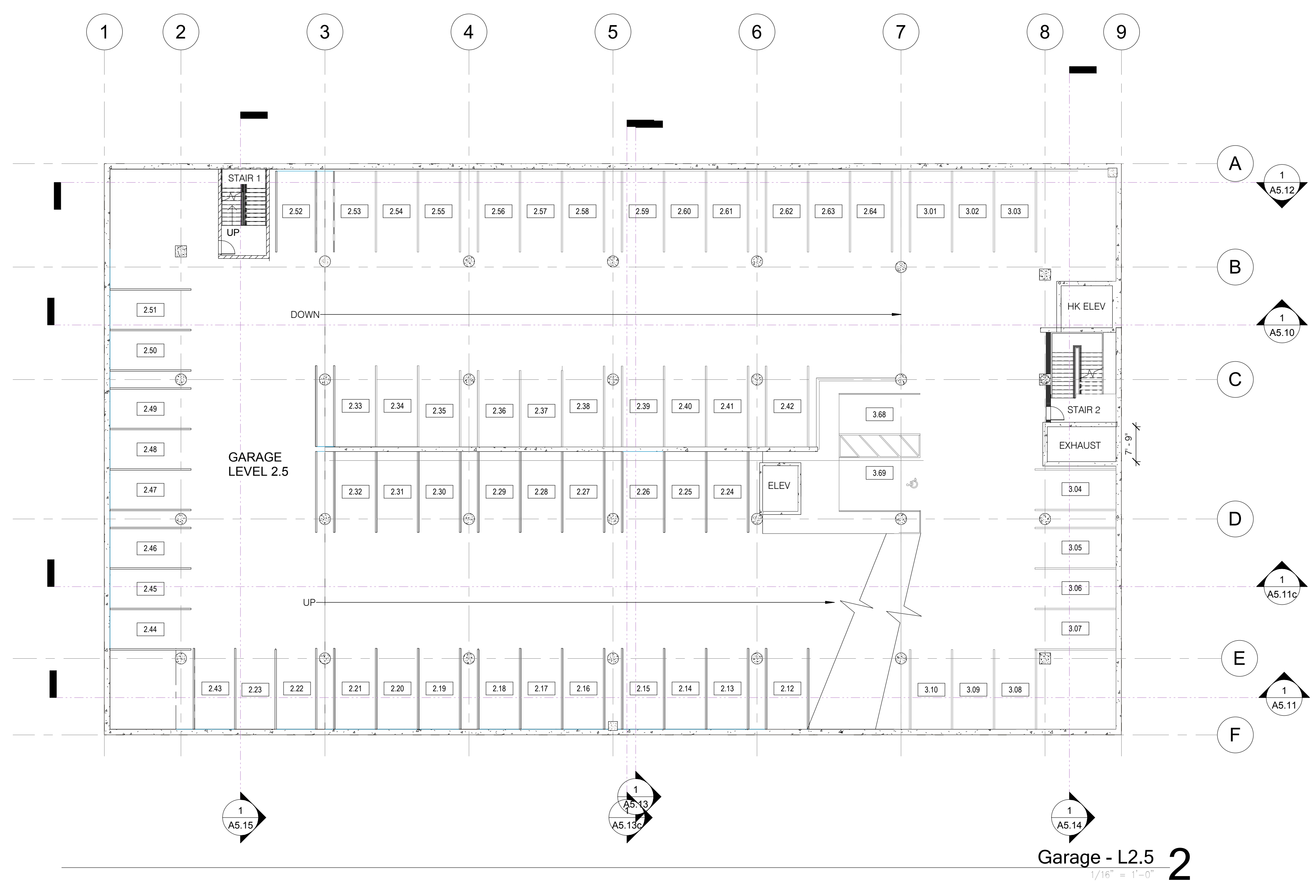
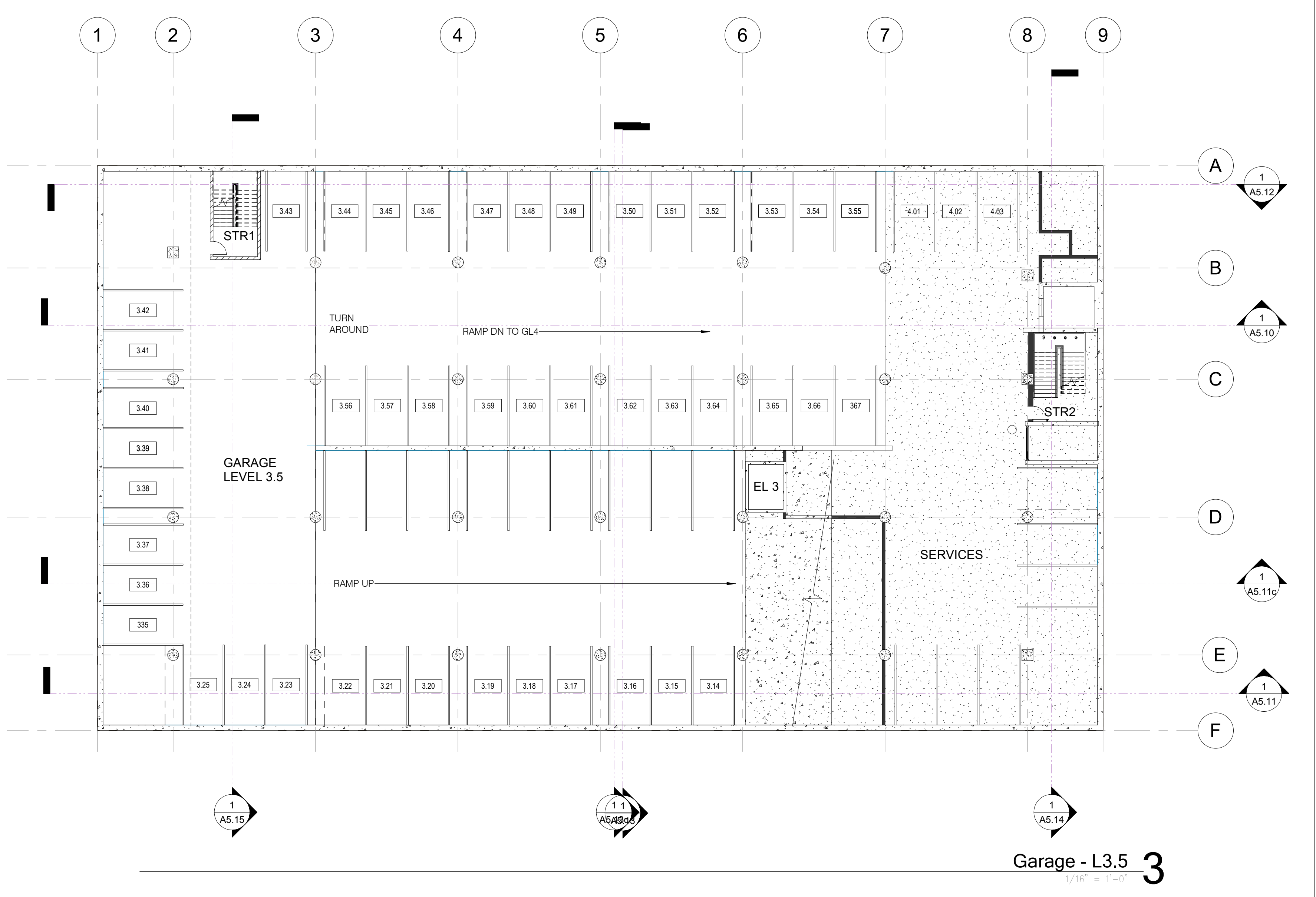
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Sheet Size	4/19/19
Scale	1/8" = 1'-0"
Author	

A2.0-GL4
 Winklemans Designs 2019



Garage - L4 1
 1/8" = 1'-0"





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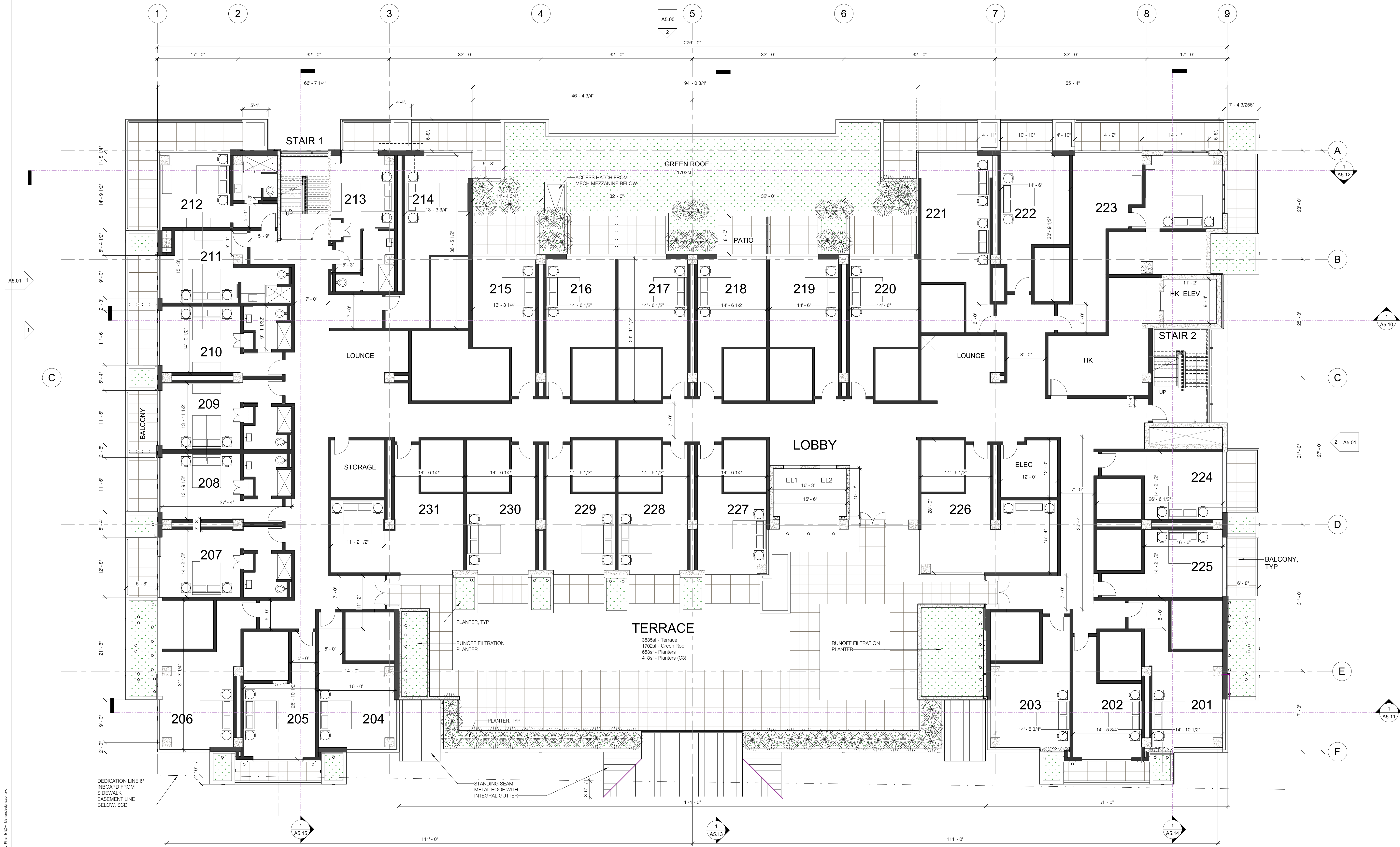
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Garage Levels 1.5, 2.5, 3.5

REVISIONS

No.	Date	Description

Date:	11/13/18
Sheet Size:	4/19/19
Scale:	1/16" = 1'-0"
Author:	
Job:	17200



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Second Floor Plan

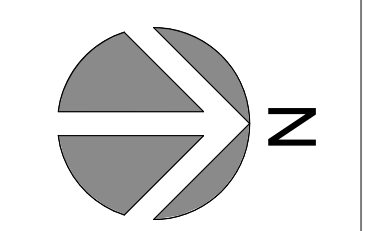
REVISIONS

No.	Date	Description

Date: 11/13/18
 Sheet Size: 4/19/19
 Scale: 1/8" = 1'-0"
 Unit: W
 Job: 17200

A2.02

2nd 1
 1/2" = 1'-0"





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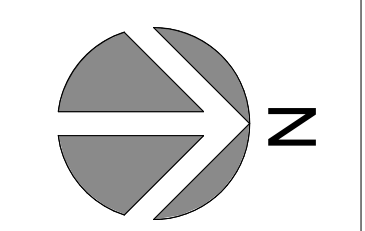
Third Floor Plan

REVISIONS

No.	Date	Description

Date:	11/13/18
Sheet Size:	4/19/19
Scale:	1/8" = 1'-0"
Author:	W
Job:	17200
Sheet:	A2.03

3rd 1
 1/8" = 1'-0"
 4th, 5th and 6th FLOORS SIMILAR



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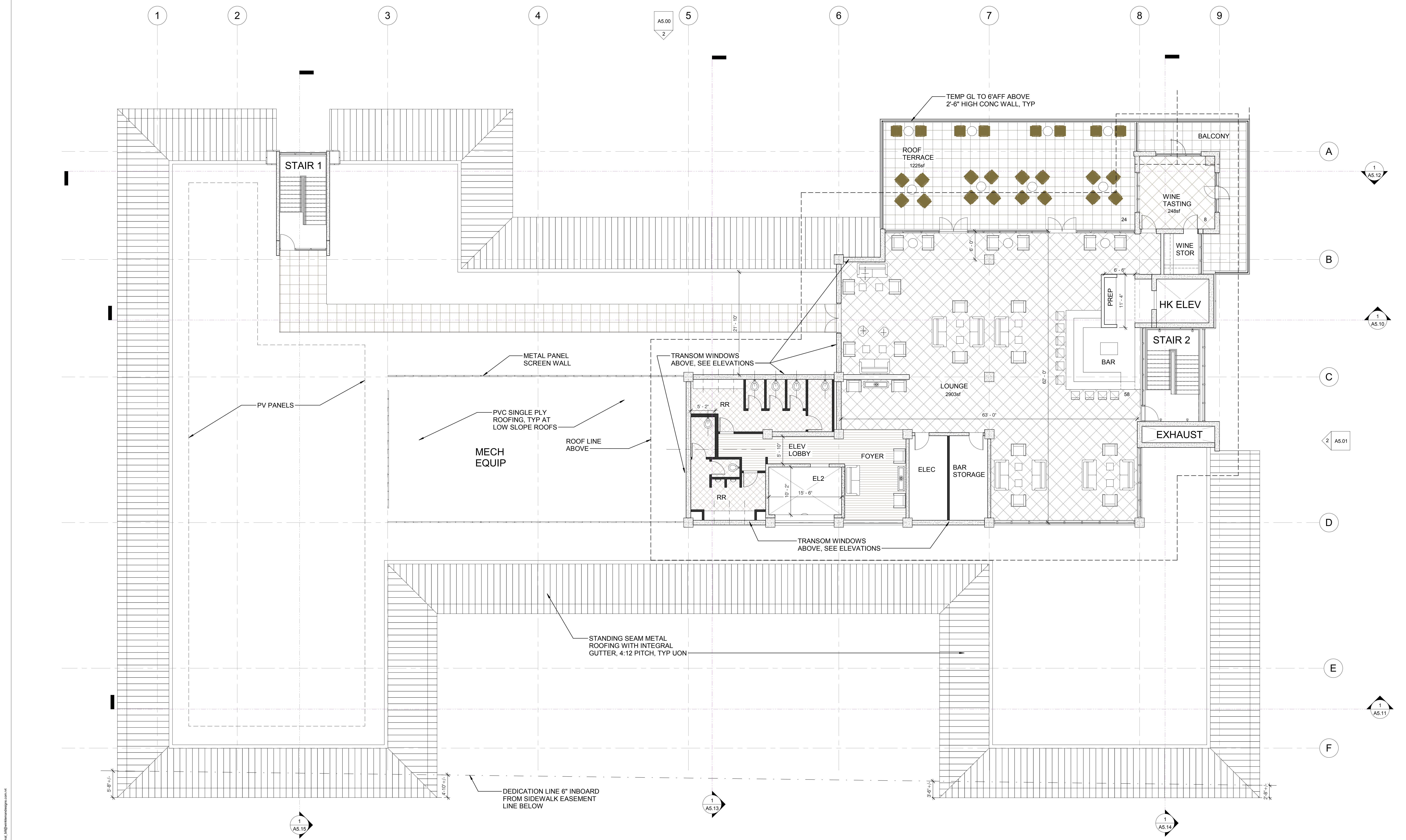
Roof Plan

REVISIONS

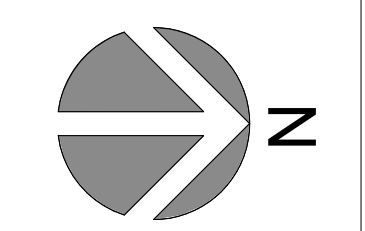
No.	Date	Description

Date	11/13/18
Issue No.	4/19/19
Scale	1/8" = 1'-0"
Author	
	17200

A2.04

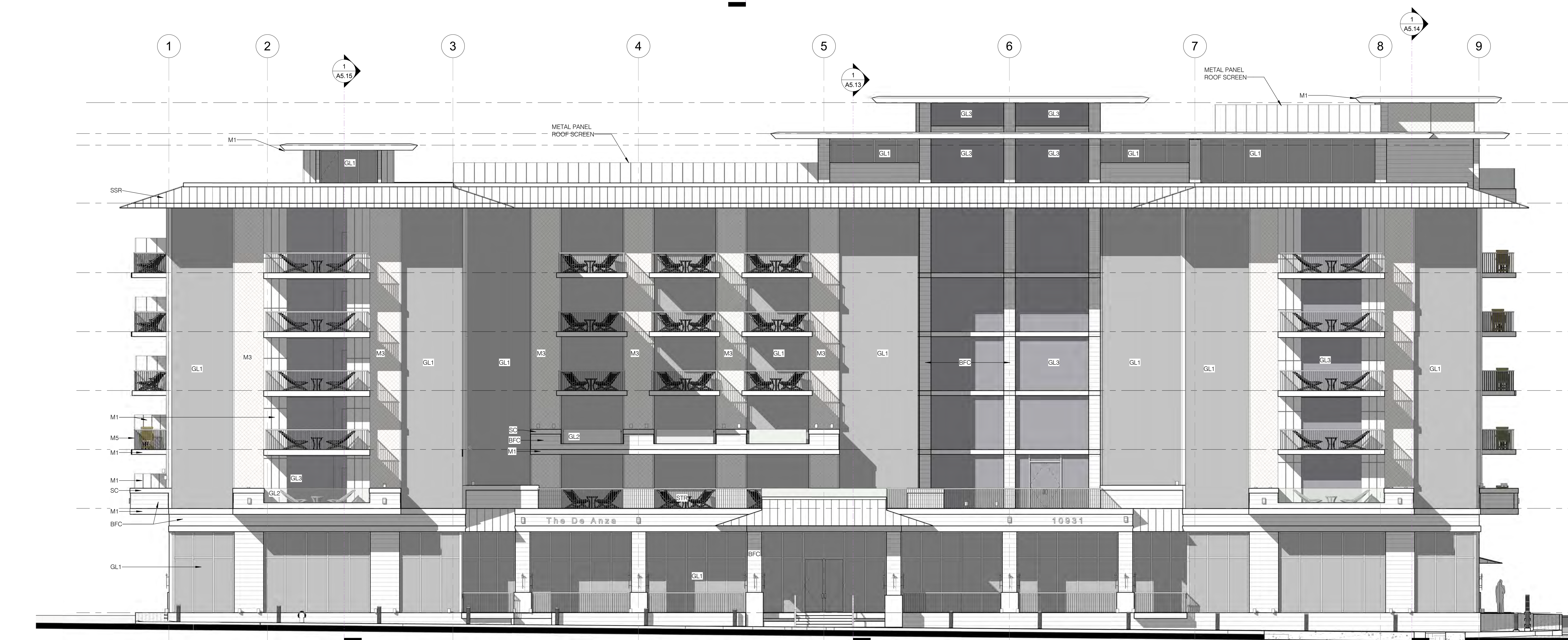


Roof 1
 1/8" = 1'-0"





West 2
 1/8" = 1'-0"



East 1
 1/8" = 1'-0"

EXTERIOR MATERIALS

BFC	BOARD FORMED CONCRETE
SC	SMOOTH FORMED CONCRETE
GL1	GLAZING SYSTEM 1 (LIGHT GRAY)
GL2	GLASS RAILINGS (CLEAR)
GL3	GLAZING SYSTEM 2 (DARK GRAY)
M1	METAL 1
M2	METAL 2
M3	METAL 3 (GREEN SCREEN)
M4	METAL 4 (EXPANDED METAL)
M5	PAINTED METAL
SSR	STANDING SEAM ROOFING

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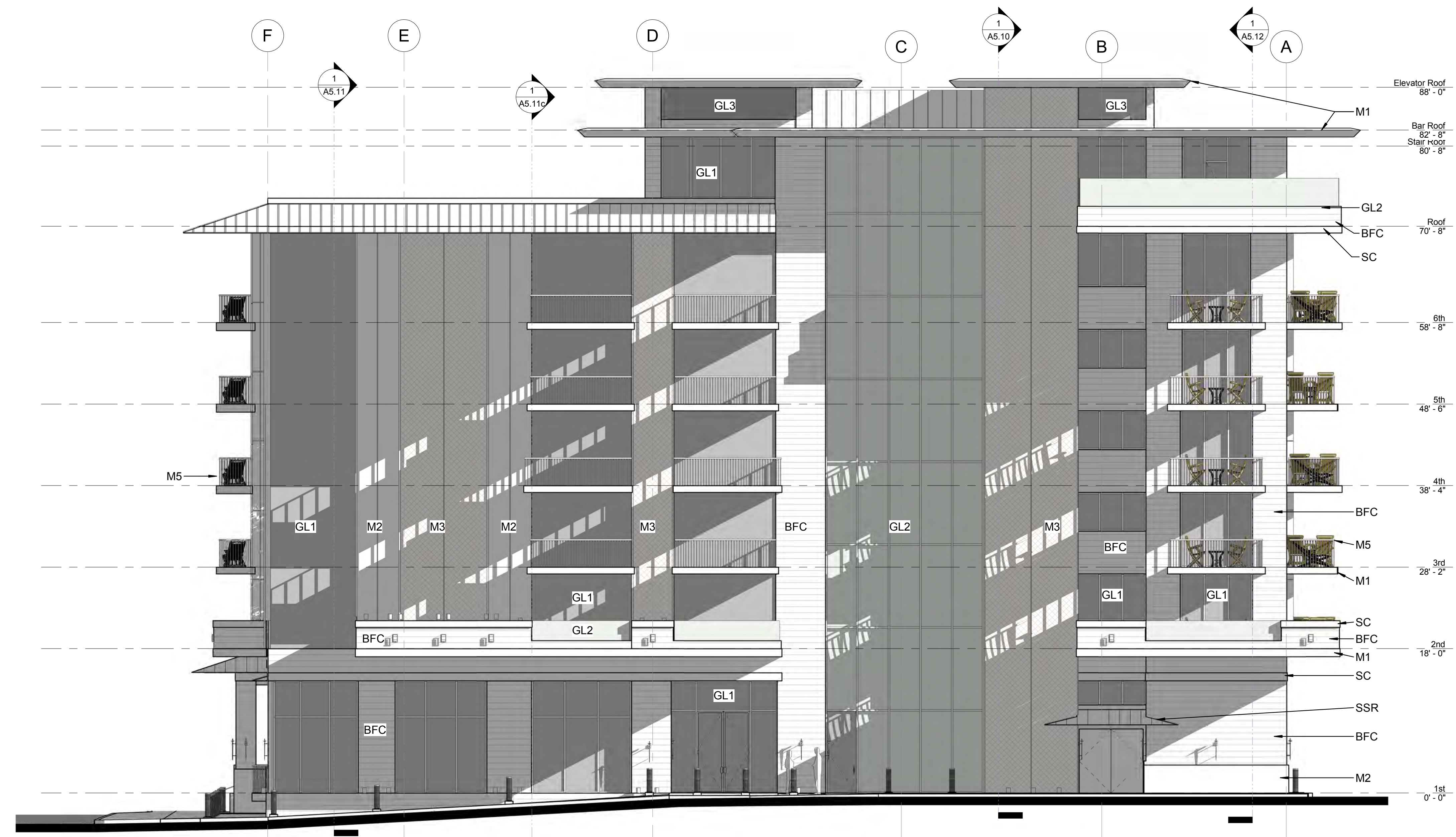
Exterior Elevations

REVISIONS

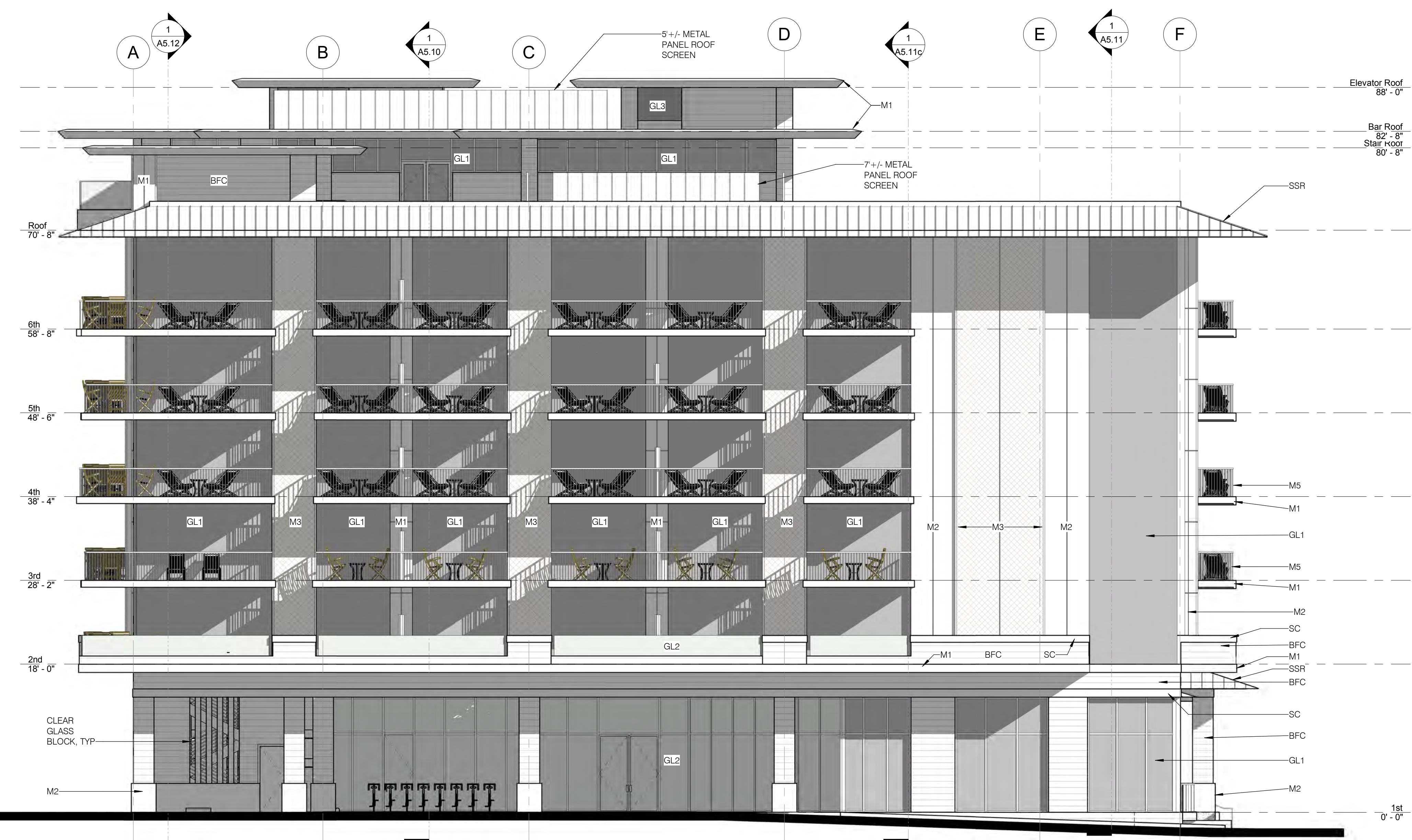
No.	Date	Description

Date	11/13/18
Sheet Size	4/19/19
Scale	As indicated
Author	W
Chk	17200
Sheet	

A5.00



North 2
 1/8" = 1'-0"



South 1
 1/8" = 1'-0"

- EXTERIOR MATERIALS**
- BFC BOARD FORMED CONCRETE
 - SC SMOOTH FORMED CONCRETE
 - GL1 GLAZING SYSTEM 1 (LIGHT GRAY)
 - GL2 GLAZING SYSTEM 2 (DARK GRAY)
 - GL3 GLAZING SYSTEM 3 (CLEAR)
 - M1 METAL 1
 - M2 METAL 2
 - M3 METAL 3 (GREEN SCREEN)
 - M4 METAL 4 (EXPANDED METAL)
 - M5 PAINTED METAL
 - SSR STANDING SEAM ROOFING

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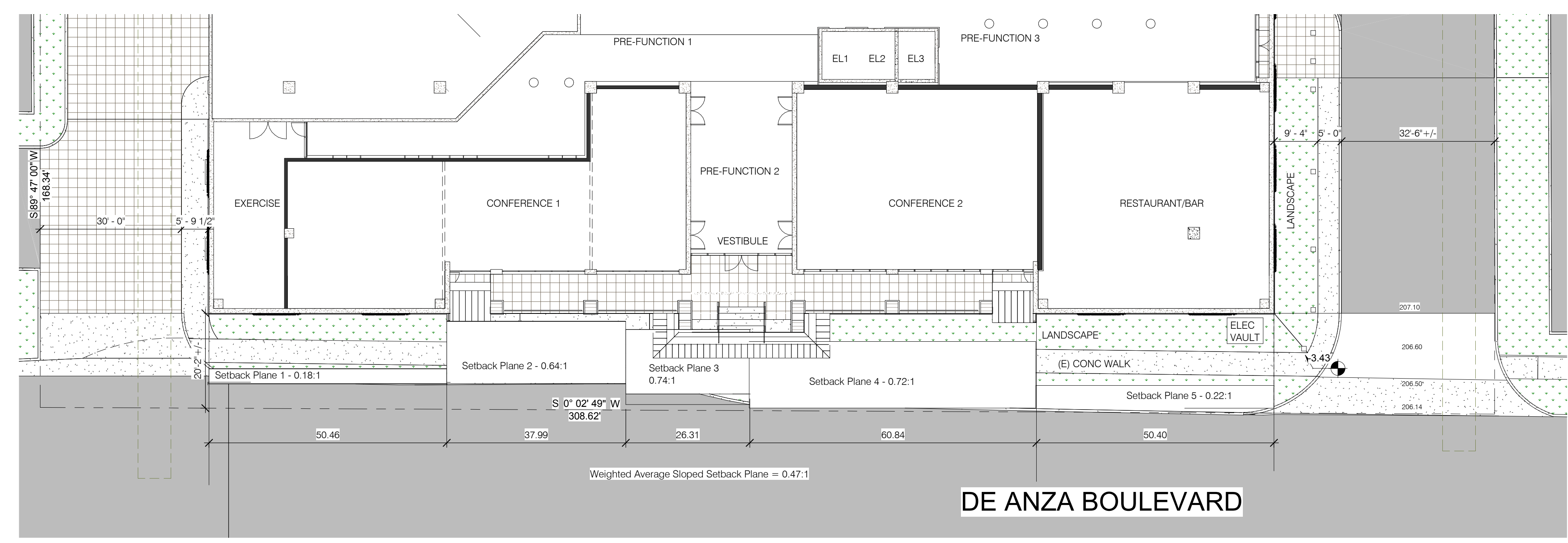
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Exterior Elevations

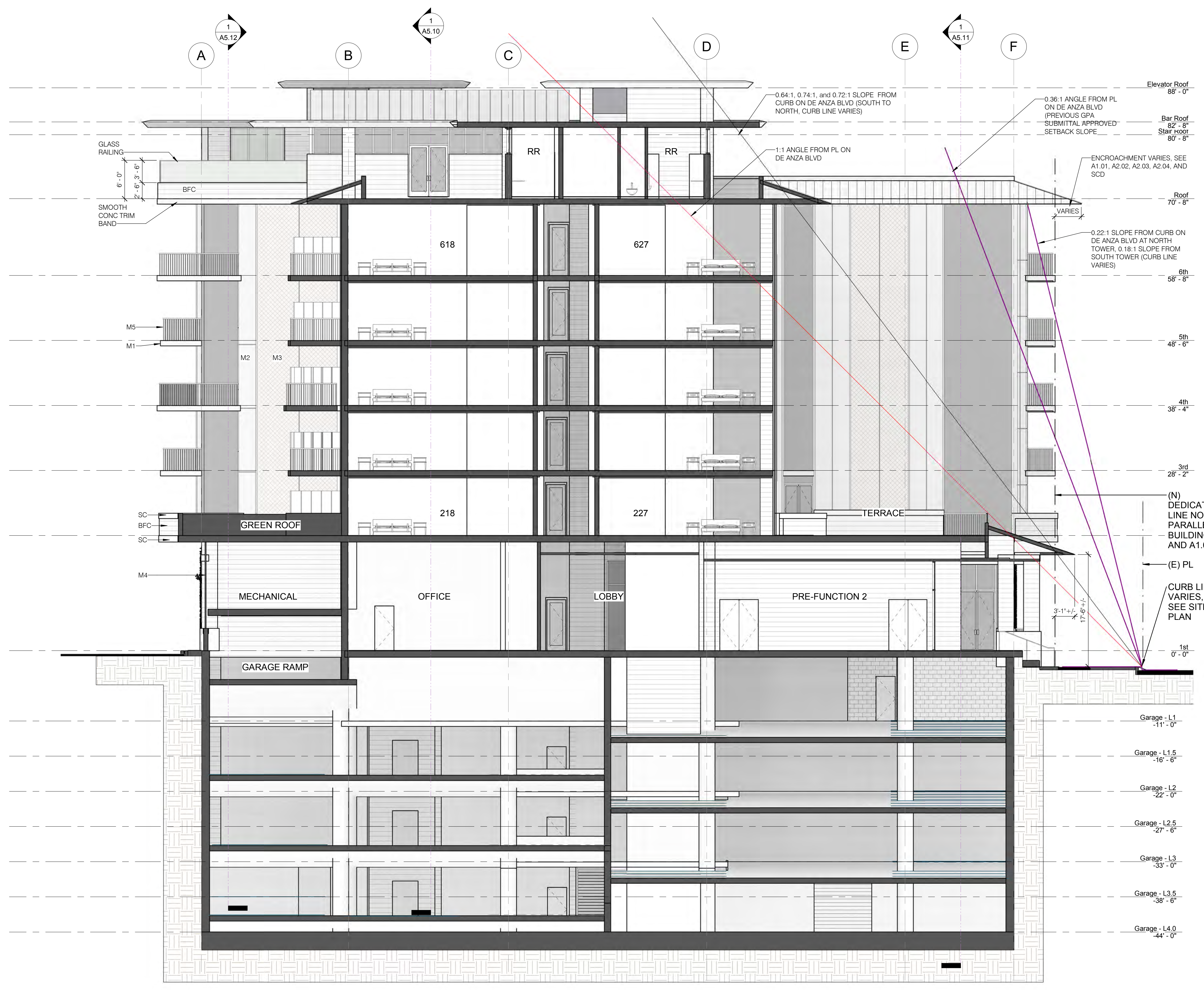
REVISIONS

No.	Date	Description

Date: 11/13/18
 Sheet Size: 4/19/19
 Scale: As indicated
 Plot: W
 Job: 17200
 Sheet: A5.01



Site and First Floor Plan 2
 1/16" = 1'-0"



Lateral - through Terrace Looking North 1
 1/8" = 1'-0"

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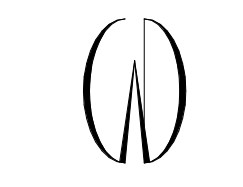
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Building Section

REVISIONS

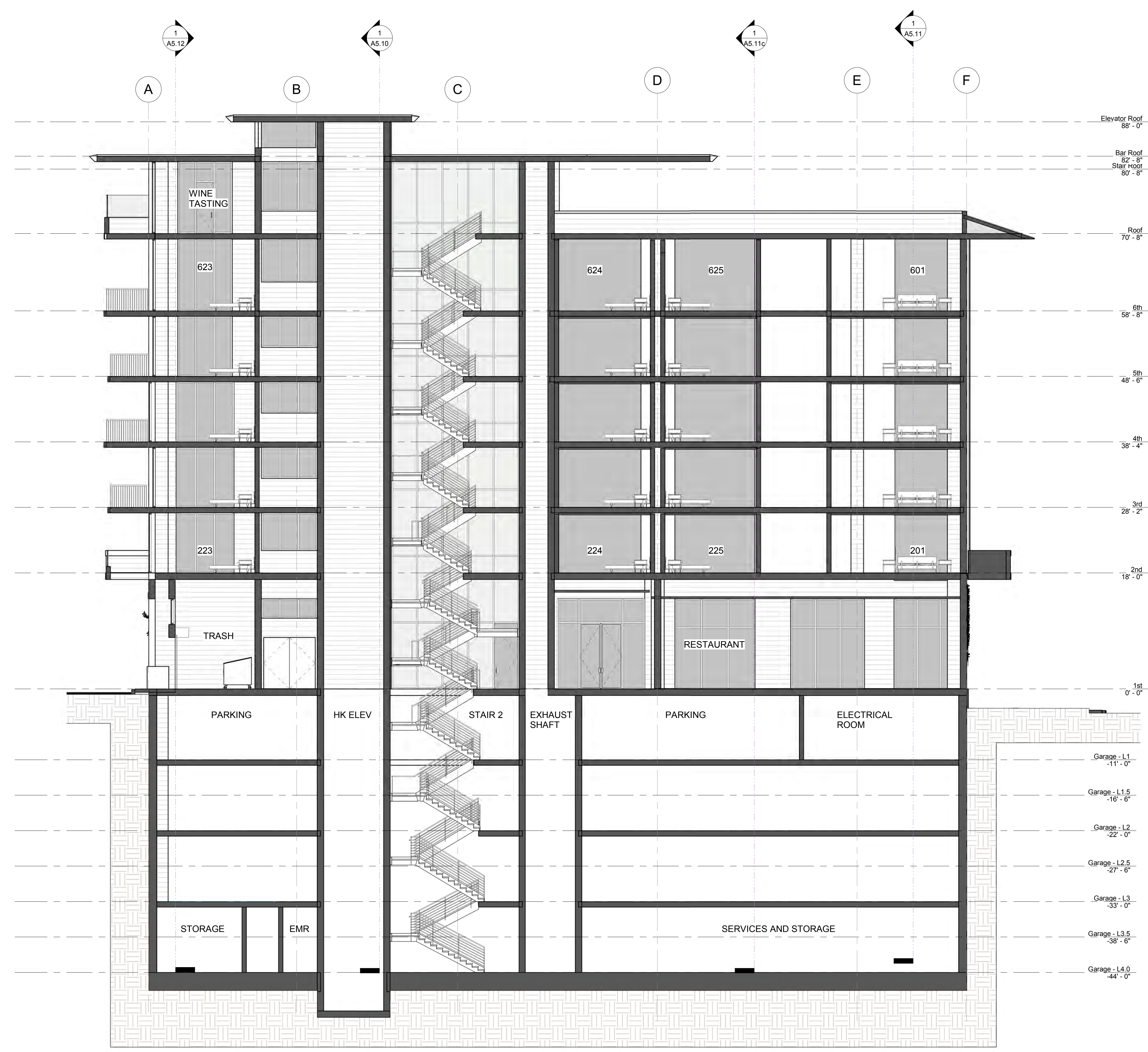
No.	Date	Description
01-4-19		Updated Sloped Setbacks, added Profile Site Plan

Date: 11/13/18
 Scale: 4/19/19
 Notes: As indicated
 Author:
 17200



Winkelman Designs
1795 Anaya Ridge Road
Soquel, CA 95073
Tel: 408-353-5700
Fax: 408-353-4729

bill@winkelman.com



Lateral - through Stair 2 **1**

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Building Section

REVISIONS

No.	Date	Description

Date	11/13/18
Sheet Size	4/19/19
Scale	1/8" = 1'-0"
Author	Author
Job	17200
Sheet	A5.14



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 408.353.6700 bill@winklemandesigns.com

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East View (Elevated)

A11.00

Drawn W
 Scale
 Date 4/19/19



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The De Anza
 De Anza Properties
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East View Evening (Elevated)

A11.00n
 Drawn Author
 Scale
 Date 4/19/19



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 408.353.6700 bill@winklemandesigns.com

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SE View

A11.01

Drawn Author
 Scale
 Date 4/19/19



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SE View Evening

A11.01n

Drawn Author
 Scale
 Date 4/19/19



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The De Anza
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South View

A11.02

Drawn W
 Scale
 Date 4/19/19



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The De Anza
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West View

A11.03

Drawn W
 Scale
 Date 4/19/19



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NW View

A11.04

Drawn Author
 Scale
 Date 4/19/19



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NW from Homestead Rd

A11.05

Drawn Author
 Scale
 Date 04/19/19



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The De Anza
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North View

A11.06

Drawn W
 Scale
 Date 4/19/19



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North View Evening

A11.06n

Drawn Author
 Scale
 Date 4/19/19



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NE View

A11.07

Drawn Author
 Scale
 Date 4/19/19



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NE View Evening

A11.07n
 Drawn Author
 Scale
 Date 4/19/19



DARK GREY GLAZING



GLAZING 3 (GL3)

CLEAR GLAZING



GLAZING 2 (GL2)

LIGHT GREY GLAZING



GLAZING 1 (GL1)

GREEN SCREEN CORTEN



METAL 3 (M3)

ZINC



METAL 1 (M1)

CONCRETE, SMOOTH FINISH



SMOOTH CONCRETE (SC)

CONCRETE, BOARD-FORM FINISH



BOARD FORMED CONCRETE (BFC)

CORTEN



METAL 2 (M2)



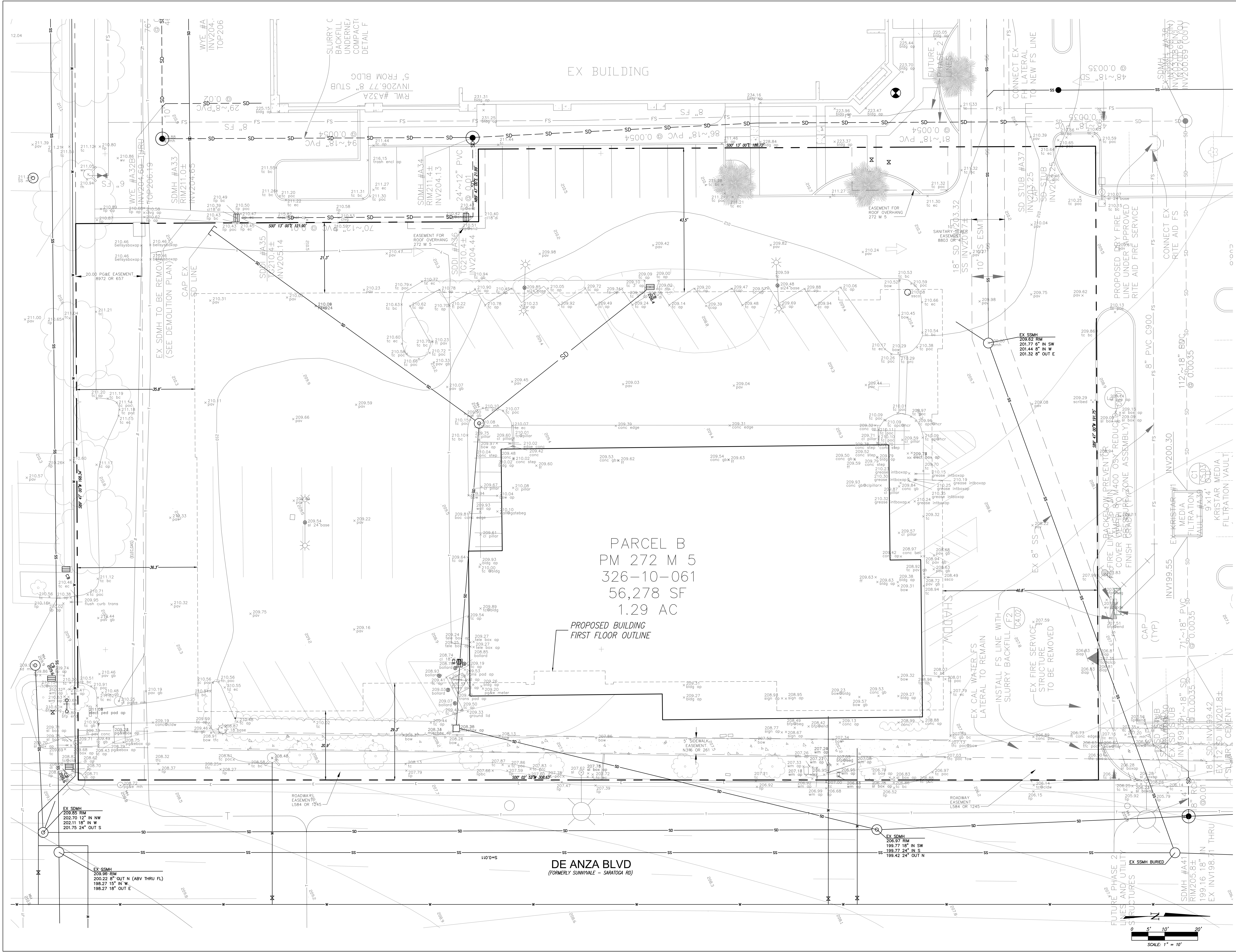
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Materials Board

A11.08

Drawn Author
 Scale
 Date 3/6/19



DATE: 04/19/19
 DRAWN BY: J. [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]
 SHEET: C1.0 OF 1

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 Fax: 408-353-4729
 bill@winkelman.com

JMH WEISS, INC.
 1731 Technology Drive, Suite 800
 San Jose, CA 95110
 (408) 288-4555

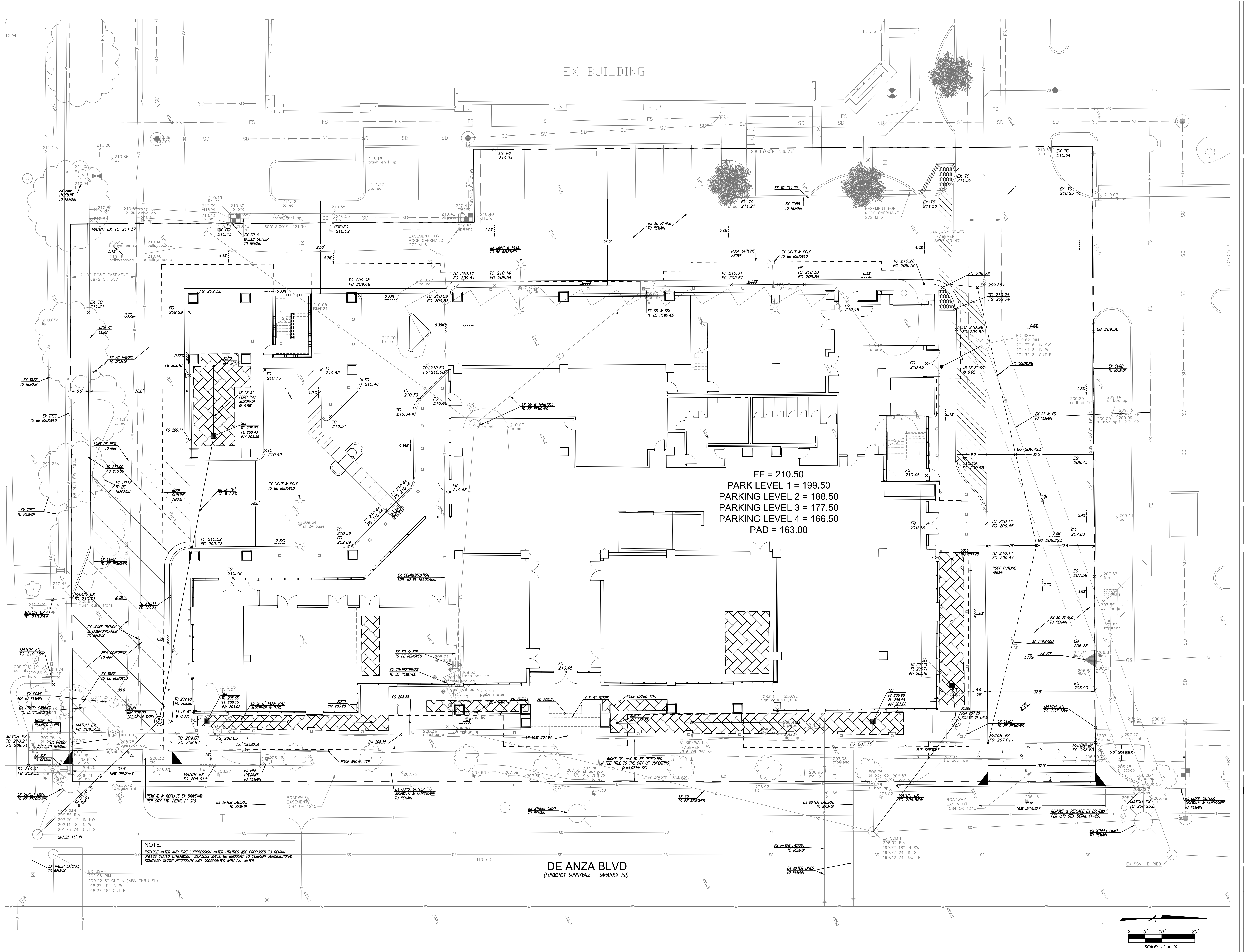
THE DE ANZA
 De Anza Properties
 10931 N De Anza Blvd, Cupertino, CA

EXISTING CONDITIONS

REVISIONS		
No.	Date	Description

DATE	04/19/19
DESIGN	04/19/19
STATUS	AS-SHOWN
SCALE	OG
SHEET	5132

C1.0
 SCALE: 1" = 10'



DATE: 04/19/19
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]
 SHEET: C2.0 OF 2.0
 SCALE: 1" = 10'
 PROJECT LOCATION: 10931 N De Anza Blvd, Cupertino, CA

THE DE ANZA
De Anza Properties
 10931 N De Anza Blvd, Cupertino, CA

CONCEPTUAL GRADING, DRAINAGE, & UTILITY PLAN

REVISIONS		
No.	Date	Description
01	04/19/19	Issue for Review
02	04/19/19	AS-SHOWN
03		OG
04	5/13/20	

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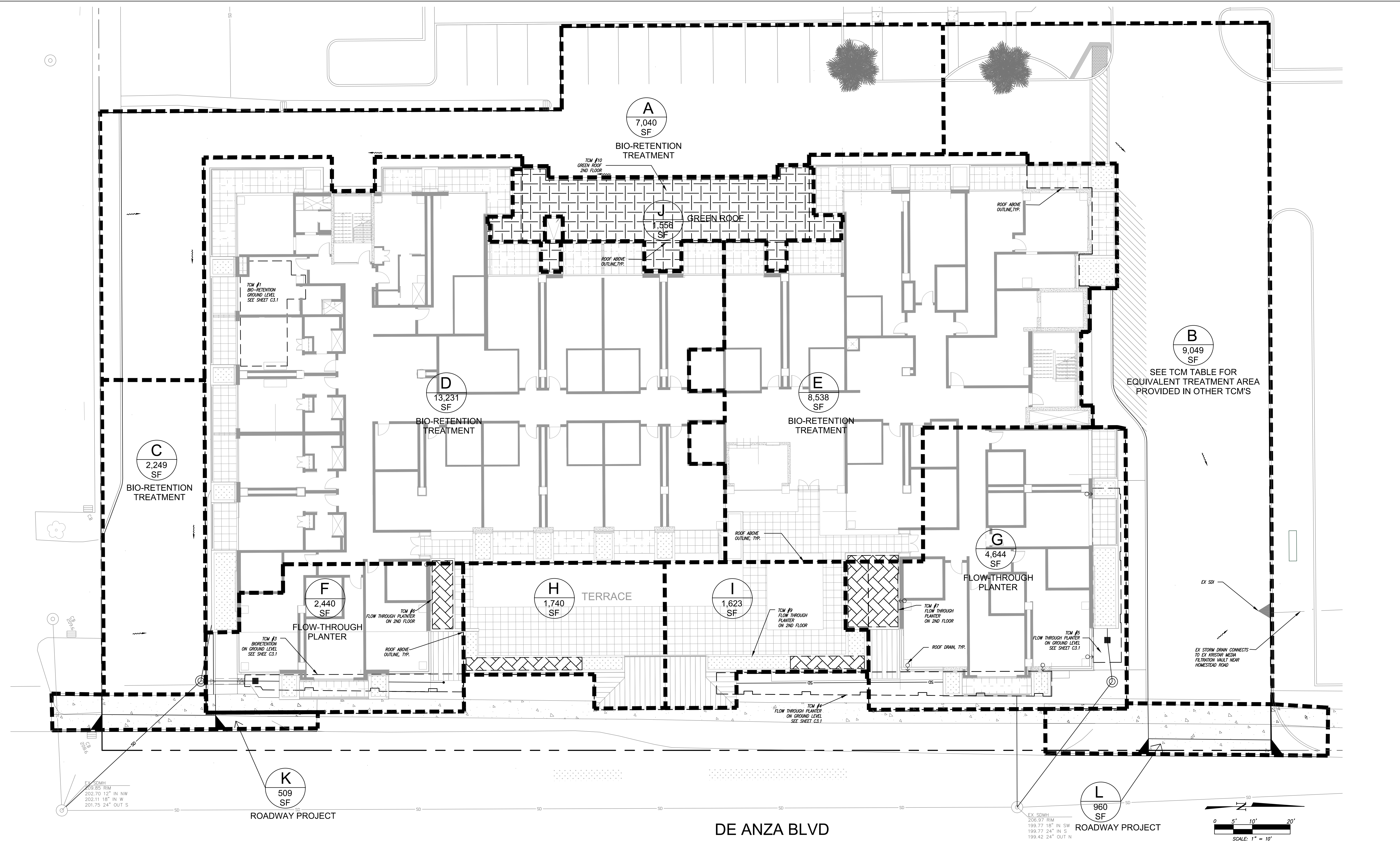
THE DE ANZA
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10931 N De Anza Blvd, Cupertino, CA

CONCEPTUAL
STORMWATER
MANAGEMENT
PLAN
SECOND
FLOOR

REVISIONS

No.	Date	Description
01	04/19/19	Issue for Review
02	04/19/19	Issue for Review
03	AS-SHOWN	AS-SHOWN
04	OG	OG
05	5132	5132

C3.0



TREATMENT CONTROL MEASURE (TCM) SUMMARY TABLE												
ID AREA	TCM No.	Landscape (SF)	Parking & Sidewalk Area (SF)	Roof Area (SF)	Total Sub-Area (SF)	Area B Impervious Contribution (SF)	Area B Landscape Contribution (SF)	Total Area to be Treated (SF)	Total Area (Acres)	Total Impervious Area (SF)	Treatment Type	Treatment Area Required (SF)
A	1	429	6,611	0	7,040	2,625	137	9,802	0.23	9,236	Bio-retention	369
C	3	168	2,081	0	2,249	3,975	0	6,224	0.14	6,056	Bio-retention	242
D	4	0	0	13,231	13,231	0	0	13,231	0.30	13,231	Bio-retention	529
E	5	0	0	8,536	8,536	0	0	8,536	0.20	8,536	Bio-retention	341
F	6	0	0	2,440	2,440	0	0	2,440	0.06	2,440	Flow-Through Planter	98
G	7	0	0	4,644	4,644	1,612	0	6,256	0.14	6,256	Flow-Through Planter	250
H	8	0	0	1,740	800	0	0	2,540	0.06	2,540	Flow-Through Planter	102
I	9	0	0	1,623	1,623	0	0	1,623	0.04	1,623	Flow-Through Planter	65
J	10	1,556	0	0	1,556	0	0	1,556	0.04	0	Green Roof	N/A
TOTAL		2,153	8,692	32,214	43,059	9,012	137	52,208	1.20	49,918		1997

*New pavement not creating a travel lane and new sidewalk created on an existing street are exempt from C.3 requirements for public roadway projects per Tablr 2-2 of the Chapter 2.3 of the C.3 Control Handbook (SCVURPPP, April 2012)

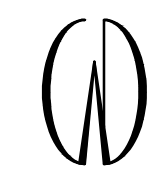
ID AREA	TCM No.	Landscape	Parking	Roof	Total	Total	Treatment Type
K	-	0	509	0	509	0	Roadway Project
L	-	0	960	0	960	0	Roadway Project

NOTE: THE REQUIRED TREATMENT AREA FOR DMA B IS DISTRIBUTED TO TCMs AS EQUIVALENT TREATMENT AREA. THE AMOUNT OF EQUIVALENT TREATMENT AREA IS ACCOUNTED FOR UNDER AREA B CONTRIBUTION.

STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

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 USER: jmc, PLOT: 10931 N De Anza Blvd - 2ND FLOOR.dwg, PLOT DATE: 04/19/19, PLOT TIME: 10:00:00 AM, PLOT USER: jmc, PLOT DEVICE: HP DesignJet T1100e



Winkelman Designs
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Tel 408-353-6700
Fax 408-353-4729
bill@winkelman.com

JMH WEISS, INC.
2585 Daponte Way - Suite 100
1731 Technology Drive, Suite 800
San Jose, CA 95110
(408) 288-4555

The Designer shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Designer shall be responsible for ensuring that the design complies with all applicable codes and regulations. The Designer shall be responsible for ensuring that the design is feasible and constructible. The Designer shall be responsible for ensuring that the design is safe and sound. The Designer shall be responsible for ensuring that the design is complete and accurate. The Designer shall be responsible for ensuring that the design is clear and concise. The Designer shall be responsible for ensuring that the design is professional and of high quality. The Designer shall be responsible for ensuring that the design is delivered on time and within budget. The Designer shall be responsible for ensuring that the design is well-documented and easy to understand. The Designer shall be responsible for ensuring that the design is well-communicated to all stakeholders. The Designer shall be responsible for ensuring that the design is well-maintained and updated as needed. The Designer shall be responsible for ensuring that the design is well-archived and accessible. The Designer shall be responsible for ensuring that the design is well-protected and secure. The Designer shall be responsible for ensuring that the design is well-organized and easy to navigate. The Designer shall be responsible for ensuring that the design is well-presented and visually appealing. The Designer shall be responsible for ensuring that the design is well-received and appreciated. The Designer shall be responsible for ensuring that the design is well-used and valued. The Designer shall be responsible for ensuring that the design is well-loved and cherished. The Designer shall be responsible for ensuring that the design is well-remembered and missed. The Designer shall be responsible for ensuring that the design is well-thought-of and missed. The Designer shall be responsible for ensuring that the design is well-remembered and missed. The Designer shall be responsible for ensuring that the design is well-thought-of and missed.

THE DE ANZA
De Anza Properties
10931 N De Anza Blvd, Cupertino, CA

CONCEPTUAL
STORMWATER
MANAGEMENT
PLAN
FIRST FLOOR

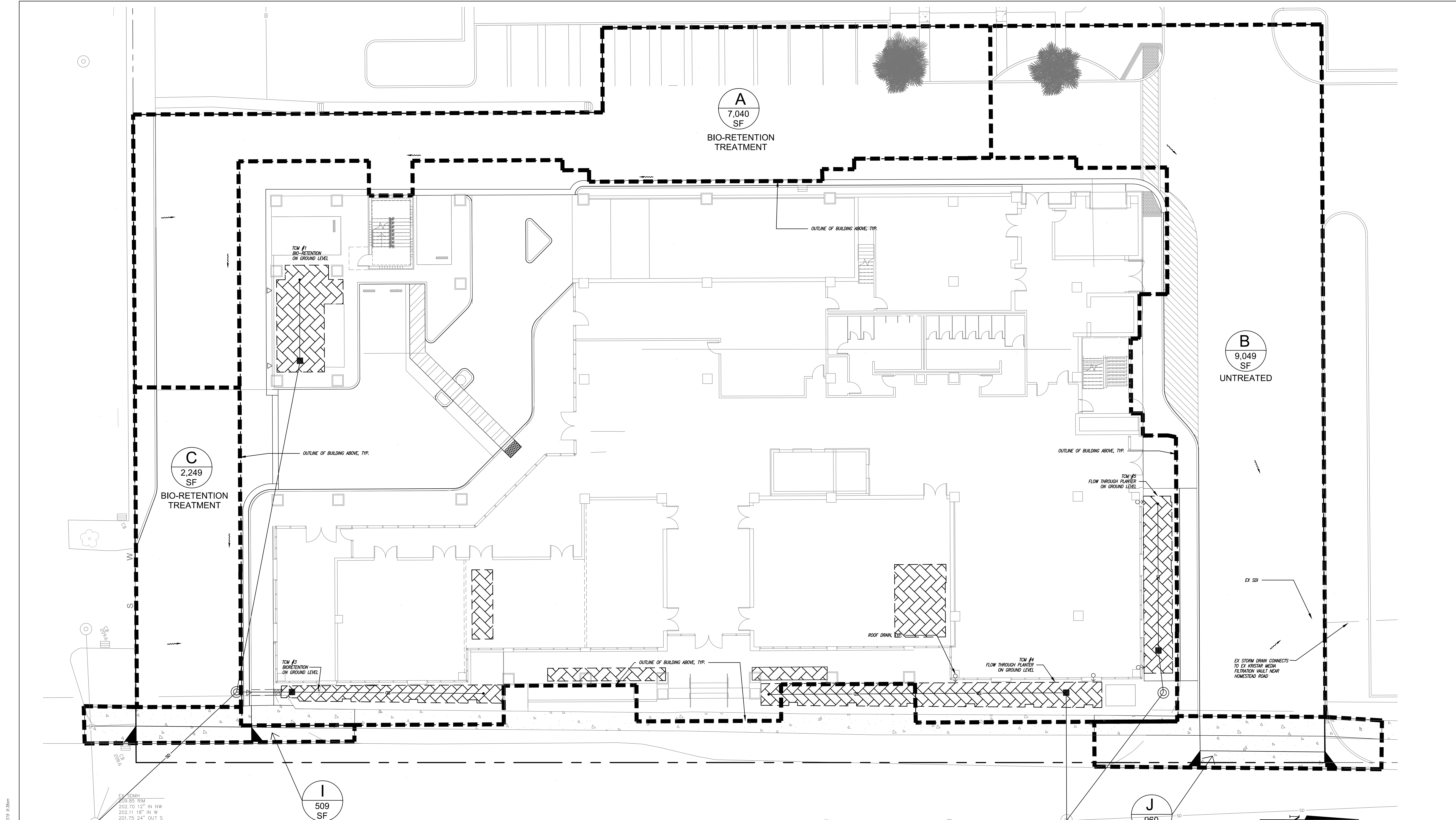
REVISIONS

No.	Date	Description

Date:	04/19/19
Drawn:	04/19/19
Check:	AS-SHOWN
Scale:	OG
Sheet:	5132

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A
7,040
SF
BIO-RETENTION
TREATMENT

B
9,049
SF
UNTREATED

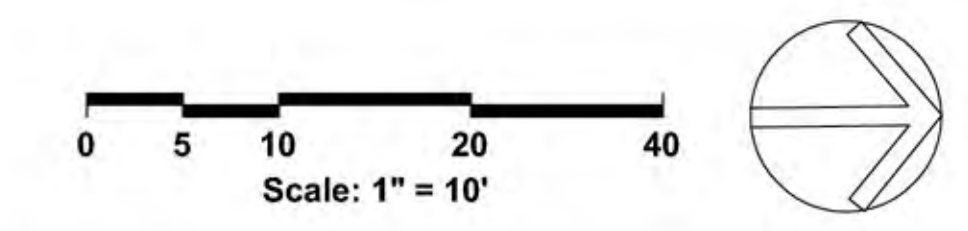
C
2,249
SF
BIO-RETENTION
TREATMENT

I
509
SF

J
960
SF

- STORM DRAIN INLET NOTES:**
- ALL PROPOSED STORM DRAIN INLETS ONSITE WILL BE FITTED WITH A FULL TRASH CAPTURE STORM DRAIN INLET DEVICE. THIS DEVICE WILL BE SUBMITTED TO AND APPROVED BY THE ENGINEER. THIS DEVICE WILL BE EXPLICITLY DETAILED IN THE OPERATIONS AND MAINTENANCE PLAN TO BE SERVICED NO LESS THAN TWICE ANNUALLY. (SEE DETAIL 3.2)
 - ALL EXTERIOR STORM DRAIN INLETS ON THE PARCEL WILL BE CLEARLY MARKED WITH "NO DUMPING FLOWS TO CREEK" OR "NO DUMPING FLOWS TO BAY"

DWG: NAME: P11312 - 10931 N De Anza Blvd, Cupertino, CA (Property) 10/12/18, C.I.T. SWMP - 1ST FLOOR PLAN, LAST EDITED: Wed, Apr 17, 2019 9:28am
 USER: jgarcia, AUTHOR: jgarcia, CHECKED: jgarcia, PLOTTED: jgarcia, PRINTED: jgarcia, PLOT DATE: 04/19/19, PLOT TIME: 10:00:00 AM, PLOT SCALE: 1" = 10'



De Anza Hotel

Cupertino, CA

STREETScape CONCEPTUAL PLAN
 04.19.2019
L1

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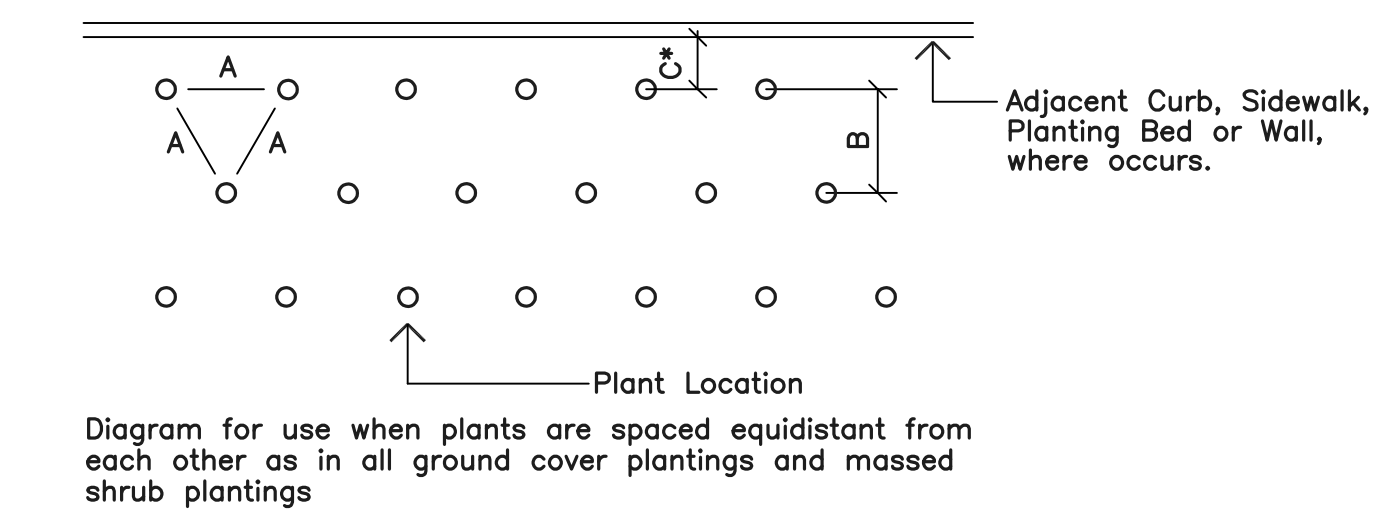
PLANTING NOTES

- All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
- All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Prochip" by BFI (408.888.7632; www.bfi.com) or equal. This shall include all pre-cast planter pots. Mulch shall be Black in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Cupertino. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shearing and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- Geotech drainage board or approved equal is to be installed in all on-structure planters and all pre-cast planters/pots as shown in the drawings. Material available through: TWE Products, Orinda, CA 925.708.0549. All Geotech board shall be completed covered with filter fabric as shown in the drawings and per manufacturer's specifications.
- All tree rootballs shall be irrigated by water jet during the sixty (60) day maintenance period established by specifications. This irrigation shall occur each time normal irrigation is scheduled.
- The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of \$8,000.00 (8 Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the allowance shall be returned to the Owner at the beginning of the maintenance period.

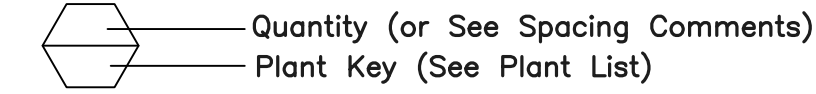
THE FOLLOWING SIX (6) NOTES ARE FOR BIDDING PURPOSES ONLY

- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
- Assume 15 gallon plant for any unlabelled or un-sized tree; 5 gallon plant for any unlabelled or un-sized shrub; and 4" pots @ 12" o.c. (not flats) for any unlabelled ground cover. All planting beds, except for lawns, are to receive ground cover plant installation in addition to the shrubs and trees shown on the plans.
- The planting areas shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sf and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
- All planting areas are to receive Super Humus Compost by BFI (408.945.2844; www.bfi.com) at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
- Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil.
- The General Contractor is to provide an agricultural suitability analysis for on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL



PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.79"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.

PLANT PALETTE

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/NOTES	WUCCLS	CA NATIVE
TREES	*	For Tree Sizes See Planting Plans.				
ARB MAR	*	Arbutus 'Marina'	Marina Strawberry Tree		L	
BAM ALF	*	Bambusa n. 'Alphonse Karr'	'Alphonse Karr' Bamboo		L	
BAM TEX	*	Bambusa 'Textilis'	Timber Bamboo		L	
CAR FAS	*	Corpinus betulus 'Fastigata'	Pyramidal European Hornbeam		M	
CHA HUM	*	Chamaerops humilis	Mediterranean Fan Palm		L	
CS	15 gal	Cupressus sempervirens	Italian Cypress		L	
FRA AME	*	Fraxinus americana 'Autumn Purple'	Autumn Purple Ash		M	
GIN BIL	*	Ginkgo biloba 'Fairmount'	Maidenhair Tree		M	
LAG NAT	*	Lagerstroemia 'Natchez'	Crape Myrtle		L	
LIR TUL	*	Liriodendron tulipifera	Tulip Tree		M	
OLE EUR	*	Olea europaea 'Swan Hill'	Olive Tree	Multi Trunk	L	
PIS CHI	*	Pistacia chinensis	Chinese Pistache		L	
PLA CDL	*	Platanus acerifolia 'Columbia'	London Plane Tree		M	
PDD GRA	15 gal	Podocarpus gracilior	Fern Pine		M	
PRU AKE	*	Prunus akebono	Akebono Cherry		M	
PYR CAL	*	Pyrus c. 'Aristocrat'	Flowering Pear		M	
QUE AGR	*	Quercus agrifolia	Coast Live Oak		VL	NATIVE
QUE FRA	*	Quercus Fraelletto 'Schmidt'	Hungarian Oak		L	
QUE LDB	*	Quercus lobata	Valley Oak		L	NATIVE
QUE VIR	*	Quercus virginiana	Live Oak		M	
SEQ SEM	*	Sequola s. 'Aptos Blue'	Redwood		H	NATIVE
TRI LAU	*	Tristanopsis laurina	Water Gum		M	
SHRUBS						
AN	1 gal	Anemone hybrida 'White'	Japanese Anemone	24" oc	M	
ABG	5 gal	Anigonzanthos 'Bush Gold'	Yellow Kangaroo Paw	24" oc	L	
BS	5 gal	Buxus s. 'Green Beauty'	Bowwood	24" oc	M	
CE	5 gal	Ceanothus 'Concha'	California Lilac	48" oc	VL	NATIVE
CR	5 gal	Cycas revoluta	Sago Cycad	36" oc	M	
DB	5 gal	Dieris Bicolor (s)	Fortnight Lily	36" oc	L	
EM	15 gal	Elaeagnus 'Maculata'	Golden Elaegagnus	60" oc	L	
EC	5 gal	Euphorbia c. 'Wulfenii'	Euphorbia	30" oc	L	
EF	5 gal	Escallonia fradesii 'Pink Whisper'	Escallonia 'Pink Whisper'	42" oc	M	
HM	5 gal	Hypericum moserianum	Gold Flower	42" oc	M	
HME	5 gal	Hydrangea n. 'Endless Summer'	Hydrangea	36" oc	M	
HP	5 gal	Hesperaloe parvifolia	Red Yucca	36" oc	/	
LB	5 gal	Lavatera t. 'Barnsiey'	Tree Mallow	48" oc	L	
LL	5 gal	Leonotis leonurus	Lion's Tail	36" oc	L	
LC	5 gal	Loropetalum c. 'Blush'	Red Fringe Flower	36" oc	L	
DL	5 gal	Olea e. 'Little Olive'	Dwarf Olive	36" oc	VL	
PA	5 gal	Phornium 'Firebird'	New Zealand Flax	36" oc	L	
PD	5 gal	Phornium 'Dusky Chief'	New Zealand Flax	36" oc	L	
PY	5 gal	Phornium 'Yellow Wave'	New Zealand Flax	36" oc	L	
PRS	5 gal	Phornium 'Rainbow Sunrise'	New Zealand Flax	30" oc	L	
PRW	5 gal	Phornium 'Rainbow Warrior'	New Zealand Flax	30" oc	L	
PC	5 gal	Prunus carollana	Carolina Cherry Laurel	48" oc	L	
PL	5 gal	Prunus laurocerasus	English Laurel	48" oc	M	
RB	5 gal	Rhaplolepis indica 'Ballerina'	Indian Hawthorne	36" oc	L	
RH	5 gal	Rhamnus californica	Coffeeberry	48" oc	L	NATIVE
RS	5 gal	Rosa 'White Simplicity'	White Simplicity Rose	42" oc	M	
RT	5 gal	Rosmarinus 'Tuscan Blue'	Tuscan Blue Rosemary	36" oc	L	
SR	5 gal	Streptizia reginae	Bird of Paradise	36" oc	M	
SLB	5 gal	Salvia leucantha 'Santa Barbara'	Mexican Sage	36" oc	L	
RHA	5 gal	Rhaplolepis indica 'Clara'	Indian Hawthorn	36" O.C.	L	

GROUND COVER	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/NOTES	WUCCLS	CA NATIVE	
ARC	5 gal	Arctostaphylos 'Pacific Mist'	Manzanita		48" oc	VL	NATIVE
CEA	5 gal	Ceanothus g. h. 'Yankee Point'	Yankee Point Ceanothus		30" oc	L	NATIVE
GPS	5 gal	Coleonema p. 'Sunset Gold'	Dwarf Breath of Heaven		48" oc	M	
CDP	5 gal	Coprosma p. Verde Vista'	Coprosma		36" oc	L	
LAV	5 gal	Lavandula intermedia	Lavender		24" oc	L	NATIVE
LIR	1 gal	Liriope n. 'Big Blue'	Lily Turf		18" oc	M	
MAH	5 gal	Mahonia repens	Creeping Mahonia		30" oc	L	NATIVE
RSC	5 gal	Rosa 'Flower Carpet Amber'	Amber Carpet Rose		36" oc	M	
SBR	1 gal	Stachys byzantina	Lamb's Ear		24" oc	M	
TEU	1 gal	Teucrium x lucidrys	Dwarf Germander		24" o.c.	L	
TJA	5 gal	Trachelospermum jasminoides	Star Jasmine		36" o.c.	M	
CUP	1 gal	Cuphea hyssopifolia	Mexican Heather		24" O.C.	M	
EUD	1 gal	Euonymus fortunei	Winter Creeper		24" O.C.	L	
GRASSES							
CDI	5 gal	Carex tunulicola	Berkeley Sedge		24" oc	M	
CKF	5 gal	Calamagrostis 'Karl Foerster'	Feather Reed Grass		30" oc	L	
CNU	1 gal	Calamagrostis nukaensis	Pacific Reed Grass		30" oc	L	NATIVE
CTE	5 gal	Chondropetalum tectorum (s)	Cape Rush		24" oc	L	
LCP	1 gal	Leymus c. 'Canyon Prince'	Canyon Prince Wild Rye		30" oc	L	
JRF	5 gal	Juncus patens 'Elk Blue' (s)	California Gray Rush		18" oc	L	NATIVE
MCR	5 gal	Muhlenbergia c. 'Regal Mist' (s)	Cliff Muhly		36" oc	L	
MRI	5 gal	Muhlenbergia rigens (s)	Beergoass		36" oc	L	NATIVE
DJ	1 gal	Ophiopogon japonicus	Black Mondo Grass		18" oc	M	
STT	5 gal	Stipa tenuissima	Mexican Feather Grass		24" oc	L	
FEB*	2 gal	Festuca glauca 'Elijah Blue'	Blue Fescue		18" oc	L	
FERNS							
NC	5 gal	Nephrolepis cordifolia	Southern Sword Fern		36" oc	M	
PM	5 gal	Polystichum muntonii	Western Sword Fern		30" oc	M	NATIVE
VINES							
BG	5 gal	Bougainvillea 'California Gold'	Bougainvillea			L	
CC	5 gal	Clytostoma callistegioides	Violet Trumpet Vine			M	
FP	1 gal	Ficus pumila	Creeping Fig			M	
PT	1 gal	Parthenocissus tricuspidata	Boston Ivy			M	
RSJ	5 gal	Rosa 'Joseph's Coat'	Joseph's Coat Rose			M	
PERENNIALS							
AC	1 gal	Annual Color			16" oc	/	
CAL	1 gal	Callirachoa 'Noa'	Purple Milon Bells		18" oc	/	
NEP	1 gal	Nepeta faassnesii 'Giant'	Catmint		24" oc	L	
LAWN							
DBP	SDD	Bolero Plus	Delta Bluegrass			M	
NMF	SDD	No mow fescue	Delta sod fescue			M	

PLANTING DESIGN NOTES: The above plants have been selected as being representative of the overall planting design intent. This plant palette is suggested for use, but does not preclude use of other appropriate plant material. Water-conserving plants and other climate appropriate varieties of trees, shrubs and ground covers have been selected to complement the character of the project, both along the public frontages and within the private podium courtyards. The planting design intentionally "layers" the project perimeter to help soften the Building. Plant quantities listed are approximate.

All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with the State and Water District's water conservation ordinance.

The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and grading of the site. The maintenance contractor shall furnish all labor, equipment, materials and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.

**NOTE: This plant palette is suggested for use, but does not preclude use of other appropriate plant material. Water-conserving plants and other climate appropriate varieties of trees, shrubs and ground covers have been selected to complement the character of the project.

LANDSCAPE SOIL SPECIFICATION GUIDELINES

PHYSICAL PROPERTIES

USDA classification of fraction passing 2.0 mm sieve:

Designation: sandy loam, sandy clay loam, clay loam or loam.

Class	Particle size range	maximum, %	minimum, %
Coarse sand	0.5 - 2.0 mm	15	0
Silt plus clay	<0.05 mm	70	30
Silt	0.002 - 0.05 mm	40	10
Clay	0 - 0.002 mm	35	10

Other classes

Gravel	2 - 13 mm	20	0
Rock	None > 1/2 inch	10% by volume with none > 1 inch	
Organic		15%	0
Organic (Amended Soil)		10%	3%

CHEMISTRY - SUITABILITY CONSIDERATIONS

- SALINITY: Saturation Extract Conductivity (ECe) Less than 4.0 dS/m @ 250 C.
- SODIUM: Sodium Absorption Ratio (SAR) Less than 6.0
- BORON: Saturation Extract Concentration Less than 1.0 ppm
- REACTION: pH of Saturated Paste 5.5 - 7.5

FERTILITY CONSIDERATIONS

Soil to contain sufficient quantities of available nitrogen, phosphorus, potassium, calcium and magnesium to support normal plant growth. In the event of nutrient inadequacies, provisions shall be made to add required materials prior to planting. See planting notes.

INFILTRATION RATE

Inches/Hour	maximum	minimum
Amended Soil	0.45	0.20

De Anza Hotel

Cupertino, CA

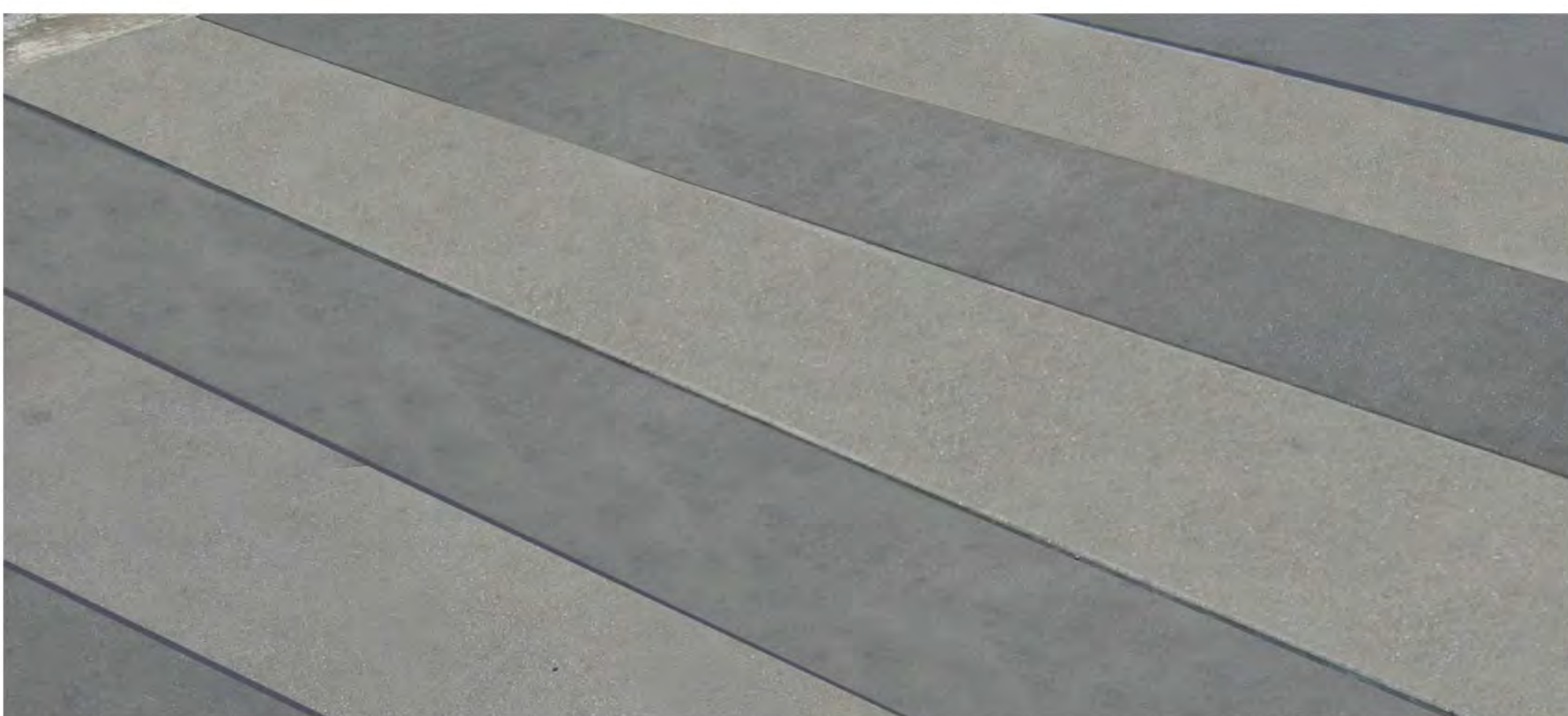
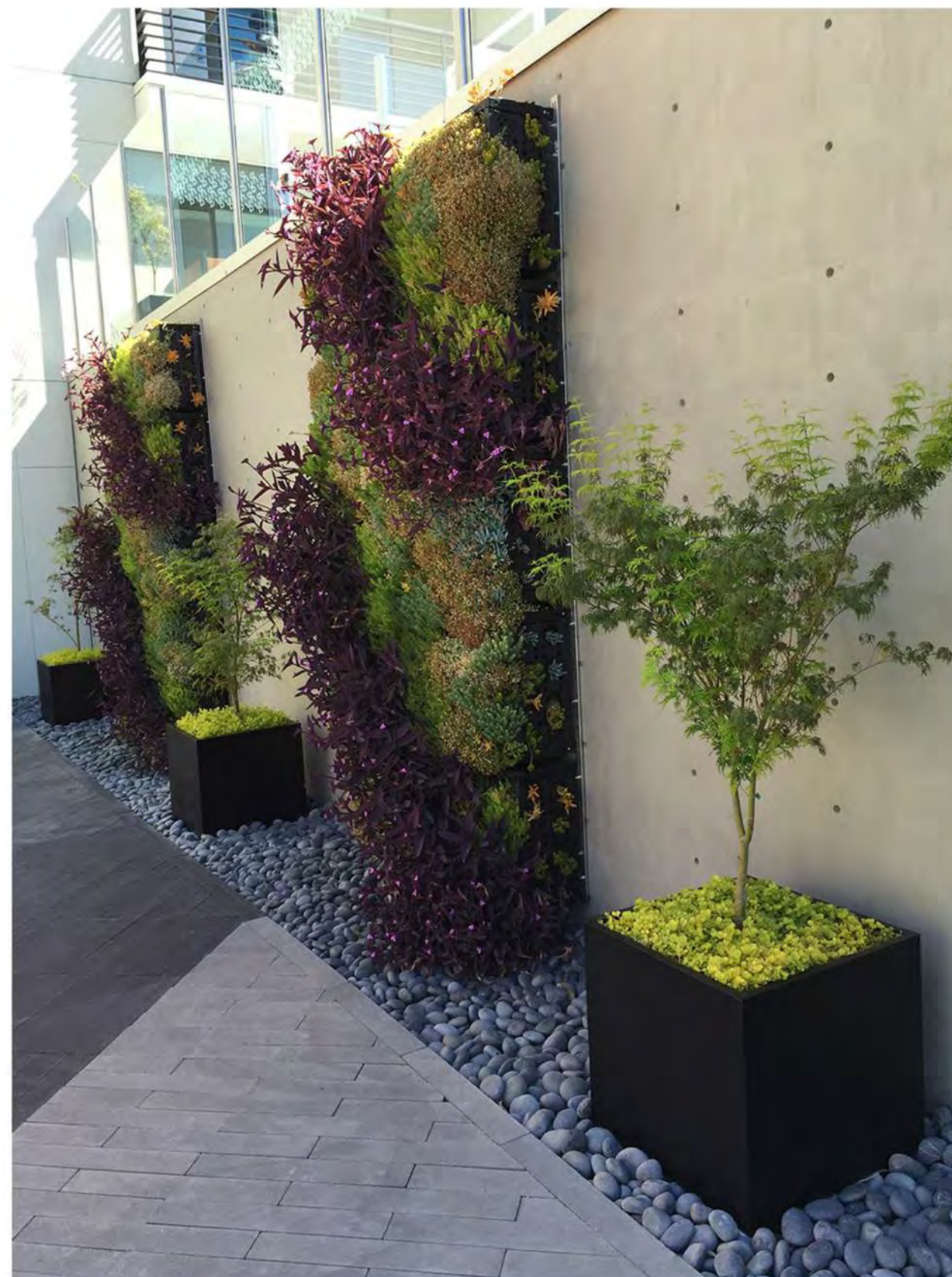
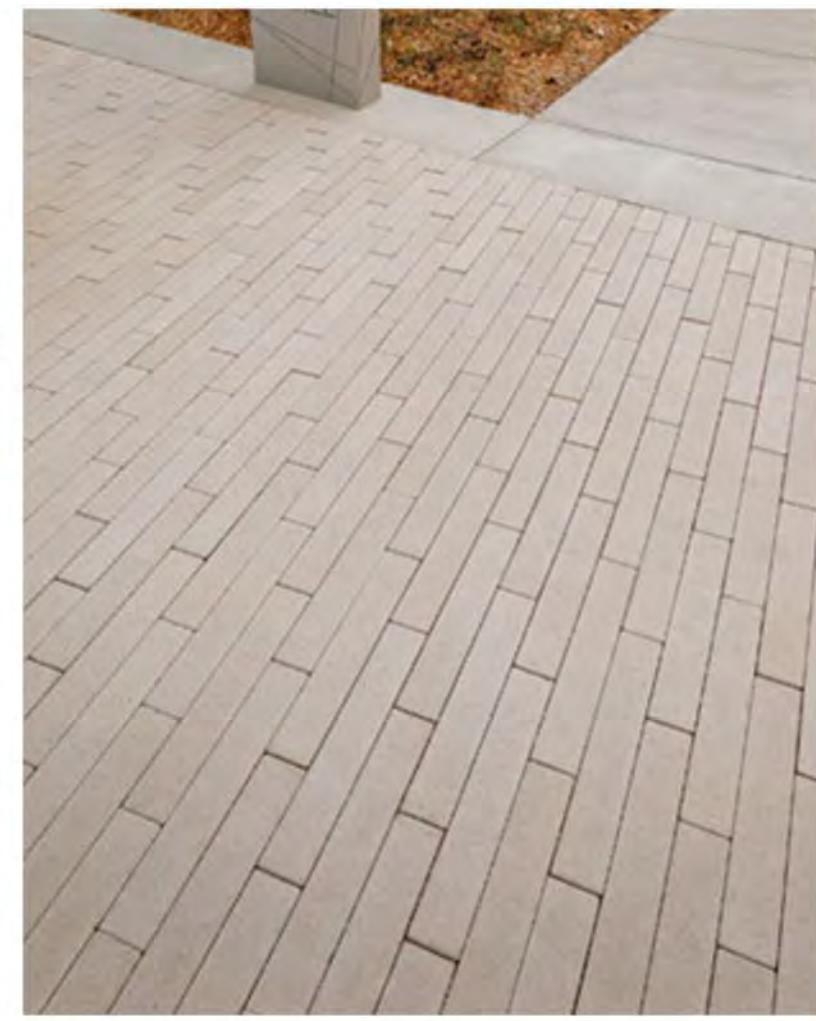
NOTES & SPECIFICATIONS

04.19.2019

L2

THE
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De Anza Hotel

Cupertino, CA

LANDSCAPE IMAGERY
04.19.2019
L3

THE GUZZARDO PARTNERSHIP INC.
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TREE DISPOSITION LEGEND

Existing Trees to Remain. To be Coordinated with Civil Engineer and Proposed Grading Plan.
 NOTE: All Existing On-Site Trees are to Remain.

Tree Disposition Table

Total Existing On-Site Trees	11
to Remain	11
to be Removed	0
to be Transplanted	0
Replacement Trees Proposed	
(24" Box Size or Greater)	14

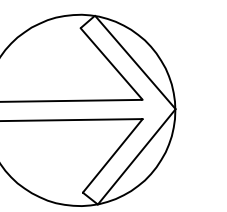
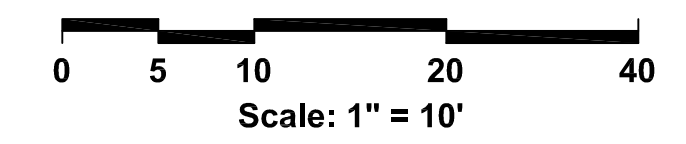
Existing Platanus x acerifolia to remain. QTY: 2

Existing Eucalyptus to Remain

Existing Palm Trees to Remain. QTY: 2

Existing Platanus x acerifolia to Remain QTY:6

De Anza Blvd



De Anza Hotel
 Cupertino, CA

TREE DISPOSITION PLAN
 04.19.2019
L4

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