

# BAY AREA SELF STORAGE

10655 MARY AVE.  
CUPERTINO, CA 95014



DIRECTORY	PROJECT DATA			VICINITY MAP	SHEET INDEX																																																																																																																																								
<p><b>OWNER</b> BASS CUPERTINO, LLC 19121 MILLER AVE. #200 CUPERTINO, CA 95014 PH: (408) 255 4100 FX: (408) 966 8425 CONTACT: CURTIS LEIGH PH: (408) 350 5354 EMAIL: curis@hunterproperties.com</p> <p><b>ARCHITECT</b> BRUCE JORDAN ARCHITECT 131 CALLE IGLESIA, SUITE 100 SAN CLEMENTE, CA 92673 PH: (949) 388-8090 FX: (949) 388-8290 CONTACT: BRUCE JORDAN CAROLINA PAZ E-MAIL: bjordan@jordanarchitects.com cpaz@jordanarchitects.com</p> <p><b>CIVIL ENGINEER</b> SANDIS 636 9th STREET OAKLAND, CA 94607 PH: (510) 873 8866 CONTACT: RONALD SANZO EMAIL: ronzos@sandis.net</p> <p><b>LANDSCAPE</b> PLEINAIRE DESIGN GROUP 3203 LIGHTNING ST. SUITE 201 SANTA MARIA, CA 93405-1805 PH: (805) 349 9695 FX: (805) 628 4689 CONTACT: KEVIN J. SMALL EMAIL: kjsmall@pleinairedg.com</p>	<p><b>BASIS OF DESIGN</b></p> <table border="1"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>ZONE</td> <td>P (BQ, MINI-STOR)</td> <td></td> </tr> <tr> <td>STRUCTURE HEIGHT</td> <td>30 FT. 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DIV.</li> <li>A.1.3 BMP</li> <li>A.2 PRELIMINARY SITE PLAN</li> <li>A.2.1 EXISTING BLDG. AREA DIAGRAM</li> <li>A.3 FIRE ACCESS</li> <li>A.3.1 TRASH ACCESS PLAN</li> <li>A.3.2 EASEMENT PLAN</li> <li>A.4 PRELIM. FLOOR PLAN</li> <li>A.5 PRELIM. FLOOR PLAN</li> <li>A.6 PRELIM. FLOOR PLAN</li> <li>A.7 PRELIM. FLOOR PLAN</li> <li>A.8 PRELIM. FLOOR PLAN</li> <li>A.9 ROOF PLAN</li> <li>A.10 OFFICE FLOOR PLAN</li> <li>A.11 RESIDENCE FLOOR PLAN</li> <li>A.12 ELEVATIONS</li> <li>A.13 ELEVATIONS</li> <li>A.14 ELEVATIONS</li> <li>A.15 ELEVATIONS</li> <li>A.16 DETAILS</li> </ul> <p><b>CIVIL</b></p> <ul style="list-style-type: none"> <li>CO.1 TOPO + SURVEY BOUNDARY SURVEY (FOR REFERENCE ONLY)</li> <li>C1.0 PRELIMINARY SITE + EASEMENT PLAN</li> <li>C2.0 PRELIMINARY GRADING AND UTILITY PLAN</li> <li>C2.1 PRELIMINARY SITE AND GRADING ENLARGEMENT PLAN</li> <li>C3.0 PRELIMINARY STORMWATER MANAGEMENT PLAN</li> </ul> <p><b>LANDSCAPE</b></p> <ul style="list-style-type: none"> <li>CLP-01 CONCEPTUAL LANDSCAPE PLAN A, B, &amp; C</li> <li>CLP-02 TREE REPLACEMENT PLAN</li> <li>CLP-03 PLANT IMAGERY &amp; AREA MAP</li> </ul>
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<p><b>CODE</b> THIS PROJECT SHALL COMPLY WITH THE FOLLOWING: THE CALIFORNIA FIRE (CFC) &amp; BUILDING (CBC) CODE, 2016 EDITION, AS ADOPTED BY THE CITY OF CUPERTINO MUNICIPAL CODE (CMC) AND CALIFORNIA CODE OF REGULATIONS (CCR).</p>	<p><b>CONSTRUCTION NOTES:</b></p> <ol style="list-style-type: none"> <li>THIS PROJECT WILL BE LEED CERTIFIED IN ACCORDANCE WITH THE CITY OF CUPERTINO ORDINANCE.</li> <li>EMPLOYEE SMOKING WILL NOT BE PERMITTED ON THE PROPERTY.</li> <li>A COMPLETED CONSTRUCTION AND DEMOLITION (C&amp;D) RECYCLING PLANS MUST BE SUBMITTED IN ADVANCE OF THE DEMOLITION AND/OR BUILDING PERMIT ISSUANCE. UPON COMPLETION OF THE DEMOLITION AND/OR BUILDING PROJECT AND PRIOR TO RECEIVING THE FINAL APPROVAL, A C&amp;D RECYCLING REPORT INCLUDING ALL RECYCLING AND DISPOSAL WEIGHT TICKETS MUST BE SUBMITTED, DEMONSTRATING A MINIMUM OF 65% OF THE C&amp;D MATERIALS HAVE BEEN DIVERTED FROM LANDFILL AND RECYCLED OR RECOVERED. FURTHERMORE, PURSUANT TO CALGREEN SECTION 5.408.3, 100% OF EXCAVATED SOIL AND LAND CLEARING DEBRIS SHALL BE REUSED OR RECYCLED. ANY CONTAMINATED SOIL MUST BE CONTAINED, TRANSPORTED, AND DISPOSED ACCORDING TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS. IF MULTIPLE DEMOLITION OR BUILDING PERMITS WILL BE ISSUED IN PHASES FOR THIS PROJECT, C&amp;D PLANS AND REPORTS MUST BE SUBMITTED FOR EACH PERMIT. ALL C&amp;D PLANS AND REPORTS MUST BE SUBMITTED TO AND APPROVED BY THE ENVIRONMENTAL PROGRAMS DIVISION PRIOR TO RELEASE OF HOLDS ON THE FINAL INSPECTION AND/OR OCCUPANCY. PLEASE NOTE THAT C&amp;D DEBRIS BOX SERVICE MAY ONLY BE OBTAINED FROM RECOLOGY, THE CITY'S FRANCHISED WASTE HAULER.</li> </ol>	<p><b>BIKE &amp; VEHICLE PARKING EXCEPTION (SEE SHEET A.10)</b> 166,845 / 450 = 371 TOTAL VEHICLE PARKING SPACES ALLOWED PARKING SPACES = 41 41 SPACES / 371 SPACES = 9.0% OF TOTAL SPACES 166,845 / 12,000 = 14 TOTAL BIKE PARKING SPACES 14 X 9.9% = 2 TOTAL BIKE PARKING SPACES</p> <p>BUILDING CONSTRUCTION TYPE: IIB OCCUPANCY CLASSIFICATION: S-1. BUILDINGS ARE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.</p> <p>NOTES: 1. PER TABLE 2902.1, (1) SERVICE SINK IS REQUIRED. 2. TOTAL FIXTURES PROVIDED: (1) WATER CLOSET AND (1) LAVATORY, (1) HIGH-LOW DRINKING FOUNTAIN, AND (1) SERVICE SINK. PER CBC SECTION 2902.2 EXCEPTION 2, SEPARATE FACILITIES FOR EACH SEX ARE NOT REQUIRED FOR SPACES WITH A TOTAL OCCUPANT LOAD OF 15 OR FEWER. 3. PER CBC SECTION 2902.3 EXCEPTION 2, PUBLIC TOILET FACILITIES SHALL NOT BE REQUIRED FOR SPACES INTENDED FOR QUICK TRANSACTIONS THAT ARE LESS OR EQUAL TO 300 S.F. SINCE EACH STORAGE UNIT IS BEING USED ONLY FOR PICK-UP AND DROP-OFF AND DOES NOT EXCEED 300 S.F., THE OCCUPANTS ASSOCIATED WITH THE STORAGE UNITS HAVE BEEN REMOVED FROM THE PLUMBING FIXTURE CALCULATION. 4. UNISEX TOILET AND DRINKING FOUNTAINS AT THE OFFICE AREA TO BE AVAILABLE TO ALL CUSTOMERS DURING BUSINESS HOURS WITH NO SPECIAL ACCESS CODE REQUIRED.</p>	<p><b>PLUMBING FIXTURE CALCULATION</b></p> <p><b>OCCUPANT LOAD PER CPC 422.1, TABLE A</b> GROUP S: 163,787 / 5000 = 33 OCCUPANTS (17 MEN, 17 WOMEN) GROUP B: 1,271 S.F. / 200 = 7 OCCUPANTS (4 MEN, 4 WOMEN)</p> <p><b>FIXTURE CALCULATION PER TABLE 422.1:</b> CALCULATION FOR MEN WATER CLOSETS (WC) GROUP S: 17 OCCUPANTS AT RATIO OF 1:100 GROUP B: 4 OCCUPANTS AT RATIO OF 1:50 URINALS (UR) GROUP B: 4 OCCUPANTS AT RATIO OF 1:100 FRACTIONAL NUMBERS RESULTING FROM FIXTURE RATIO: GROUP S: 17 / 100 = 0.17 GROUP B: 4 / 50 = 0.08 (UR) AND 4 / 100 = 0.04 (UR) REQUIRED FIXTURE CALCULATION: 0.17 + 0.08 + 0.04 = 0.29 OR 1 WC FIXTURES PROVIDED: 1 WC</p> <p>LAVATORIES (LAV) GROUP S: 17 OCCUPANTS AT RATIO OF 1:200 GROUP B: 4 OCCUPANTS AT RATIO OF 1:75 FRACTIONAL NUMBERS RESULTING FROM FIXTURE RATIO: GROUP S: 17 / 200 = 0.09 GROUP B: 4 / 75 = 0.05 REQUIRED FIXTURE CALCULATION: 0.09 + 0.05 = 0.14 OR 1 LAV FIXTURES PROVIDED: 1 LAV</p> <p>CALCULATION FOR WOMEN WATER CLOSETS (WC) GROUP S: 17 OCCUPANTS AT RATIO OF 1:100 GROUP B: 4 OCCUPANTS AT RATIO OF 1:15 FRACTIONAL NUMBERS RESULTING FROM FIXTURE RATIO: GROUP S: 17 / 100 = 0.17 GROUP B: 4 / 15 = 0.27 REQUIRED FIXTURE CALCULATION: 0.17 + 0.27 = 0.44 OR 1 WATER CLOSET FIXTURES PROVIDED: 1 WATER CLOSET</p> <p>LAVATORIES (LAV) GROUP S: 17 OCCUPANTS AT RATIO OF 1:200 GROUP B: 4 OCCUPANTS AT RATIO OF 1:50 FRACTIONAL NUMBERS RESULTING FROM FIXTURE RATIO: GROUP S: 17 / 200 = 0.09 GROUP B: 4 / 50 = 0.08 REQUIRED FIXTURE CALCULATION: 0.09 + 0.08 = 0.17 OR 1 LAV FIXTURES PROVIDED: 1 LAV</p>	<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>ALL UTILITY DISTRIBUTION INSTALLED IN AND FOR THE PURPOSE OF SUPPLYING SERVICE TO ANY DEVELOPMENT AREA WITHIN THE CITY, SHALL BE PLACED UNDERGROUND; CMC SECTION 14.24.030.</li> <li>DEFERRED PERMIT: - SIGNAGE - SPRINKLER SYSTEM. - ALARM SYSTEM.</li> </ol>																																																																																																																																									

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**TITLE SHEET**

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DATE: 01/25/2021

**A.1**

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# BAY AREA SELF STORAGE

## CUPERTINO, CA

# COA - PUBLIC WORKS

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# A.1.1

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Facsimile 949.388-8290

jordan  
ARCHITECTS, INC.

**PUBLIC WORKS PROJECT CONDITIONS OF APPROVAL.** EXCEPT FOR OTHERWISE NOTED, THE FOLLOWING CONDITIONS MUST BE COMPLETED AND/OR SUBMITTED PRIOR TO ISSUANCE OF BUILDING PERMIT.

#### **PUBLIC INFRASTRUCTURE IMPROVEMENTS & DEDICATIONS**

DEVELOPER SHALL OFFER A 20-FOOT WIDE EASEMENT TO THE CITY FOR A FUTURE MULTI-USE TRAIL FACILITY ALONG THE EASTSIDE OF THE PROPERTY, AN INGRESS AND EGRESS EASEMENT FOR TRAIL MAINTENANCE ACCESS, AND A CONSTRUCTION ACCESS EASEMENT. THE DEDICATION SHALL BE PROCESS AT THE SAME TIME AS THE EASEMENT VACATION, IF ANY.

DEVELOPER SHALL INSTALL THE MULTI-USE TRAIL FACILITY, INSTALL AND MAINTAIN THE BRIDGE OVER THE PROPOSED INFILTRATION TRENCH, NEW WROUGHT IRON FENCE AND GATE FOR ACCESS BETWEEN THE FUTURE EASEMENT AND THE STORAGE FACILITY IN AREAS NOT LINED BY BUILDING TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS, AND OTHER PUBLIC IMPROVEMENTS AND CONTRIBUTIONS AS AGREED UPON BY THE DEVELOPER AND DIRECTOR OF PUBLIC WORKS.

#### **STREAMSIDE PERMIT**

THE PROJECT MAY BE SUBJECT TO APPLYING FOR A STREAMSIDE MODIFICATION PERMIT DUE TO ITS PROXIMITY TO THE JUNIPERO SERRA CHANNEL. THE PURPOSE OF THIS PERMIT IS TO ENSURE THAT THE PROJECT DOES NOT ADVERSELY IMPACT THE ADJACENT CHANNEL.

#### **STREET IMPROVEMENTS & DEDICATIONS**

PROVIDE FRONTAGE IMPROVEMENTS ALONG THE PROJECT TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS. STREET IMPROVEMENTS MAY INCLUDE, BUT NOT BE LIMITED TO, NEW DETACHED SIDEWALK, NEW ADA RAMP, DRIVEWAYS, STORM DRAIN LATERAL, STREET TREE INSTALLATIONS, AND STREET LIGHT AND/OR PEDESTRIAN PUSH BUTTON RELOCATION. ALL LAND CONTAINING PORTIONS OF PUBLIC SIDEWALK SHALL BE DEDICATED IN FEE TO THE CITY.

#### **STREET WIDENING**

PUBLIC STREET WIDENING AND DEDICATIONS SHALL BE PROVIDED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS AND AS REQUIRED BY THE DIRECTOR OF PUBLIC WORKS.

#### **CURB AND GUTTER IMPROVEMENTS**

CURBS AND GUTTERS, SIDEWALKS AND RELATED STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH GRADES AND STANDARDS AS SPECIFIED BY THE DIRECTOR OF PUBLIC WORKS.

#### **PEDESTRIAN AND BICYCLE IMPROVEMENTS**

DEVELOPER SHALL PROVIDE PEDESTRIAN AND BICYCLE RELATED IMPROVEMENTS (E.G. WALKWAYS, BICYCLE RACKS, ETC.) CONSISTENT WITH THE CUPERTINO BICYCLE TRANSPORTATION PLAN AND THE PEDESTRIAN TRANSPORTATION PLAN, AND AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS.

#### **STREET LIGHTING INSTALLATION**

STREET LIGHTING SHALL BE INSTALLED AND SHALL BE AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS. LIGHTING FIXTURES SHALL BE POSITIONED SO AS TO PRECLUDE GLARE AND OTHER FORMS OF VISUAL INTERFERENCE TO ADJOINING PROPERTIES, AND SHALL BE NO HIGHER THAN THE MAXIMUM HEIGHT PERMITTED BY THE ZONE IN WHICH THE SITE IS LOCATED.

#### **GRADING**

GRADING SHALL BE AS APPROVED AND REQUIRED BY THE DIRECTOR OF PUBLIC WORKS IN ACCORDANCE WITH CHAPTER 16.08 OF THE CUPERTINO MUNICIPAL CODE. 401 CERTIFICATIONS AND 404 PERMITS MAYBE REQUIRED. PLEASE CONTACT ARMY CORP OF ENGINEERS AND/OR REGIONAL WATER QUALITY CONTROL BOARD AS APPROPRIATE.

#### **DRAINAGE**

DRAINAGE SHALL BE PROVIDED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS. HYDROLOGY AND PRE- AND POST-DEVELOPMENT HYDRAULIC CALCULATIONS MUST BE PROVIDED TO INDICATE WHETHER ADDITIONAL STORM WATER CONTROL MEASURES ARE TO BE CONSTRUCTED OR RENOVATED. THE STORM DRAIN SYSTEM MAY INCLUDE, BUT IS NOT LIMITED TO, SUBSURFACE STORAGE OF PEAK STORMWATER FLOWS (AS NEEDED), BIOTENTION BASINS, VEGETATED SWALES, AND HYDRODYNAMIC SEPARATORS TO REDUCE THE AMOUNT OF RUNOFF FROM THE SITE AND IMPROVE WATER QUALITY. THE STORM DRAIN SYSTEM SHALL BE DESIGNED TO DETAIN WATER ON-SITE (E.G., VIA BURIED PIPES, RETENTION SYSTEMS OR OTHER APPROVED SYSTEMS AND IMPROVEMENTS) AS NECESSARY TO AVOID AN INCREASE OF THE TEN PERCENT FLOOD WATER SURFACE ELEVATION TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS. ANY STORM WATER OVERFLOWS OR SURFACE SHEETING SHOULD BE DIRECTED AWAY FROM NEIGHBORING PRIVATE PROPERTIES AND TO THE PUBLIC RIGHT OF WAY AS MUCH AS REASONABLY POSSIBLE.

ALL STORM DRAIN INLETS SHALL BE CLEARLY MARKED WITH THE WORDS "NO DUMPING - FLOWS TO CREEK" USING PERMANENTLY AFFIXED METAL MEDALLIONS OR EQUIVALENT, AS APPROVED BY THE ENVIRONMENTAL PROGRAMS DIVISION.

#### **C.3 REQUIREMENTS**

C.3 REGULATED IMPROVEMENTS ARE REQUIRED FOR ALL PROJECTS CREATING AND/OR REPLACING 10,000 S.F. OR MORE OF IMPERVIOUS SURFACE (COLLECTIVELY OVER THE ENTIRE PROJECT SITE). THE DEVELOPER SHALL RESERVE A MINIMUM OF 4% OF DEVELOPABLE SURFACE AREA FOR THE PLACEMENT OF LOW IMPACT DEVELOPMENT MEASURES, FOR STORM WATER TREATMENT, UNLESS AN ALTERNATIVE STORM WATER TREATMENT PLAN, THAT SATISFIES C.3 REQUIREMENTS, IS APPROVED BY THE DIRECTOR OF PUBLIC WORKS.

THE DEVELOPER MUST INCLUDE THE USE AND MAINTENANCE OF SITE DESIGN, SOURCE CONTROL, AND STORM WATER TREATMENT BEST MANAGEMENT PRACTICES (BMPs), WHICH MUST BE DESIGNED PER APPROVED NUMERIC SIZING CRITERIA. A STORM WATER MANAGEMENT PLAN, STORM WATER FACILITIES EASEMENT AGREEMENT, STORM WATER FACILITIES OPERATION AND MAINTENANCE AGREEMENT, AND CERTIFICATION OF ONGOING OPERATION AND MAINTENANCE OF TREATMENT BMPs ARE EACH REQUIRED.

ALL STORM WATER MANAGEMENT PLANS ARE REQUIRED TO OBTAIN CERTIFICATION FROM A CITY APPROVED THIRD PARTY REVIEWER.

#### **DEVELOPMENT AGREEMENT**

THE PROJECT DEVELOPER SHALL ENTER INTO A DEVELOPMENT AGREEMENT WITH THE CITY OF CUPERTINO PROVIDING FOR PAYMENT OF FEES, INCLUDING BUT NOT LIMITED TO CHECKING AND INSPECTION FEES, STORM DRAIN FEES, PARK DEDICATION FEES AND FEES FOR UNDER GROUNDING OF UTILITIES. SAID AGREEMENT SHALL BE EXECUTED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.

#### **FEES:**

a. PLAN CHECK & INSPECTION FEES:	PER CURRENT FEE SCHEDULE (\$7,389 OR 6% OF IMPROVEMENT COSTS)
b. GRADING PERMIT:	PER CURRENT FEE SCHEDULE (\$3,059 OR 6% OF IMPROVEMENT COSTS)
c. STORM DRAINAGE FEE:	PER CURRENT FEE SCHEDULE (\$9,566 PER AC)
d. TRAFFIC IMPACT FEE:	PER CURRENT FEE SCHEDULE (\$6,268 PER NEW PEAK-HOUR TRIP)
e. ENCROACHMENT PERMIT FEE:	PER CURRENT FEE SCHEDULE (\$1,307)
f. STORM MANAGEMENT PLAN FEE PER CURRENT FEE SCHEDULE:	(\$1,396)
g. STREAMSIDE PERMIT FEE:	PER CURRENT FEE SCHEDULE (\$362)
h. EASEMENT VACATION FEE:	PER CURRENT FEE SCHEDULE (\$3,522 PER APPLICATION)

#### **BONDS:**

FAITHFUL PERFORMANCE BOND: 100% OF OFF-SITE AND ON-SITE IMPROVEMENTS LABOR & MATERIAL BOND: 100% OF OFF-SITE AND ON-SITE IMPROVEMENT  
ON-SITE GRADING BOND: 100% OF SITE IMPROVEMENTS

THE FEES DESCRIBED ABOVE ARE IMPOSED BASED UPON THE CURRENT FEE SCHEDULE ADOPTED BY THE CITY COUNCIL. HOWEVER, THE FEES IMPOSED HEREIN MAY BE MODIFIED AT THE TIME OF RECORDATION OF A FINAL MAP OR ISSUANCE OF A BUILDING PERMIT IN THE EVENT OF SAID CHANGE OR CHANGES, THE FEES CHANGED AT THAT TIME WILL REFLECT THE THEN CURRENT FEE SCHEDULE.

#### **TRANSPORTATION IMPACT FEES**

THE PROJECT IS SUBJECT TO THE PAYMENT OF TRAFFIC IMPACT FEES UNDER CITY'S TRANSPORTATION IMPACT FEE PROGRAM UNDER (CHAPTER 14.02 OF THE CUPERTINO MUNICIPAL CODE).

#### **SURVEYS**

A BOUNDARY SURVEY AND A HORIZONTAL CONTROL PLAN WILL BE REQUIRED FOR ALL NEW CONSTRUCTION TO ENSURE THE PROPOSED BUILDING WILL BE SET BASED ON THE BOUNDARY SURVEY AND SETBACK REQUIREMENTS.

#### **TRASH, RECYCLING AND COMPOST ENCLOSURES**

TRASH ENCLOSURE PLANS MUST BE DESIGNED IN ACCORDANCE WITH THE CITY'S "PUBLIC WORKS GUIDELINES POSTED AT WWW.CUPERTINO.ORG/NOVWASTE, AND TO THE SATISFACTION OF THE ENVIRONMENTAL PROGRAMS MANAGER. CLEARANCE BY THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO OBTAINING A BUILDING PERMIT. (CMC 9.16.210 H & K)

#### **OPERATIONS & MAINTENANCE AGREEMENT**

DEVELOPER SHALL ENTER INTO AN OPERATIONS & MAINTENANCE AGREEMENT WITH THE CITY. THE AGREEMENT SHALL INCLUDE THE OPERATION AND MAINTENANCE FOR THE PROPOSED BRIDGE OVER THE PROPOSED INFILTRATION TRENCH, RETAINING WALLS, AND ANY NON-STANDARD APPURTENANCES IN THE PUBLIC RIGHT-OF-WAY THAT MAY INCLUDE, BUT IS NOT LIMITED TO, SIDEWALK, PAVERS, AND STREET LIGHTS.

#### **UNDERGROUND UTILITIES**

DEVELOPER SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERGROUND UTILITIES ORDINANCE NO. 331 AND OTHER RELATED ORDINANCES AND REGULATIONS OF THE CITY OF CUPERTINO, AND SHALL COORDINATE WITH AFFECTED UTILITY PROVIDERS FOR INSTALLATION OF UNDERGROUND UTILITY DEVICES. DEVELOPER SHALL SUBMIT DETAILED PLANS SHOWING UTILITY UNDERGROUND PROVISIONS. SAID PLANS SHALL BE SUBJECT TO PRIOR APPROVAL OF THE AFFECTED UTILITY PROVIDER AND THE DIRECTOR OF PUBLIC WORKS.

#### **TRANSFORMERS**

ELECTRICAL TRANSFORMERS, TELEPHONE CABINETS AND SIMILAR EQUIPMENT SHALL BE PLACED IN UNDERGROUND VAULTS. THE DEVELOPER MUST RECEIVE WRITTEN APPROVAL FROM BOTH THE PUBLIC WORKS DEPARTMENT AND THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO INSTALLATION OF ANY ABOVE GROUND EQUIPMENT. SHOULD ABOVE GROUND EQUIPMENT BE PERMITTED BY THE CITY, EQUIPMENT AND ENCLOSURES SHALL BE SCREENED WITH FENCING AND LANDSCAPING SUCH THAT SAID EQUIPMENT IS NOT VISIBLE FROM PUBLIC STREET AREAS, AS DETERMINED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. TRANSFORMERS SHALL NOT BE LOCATED IN THE FRONT OR SIDE BUILDING SETBACK AREA.

#### **WATER BACKFLOW PREVENTERS**

DOMESTIC AND FIRE WATER BACK FLOW PREVENTERS AND SIMILAR ABOVE GROUND EQUIPMENT SHALL BE PLACED AWAY FROM THE PUBLIC RIGHT OF WAY AND SITE DRIVEWAYS TO A LOCATION APPROVED BY THE CUPERTINO PLANNING DEPARTMENT, SANTA CLARA COUNTY FIRE DEPARTMENT AND THE WATER COMPANY.



# BAY AREA SELF STORAGE

## CUPERTINO, CA


# COA - ENVIRONMENTAL PROG. DIV

# A.1.2

applicants must complete the PCB Screening Assessment Form to determine if the structure being demolished is deemed an applicable structure. No demolition permit will be issued until all required forms have been satisfactorily submitted and approved by the Environmental Programs Division.

The above requirements must be considered and discussed in advance with the project applicant and property owner. Other requirements may apply to your project and will be provided during formal plan review. Please note, if the trash enclosure will be displacing any parking spaces or changing the vehicular circulation on the site, a parking analysis and/or circulation plan must be provided to and approved by the Planning Division in advance of the trash enclosure plan submittal.

For additional questions, please contact the Environmental Programs Division at (408) 777-3354 or email at [environmental@cupertino.org](mailto:environmental@cupertino.org). Additional information can be reviewed at [www.cupertino.org/greendev](http://www.cupertino.org/greendev).

Building/Demolition Permit Number		Development Permit Number
Applicant Name/Title (Print)	Applicant Signature	Date
CURTIS LEIGH, PRINCIPAL		9/13/19
Property Owner/Agent/Title (Print)	Property Owner/Agent Signature	Date

<sup>3</sup>The maintenance of each full capture device shall be adequate to prevent plugging, including plugging of the 5mm screen leading to trash overflow and bypass, flooding, or a full condition of the device's trash reservoir causing bypassing of trash. All full trash capture devices shall be inspected and maintained at least twice per year or to the manufacturer's minimum specifications at least three months or more apart. If any such device is found to have a plugged or blinded screen or is greater than 50 percent full of trash during a maintenance event or City inspection, the maintenance frequency shall be increased so that the device is neither plugged no more than half full of trash at the next maintenance event.

during plan review. All full trash capture systems installed must be selected from the California State Water Resources Control Board approved list. Please refer to the Certified Trash Full Capture Systems List of Trash Treatment Control Devices to find a suitable system to treat the entire property. The design of the trash control system may be required to be reviewed and stamped by a registered Civil Engineer. Devices must be installed and maintained (cleaned) according to the manufacturer specifications and to ensure that they are operated at a level necessary to maintain their designation as a full-capture system as required by the City of Cupertino and San Francisco Bay Region Municipal Regional Stormwater Permit (NPDES No. CAS612008) Order No. R2-2015-0049 (MRP) Provision C.10.b.i. The property owner must provide official written record of cleaning and maintenance to the City upon request during periodic City inspections.

#### STORM DRAIN INLET LABELING

All exterior storm drain inlets on the property shall be clearly marked with "No Dumping Flows to Creek" or "No Dumping Flows to Bay".

#### DESIGNATED SMOKING AREAS

If smoking is permitted on the property, the designated smoking area(s) must be identified on the plans and an appropriate number of cigarette urns with rain water covers are required. If smoking is not permitted on the property an appropriate number of cigarette urns with rainwater covers must be provided on private property immediately adjacent to the sidewalk to prevent discarded cigarettes from being disposed on the sidewalk and street.

#### FOOD SERVICE ESTABLISHMENT INTERIOR WASTE PLAN

All wet waste businesses, defined as a business that produces food, organic and/or liquid wastes must identify on the plans, the location of all waste containers located within the kitchen/food preparation area. A minimum of two containers are required and shall be clearly labeled "food" and "non-food". More than two containers may be required based on the kitchen and food preparation area. The volume of all waste containers must be included with submittal.

#### EXTERIOR COPPER

The exterior use of copper for roofing materials, rain gutters, downspouts, or any ornamental enhancement is prohibited. Small copper adornments such as door handles or fence post caps are exempted.

#### CONSTRUCTION AND DEMOLITION WASTE RECYCLING

All construction, demolition, and renovation projects are required to submit a completed Waste Management Plan demonstrating that a minimum of 65% of the waste material generated is recycled consistent with the provisions of Cupertino Municipal Code Section 16.72. If a project includes both demolition and construction under separate permits, a waste recycling plan and report is required for each permit.

#### PCB ASSESSMENT AND MITIGATION IN ADVANCE OF DEMOLITION

If demolition of an existing building(s) is planned, PCB testing and remediation is required prior to obtaining a demolition permit. Buildings constructed or remodeled from January 1, 1950 to December 31, 1980 must undergo representative sample testing and analysis by a certified analytical laboratory for PCB presence. A report of these findings must be submitted to the Environmental Programs Division. This requirement does not apply to remodeling and single-family residential and/or wood frame structures; however, all demolition permit



#### ENVIRONMENTAL PROGRAMS DIVISION

CITY HALL  
10300 TORRE AVENUE • CUPERTINO, CA 95014-3255  
TELEPHONE: (408) 777-3354 • FAX: (408) 777-3333  
CUPERTINO.ORG

#### ENVIRONMENTAL PROGRAMS DIVISION CONDITIONS OF APPROVAL FOR TENANT IMPROVEMENTS AND DEVELOPMENT

To conform with the Cupertino Municipal Code and State of California water quality standards for the San Francisco Bay region, new and redeveloped properties are required to install exterior/interior site improvements, modify existing structures, meet construction/demolition waste diversion requirements, and identify/mitigate certain pollutants of concern from demolition projects. Frequently, a tenant improvement or modification of an existing use triggers the requirement for construction of a covered trash enclosure, installation of exterior public waste receptacles (trios and cigarette urns), storm drain full trash capture systems, and other requirements. These improvements are a condition of approval that the property owner and the tenant must discuss with City Environmental Programs staff prior to permit issuance to ensure that the property owner and tenant have agreed on the source of funding and operations/maintenance for the required improvements. Depending on your project, any number of the requirements below may apply and should be considered during your project planning. Upon formal submittal of the project scope and plans, there will be review and comment provided from the Environmental Programs Division staff specific to your project.

#### TRASH ENCLOSURE

All wet waste businesses, defined as a business that produces food, organic and/or liquid wastes, must include a covered trash enclosure to accommodate all waste containers including compactors (landfill, recycling, organics, and cooking oil/grease). The trash enclosure must be designed and constructed in accordance with the "Guidelines for Non-Residential Building Trash and Recycling Enclosures". If a property does not have a trash enclosure, has one that does not have roof, or is of inadequate size for all tenant space on the property, construction of a new or modification of an existing one must be included with the plan set submitted during the review process. The trash enclosure must be designed or modified to accommodate all waste containers in use by all occupants of the property, not merely the tenant making application for the building or development permit.

#### WASTE TRIOS AND CIGARETTE URNS

One permanently installed exterior waste receptacle trio (landfill, recycle, compost) and cigarette urn, designed for public use must be installed on the property and shown on the plans submitted. One trio set and cigarette urn satisfies the requirement for up to four adjacent businesses on one property. The receptacle openings and cigarette urn must be sufficiently covered to prevent rainwater intrusion.

#### FULL TRASH CAPTURE STORM DRAIN SYSTEMS

For projects located in moderate and high trash management areas as defined by the City of Cupertino Trash Management Area Map or are adjacent to a creek, full trash capture systems are required. Fueling stations, automotive, light industrial or other uses which may have fine particulate or liquid based pollutants (including cooking oils/greases) may require an additional media and/or hydrocarbon filter fitted to the trash capture system. Topographical flow maps of the property identifying all storm drain inlets, underground storm water flow lines, and all connections with the City's storm drain system and any adjacent property are required to be submitted



In the Santa Clara Valley, storm drains flow directly to our local creeks, and on to San Francisco Bay, with no treatment.  
Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bayslands.  
Proper management of construction sites reduces pollution significantly.  
This sheet summarizes the "Best Management Practices" (BMPs) for storm water pollution prevention.

### ORDINANCE OF THE CITY OF CUPERTINO FOR STORM WATER POLLUTION PREVENTION & WATERCOURSE PROTECTION: Chapter 9.18

#### 9.18.040 Discharge into the storm drain prohibited

It is unlawful to cause, allow, or permit to be discharged, any discharge not composed entirely of stormwater to the storm drain system or to surface waters or to any location where it would contact or eventually be transported to surface waters, including flood plain areas, unless specifically called out in the Municipal Regional Permit as an exempt or conditionally exempt discharge.

#### 9.18.070 Accidental Discharge

All persons shall notify the Director of Public Works immediately upon accidentally discharging pollutants of concern to enable countermeasures to be taken by the City to minimize damage to storm drains and the receiving waters. Initial notification shall be followed, within five (5) business days of the date of occurrence, by a detailed written statement describing the causes of the accidental discharge and the measures being taken to prevent future occurrences. Such notification will not relieve persons of liability for violations of this chapter or for any fines imposed on the City on account thereof under Section 13350 of the California Water Code, or for violation of Section 5650 of the California Fish and Wildlife Code, or any other applicable provisions of State or Federal laws.

#### 9.18.220 Violation\*

Any person who violates any provision of this Chapter shall be guilty of a misdemeanor and upon conviction thereof shall be punished as provided in Chapter 1.12 of the City of Cupertino Municipal Code.

Chapter 1.12: General Penalty, Section 1.12.010, paragraph D, states\*:

Unless otherwise specified by this code, an infraction is punishable by:

1. A fine not to exceed \$100 for a first violation
2. A fine not to exceed \$200 for a second violation
3. A fine not to exceed \$500 for a third violation of the same chapter within one year.

#### 9.18.240 Civil penalty for illicit discharges\*

Any person who discharges pollutants, in violation of this Chapter, by the use of illicit connections shall be civilly liable to the City in a sum not to exceed **twenty-five thousand dollars per day per violation** for each day in which such violation occurs.

\*Excerpts – For complete CODE language refer to the City of Cupertino Municipal Code.

Cupertino  
Building Dept:  
408-777-3228  
Public Works Dept:  
408-777-3354

Santa Clara County  
Recycling Hotline:  
800-533-8414  
www.reducewaste.org  
www.recycletuff.com  
Small Business Hazardous Waste:  
408-299-7300

Cupertino Sanitary Sewer Distr  
408-253-7071

Santa Clara Valley Urban Runoff  
Pollution Prevention Prgm  
800-794-2482

State Office of Emergency  
Services  
1-800-652-7550 (24 hrs)  
Report spills to 911

## General Construction and Site Supervision

### Storm Drain Pollution from Construction Activities

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay. As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

#### General Principles

- Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly.
- Cover materials when they are not in use.
- Keep materials away from streets, storm drains and drainage channels.
- Ensure dust control water doesn't leave site or discharge to storm drains.

#### Advance Planning To Prevent Pollution

- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Use the Erosion and Sediment Control Manual, available from the Regional Water Quality Control Board, as a reference.
- Control the amount of runoff crossing your site (especially during excavation) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams or berms where appropriate.
- Train your employees and subcontractors.

The city can provide training and obtain copies of issues for you to distribute to workers at your construction site. Inform your subcontractors about the stormwater requirements and their own responsibilities. Use Blueprint for a Clean Bay, a construction best management practices guide available at our Building Dept. counter.

## Painting and Application of Solvents and Adhesives

### Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled when possible, or disposed of properly to prevent these materials from flowing into storm drains and watercourses.

#### Handling Paint Products

- Keep all liquid paint products and wastes away from the gutter, street, and storm drains.

#### Painting Cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, French drain, or creek.
- For water-based paints, paint out brushes to the extent possible, and rinse into an inside sink drain that goes to the sanitary sewer.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent. Filter and reuse thinners and solvents, where possible. Dispose of excess liquids and residue as hazardous waste.
- When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage.

#### Good Housekeeping Practices

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streets or storm drain inlets, bermed if necessary. Make major repairs off site.
- To prevent off-site tracking of dirt, provide entrances with stabilized aggregate surfaces. Or provide a tire wash area.

- Keep materials out of the rain – prevent runoff contamination at the source. Cover exposed piles of soil or construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Contain all litter, food wrappers, bottles and cans – Place littered trash and recycling bins around the site.
- Clean up leaks, drips and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.

- Cover and maintain dumpsters. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure portable toilets are in good working order. Check frequently for leaks.

#### Materials/Waste Handling

- Practice Source Reduction -- minimize waste when you order materials. Estimate carefully.
- Recycle excess materials, whenever possible, such as concrete, asphalt, scrap metal, solvents, degreasers, cleaned vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires. [www.reducewaste.org](http://www.reducewaste.org) for info.
- Dispose of all wastes properly. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

#### Permits

- In addition to local grading and building permits, you will need to obtain coverage under the State's General Construction Activity Stormwater Permit if your construction site's disturbed area totals 5 acres or more. Information on the General Permit can be obtained from the Regional Water Quality Control Board. (This criteria will change to one acre as of Mar. 2003.)

## Landscaping, Gardening, and Pool Maintenance

### Landscaping/Garden Maintenance

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags, gravel-filled bags, straw wattles, or other sediment controls.
- Re-vegetation is an excellent form of erosion control for any site.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinsewater as product. Dispose of rinsed, empty containers in the trash. Dispose of unused pesticides as hazardous waste.

- In Cupertino, residents with curbside recycling can collect lawn, garden and tree trimmings in yardwaste totes. Yardwaste will be collected and composted by the city's contractor. Residents are encouraged to compost yardwaste on-site themselves. Or take yardwaste to a landfill where it will be composted.
- Landscaping contractors should take clippings and pruning waste to a landfill that composts yard waste (BFI's Newby Island and Zanker Rd. landfill are the nearest).
- Do not blow or rake leaves into the street.

### Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

#### Pool/Fountain/Spa Maintenance

##### Draining pools or spas

When it's time to drain a pool, spa, or fountain please be sure to call the Cupertino Sanitary District before you start for further guidance on flow rate restrictions, backflow prevention, and handling space cleaning waste (such as acid wash). Discharge flows should be kept to the low levels typically possible through a garden hose. Higher flow rates may be prohibited by local ordinance.

- Never discharge pool or spa water to a street or storm drain; discharge to a sanitary sewer cleanout.
- If possible, when emptying a pool or spa, let chlorine dissipate for a few days and then recycle/rinse water by draining it gradually onto a landscaped area.
- Do not use copper-based algaecides. Control algae with chlorine or other alternatives, such as sodium bromide.

#### Filter Cleaning

- Never clean a filter in the street or near a storm drain. Rinse cartridge and diatomaceous earth filters onto a dirt area, and spade filter residue into soil. Dispose of spent diatomaceous earth in the garbage.
- If there is no suitable dirt area, call Cupertino Sanitary for instructions on discharging filter backwash or rinsewater to the sanitary sewer.

#### General Business Practices

- Develop and implement erosion/sediment control plans for roadway embankments.
- Schedule excavation and grading work during dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs at designated areas in your maintenance yard where cleanup is easier. Avoid performing equipment repairs at construction sites.
- When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment parts or clean equipment.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly. ([www.recyclestuff.com](http://www.recyclestuff.com) for list of recycling companies.)

#### Asphalt/Concrete Removal

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
- When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and properly dispose of, all residues.
- Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquor in storm drains.

## Earth-Moving Activities

### Storm Drain Pollution from Earth-Moving Activities

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

#### Practices During Construction

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual for proper erosion and sediment control measures.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.



## Fresh Concrete and Mortar Application

### Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, causes serious problems, and is prohibited by law.

#### General Business Practices

- Wash out concrete mixers only in designated washout areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- Wash out chutes onto dirt areas that do not flow to streets or drains.
- Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

## Dewatering Operations

### Storm Drain Pollution From Dewatering Activities

Be sure to call your city's storm water inspector at 408-472-9907 before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, and sediment trap may be required. Reuse water for dust control, irrigation or another on-site purpose to the greatest extent possible.

#### Check for Sediment or Toxic Pollutants

- Check for odors, discoloration, or an oily sheen on groundwater.
- Ask your city inspector whether the groundwater must be tested by a certified laboratory.
- Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain OR you may be required to discharge to the sanitary sewer or collect and haul the water off-site for treatment and disposal at an appropriate treatment facility.
- When discharging to a storm drain, protect the inlet using a barrier of burlap bags filled with drain rock, or cover inlet with filter fabric anchored under the grate.
- Contact Cupertino Sanitary District at 253-7071 prior to discharging to the sanitary sewer.

## Heavy Equipment Operation

### Stormwater Pollution from Heavy Equipment on Construction Sites

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

#### Site Planning and Preventive Vehicle Maintenance

- Designate one area of the construction site, well away from streets or storm drain inlets for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Contain the area with berms, sand bags, or other barriers.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off-site, where cleanup is easier.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and properly dispose as hazardous waste (recycle whenever possible).
- Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any on-site cleaning.
- Cover exposed fifth wheel hitches and other oily or greasy equipment during rain events.

#### Spill Cleanup

- Clean up spills immediately.
- Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags) whenever possible and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Use as little water as possible for dust control. Ensure water used doesn't leave site or discharge to storm drains.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Call 911 for significant spills.
- If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services.

## Removal of BMP Facilities

The Project Contractor is responsible for removal of all BMP Facilities located within the Public Right of Way upon project final inspection.

**Small Business Hazardous Waste Disposal Prgm**  
Businesses that generate less than 27 gallons or 220 pounds of hazardous waste per month are eligible to use this program.  
**Call 408-299-7300 for a quote.**

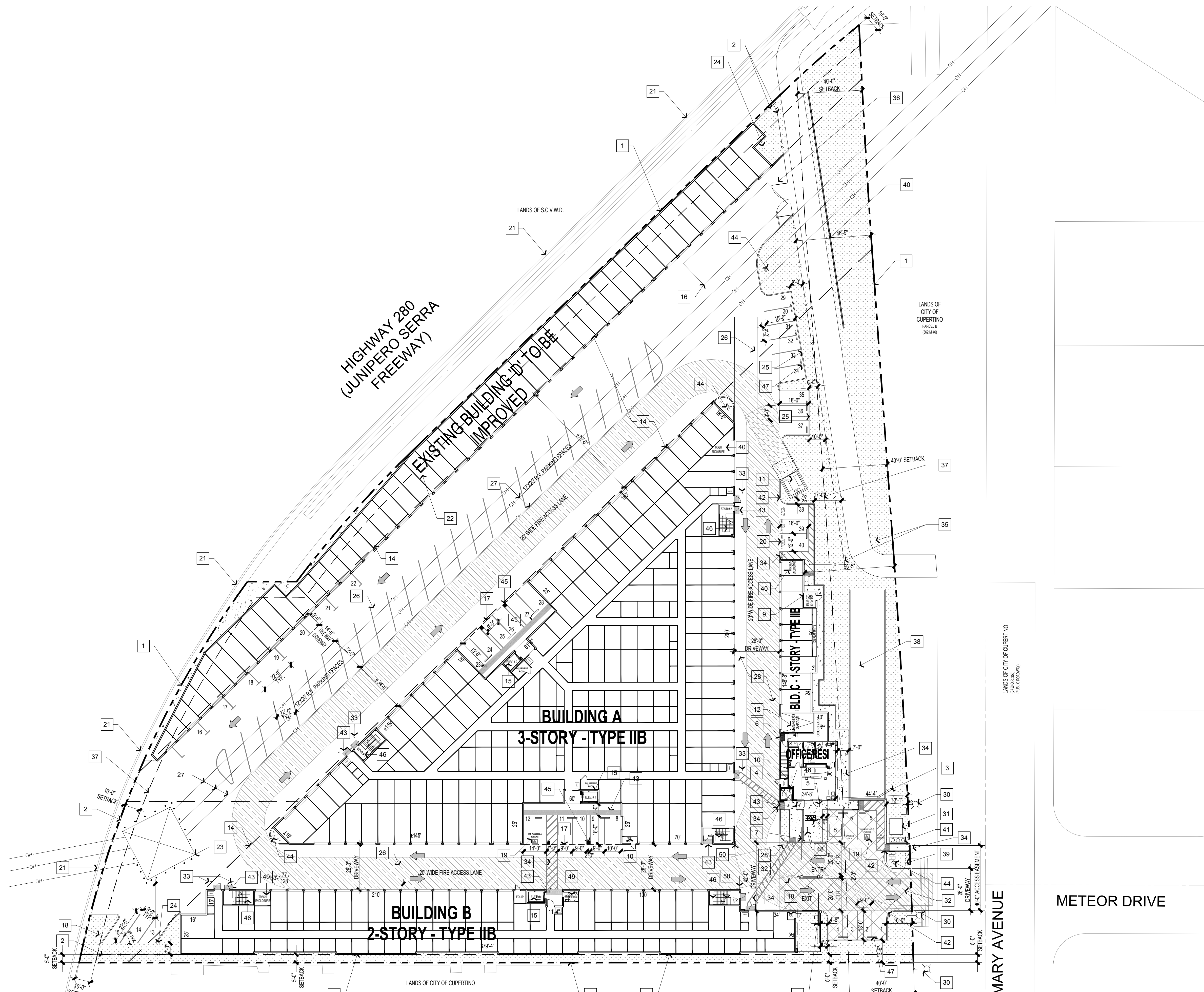




# BAY AREA SELF STORAGE

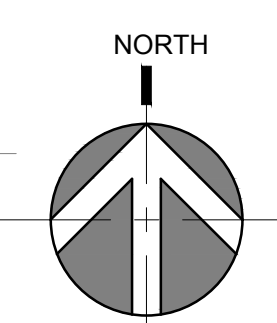
## CUPERTINO, CA

# PRELIMINARY SITE PLAN



### KEY NOTES

- 1 PROPERTY LINE.
- 2 6'-0" HEIGHT PROPOSED FENCE. SEE DETAIL 3/A.16.
- 3 EXISTING MONUMENT SIGN TO REMAIN.
- 4 PEDESTRIAN ACCESS.
- 5 OFFICE ENTRANCE.
- 6 MANAGER RESIDENCE ACCESS.
- 7 SLIDING GATE.
- 8 CLASS 1 - (2X) BIKE LOCKERS: LOCKER SIZE AT 40 1/2"W X 50 1/2"H X 78"L SEE SHEET A.10
- 9 ELECTRICAL AND COMMUNICATION ROOM.
- 10 FIRE RISER ROOM.
- 11 MANAGEMENT AND RESIDENCE TRASH ENCLOSURE - SEE SHEET A.3.1.
- 12 MANAGER RESIDENCE GARAGE.
- 13 MANAGER RESIDENCE COURTYARD.
- 14 PG&E HIGH VOLTAGE LINE EASEMENT.
- 15 ELEVATOR LOCATION.
- 16 INFILTRATION AREA. SEE CIVIL.
- 17 3RD FLOOR ABOVE LOADING AREA.
- 18 LANDSCAPE AREA.
- 19 VAN ACCESSIBLE PARKING. TYP.
- 20 FUTURE EV CHARGING STATION. PROVIDE PARKING SIGN INDICATING SPACE IS FOR "EMPLOYEE USE ONLY".
- 21 EXISTING 6 FOOT HIGH CMU BLOCK WALL (CALTRANS PROPERTY)
- 22 EXISTING BUILDING TO BE IMPROVED. PROVIDE NEW METAL ROOF, GUTTER & DOWNSPOUTS, NEW FIRE SPRINKLER SYSTEM. REPLACE ROLL UP DOORS AND EXTERIOR FINISHES TO MATCH NEW STRUCTURE.
- 23 EXISTING PG&E POWER TOWER.
- 24 EXISTING CELL TOWER.
- 25 SIX-INCH WIDE FLAT CONTINUOUS CURB.
- 26 VALLEY GUTTER. SEE CIVIL.
- 27 EXISTING PG&E OVERHEAD POWER LINES.
- 28 PROPOSED RELOCATION OF INGRESS/EGRESS EASEMENT.
- 29 2HR FIRE RATED WALL.
- 30 EXISTING LIGHT POLE TO REMAIN.
- 31 TRANSFORMER PAD.
- 32 ENHANCED CONCRETE @ ENTRANCE.
- 33 6" Ø STEEL BOLLARD.
- 34 ACCESSIBLE PATH OF TRAVEL.
- 35 EXISTING 20 FEET EASEMENT TO BE ABANDONED/RELOCATED. SEE CIVIL.
- 36 PROPOSED 20 FEET GATE ACCESS FOR TRAIL MAINTENANCE.
- 37 SETBACK LINE.
- 38 RETENTION BASIN. SEE CIVIL.
- 39 F.D.C.
- 40 INTERIOR TRASH ENCLOSURE FOR ABANDONED ITEMS PICK-UP.
- 41 WASTE TRIO (RECYCLING, COMPOST, AND TRASH) ON CONCRETE PAD. "URBAN RENAISSANCE, 36 GAL. MODEL SLURB-36TO, 38.6"HX26.6"D, DARK GREY METALLIC COLOR.
- 42 SIX-INCH RAISED CONCRETE CURB.
- 43 DETECTABLE WARNING.
- 44 NEW FIRE HYDRANT.
- 45 PRELIMINARY COLUMN LOCATION.
- 46 STAIR LOCATION.
- 47 WHEELSTOP.
- 48 SHORT TERM BICYCLE RACK.
- 49 RESTROOM LOCATION.
- 50 STOP SIGN ON THE EASTBOUND & NORTHBOUND APPROACHES TO THE INTERNAL INTERSECTION.



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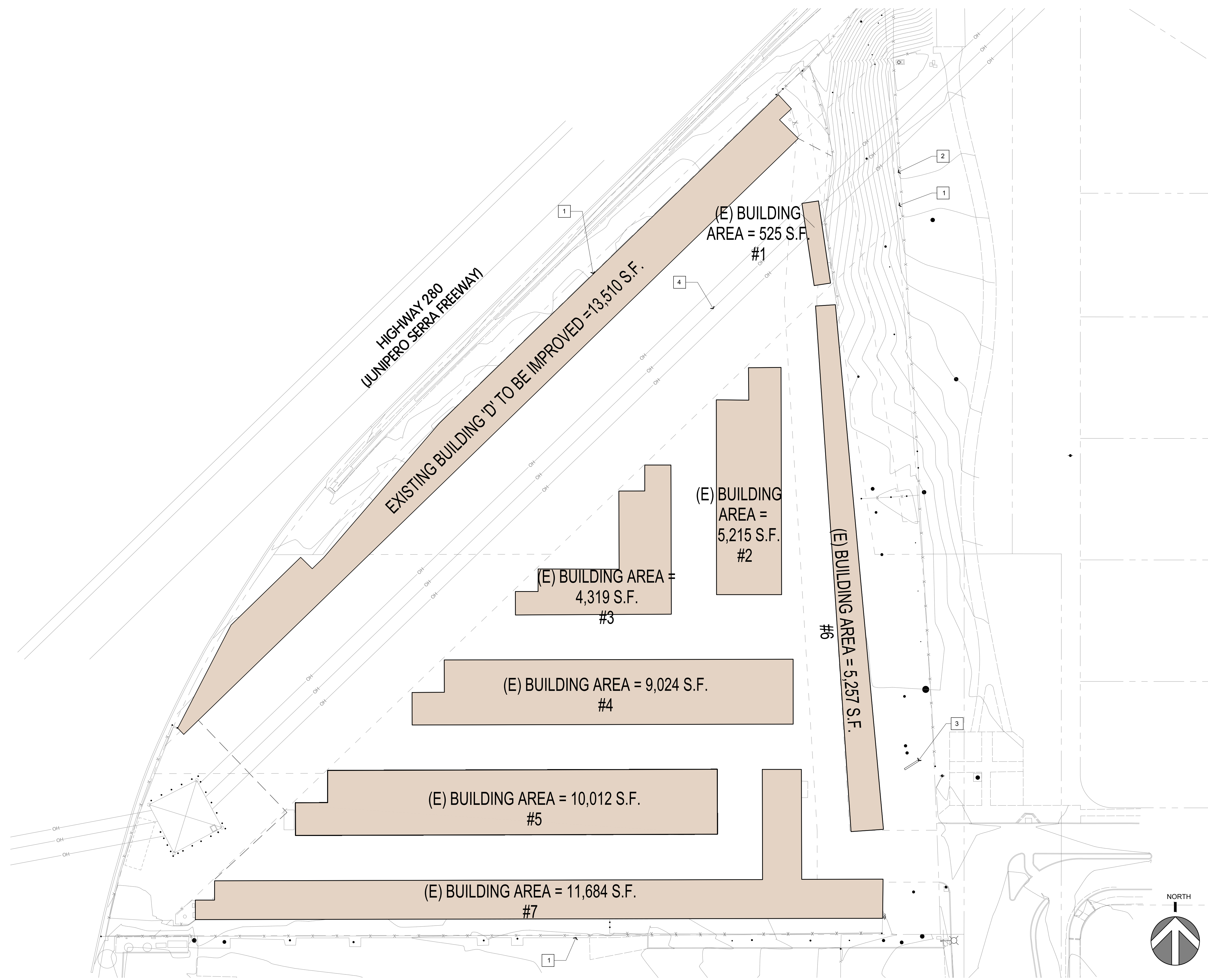
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SCALE: 1"=30'  
DATE: 08/30/2021

# A.2





KEYNOTES			
1	PROPERTY LINE		
2	FENCE		
3	EXISTING MONUMENT SIGN		

(E) BUILDING AREA TABULATION			
(E) BUILDING	S.F.	NEW AREA	DELTA OF NEW AND EXISTING
AREA 1	525 S.F.		
AREA 2	5,215 S.F.		
AREA 3	4,319 S.F.		
AREA 4	9,024 S.F.		
AREA 5	10,012 S.F.		
AREA 6	5,257 S.F.		
AREA 7	11,684 S.F.		
BUILDING D	13,510 S.F.		
TOTAL GROSS AREA:	59,546 S.F.	171,922 S.F.	112,376 S.F.

# BAY AREA SELF STORAGE

## CUPERTINO, CA

# EXISTING BDLG. AREA DIAGRAM

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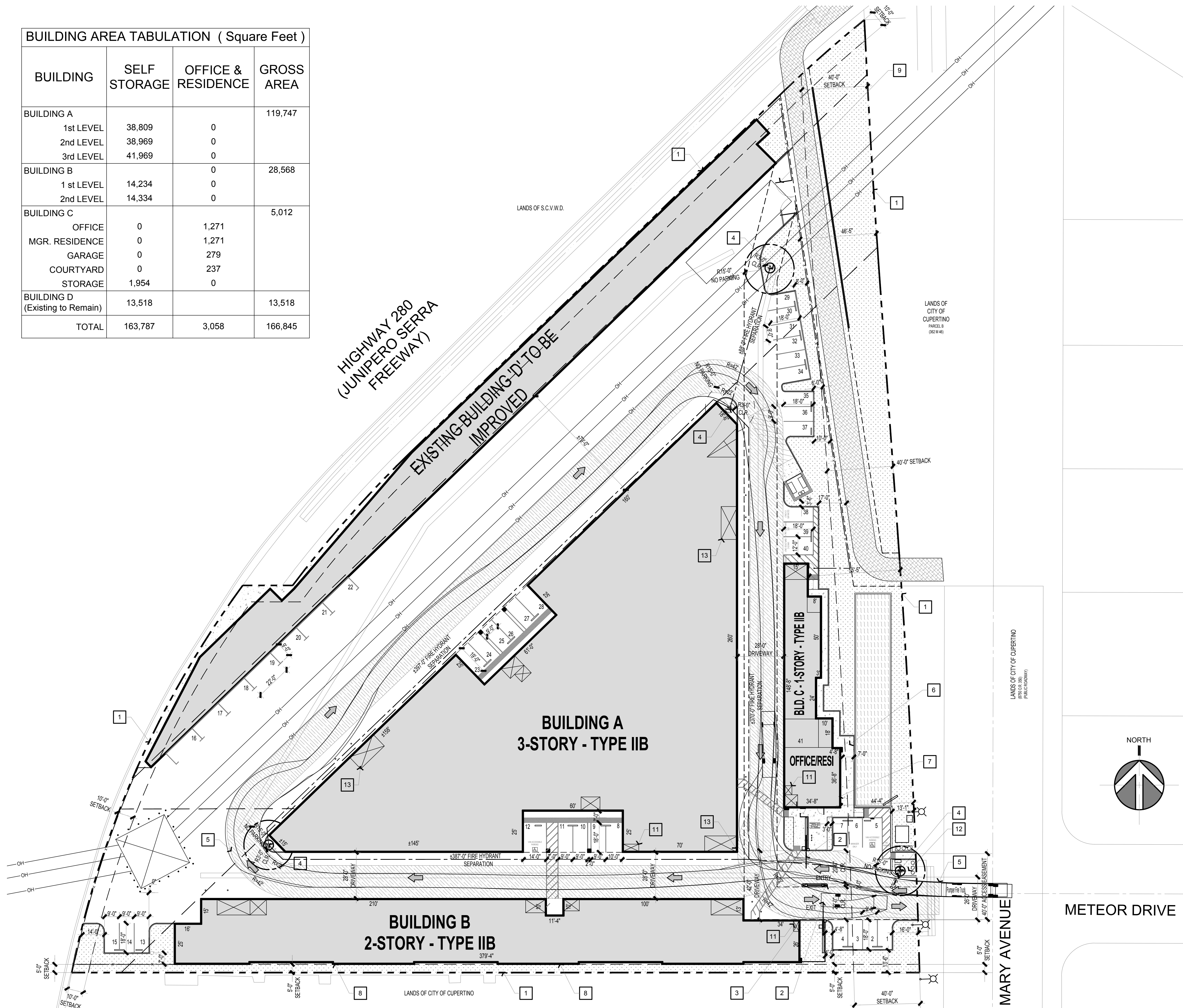
# A2.1

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BUILDING AREA TABULATION ( Square Feet )

BUILDING	SELF STORAGE	OFFICE & RESIDENCE	GROSS AREA
BUILDING A			119,747
1st LEVEL	38,809	0	
2nd LEVEL	38,969	0	
3rd LEVEL	41,969	0	
BUILDING B			28,568
1st LEVEL	14,234	0	
2nd LEVEL	14,334	0	
BUILDING C			5,012
OFFICE	0	1,271	
MGR. RESIDENCE	0	1,271	
GARAGE	0	279	
COURTYARD	0	237	
STORAGE	1,954	0	
BUILDING D (Existing to Remain)	13,518		13,518
<b>TOTAL</b>	<b>163,787</b>	<b>3,058</b>	<b>166,845</b>



KEY NOTES

- 1 PROPERTY LINE.
- 2 20' WIDE ACCESS GATES IN ACCORDANCE WITH CFC, SECTION 503 AND APPENDIX D
- 3 ACCESS KEY PAD W/ KNOX BOX.
- 4 FIRE HYDRANT. UNOBSTRUCTED CLEARANCE= 15' EITHER SIDE OF HYDRANT
- 5 20' CLEAR FIRE APPARATUS ACCESS ROAD. MARKED "FIRE LANE" AS REQUIRED.
- 6 RESIDENCE ACCESS PATH. 7' CLEAR GROUND-LADDER RESCUE AREA
- 7 PROPERTY IDENTIFICATION NUMBER PLACED ON BUILDING PARAPET
- 8 2-HOUR FIRE RESISTANCE WALL, BLDG. 'B' ONLY, ALONG PROPERTY LINE. 30" MIN. PARAPET FROM TOP OF ROOF DECK REQUIRED
- 9 PROPOSED 20 FEET GATE ACCESS FOR TRAIL MAINTENANCE TO SERVE AS SECOND EMERGENCY ACCESS. KNOX KEY SWITCH WILL BE PROVIDED.
- 10 FIRE TRUCK TRAVEL PATH.
- 11 FIRE RISER ROOM.
- 12 F.D.C. LOCATION.
- 13 STANDPIPE LOCATION.

FIRE NOTES

1. THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC SEC. 903.2 AS ADOPTED AND AMENDED BY CUPPMC.
2. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.
3. TIMING OF INSTALLATION. WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION EXCEPT WHEN APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALOWS PASSAGE BY VEHICLES IN ACCORDANCE WITH SECTION 505.2 CFC SEC. 501.4.
4. NEW AND EXISTING BUILDINGS EQUIPPED WITH FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA 72 AND REFER TO CFC SEC. 907.
5. CONSTRUCTION SITE FIRE SAFETY. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.
6. NEW AND EXISTING BUILDINGS EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.
7. REQUIRED FIRE ACCESS EXCEPTION PROJECTS HAVING A PER BUILDING GROSS AREA OF UP TO 124,000 SQUARE FEET (MAY) HAVE A SINGLE APPROVED ACCESS ROAD WHEN ALL BUILDINGS ARE EQUIPPED THROUGHOUT WITH APPROVED SPRINKLER SYSTEMS.
8. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.
9. TWO-WAY COMMUNICATION SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72 (2016 EDITION), THE CALIFORNIA ELECTRICAL CODE (2013 EDITION), THE CALIFORNIA FIRE CODE (2016 EDITION), THE CALIFORNIA BUILDING CODE (2016 EDITION), AND THE CITY ORDINANCES WHERE TWO WAY SYSTEM IS BEING INSTALLED, POLICIES, AND STANDARDS. OTHER STANDARDS ALSO CONTAIN DESIGN/INSTALLATION CRITERIA FOR SPECIFIC LIFE SAFETY RELATED EQUIPMENT. THESE OTHER STANDARDS ARE REFERRED TO IN NFPA 72.
10. EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS. ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS. REFER TO CFC SEC. 510 FOR FURTHER REQUIREMENTS EMERGENCY RADIO RESPONDER COVERAGE REQUIREMENTS APPLY TO BUILDING A.
11. FIRE ACCESS IN ACCORDANCE WITH CFC, SECTION 503 AND APPENDIX D.
12. FIRE FLOW IN ACCORDANCE WITH CFC, APPENDIX B.
13. TOP OF STORAGE CONTENT DOES NOT EXCEEDS 8'-0" HEIGHT.
14. MINIMUM 18" CLEARANCE TO BE PROVIDED AT SPRINKLER HEADS.
15. THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTORS ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC SEC.903.2 AS ADOPTED AND AMENDED BY CUPPMC.
16. FIRE ALARM SYSTEM TO BE PROVIDED. UNDER DEFERRED SUBMITTAL.

**BAY AREA SELF STORAGE**  
CUPERTINO, CA

**FIRE ACCESS**

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DATE: 01/25/2021

**A.3**

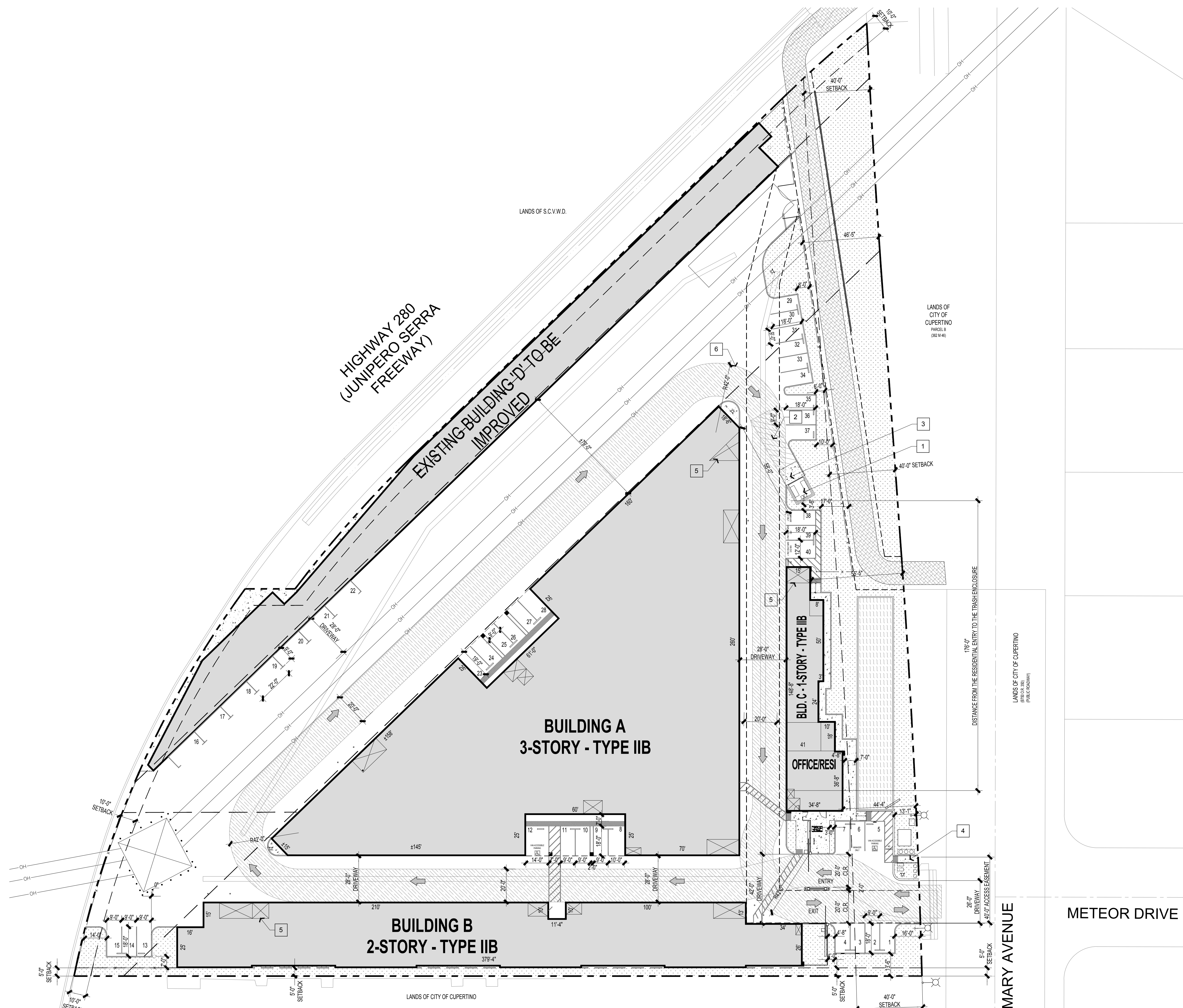
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# BAY AREA SELF STORAGE

CUPERTINO, CA

# TRASH ACCESS PLAN



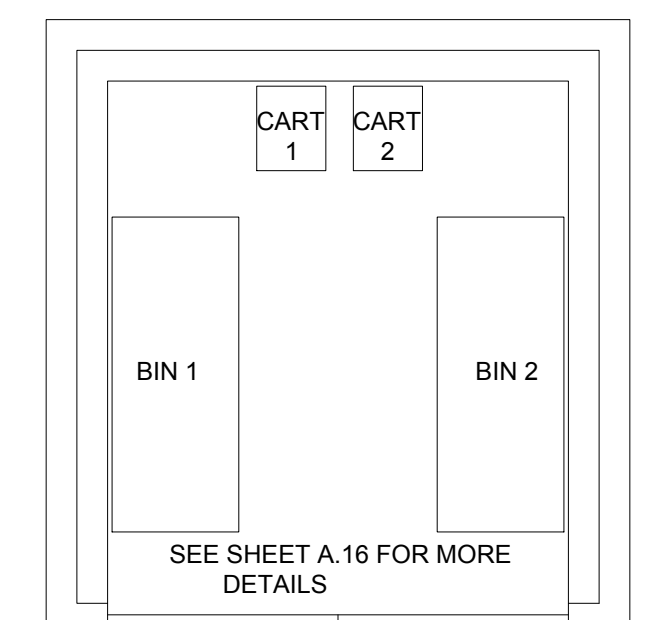
## KEYNOTES

- 1 MANAGEMENT & RESIDENT TRASH ENCLOSURE. SEE A.16 FOR DETAILS
- 2 45'-0" TRUCK BACKUP / PICKUP CLEARANCE.
- 3 10'X10' CONCRETE PAD
- 4 WASTE TRIO (RECYCLING, COMPOST, AND TRASH) ON CONCRETE PAD. "URBAN RENAISSANCE, 36 GAL. MODEL SLURB-36TQ, 38.6"X26.6"D, DARK GREY METALLIC COLOR.
- 5 ABANDONED LARGE ITEM INTERIOR STORAGE UNIT - TO BE COLLECTED BY A PRIVATE COMPANY WEEKLY OR BIWEEKLY AS NECESSARY.
- 6 TRASH TRUCK ROUTE.

## GENERAL NOTES

1. THE ENCLOSURE SHOULD BE CONSTRUCTED ON A FLAT AREA WITH A GRADE OF NO MORE THAN 2% . IN ORDER TO ENSURE THAT CONTAINERS CAN BE SAFELY SERVICED AND RETURNED TO THE ENCLOSURE.
2. ENCLOSURES SHALL BE READILY ACCESSIBLE TO BUILDING OCCUPANTS, FACILITY MAINTENANCE PERSONNEL AND TO THE FRANCHISED WASTE HAULER. ENCLOSURES SHALL PROVIDE ADEQUATE ACCESS SO AS TO MINIMIZE EFFORT IN THE COLLECTION AND REMOVAL OF CONTAINER CONTENTS FROM THE ENCLOSURES. SHOULD CONSIDER VEHICULAR AND PEDESTRIAN TRAFFIC PATTERN.
3. ENCLOSURES AND AREAS AROUND THE ENCLOSURES SHALL BE DESIGNED TO PREVENT LIQUID RUN-ON TO THE AREA AND RUN-OFF FROM THE AREA, AND TO CONTAIN LITTER AND GARBAGE SO THAT IT IS NOT DISPERSED BY THE WIND OR RUNOFF. ENCLOSURES AND AREAS AROUND ENCLOSURES SHALL NOT DISCHARGE TO THE STORM DRAIN SYSTEM. IF PROPOSED USE OF THE DEVELOPMENT INCLUDES A FOOD SERVICE FACILITY, ANY DRAINS INSTALLED IN OR BENEATH ENCLOSURE AREAS SHALL BE CONNECTED TO A GREASE REMOVAL DEVICE PRIOR TO DISCHARGING TO THE SANITARY SEWER.
4. FOR PROPERTIES THAT NEED TO LOCK THEIR ENCLOSURE OR BINS, THE CITY'S FRANCHISED HAULER WILL SUPPLY CONTAINER LOCKS AND KEYS AT A LOCK CHARGE FEE IN ACCORDANCE WITH THE SERVICE AGREEMENT FOR THE PROPERTY.
5. THE GATES SHOULD BE MAINTAINED IN GOOD WORKING ORDER AND SHOULD REMAIN CLOSED EXCEPT WHEN IN USE. THE ENCLOSURE OPENING, INCLUDING GATE AND HINGES, MUST PROVIDE A MINIMUM OPENING OF NINE (9) FEET TO ALLOW CONTAINERS TO BE MOVED IN AND OUT OF THE ENCLOSURE.
6. 30" CLEARANCE BETWEEN CONTAINERS IS REQUIRED BY CITY OF CUPERTINO.
7. THE FLOOR OF THE ENCLOSURE SHOULD BE CONCRETE, SINCE ASPHALT CAN BUCKLE UNDER HEAVY LOADS OR IN HOT CONDITION.
8. A CONCRETE PAD SHOULD BE PROVIDED OUTSIDE THE ENTRANCE TO THE ENCLOSURE. DIMENSIONS SHOULD BE APPROXIMATELY 10 FEET WIDE AND 10 FEET LONG. THE PAD SHOULD BE CAPABLE OF WITHSTANDING THE IMPACT OF THE BINS BEING SET DOWN, AND A 20-TON STATIONARY LOAD.
9. A SEPARATE TRASH ENCLOSURE PLAN SHEET WILL BE PROVIDED AT THE TIME OF THE BUILDING PERMIT SUBMITTAL, WHICH ALL ITEMIZED BELOW WILL BE PROVIDED IF APPLICABLE.
  - IDENTIFY INTERIOR DIMENSIONS AND CLEARANCES.
  - LIGHTING.
  - SIZE OF ALL CONTAINERS.
  - A NARRATIVE PLAN SHOWING BUSINESS OPERATORS PLAN TO STORE/DISPOSE OF LARGE BULKY ITEMS ABANDONED/DUMPED ON THE PREMISES.

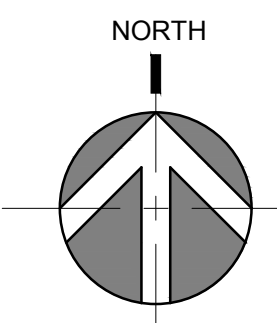
## TRASH ENCLOSURE LAYOUT



- TRASH:
- 1. SELF-STORAGE: BIN 1 & BIN 2 :  
BIN #1 - RUBBISH 1.5 CU.YD.  
BIN#2 - RECYCLING 1.5 CU.YD.
  - 2. ORGANIC:  
CART #1 - 33 GAL.  
CART #2 - 33 GAL.

## LEGEND:

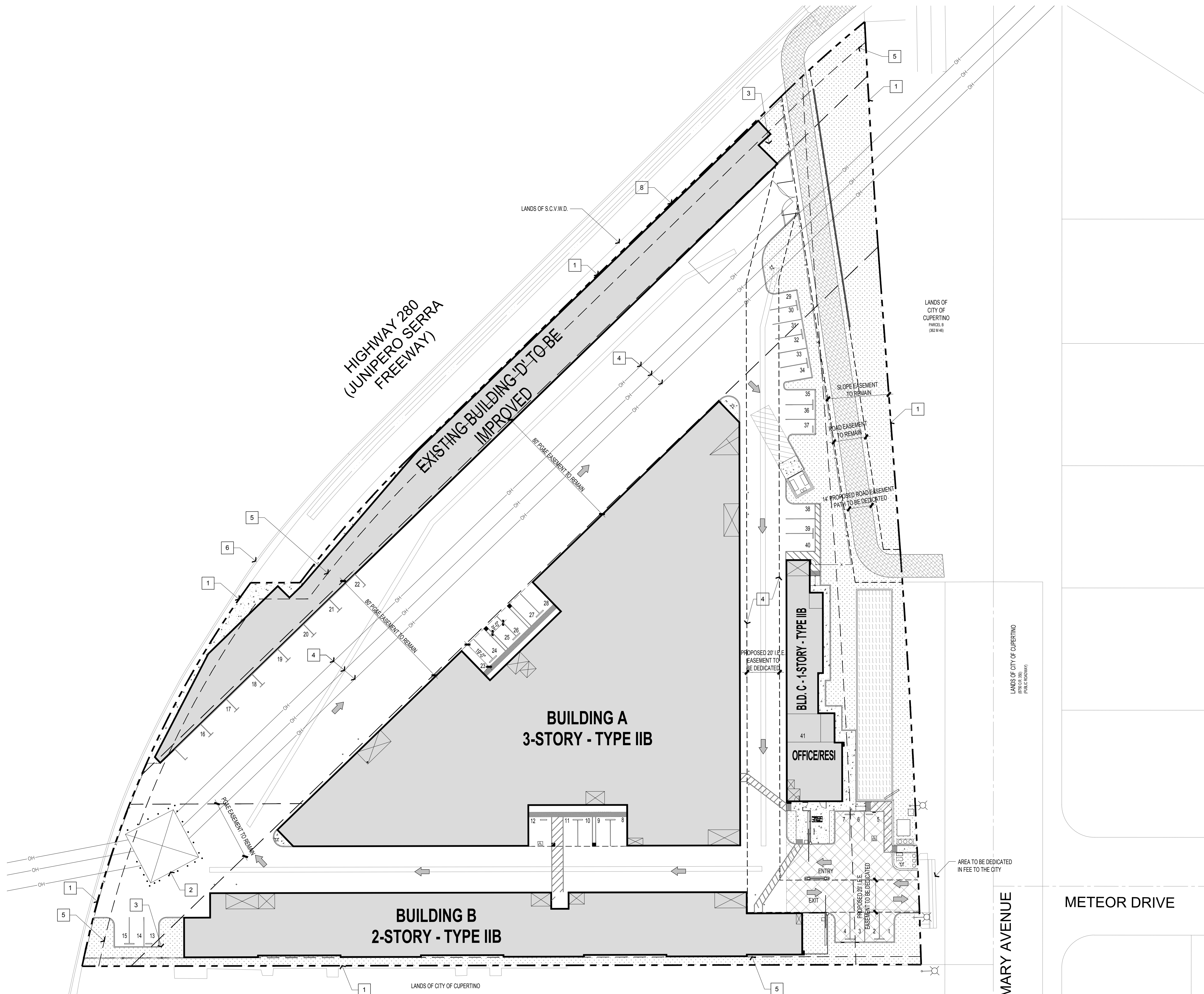
- DIRECTION OF TRAFFIC
- TRASH TRUCK TURNING TEMPLATE





# BAY AREA SELF STORAGE

## CUPERTINO, CA



### KEYNOTES

- 1 PROPERTY LINE
- 2 EXISTING PG&E POWER TOWER.
- 3 CELL TOWER.
- 4 EXISTING PG&E OVERHEAD POWER LINES.
- 5 SETBACK LINE.
- 6 EXISTING 6 FOOT HIGH CMU BLOCK WALL (CALTRANS PROPERTY)

NORTH

# EASEMENT PLAN

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# A3.2

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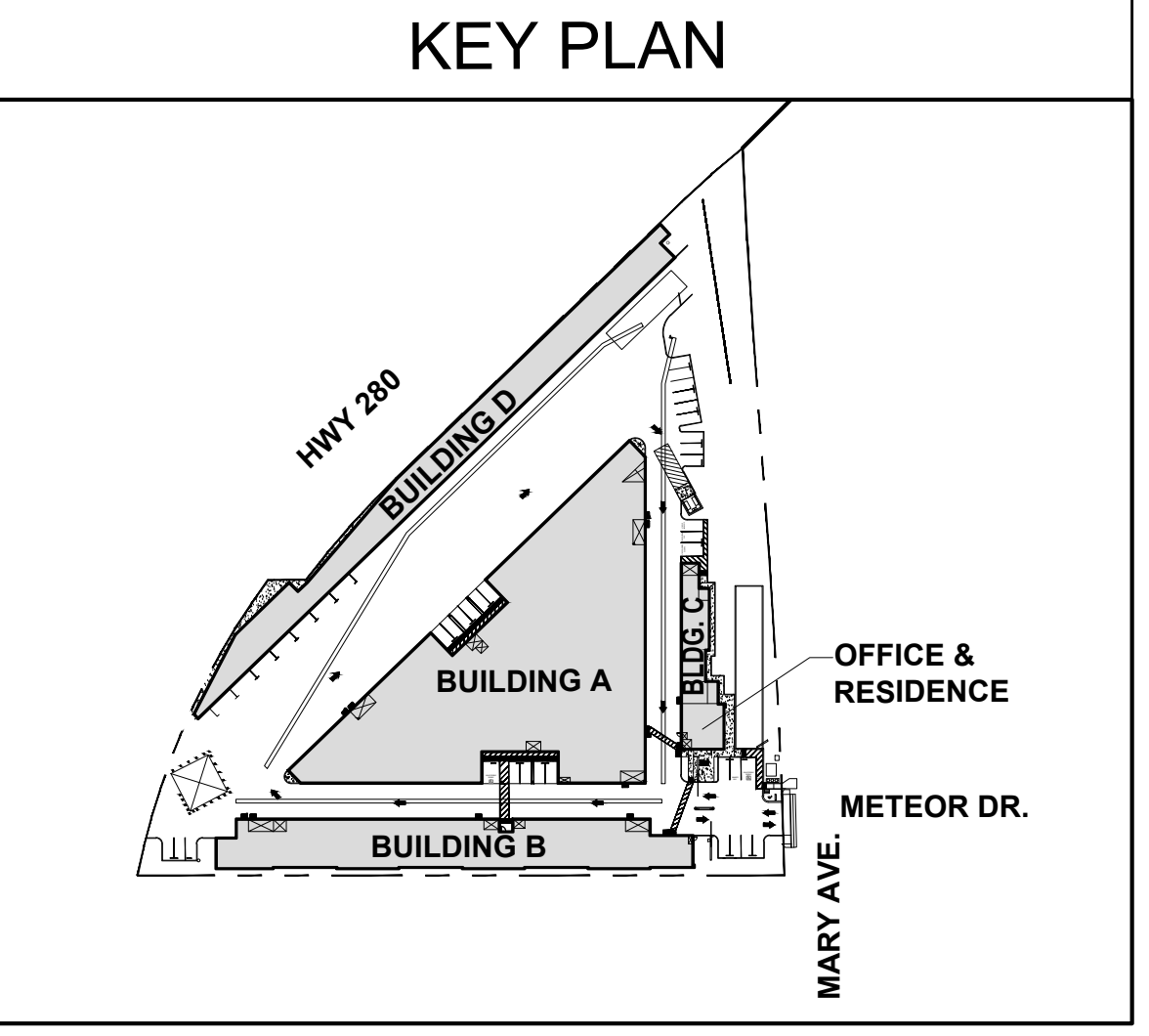


**BUILDING A - FIRST LEVEL**  
UNIT COUNT # = 214 UNITS

- ### KEYNOTES
- 1 PROJECTION OF 2ND & 3RD FLOOR ABOVE.
  - 2 EXTERIOR DOOR.
  - 3 PRELIMINARY COLUMN LOCATION
  - 4 CANOPY PROJECTION ABOVE.
  - 5 PROJECTION ABOVE.
  - 6 EXTERIOR WALL. SEE ELEVATIONS FOR FINISH.
  - 7 CANOPY PROJECTION BELOW.
  - 8 WINDOW / ALUMINUM STOREFRONT
  - 9 INTERIOR PARTITION
  - 10 UNIT ROLL-UP DOOR
  - 11 FAUX ROLL-UP DOOR
  - 12 DETECTABLE WARNING.
  - 13 LOADING AREA BELOW.
  - 14 F.D.C. STAND PIPE
  - 15 RESTROOM.

EXTERIOR WALL & SHAFT WALLS  
 PARTITION WALL / LOAD BEARING 2-6"

NOTE:  
 MAXIMUM TRAVEL DISTANCE TO BATHROOM LOCATED ON SECOND FLOOR IS 187 FEET, INCLUDING VERTICAL DISTANCE BETWEEN FLOORS.



# BAY AREA SELF STORAGE

## CUPERTINO, CA

# PRELIM. FLOOR PLAN

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JOB NUMBER: 17-606  
SCALE: 1/16"=1'-0"  
DATE: 01/25/2021

## A.4

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**BUILDING A - SECOND LEVEL** ①  
UNIT COUNT # = 303 UNITS

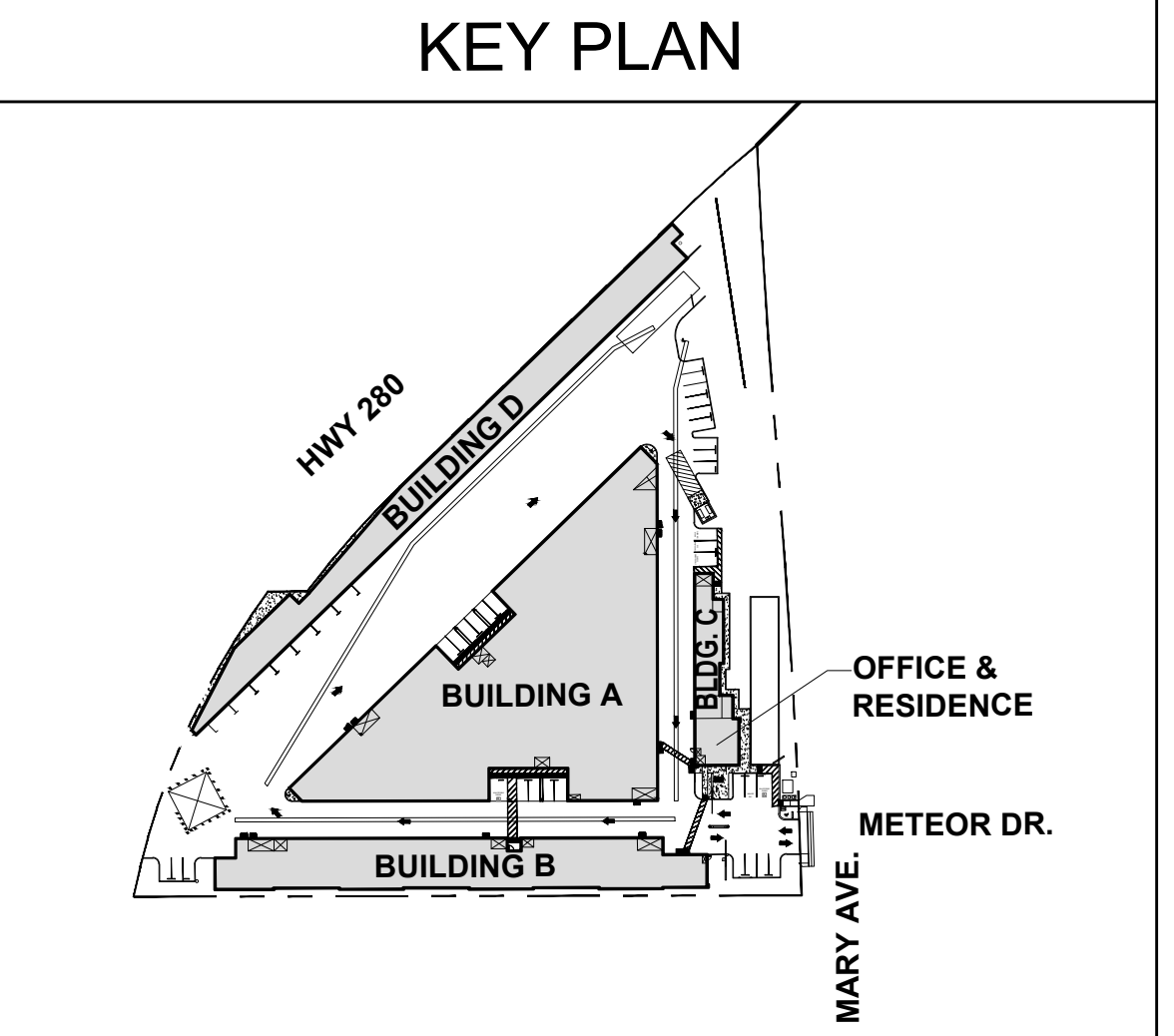
### KEY NOTES

- 1 PROJECTION OF 2ND & 3RD FLOOR ABOVE.
- 2 EXTERIOR DOOR.
- 3 PRELIMINARY COLUMN LOCATION
- 4 CANOPY PROJECTION ABOVE.
- 5 PROJECTION ABOVE.
- 6 EXTERIOR WALL. SEE ELEVATIONS FOR FINISH.
- 7 CANOPY PROJECTION BELOW.
- 8 WINDOW / ALUMINUM STOREFRONT
- 9 INTERIOR PARTITION
- 10 UNIT ROLL-UP DOOR
- 11 FAUX ROLL-UP DOOR
- 12 DETECTABLE WARNING.
- 13 LOADING AREA BELOW.
- 14 F.D.C. STAND PIPE
- 15 RESTROOM.

### WALL LEGEND

- EXTERIOR WALL & SHAFT WALLS
- PARTITION WALL / LOAD BEARING 2-6"

NOTE:  
MAXIMUM TRAVEL DISTANCE TO BATHROOM LOCATED ON SECOND FLOOR IS 203 FEET, INCLUDING VERTICAL DISTANCE BETWEEN FLOORS.



# BAY AREA SELF STORAGE

## CUPERTINO, CA

# PRELIM. FLOOR PLAN

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# A.5





### KEY NOTES

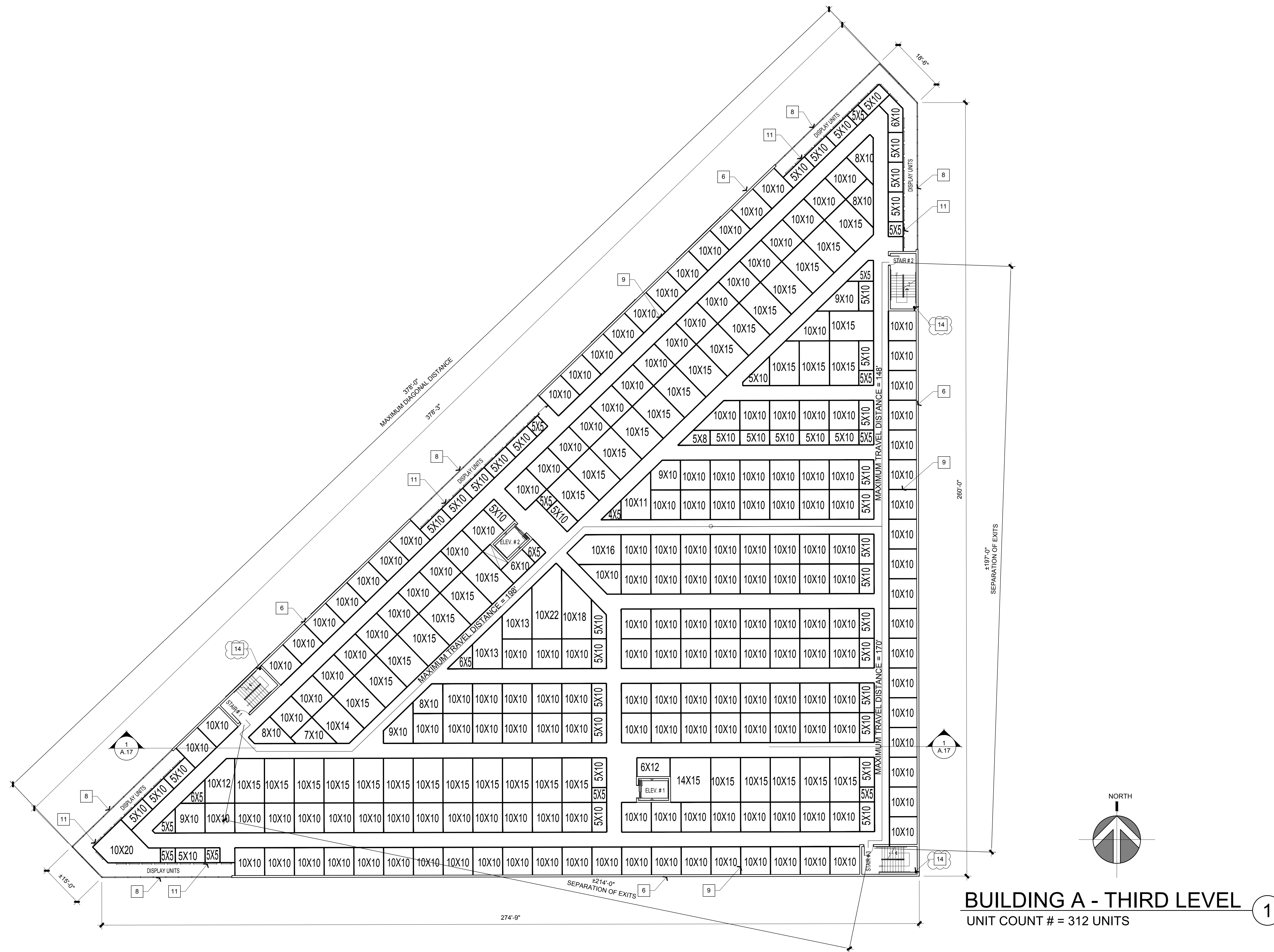
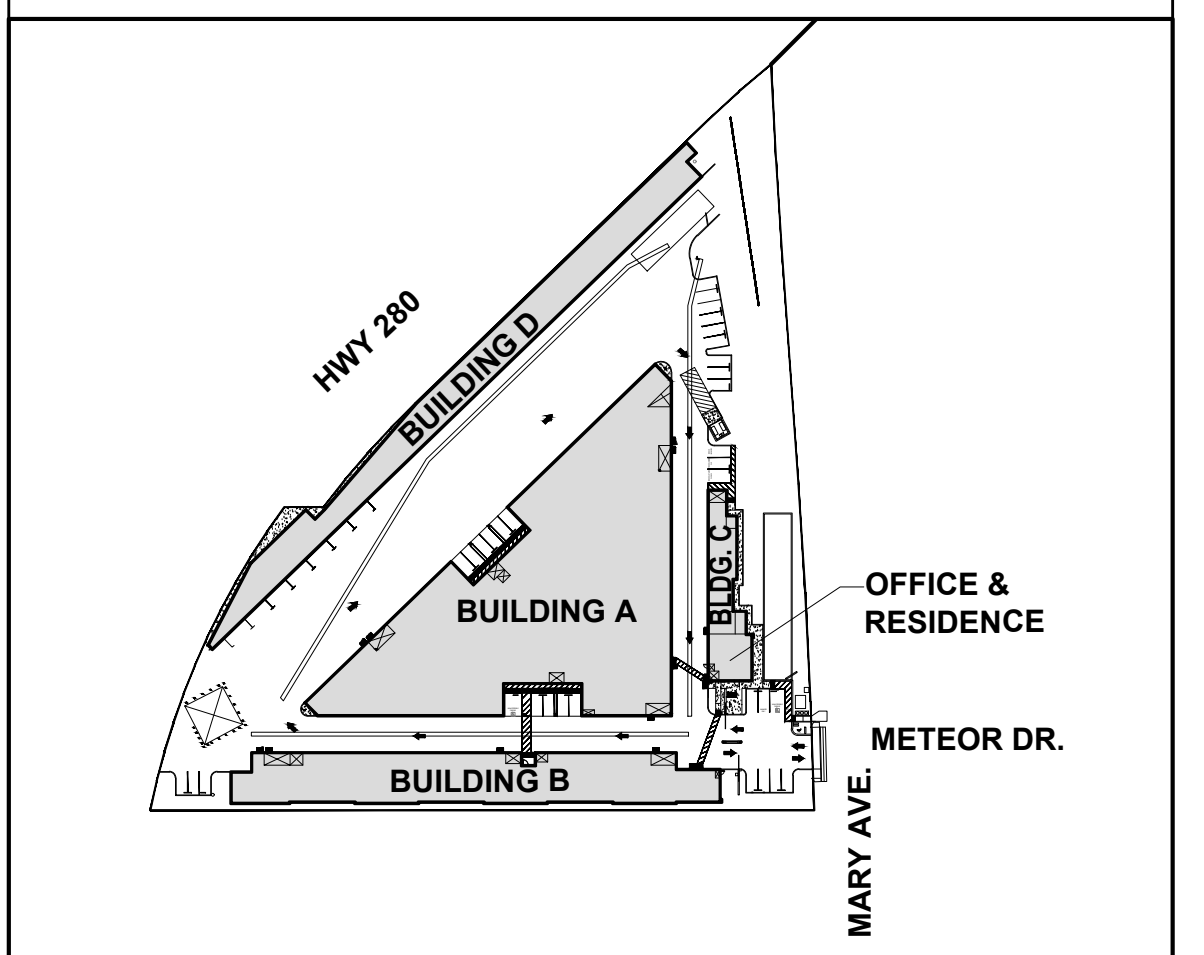
- 1 PROJECTION OF 2ND & 3RD FLOOR ABOVE.
- 2 EXTERIOR DOOR.
- 3 PRELIMINARY COLUMN LOCATION
- 4 CANOPY PROJECTION ABOVE.
- 5 PROJECTION ABOVE.
- 6 EXTERIOR WALL. SEE ELEVATIONS FOR FINISH.
- 7 CANOPY PROJECTION BELOW.
- 8 WINDOW / ALUMINUM STOREFRONT
- 9 INTERIOR PARTITION
- 10 UNIT ROLL-UP DOOR
- 11 FAUX ROLL-UP DOOR
- 12 DETECTABLE WARNING.
- 13 LOADING AREA BELOW.
- 14 F.D.C. STAND PIPE
- 15 RESTROOM.

### WALL LEGEND

- EXTERIOR WALL & SHAFT WALLS
- PARTITION WALL / LOAD BEARING 2-6"

NOTE:  
MAXIMUM TRAVEL DISTANCE TO BATHROOM LOCATED ON SECOND FLOOR IS 225 FEET, INCLUDING VERTICAL DISTANCE BETWEEN FLOORS.

### KEY PLAN



**BUILDING A - THIRD LEVEL**  
UNIT COUNT # = 312 UNITS

# BAY AREA SELF STORAGE

## CUPERTINO, CA

# PRELIM. FLOOR PLAN

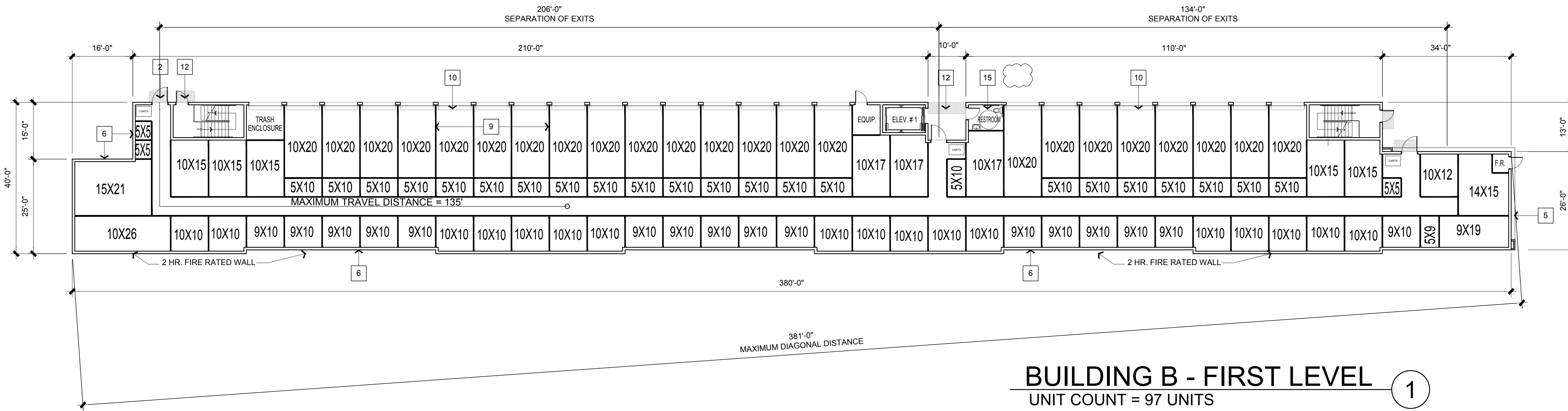
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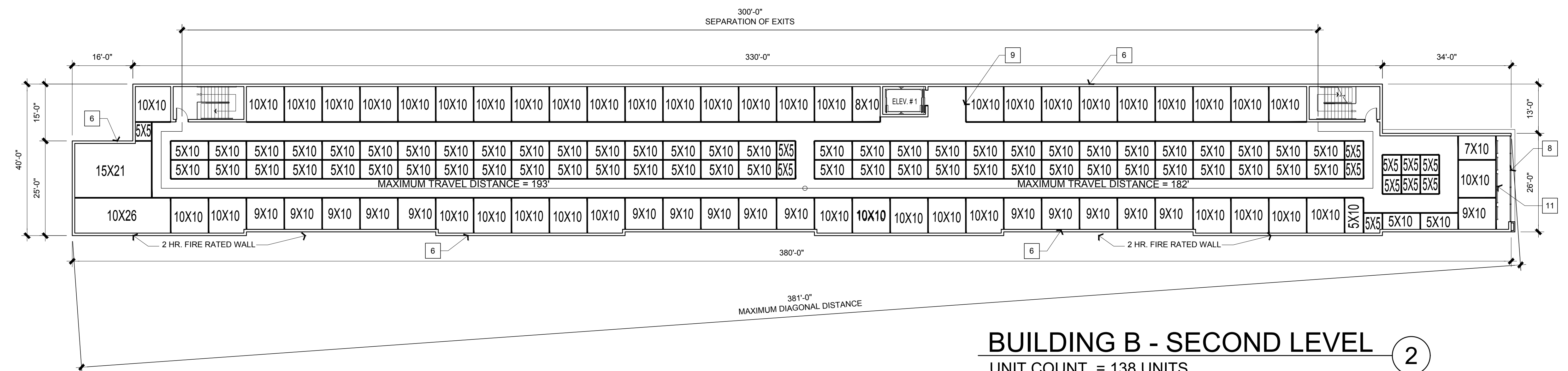
# A.6

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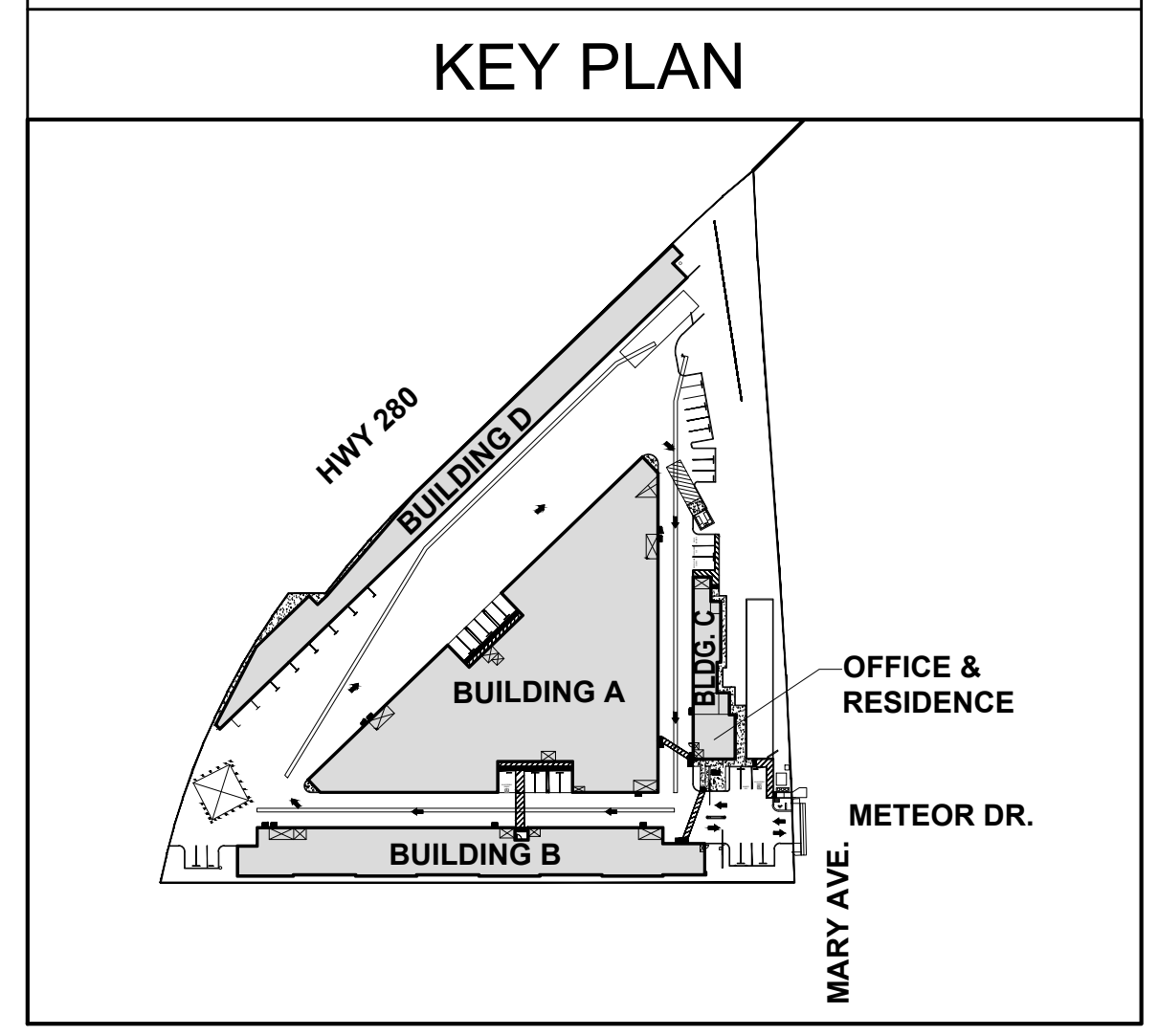
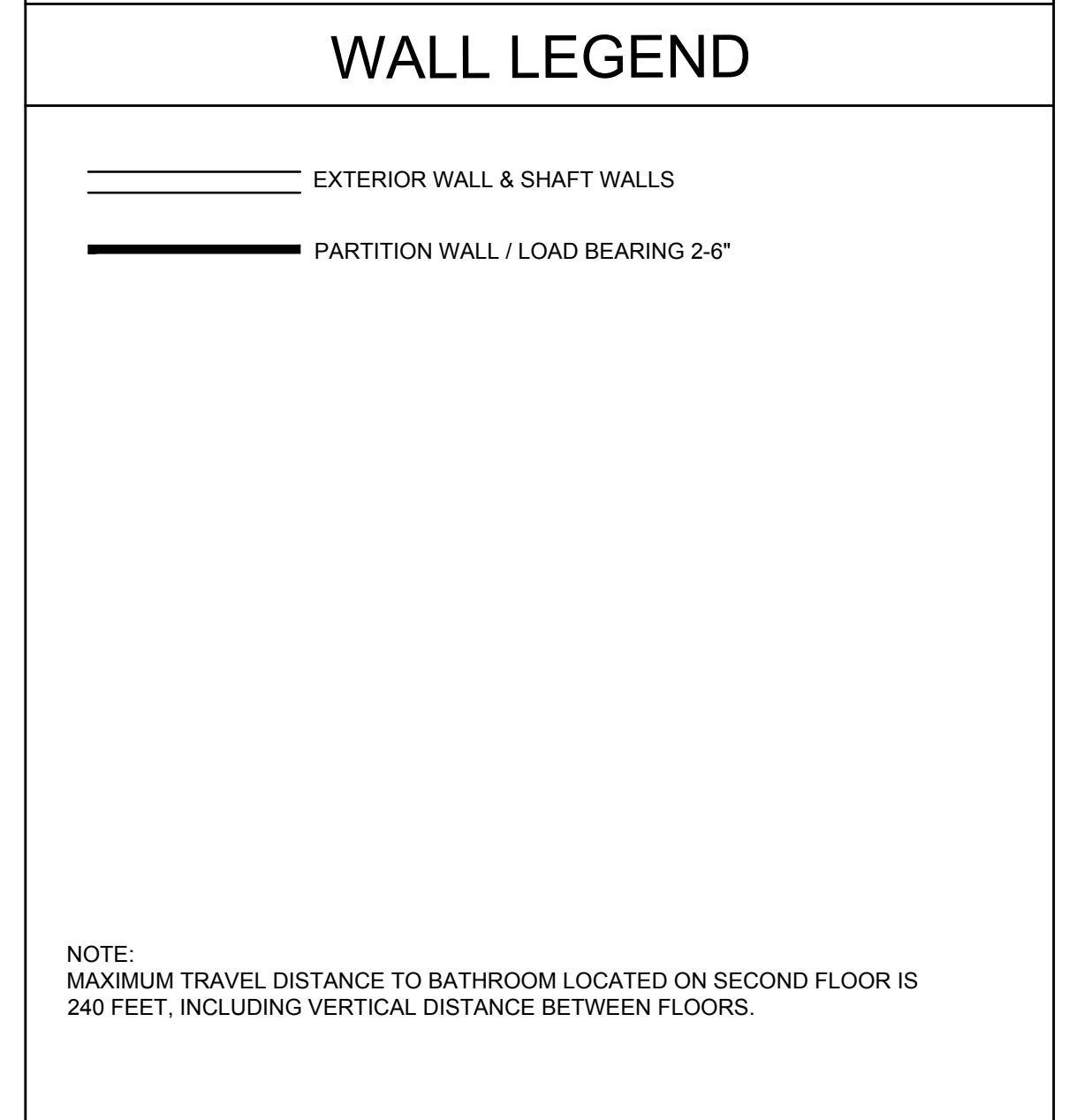


**BUILDING B - FIRST LEVEL**  
UNIT COUNT = 97 UNITS



**BUILDING B - SECOND LEVEL**  
UNIT COUNT = 138 UNITS

- ### KEY NOTES
- 1 PROJECTION OF 2ND & 3RD FLOOR ABOVE.
  - 2 EXTERIOR DOOR.
  - 3 PRELIMINARY COLUMN LOCATION
  - 4 CANOPY PROJECTION ABOVE.
  - 5 PROJECTION ABOVE.
  - 6 EXTERIOR WALL. SEE ELEVATIONS FOR FINISH.
  - 7 CANOPY PROJECTION BELOW.
  - 8 WINDOW / ALUMINUM STOREFRONT
  - 9 INTERIOR PARTITION
  - 10 UNIT ROLL-UP DOOR
  - 11 FAUX ROLL-UP DOOR
  - 12 DETECTABLE WARNING.
  - 13 LOADING AREA BELOW.
  - 14 F.D.C. STAND PIPE
  - 15 RESTROOM.



# BAY AREA SELF STORAGE

## CUPERTINO, CA

# PRELIM. FLOOR PLAN

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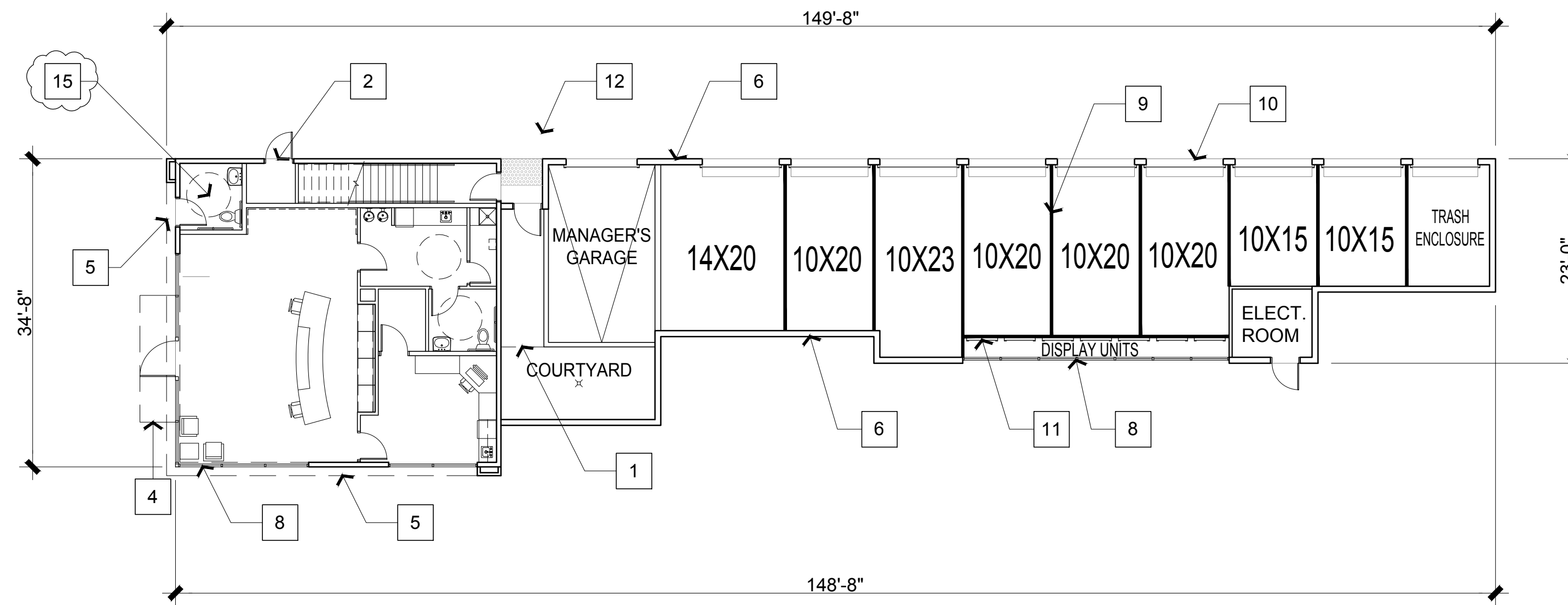
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# A.7

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**BUILDING C**  
UNIT COUNT = 8 UNITS ①

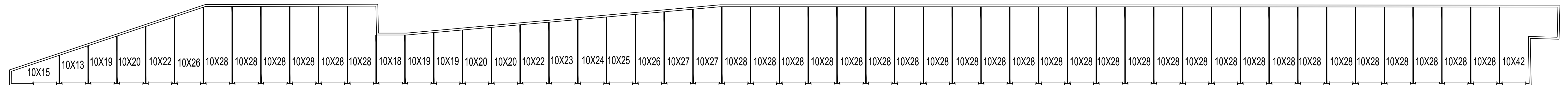
**KEY NOTES**

- PROJECTION OF 2ND & 3RD FLOOR ABOVE.
- EXTERIOR DOOR.
- PRELIMINARY COLUMN LOCATION
- CANOPY PROJECTION ABOVE.
- PROJECTION ABOVE.
- EXTERIOR WALL. SEE ELEVATIONS FOR FINISH.
- CANOPY PROJECTION BELOW.
- WINDOW / ALUMINUM STOREFRONT
- INTERIOR PARTITION
- UNIT ROLL-UP DOOR
- FAUX ROLL-UP DOOR
- DETECTABLE WARNING.
- LOADING AREA BELOW.
- F.D.C. STAND PIPE
- RESTROOM.

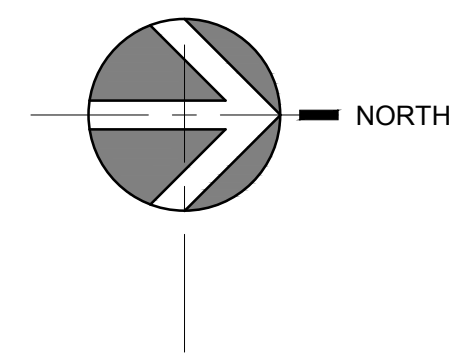
**WALL LEGEND**

- EXTERIOR WALL & SHAFT WALLS
- PARTITION WALL / LOAD BEARING 2-6"

**KEY PLAN**



**EXISTING BUILDING D**  
UNIT COUNT = 52 UNITS ②



# BAY AREA SELF STORAGE

## CUPERTINO, CA

# PRELIM. FLOOR PLAN

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# A.8

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# BAY AREA SELF STORAGE

## CUPERTINO, CA

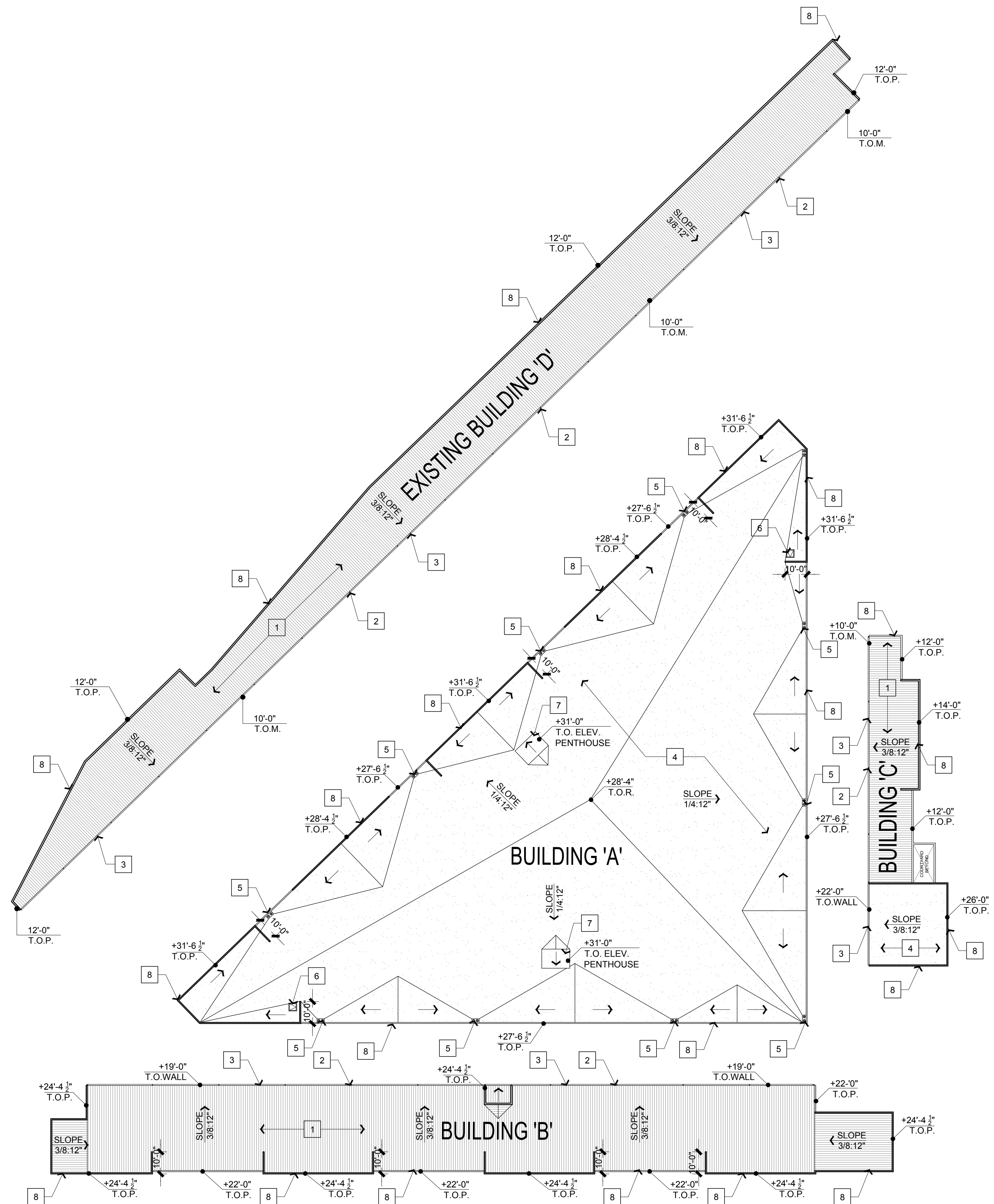
# ROOF PLAN

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JOB NUMBER: 17-606  
 SCALE: 1"=30'  
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# A.9

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### KEY NOTES

- 1 STANDING SEAM METAL ROOF.
- 2 DOWNSPOUT
- 3 GUTTER.
- 4 TPO ROOFING SYSTEM.
- 5 ROOF DRAIN & OVERFLOW.
- 6 ROOF ACCESS HATCH.
- 7 ELEVATOR PENTHOUSE.
- 8 TYPICAL PARAPET.

### GENERAL NOTES

- 1. COPPER METAL ROOFING, COPPER GRANULE CONTAINING ASPHALT SHINGLES, COPPER GUTTERS AND DOWNSPOUTS, AND / OR OTHER EXTERIOR ORNAMENTAL COPPER ARE NOT PERMITTED FOR USE ON ANY COMMERCIAL OR INDUSTRIAL BUILDING.



# BAY AREA SELF STORAGE

## CUPERTINO, CA

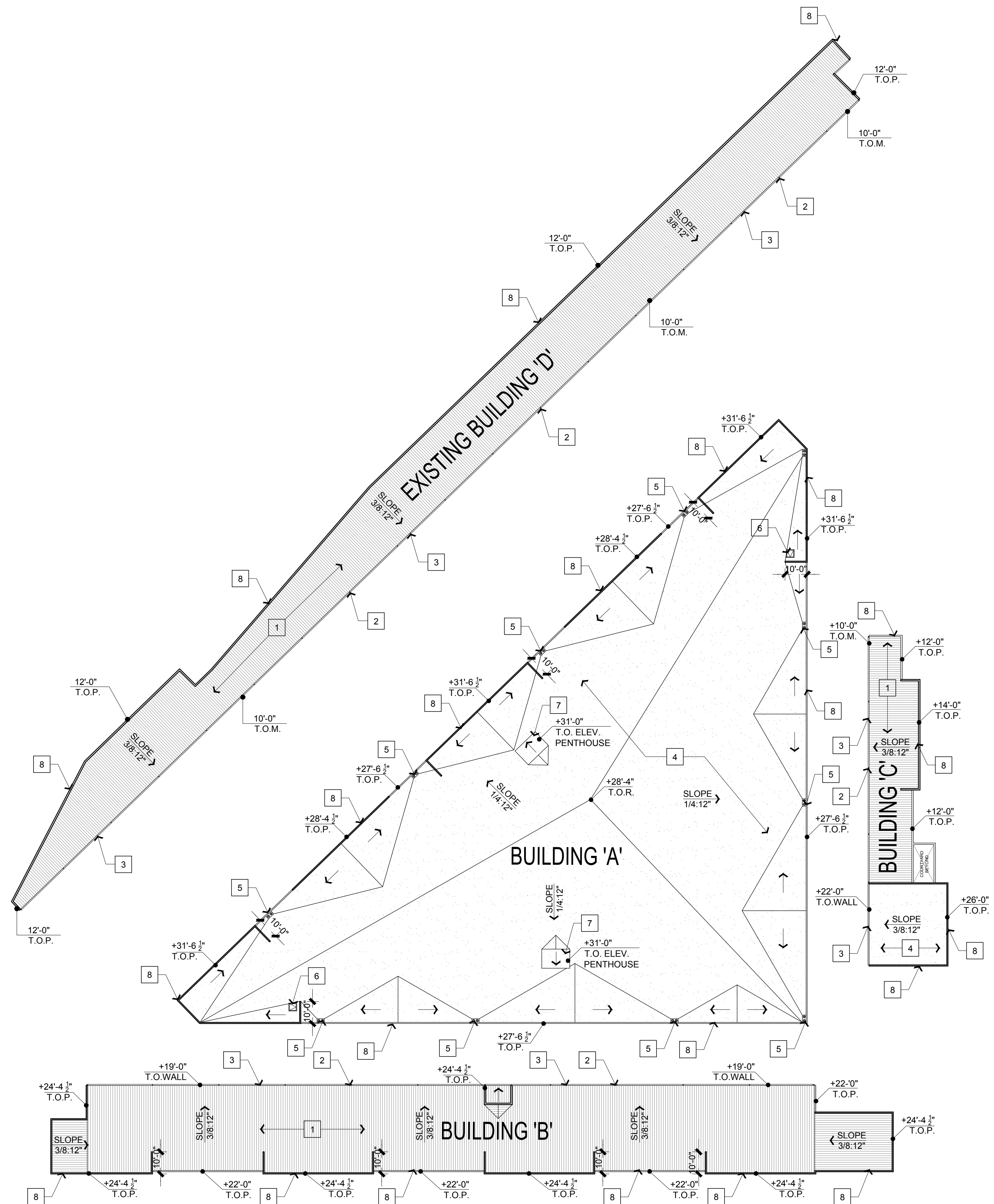
# ROOF PLAN

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 SCALE: 1"=30'  
 DATE: 01/25/2021

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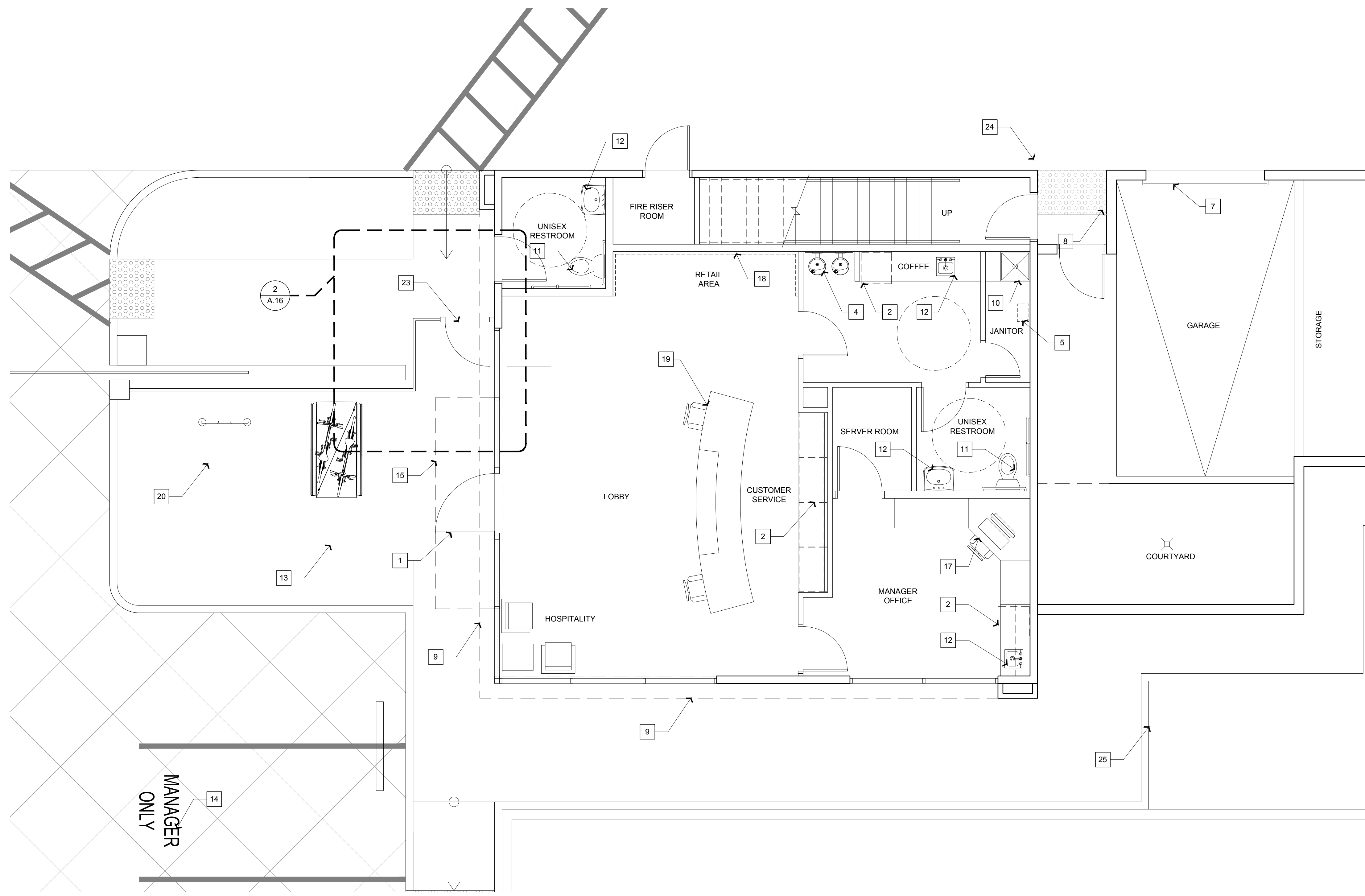
### KEY NOTES

- 1 STANDING SEAM METAL ROOF.
- 2 DOWNSPOUT
- 3 GUTTER.
- 4 TPO ROOFING SYSTEM.
- 5 ROOF DRAIN & OVERFLOW.
- 6 ROOF ACCESS HATCH.
- 7 ELEVATOR PENTHOUSE.
- 8 TYPICAL PARAPET.

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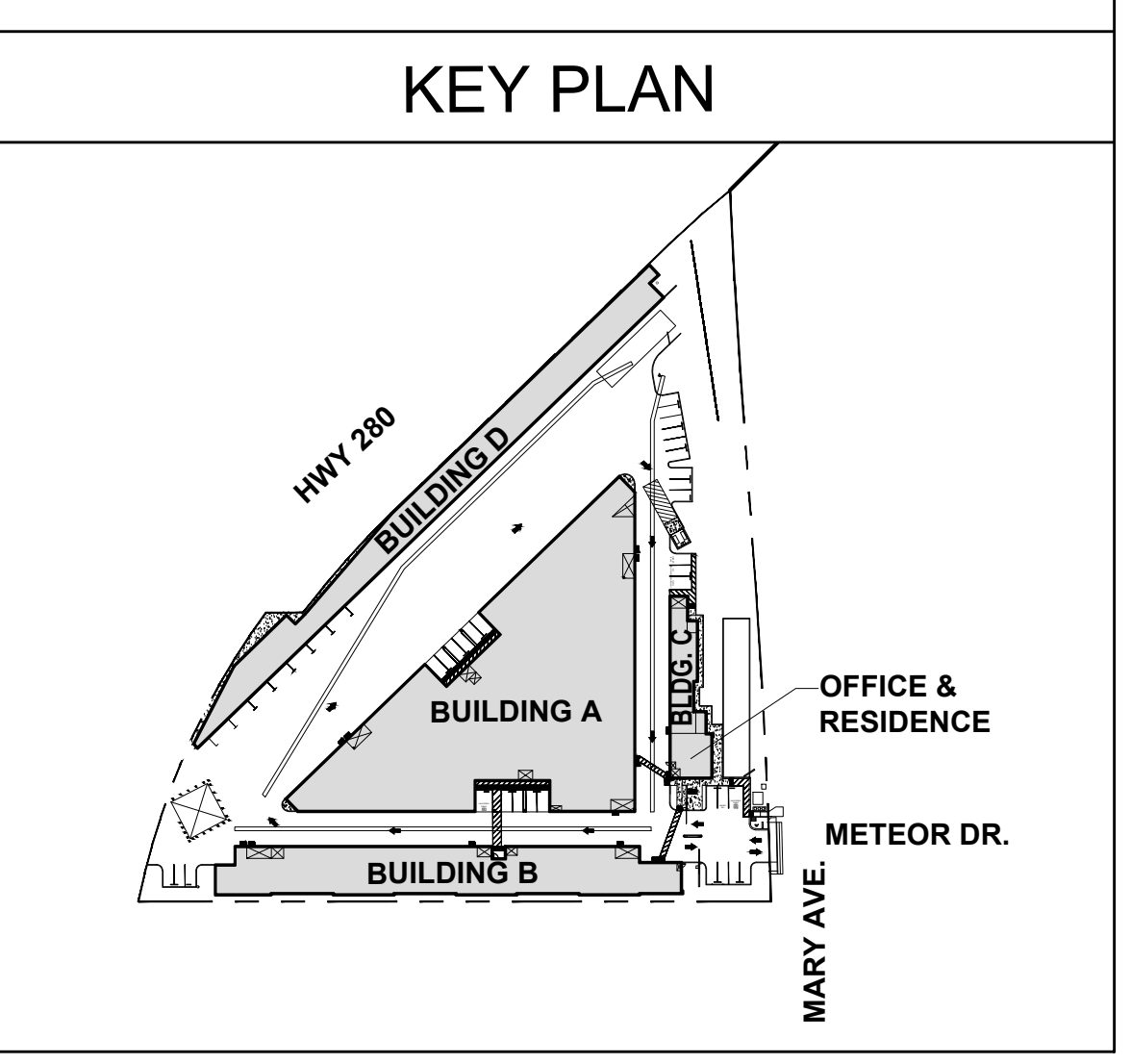


### KEYNOTES

1 OFFICE ENTRANCE.	14 OPEN PARKING SPACE FOR RESIDENTIAL UNIT AFTER OFFICE HOURS.
2 FILE CABINET COUNTER W/ WALL MOUNTED MONITORS.	15 METAL AWNING ABOVE.
3 UNDER CABINET REFRIGERATOR.	16 ACCESSIBLE PATH OF TRAVEL.
4 HIGH & LOW DRINKING FOUNTAINS.	17 DESK.
5 WATER HEATER.	18 RETAIL AREA.
6 RESIDENCE ACCESS.	19 CUSTOMER SERVICE COUNTER.
7 GARAGE MOTORIZED DOOR.	20 SHORT TERM BICYCLE PARKING.
8 RESIDENCE PEDESTRIAN ACCESS.	21 KEYPAD.
9 CORNICE PROJECTION ABOVE.	22 SLIDING GATE.
10 MOP SINK.	23 PEDESTRIAN ACCESS.
11 TOILET. TYP.	24 DETECTABLE WARNING.
12 SINK. TYP.	
13 LONG TERM 2 BIKE LOCKERS - CLASS 1, SEE IMAGE ON SHEET A.10.	

### BIKE & VEHICLE PARKING EXCEPTION

BIKE & VEHICLE PARKING EXCEPTION  
 166,845 / 450 = 371 TOTAL VEHICLE PARKING SPACES  
 ALLOWED PARKING SPACES = 41  
 41 SPACES / 371 SPACES = 9.0% OF TOTAL SPACES  
 166,185 / 12,000 = 14 TOTAL BIKE PARKING SPACES  
 14 X 9.9% = 2 TOTAL BIKE PARKING SPACES



NORTH
 OFFICE FLOOR PLAN ①

# BAY AREA SELF STORAGE

## CUPERTINO, CA

# OFFICE FLOOR PLAN

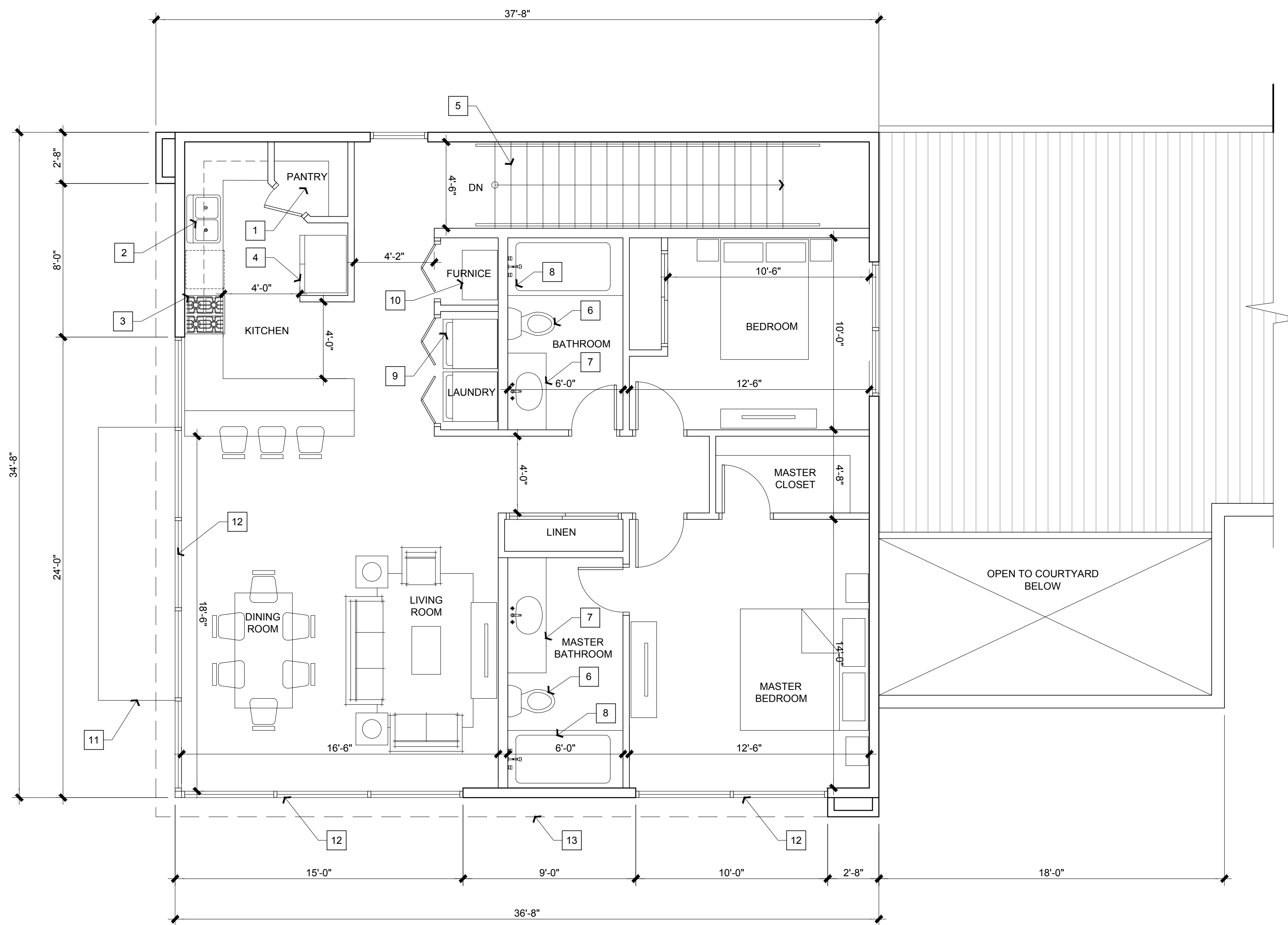
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# A.10

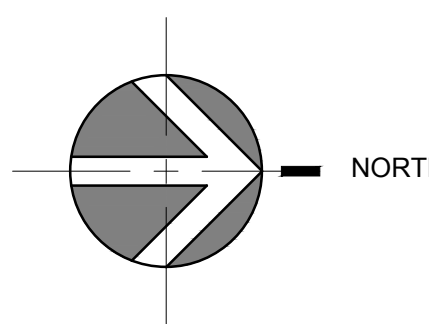
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RESIDENCE FLOOR PLAN - 2ND FLOOR

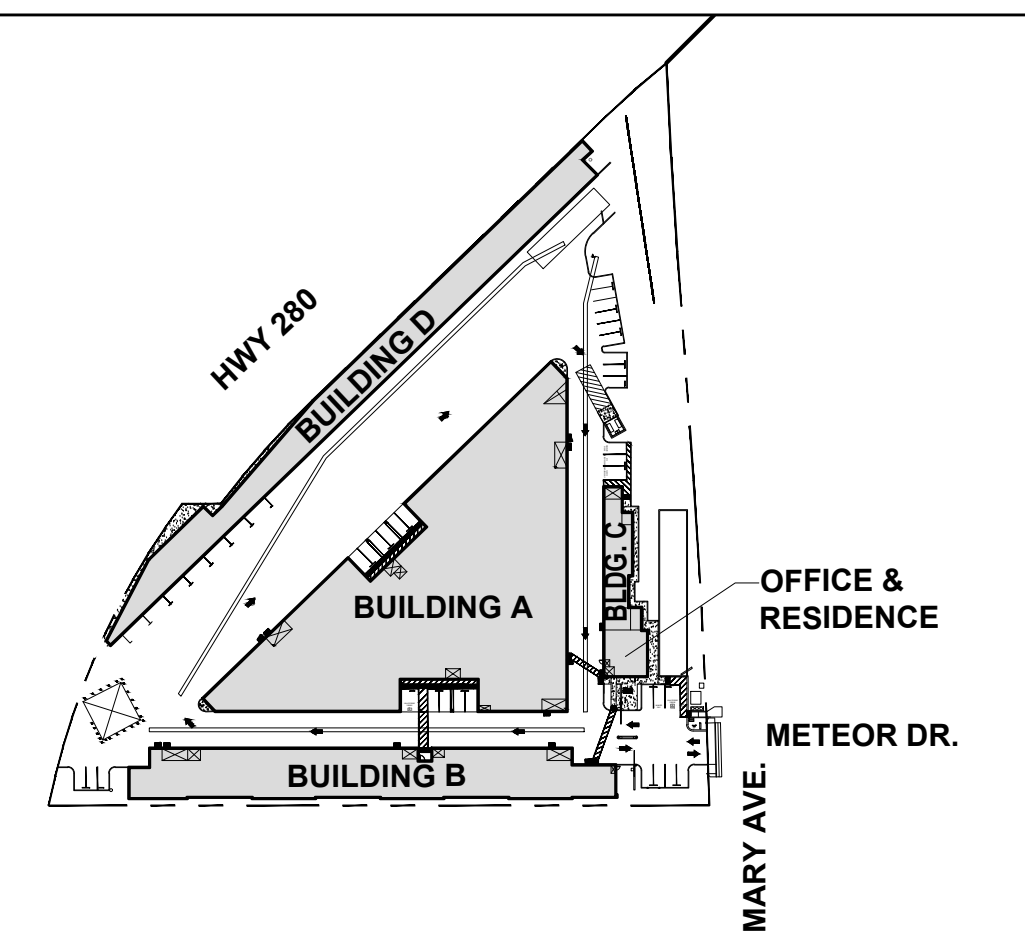
2



KEYNOTES

- 1 PANTRY CABINET.
- 2 KITCHEN SINK.
- 3 STOVE.
- 4 REFRIGERATOR.
- 5 STAIRS.
- 6 TOILET. TYP.
- 7 BATHROOM SINK & COUNTER.
- 8 BATHTUB.
- 9 WASHER AND DRYER.
- 10 FURNICE.
- 11 AWNING BELOW.
- 12 STOREFRONT GLAZING.
- 13 CORNICE ABOVE.

KEY PLAN



**BAY AREA SELF STORAGE**  
CUPERTINO, CA

**RESIDENCE FLOOR PLAN**

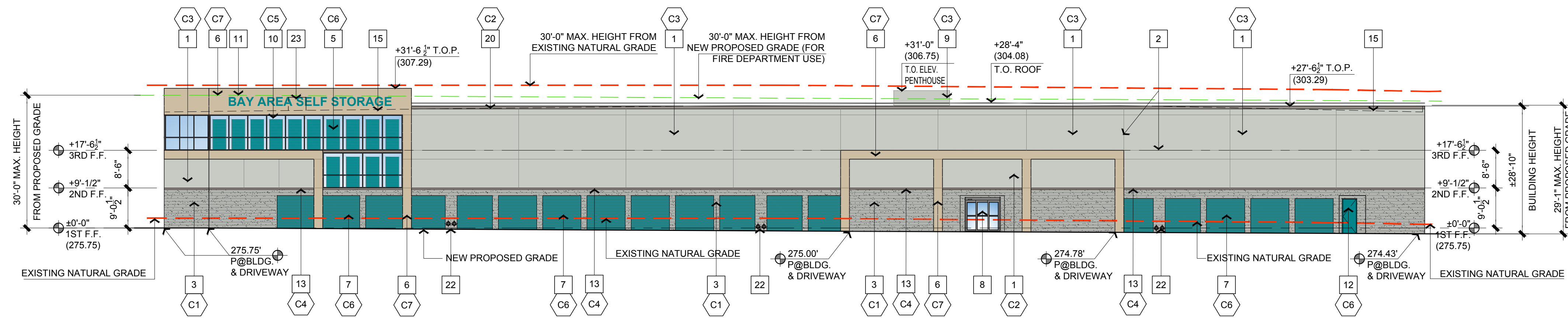
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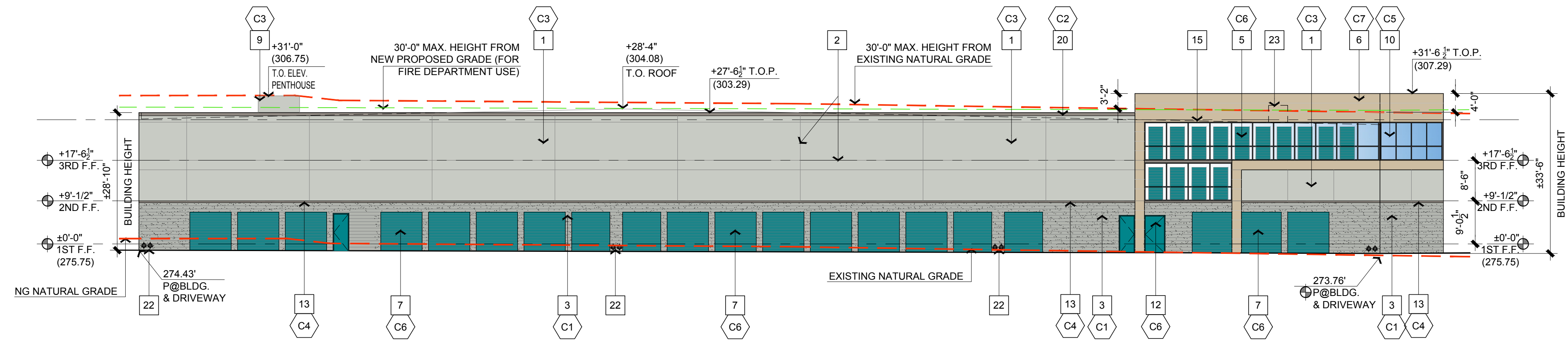
**A.11**

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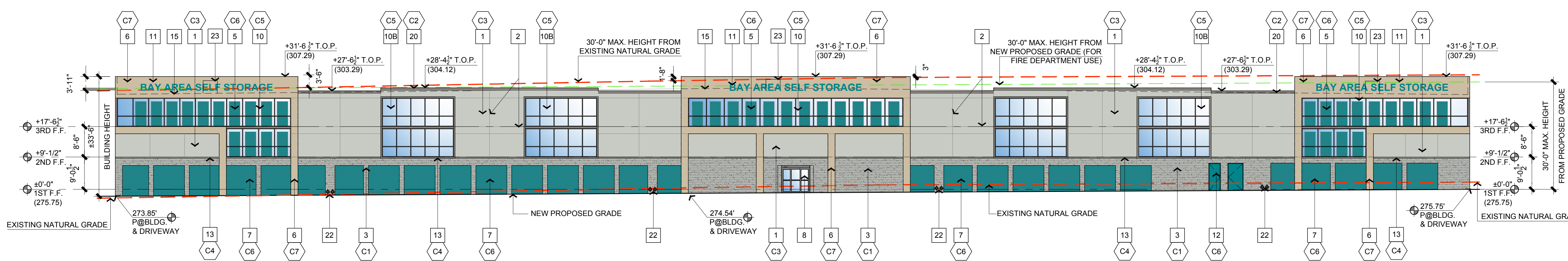




**BUILDING A - SOUTH ELEVATION** ①



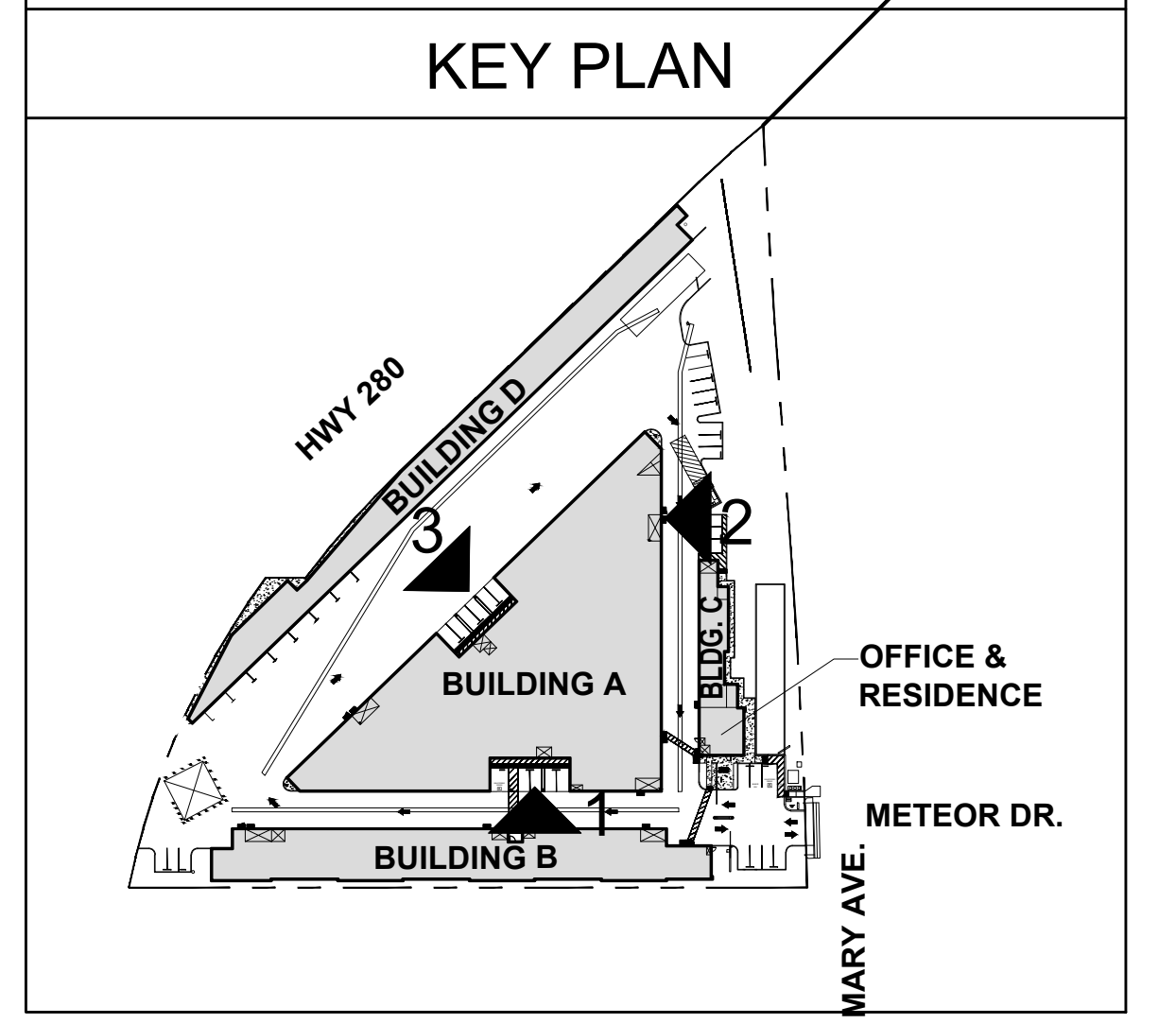
**BUILDING A - EAST ELEVATION** ②



**BUILDING A - NORTH ELEVATION** ③

KEYNOTES	
1	STUCCO FINISH.
2	HORIZONTAL & VERTICAL STUCCO REVEAL.
3	INTEGRAL CMU BLOCK.
4	METAL AWNING.
5	FAUX ROLL-UP DOORS FOR DISPLAY ONLY.
6	ARCHITECTURAL METAL FLUSH PANEL.
7	ROLL-UP DOORS.
8	TELESCOPIC ALUMINUM ENTRY GLASS DOOR.
9	ELEVATOR PENTHOUSE.
10	STOREFRONT GLAZING WITH VISION GLASS.
10B	STOREFRONT GLAZING WITH SPANDREL GLASS.
11	SIGNAGE UNDER SEPARATE PERMIT. SIGNS TO COMPLY WITH CITY STANDARDS.
12	SWING DOOR, PAINTED TO MATCH COLOR C6.
13	STUCCO FINISH BAND.
14	PREFINISHED METAL GUTTER.
15	ROOF LINE BEHIND.
16	PREFINISHED METAL DOWNSPOUT.
17	PARAPET BEYOND.
18	PREFINISHED STANDING SEAM METAL ROOF.
19	PARAPET.
20	PREFINISHED METAL FLASHING.
21	ADDRESS IDENTIFICATION NUMBER PER CITY AND FIRE DEPARTMENT STANDARDS.
22	INTERNAL DOWNSPOUT AND OVERFLOW. DAYLIGHT 12" O.C. ABOVE F.F. PROVIDE BRONZE NOZZLE.
23	ROOF MOUNTED FAN, SCREENED BY PARAPET.

COLOR & MATERIAL BOARD	
	C1 ORCO BLOCK. 8x8x16 SHOT BLAST COLOR: "BLACK 250". WEIGHT: MEDIUM
	C2 COLOR TO MATCH MBCI SIGNATURE 300 COLOR: SLATE GRAY
	C3 LA HABRA STUCCO FINISH FINISH: SAND FLOAT 20/30 COLOR: X-16 SILVER GREY
	C4 LA HABRA STUCCO FINISH FINISH: SAND FLOAT 20/30 COLOR: P-2090 THUNDER SKY
	C5 STOREFRONT GLASS B - CLEAR
	C6 JANUS INTERNATIONAL COLOR: DARK TEAL
	C7 ARCHITECTURAL METAL PANEL: MBCI FINISH: SMOOTH COLOR: "LIGHT STONE"



# BAY AREA SELF STORAGE

## CUPERTINO, CA

# ELEVATIONS

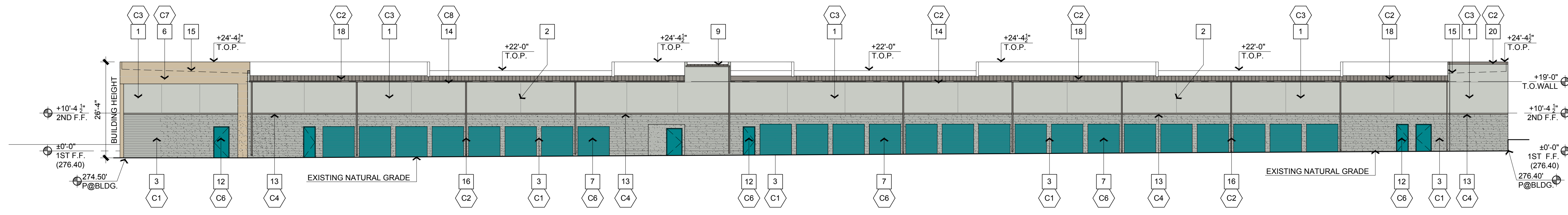
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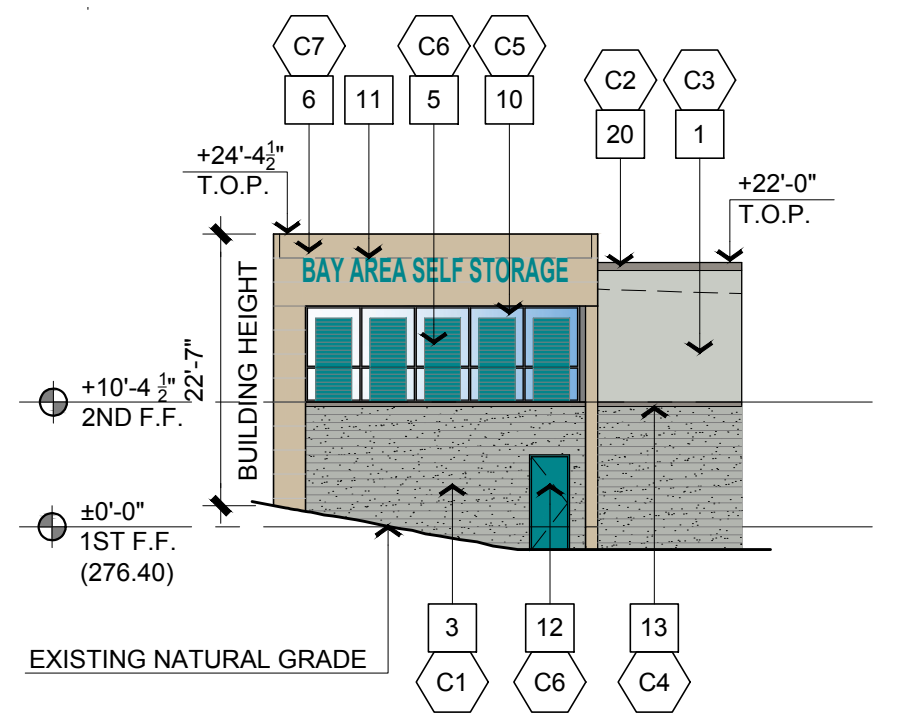
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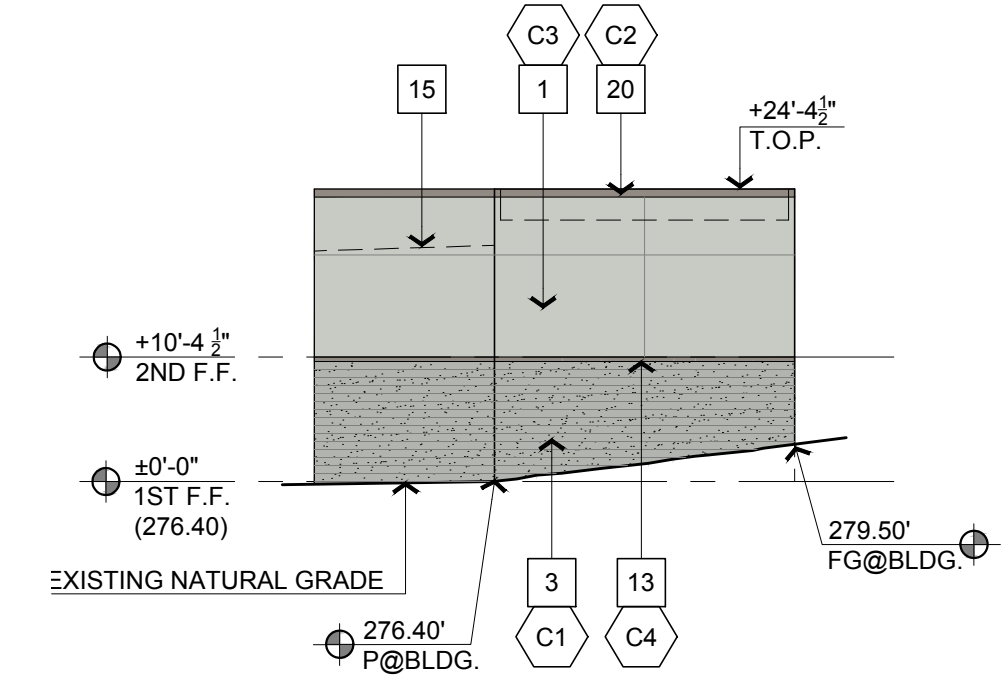




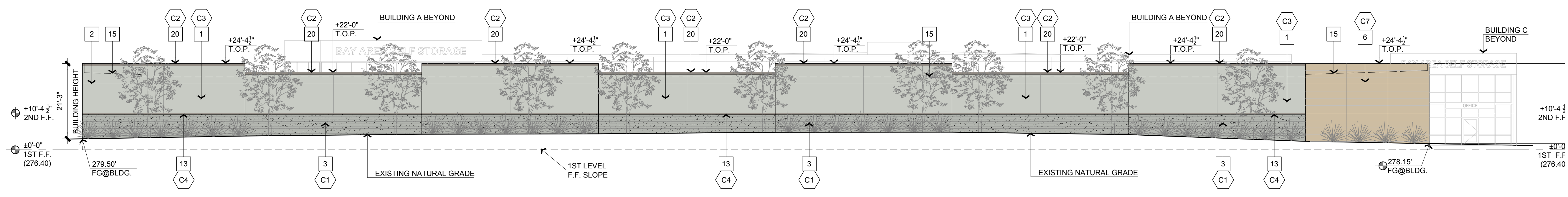
**BUILDING B - NORTH ELEVATION** ①



**BUILDING B - EAST ELEVATION** ②



**BUILDING B - WEST ELEVATION** ③



**BUILDING B - SOUTH ELEVATION** ④

**KEYNOTES**

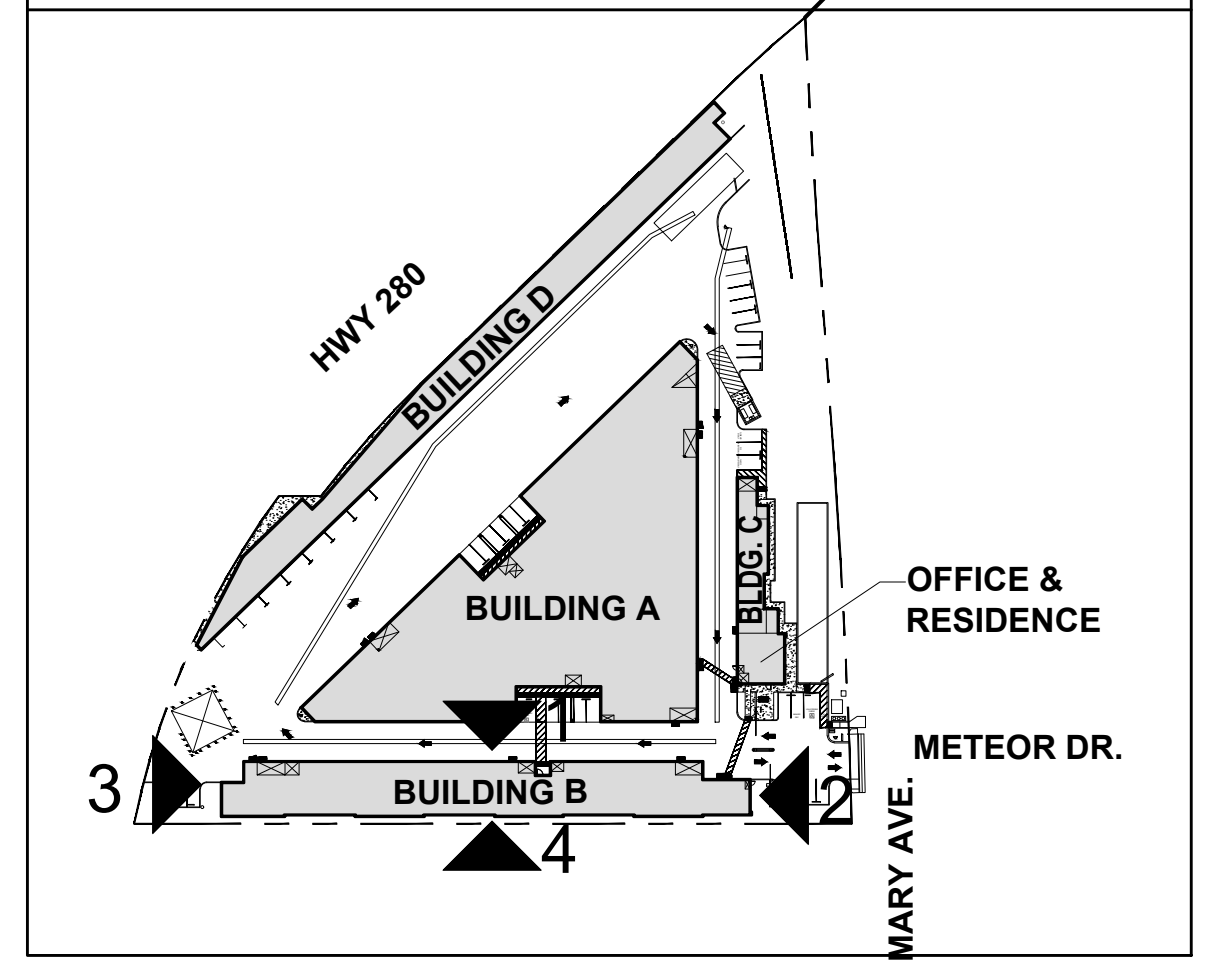
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2 HORIZONTAL & VERTICAL STUCCO REVEAL.	14 PREFINISHED METAL GUTTER.
3 INTEGRAL CMU BLOCK.	15 ROOF LINE BEHIND.
4 METAL AWNING.	16 PREFINISHED METAL DOWNSPOUT.
5 FAUX ROLL-UP DOORS FOR DISPLAY ONLY.	17 PARAPET BEYOND.
6 ARCHITECTURAL METAL FLUSH PANEL.	18 PREFINISHED STANDING SEAM METAL ROOF.
7 ROLL-UP DOORS.	19 PARAPET.
8 TELESCOPIC ALUMINUM ENTRY GLASS DOOR.	20 PREFINISHED METAL FLASHING.
9 ELEVATOR PENTHOUSE.	21 ADDRESS IDENTIFICATION NUMBER PER CITY AND FIRE DEPARTMENT STANDARDS.
10 STOREFRONT GLAZING WITH VISION GLASS.	22 INTERNAL DOWNSPOUT AND OVERFLOW. DAYLIGHT 12\"/>
10B STOREFRONT GLAZING WITH SPANDREL GLASS.	23 ROOF MOUNTED FAN, SCREENED BY PARAPET.
11 SIGNAGE UNDER SEPARATE PERMIT. SIGNS TO COMPLY WITH CITY STANDARDS.	
12 SWING DOOR, PAINTED TO MATCH COLOR C6.	

**COLOR & MATERIAL BOARD**

	C1 ORCO BLOCK, 8x8x16 SHOT BLAST COLOR: "BLACK 250", WEIGHT: MEDIUM
	C2 COLOR TO MATCH MBCI SIGNATURE 300 COLOR: SLATE GRAY
	C3 LA HABRA STUCCO FINISH FINISH: SAND FLOAT 20/30 COLOR: X-16 SILVER GREY
	C4 LA HABRA STUCCO FINISH FINISH: SAND FLOAT 20/30 COLOR: P-2090 THUNDER SKY
	C5 STOREFRONT GLASS B - CLEAR
	C6 JANUS INTERNATIONAL COLOR: DARK TEAL
	C7 ARCHITECTURAL METAL PANEL: MBCI FINISH: SMOOTH COLOR: "LIGHT STONE"

**GENERAL NOTES**

**KEY PLAN**



**BAY AREA SELF STORAGE**  
CUPERTINO, CA

**ELEVATIONS**

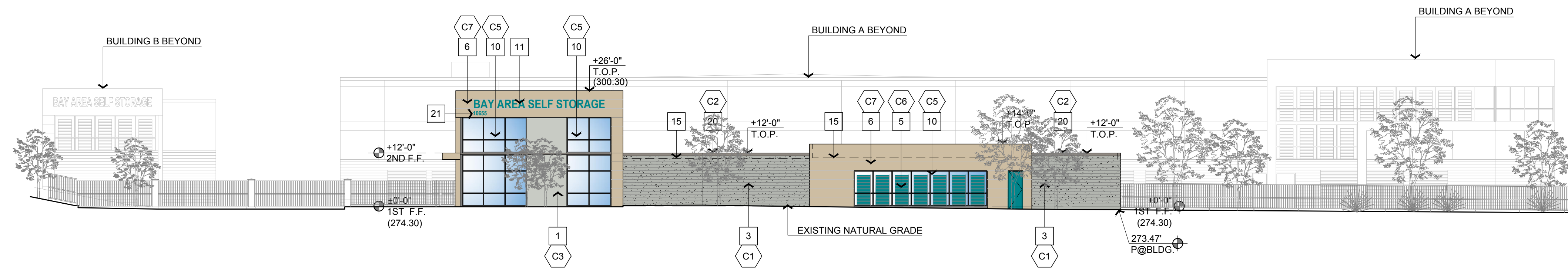
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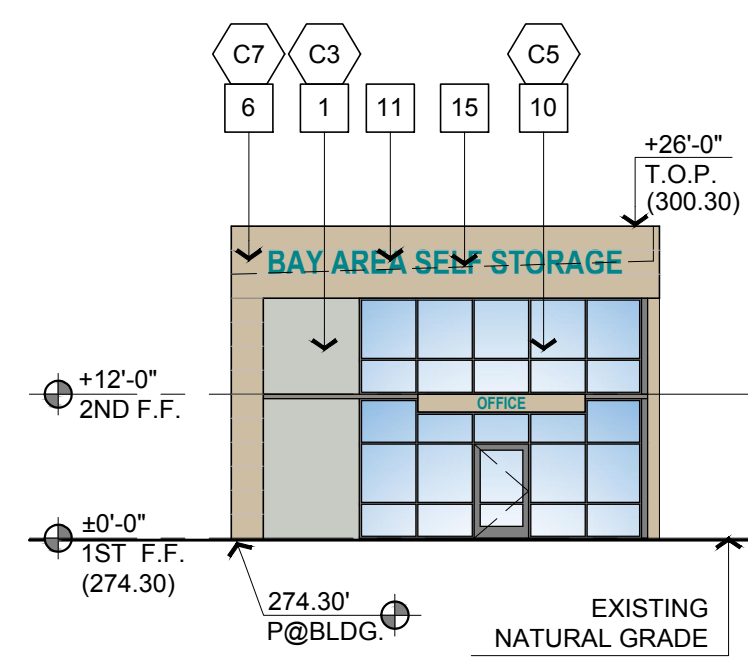
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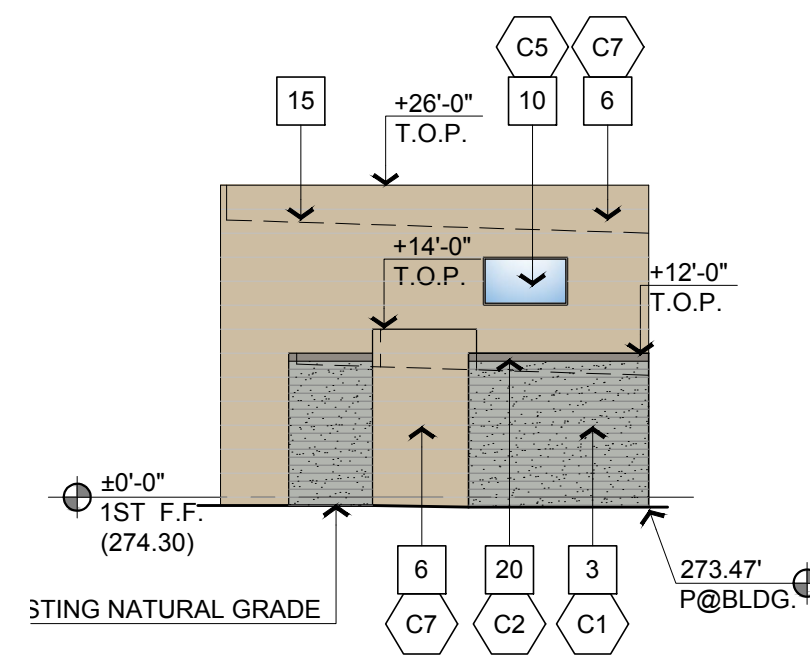




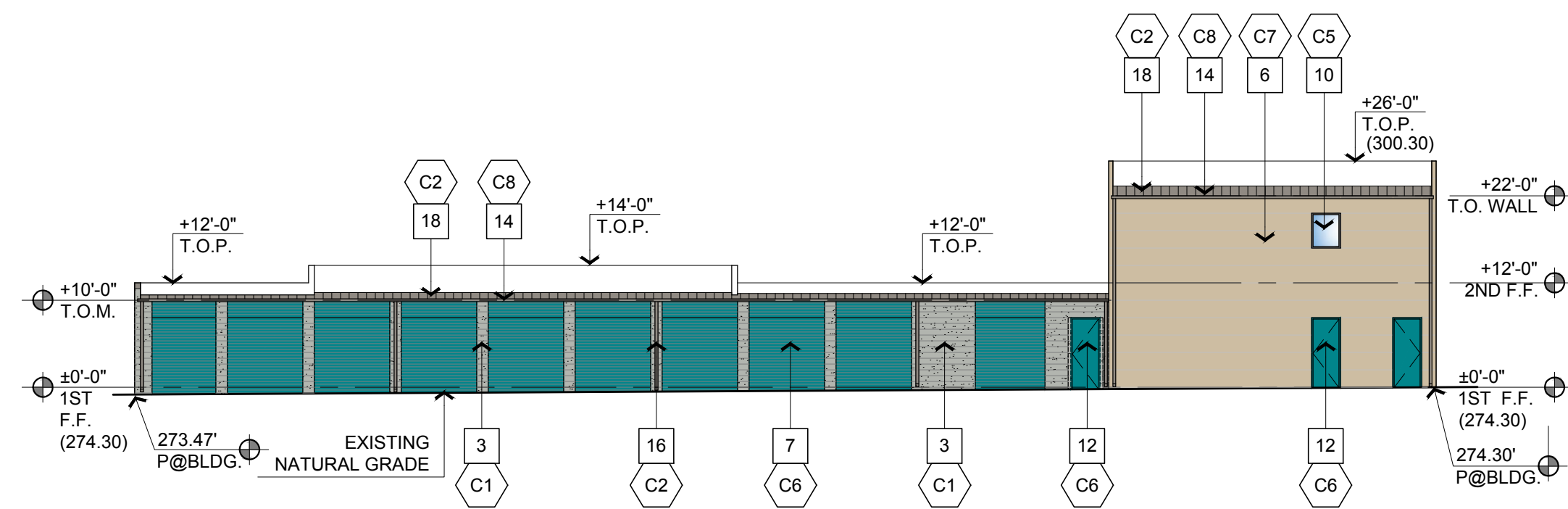
**BUILDING C - EAST ELEVATION** ①



**BUILDING C - SOUTH ELEVATION** ②



**BUILDING C - NORTH ELEVATION** ③



**BUILDING B - WEST ELEVATION** ④

**KEYNOTES**

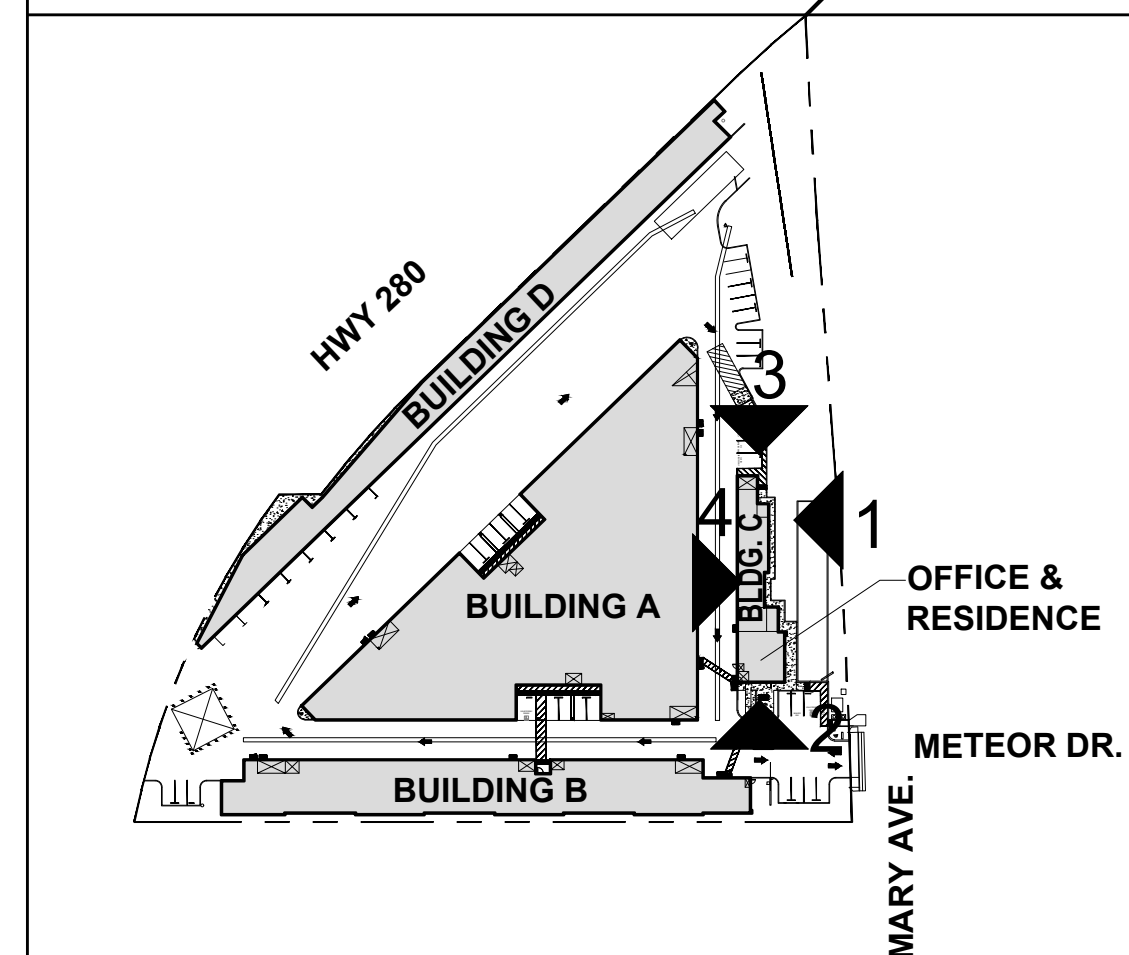
1 STUCCO FINISH.	13 STUCCO FINISH BAND.
2 HORIZONTAL & VERTICAL STUCCO REVEAL.	14 PREFINISHED METAL GUTTER.
3 INTEGRAL CMU BLOCK.	15 ROOF LINE BEHIND.
4 METAL AWNING.	16 PREFINISHED METAL DOWNSPOUT.
5 FAUX ROLL-UP DOORS FOR DISPLAY ONLY.	17 PARAPET BEYOND.
6 ARCHITECTURAL METAL FLUSH PANEL.	18 PREFINISHED STANDING SEAM METAL ROOF.
7 ROLL-UP DOORS.	19 PARAPET.
8 TELESCOPIC ALUMINUM ENTRY GLASS DOOR.	20 PREFINISHED METAL FLASHING.
9 ELEVATOR PENTHOUSE.	21 ADDRESS IDENTIFICATION NUMBER PER CITY AND FIRE DEPARTMENT STANDARDS.
10 STOREFRONT GLAZING WITH VISION GLASS.	22 INTERNAL DOWNSPOUT AND OVERFLOW. DAYLIGHT 12" O.C. ABOVE F.F. PROVIDE BRONZE NOZZLE.
10B STOREFRONT GLAZING WITH SPANDREL GLASS.	23 ROOF MOUNTED FAN, SCREENED BY PARAPET.
11 SIGNAGE UNDER SEPARATE PERMIT. SIGNS TO COMPLY WITH CITY STANDARDS.	
12 SWING DOOR, PAINTED TO MATCH COLOR C6.	

**COLOR & MATERIAL BOARD**

	C1 ORCO BLOCK. 8x8x16 SHOT BLAST COLOR: "BLACK 250". WEIGHT: MEDIUM
	C2 COLOR TO MATCH MBCI SIGNATURE 300 COLOR: SLATE GRAY
	C3 LA HABRA STUCCO FINISH FINISH: SAND FLOAT 20/30 COLOR: X-16 SILVER GREY
	C4 LA HABRA STUCCO FINISH FINISH: SAND FLOAT 20/30 COLOR: P-2090 THUNDER SKY
	C5 STOREFRONT GLASS B - CLEAR
	C6 JANUS INTERNATIONAL COLOR: DARK TEAL
	C7 ARCHITECTURAL METAL PANEL: MBCI FINISH: SMOOTH COLOR: "LIGHT STONE"

**GENERAL NOTES**

**KEY PLAN**



**BAY AREA SELF STORAGE**  
CUPERTINO, CA

**ELEVATIONS**

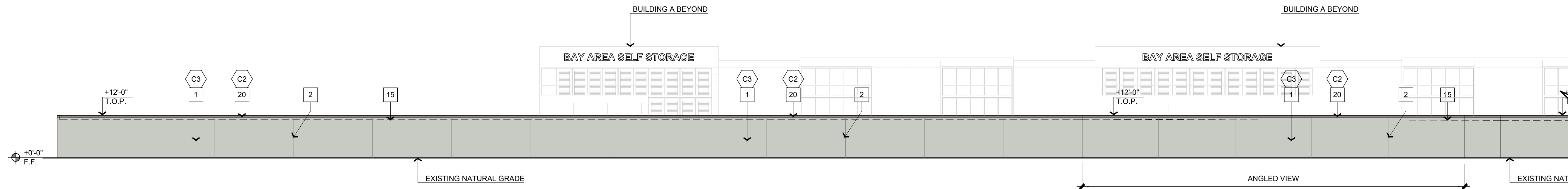
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SCALE: 1/16"=1'-0"  
DATE: 01/25/2021

**A.14**

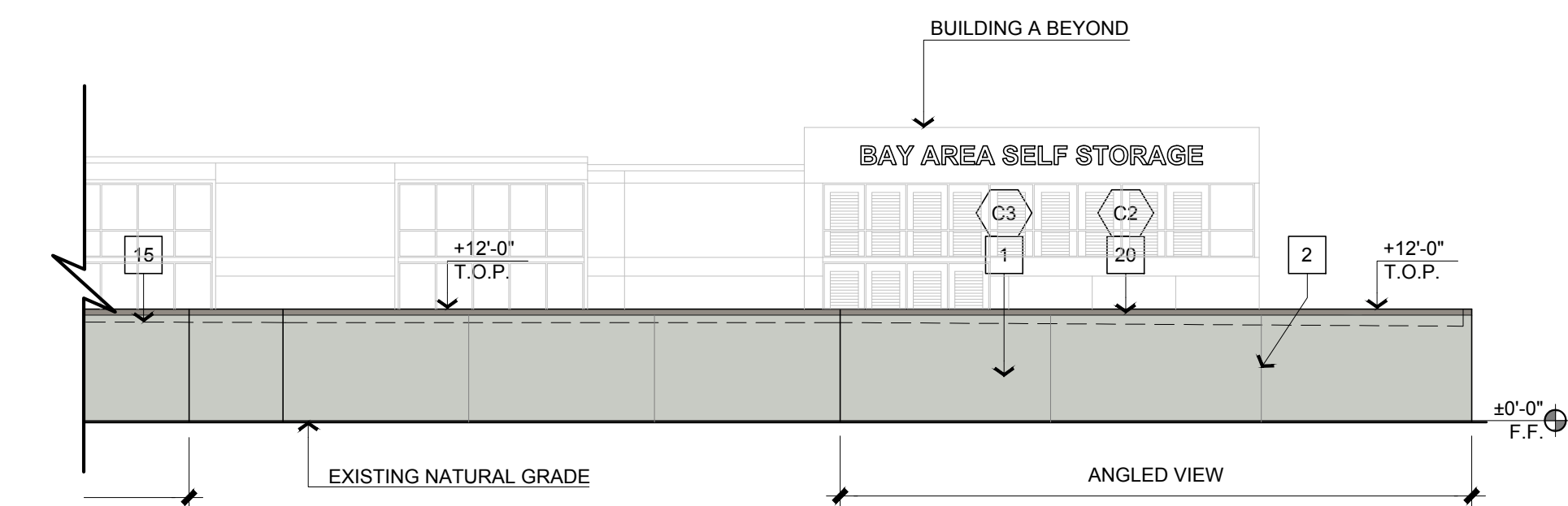
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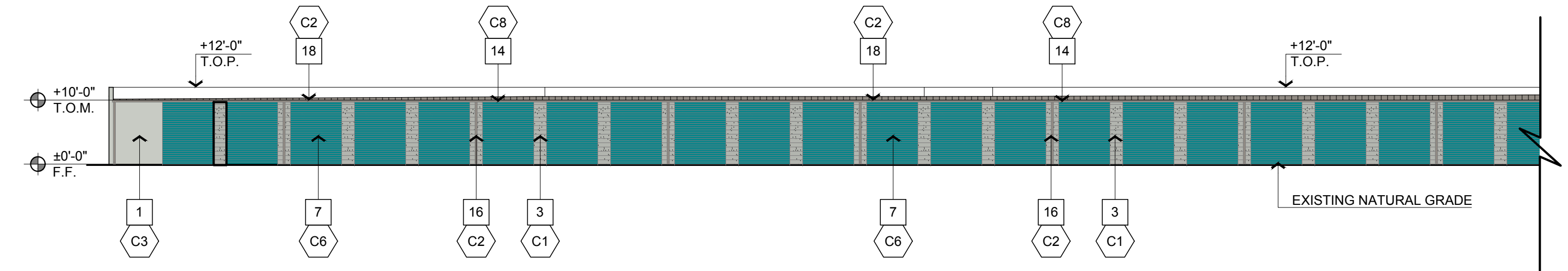




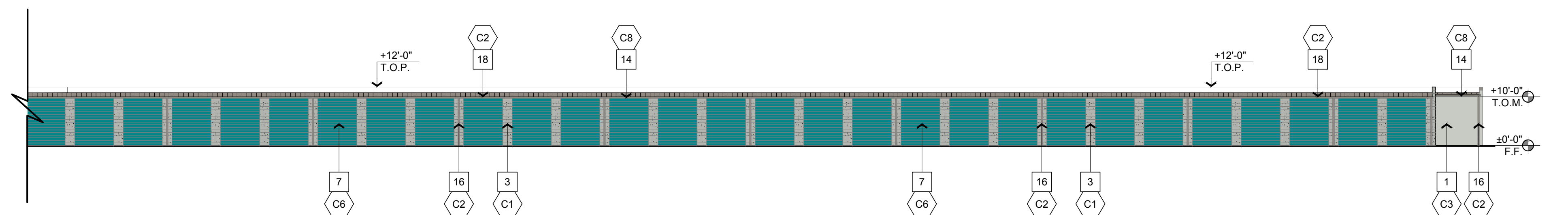
**BUILDING D - NORTH**  
1/16"=1'-0" ①



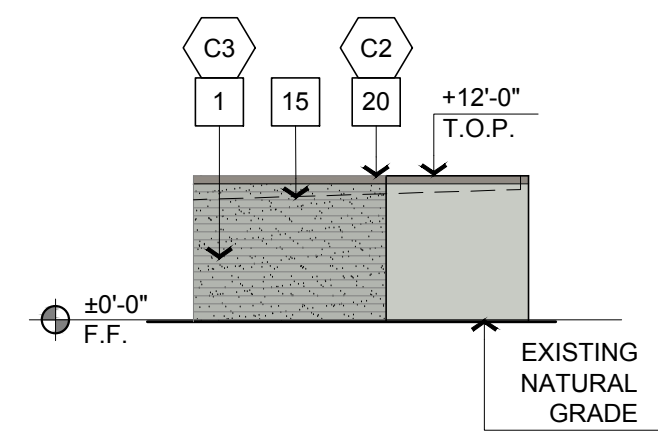
**BUILDING D - NORTH (CONTINUED)**  
①



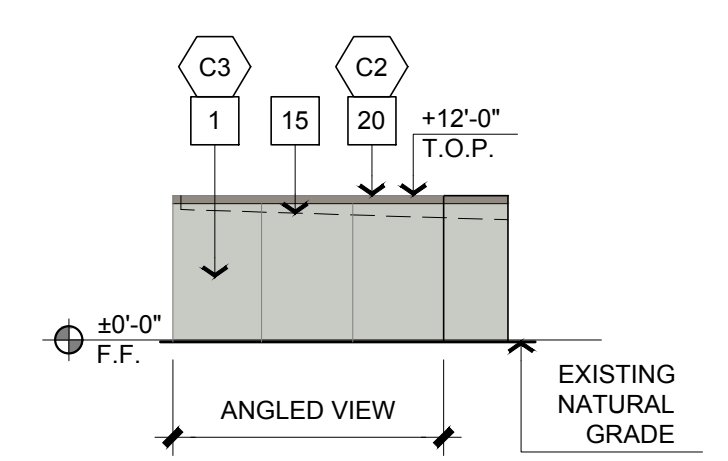
**BUILDING D - (INTERIOR) SOUTH**  
1/16"=1'-0" ②



**BUILDING D - SOUTH (CONTINUED)**  
1/16"=1'-0" ②



**BUILDING D - EAST**  
1/16"=1'-0" ③



**BUILDING D - WEST**  
1/16"=1'-0" ④

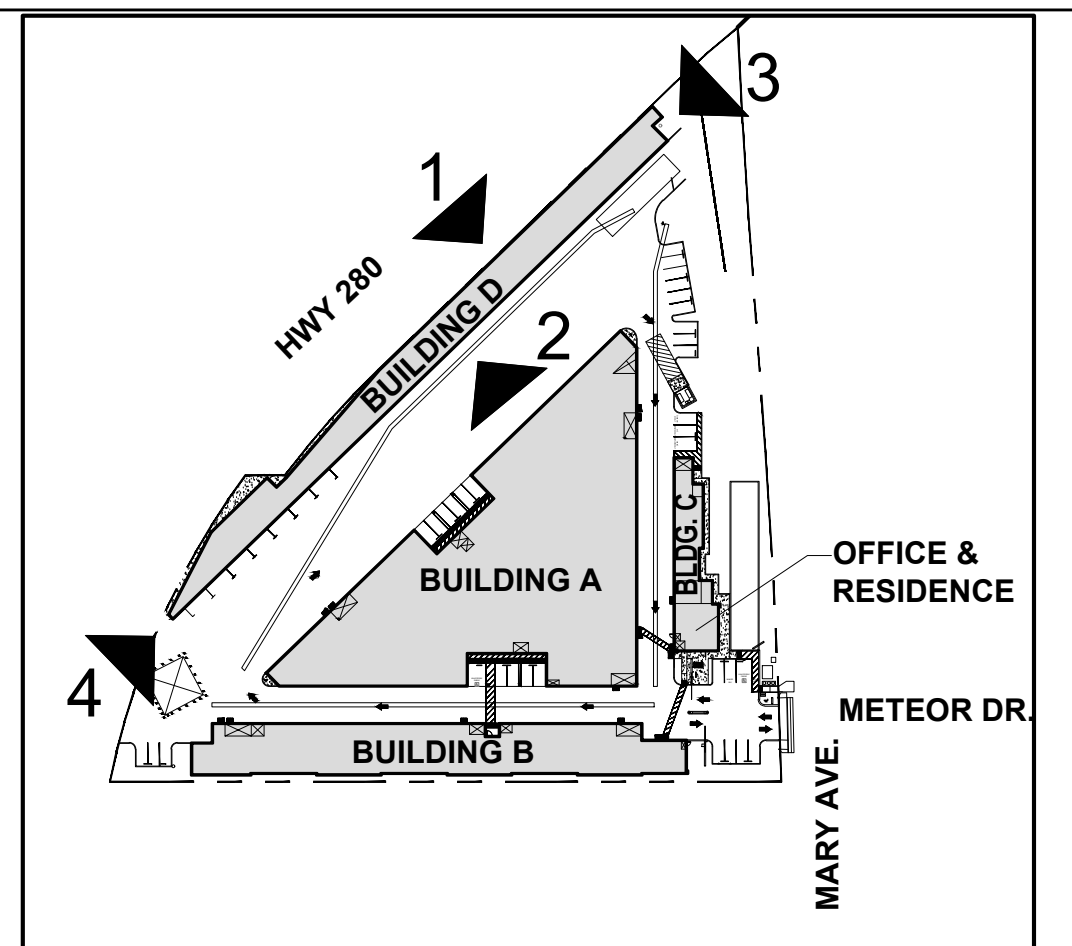
**KEYNOTES**

1 STUCCO FINISH.	13 STUCCO FINISH BAND.
2 HORIZONTAL & VERTICAL STUCCO REVEAL.	14 PREFINISHED METAL GUTTER.
3 INTEGRAL CMU BLOCK.	15 ROOF LINE BEHIND.
4 METAL AWNING.	16 PREFINISHED METAL DOWNSPOUT.
5 FAUX ROLL-UP DOORS FOR DISPLAY ONLY.	17 PARAPET BEYOND.
6 ARCHITECTURAL METAL FLUSH PANEL.	18 PREFINISHED STANDING SEAM METAL ROOF.
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	C4 LA HABRA STUCCO FINISH FINISH: SAND FLOAT 20/30 COLOR: P-2090 THUNDER SKY
	C5 STOREFRONT GLASS B - CLEAR
	C6 JANUS INTERNATIONAL COLOR: DARK TEAL
	C7 ARCHITECTURAL METAL PANEL: MBCI FINISH: SMOOTH COLOR: "LIGHT STONE"

**KEY PLAN**



**BAY AREA SELF STORAGE**  
CUPERTINO, CA

**ELEVATIONS**

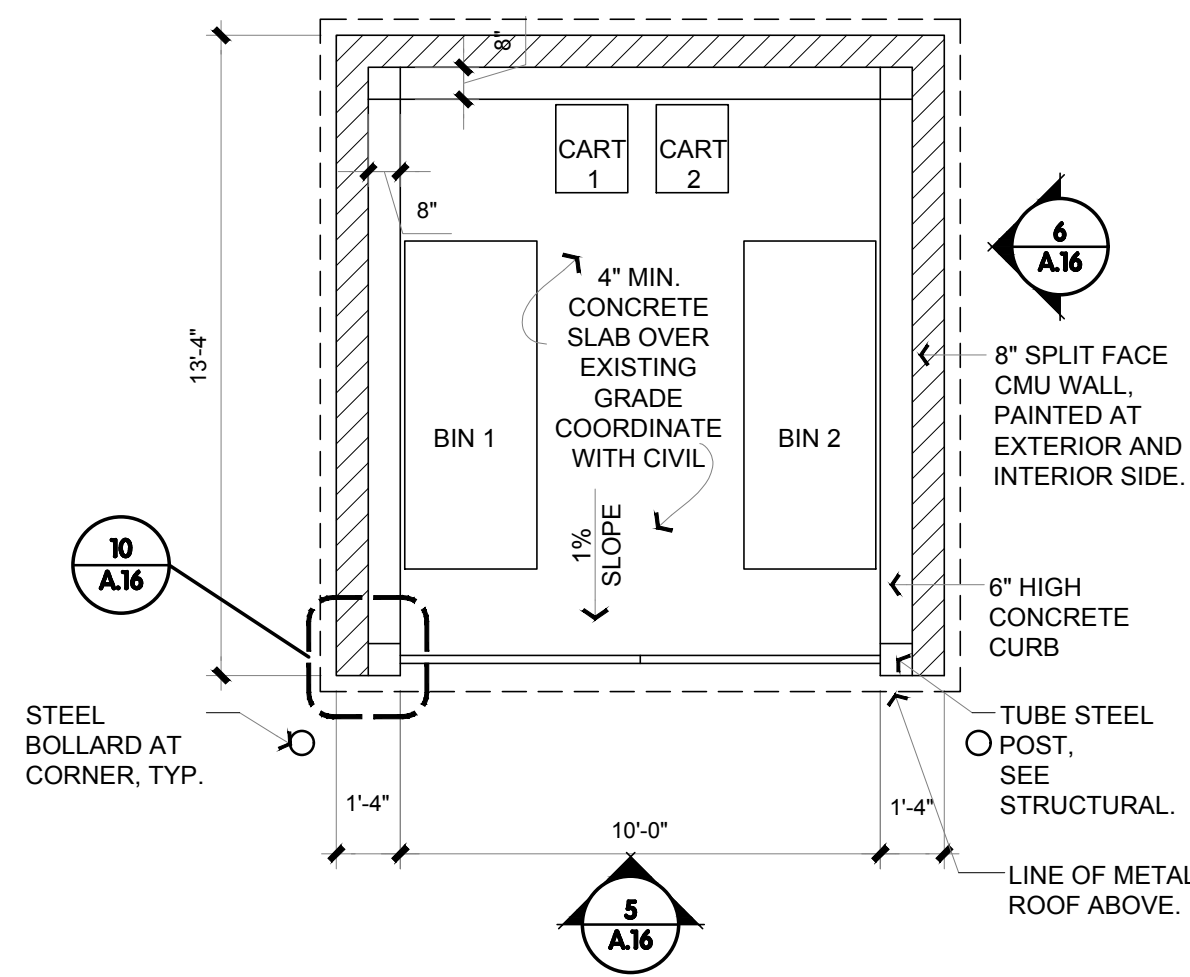
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JOB NUMBER: 17-606  
SCALE: 1/16"=1'-0"  
DATE: 01/25/2021

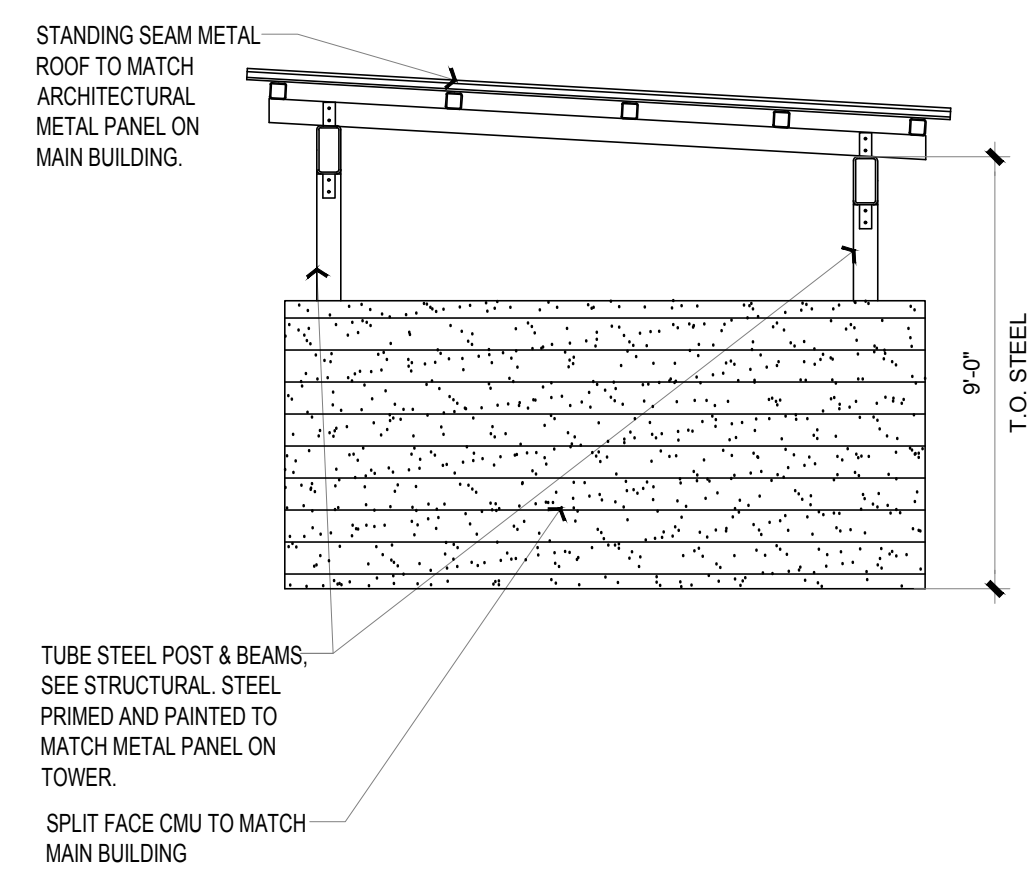
**A.15**

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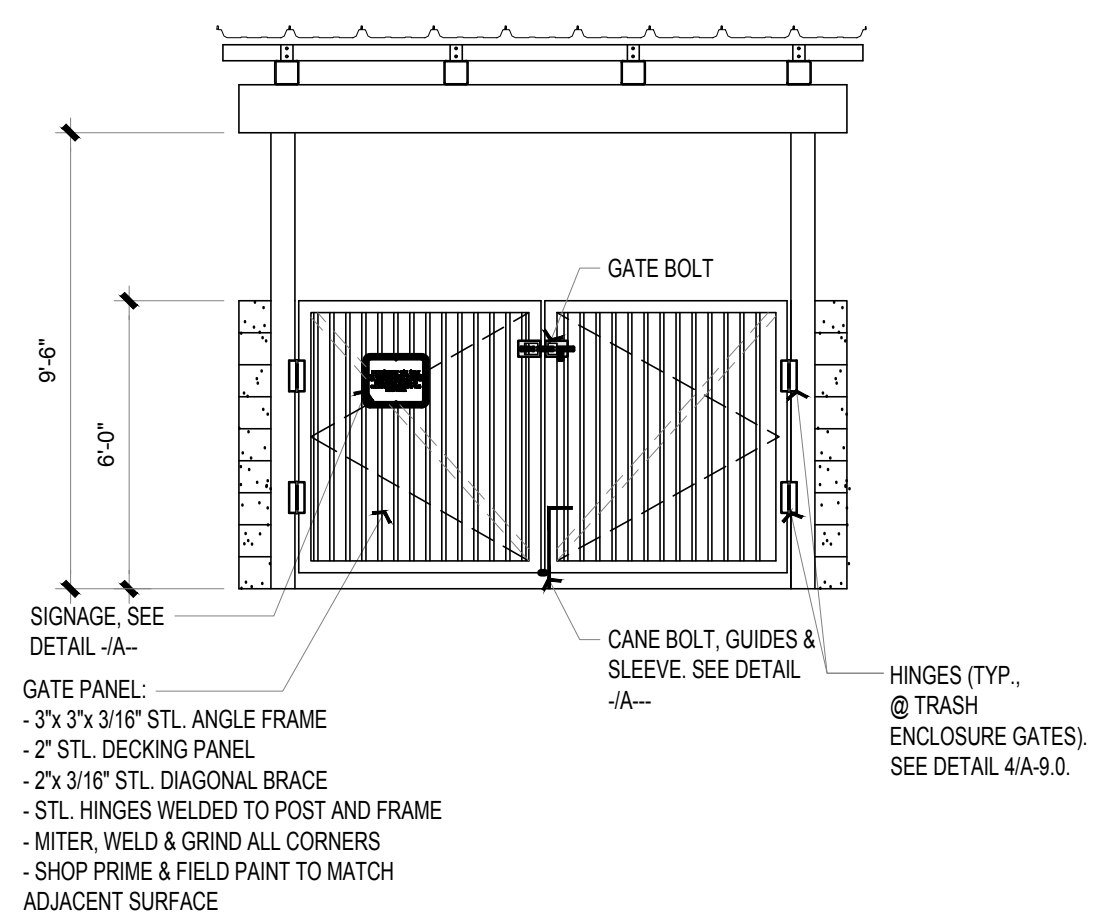




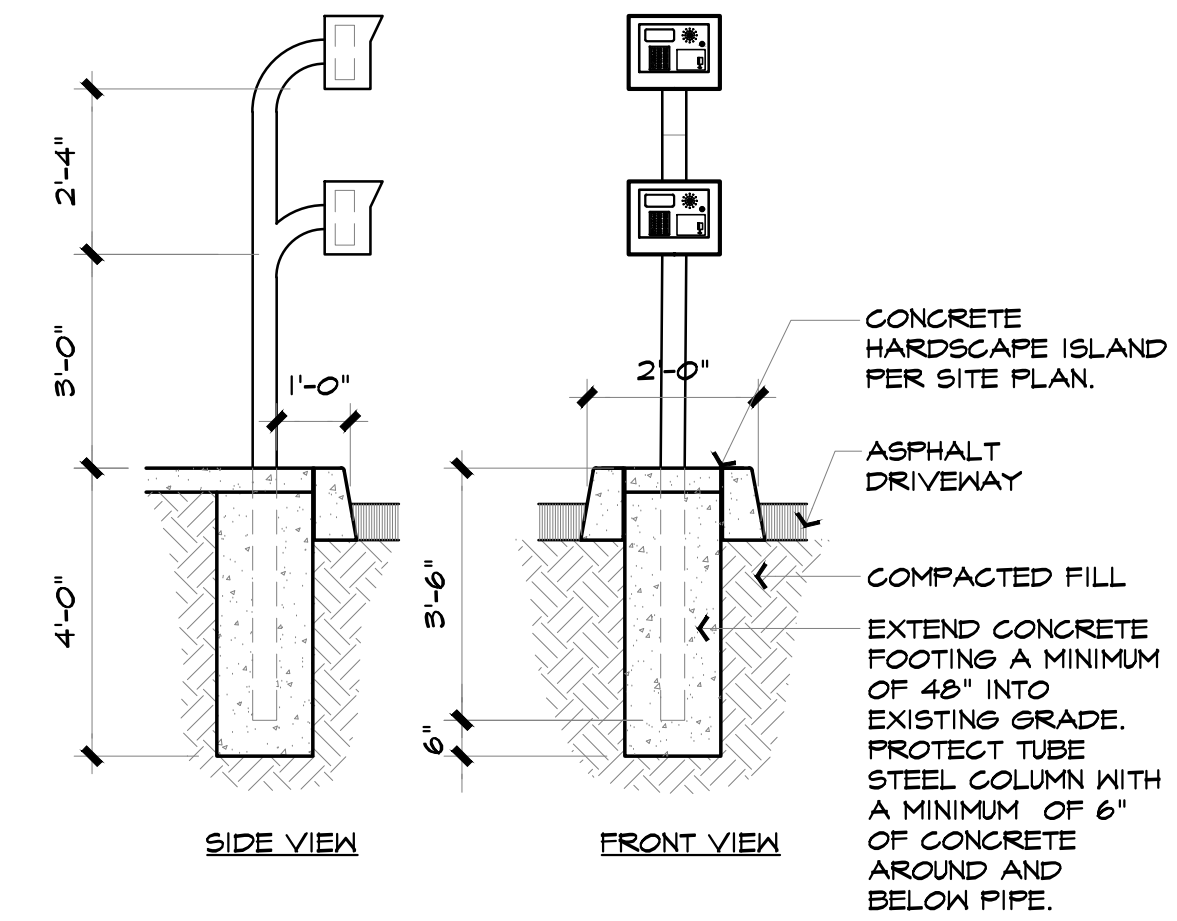
**TRASH ENCLOSURE - PLAN** ⑦  
1/4" = 1'-0"



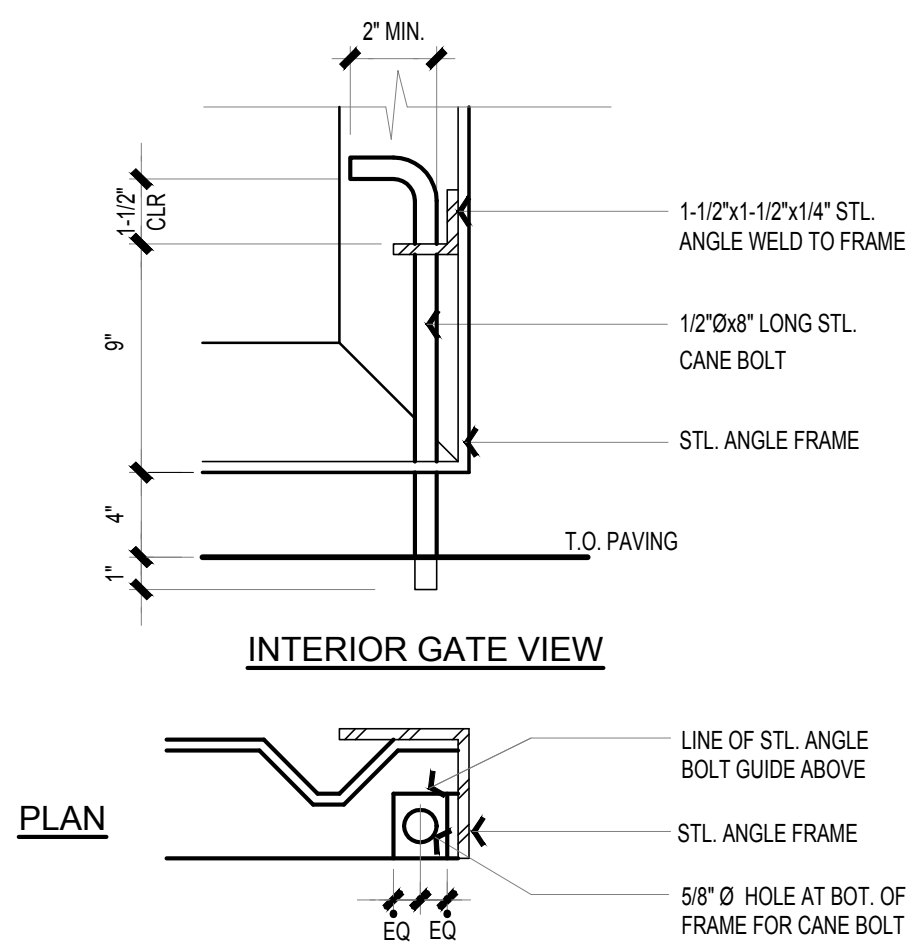
**TRASH ENCLOSURE** ⑥  
1/4" = 1'-0"



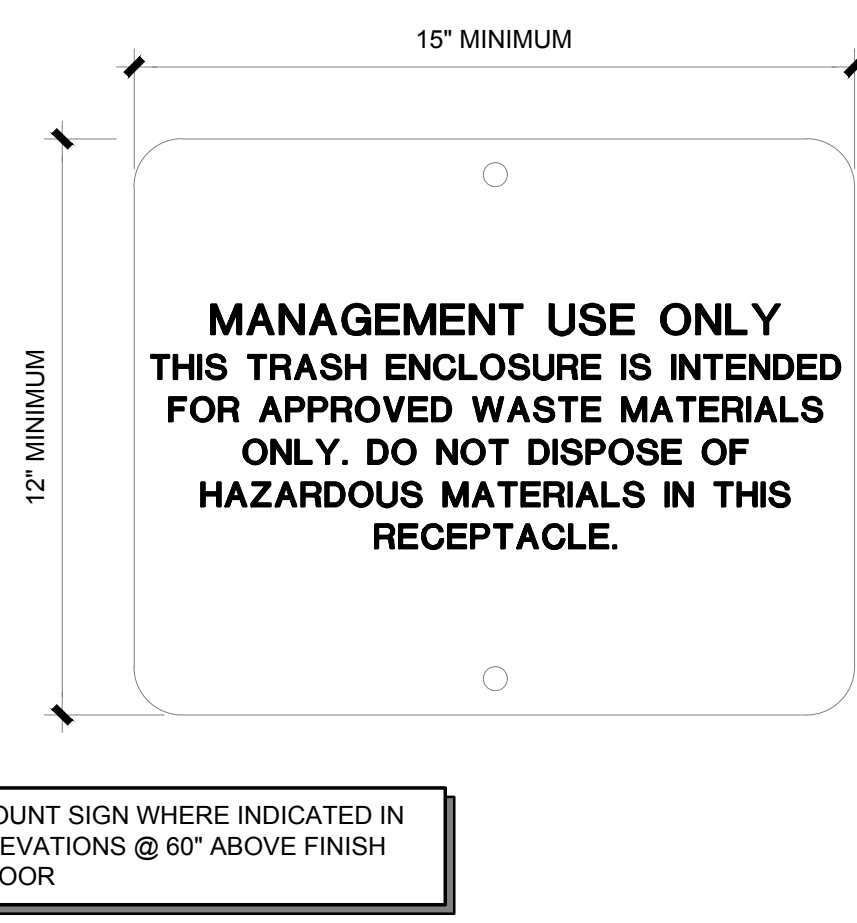
**TRASH ENCLOSURE** ⑤  
1/4" = 1'-0"



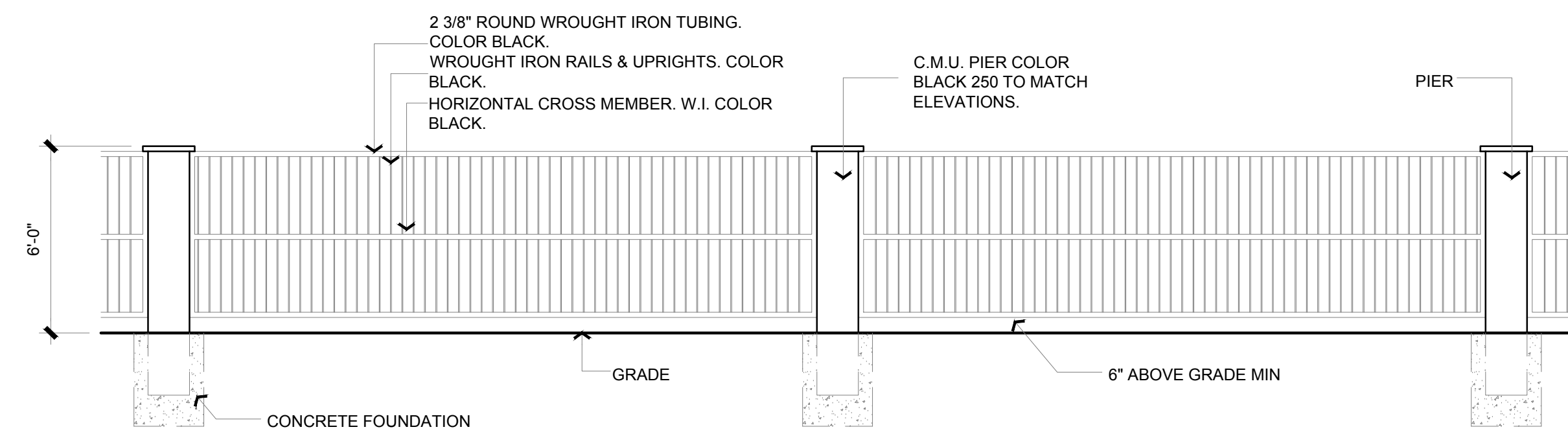
**KEY PAD SECTION** ④  
3/8" = 1'-0"



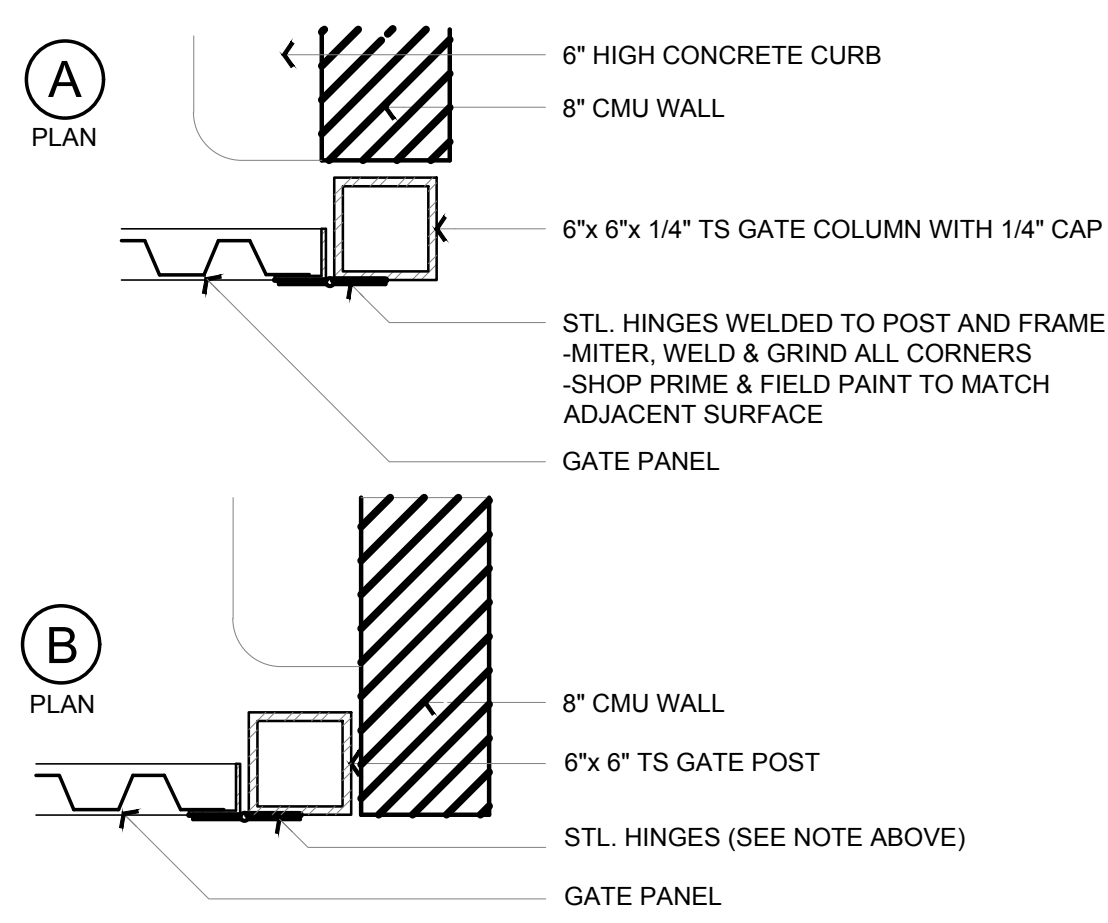
**GATE CANE VOLT** ⑨  
3/8" = 1'-0"



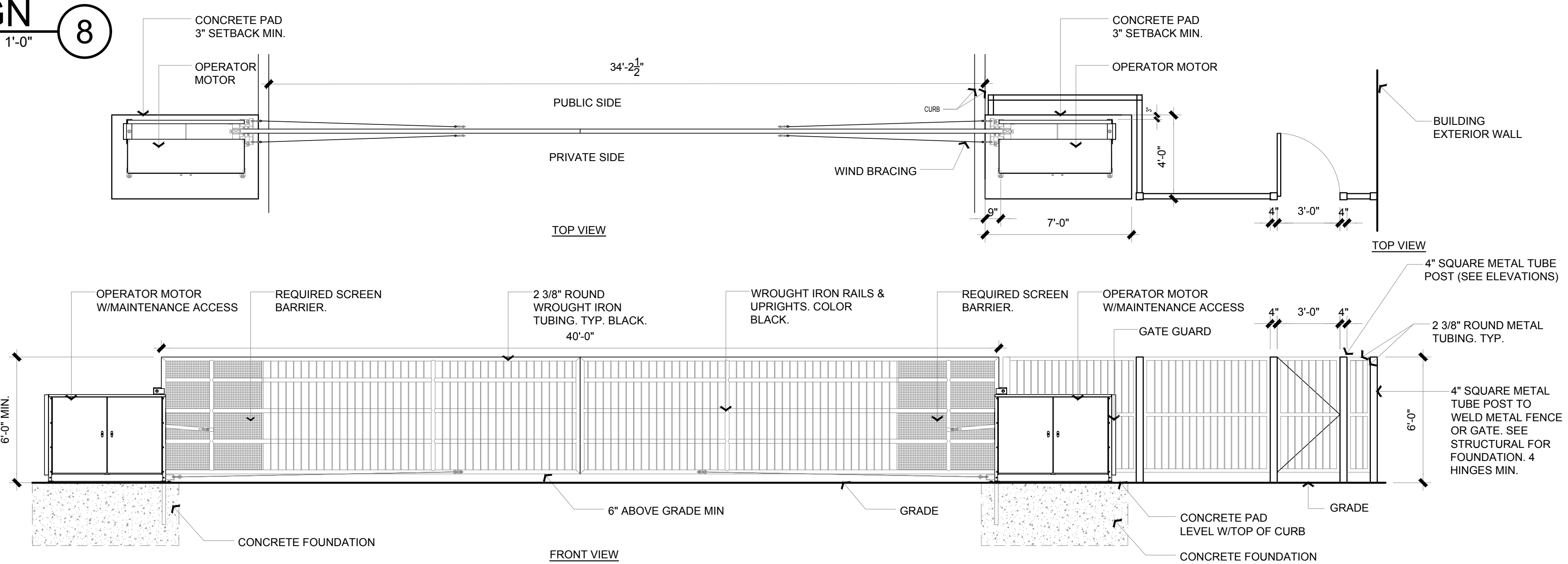
**TRASH SIGN** ⑧  
3" = 1'-0"



**TYPICAL PERIMETER FENCE** ③  
1/4" = 1'-0"



**GATE POST & HINDGE** ⑩  
3/8" = 1'-0"



**LIFT GATE** ①  
1/4" = 1'-0"

**PEDESTRIAN GATE** ②  
1/4" = 1'-0"

# BAY AREA SELF STORAGE

## CUPERTINO, CA

# DETAILS

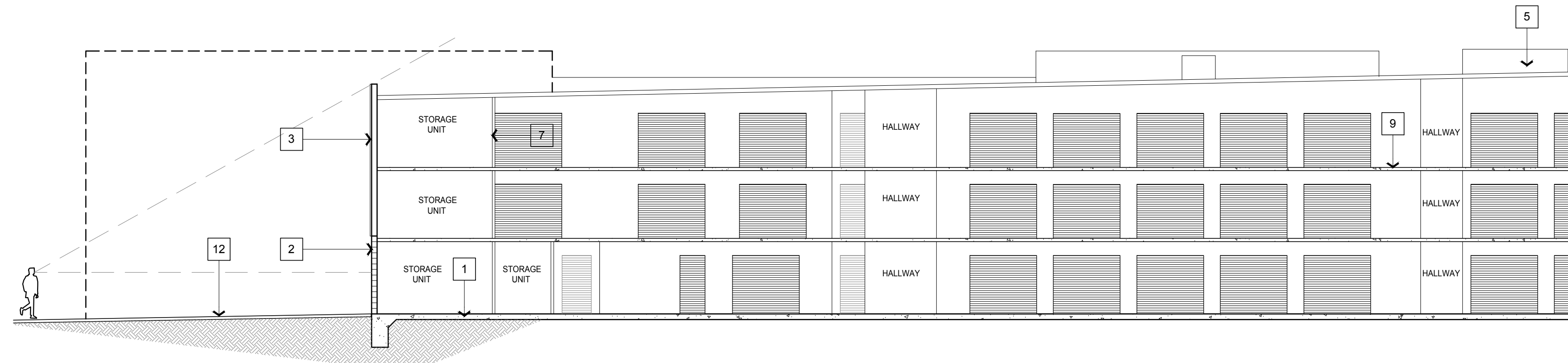
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SCALE: AS NOTED  
DATE: 01/25/2021

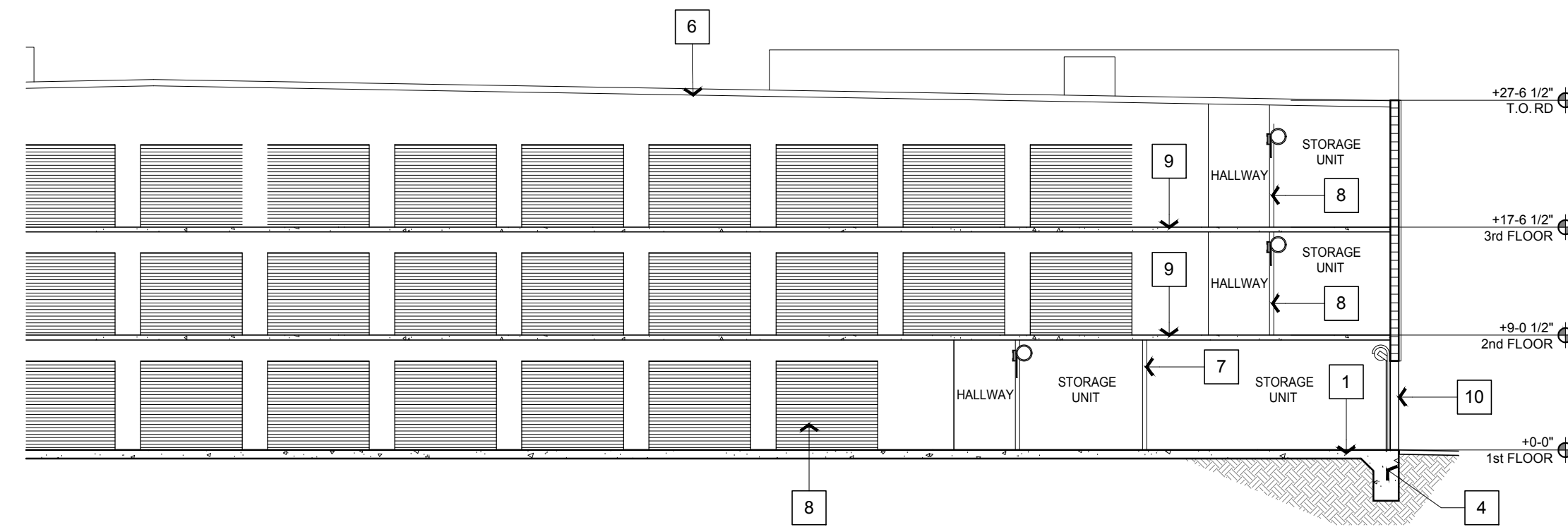
**A.16**







**BUILDING A - PARTIAL SECTION LOOKING NORTH** ①  
3/32"=1'-0"

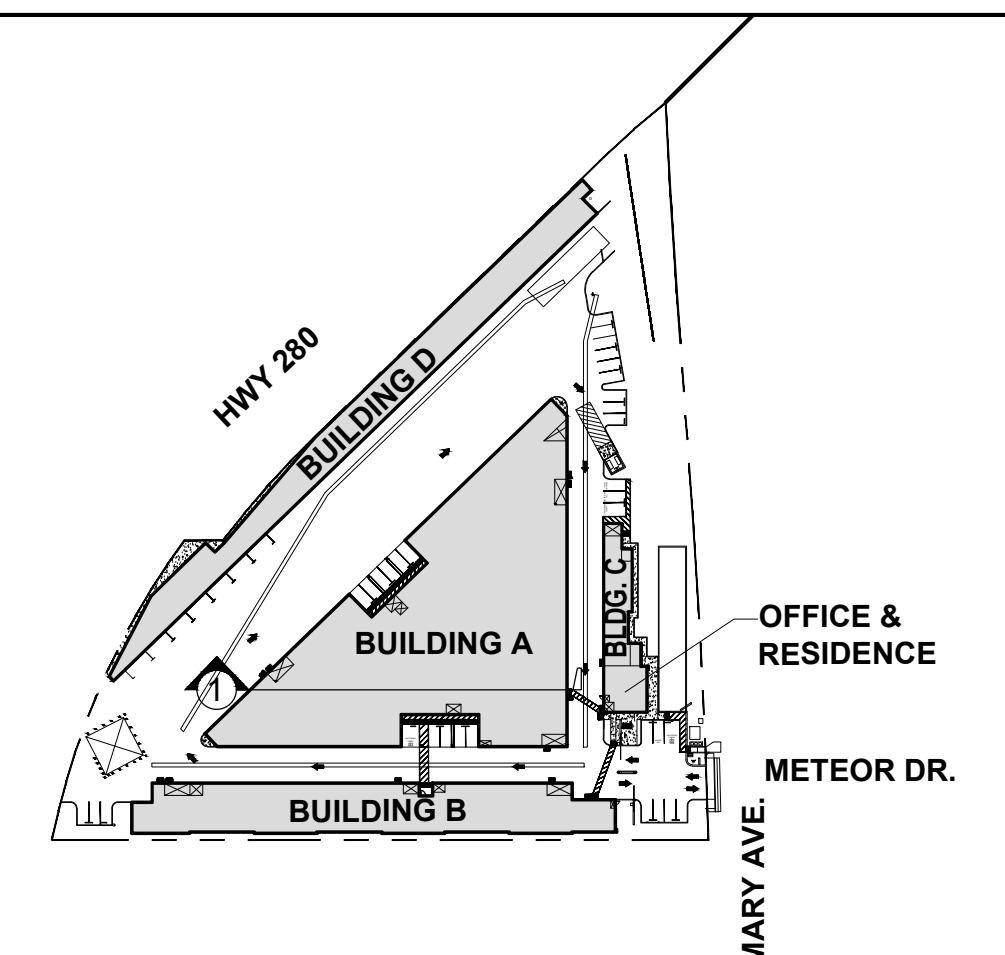


**BUILDING A - PARTIAL SECTION LOOKING NORTH** ②  
3/32"=1'-0"

**KEYNOTES**

- 1 CONG SLAB ON GRADE.
- 2 8" CMU EXTERIOR WALL.
- 3 STEEL-FRAMED EXTERIOR WALL WITH STUCCO FINISH. SEE ELEVATIONS.
- 4 CONG. FOOTING
- 5 ELEVATOR PENTHOUSE BEYOND
- 6 ROOFING SYSTEM
- 7 METAL FRAMED INTERIOR WALLS
- 8 ROLL-UP DOOR
- 9 CONG. OVER METAL DECK
- 10 CMU PIER BEYOND
- 11 NOT USED
- 12 PAVEMENT, SEE CIVIL.
- 13 PARAPET BEYOND. SEE ELEVATIONS.
- 14 FAN UNIT. SEE ELEVATIONS.

**KEY PLAN**



**BAY AREA SELF STORAGE**  
CUPERTINO, CA

**BUILDING SECTION**

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JOB NUMBER: 17-606  
SCALE: AS NOTED  
DATE: 01/25/2021

**A.17**

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Facsimile 949.388-8290



**SURVEY NOTES**

- THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF NOVEMBER 29, 2016, ORDER NUMBER NCS-826122-SC, FURNISHED TO KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. BY HUNTER PROPERTIES ON DECEMBER 16, 2016. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.
- CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT BACK TO CIVIL ENGINEER ANY DISCREPANCIES WITH PLAN PRIOR TO COMMENCEMENT OF WORK.

**BASIS OF BEARINGS**

BASIS OF BEARINGS FOR THIS SURVEY IS BASED UPON THE BEARING OF NORTH 89°57'35" WEST TAKEN ON THE CENTERLINE OF METEOR DRIVE AS SHOWN ON THAT CERTAIN TRACT MAP NUMBER 4381 FILED FOR RECORD ON APRIL 3, 1968, IN BOOK 235 OF MAPS AT PAGES 36-37, OFFICIAL RECORDS OF SANTA CLARA COUNTY.

**BENCHMARK**

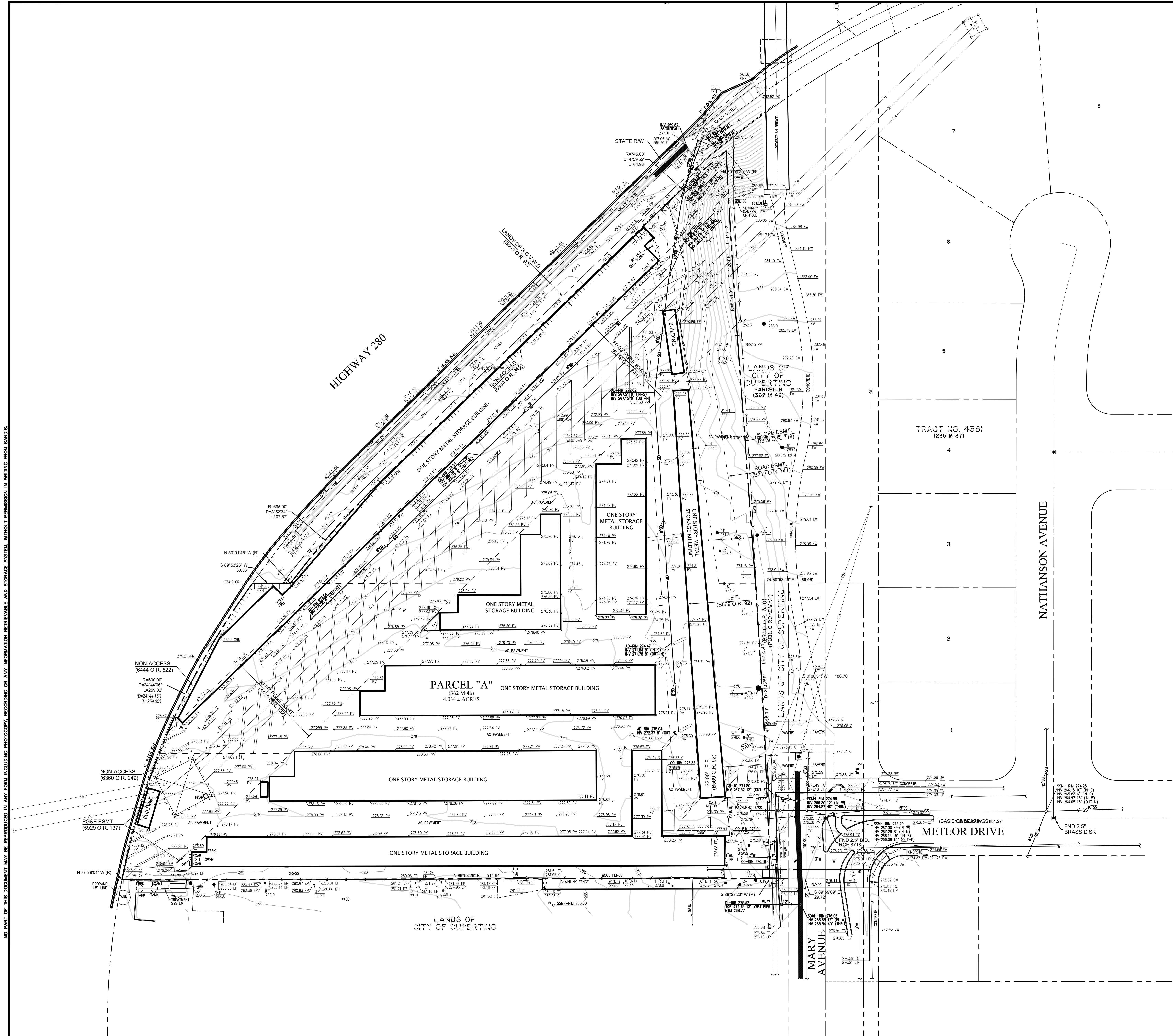
THE VERTICAL DATUM FOR THIS SURVEY IS THE CITY OF CUPERTINO BENCHMARK BM-33, CONCRETE NAIL FOUND IN THE TOP OF CURB AT THE NORTHEAST RETURN ON STERLING ROAD AND GARDEN GATE DRIVE.  
ELEVATION = 262.21 FEET (NGVD 29 DATUM)

**UNDERGROUND UTILITY NOTE**

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

**BOUNDARY NOTE**

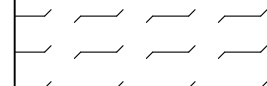


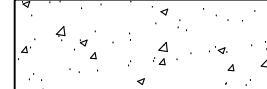



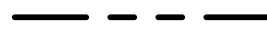
THE PARCEL LINES SHOWN HEREON ARE BASED UPON RECORD INFORMATION AND ARE NOT THE RESULT OF A BOUNDARY SURVEY. THEY ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND DO NOT REPRESENT THE TRUE LOCATION OF ACTUAL PROPERTY BOUNDARIES.

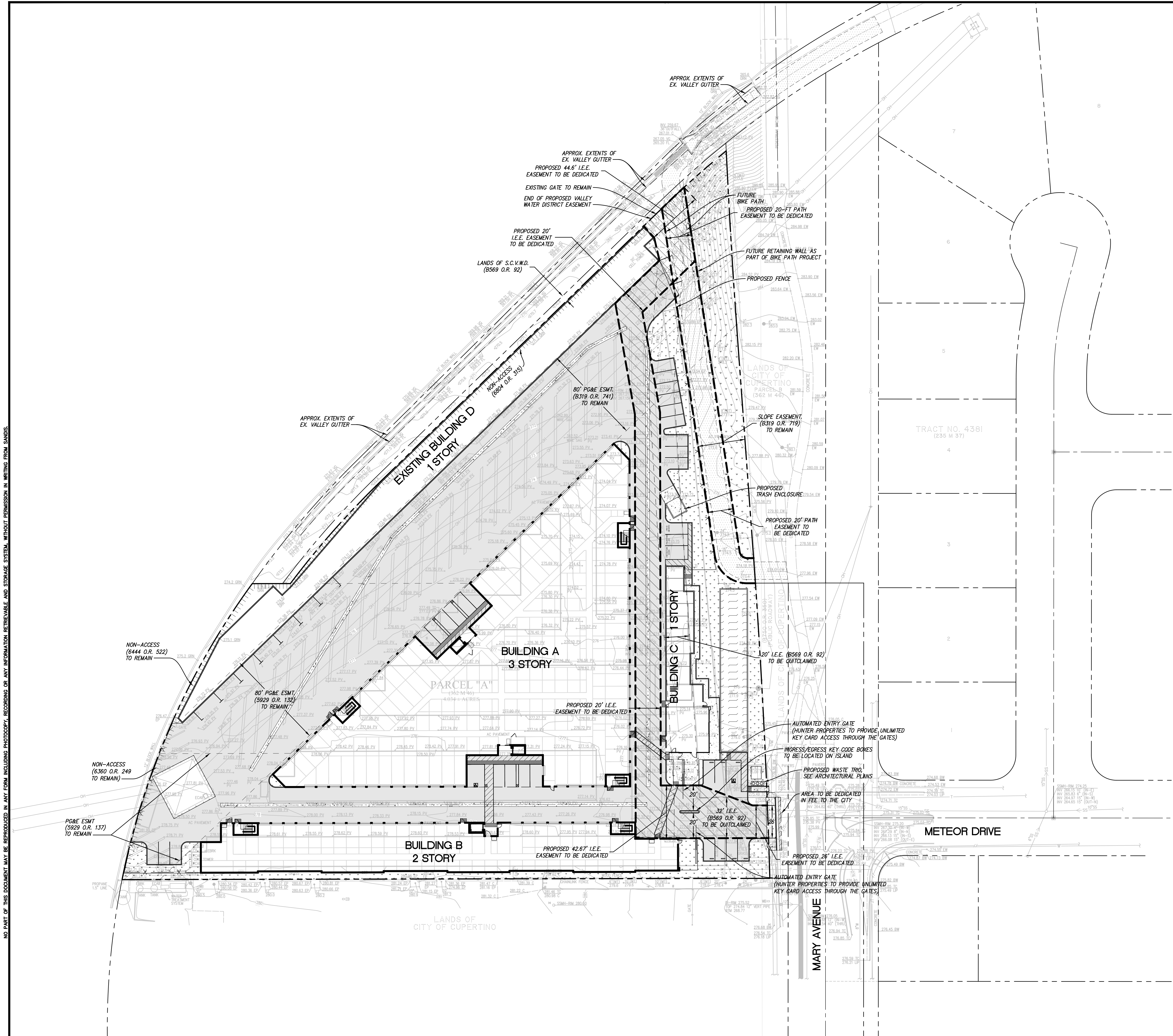


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LEGEND

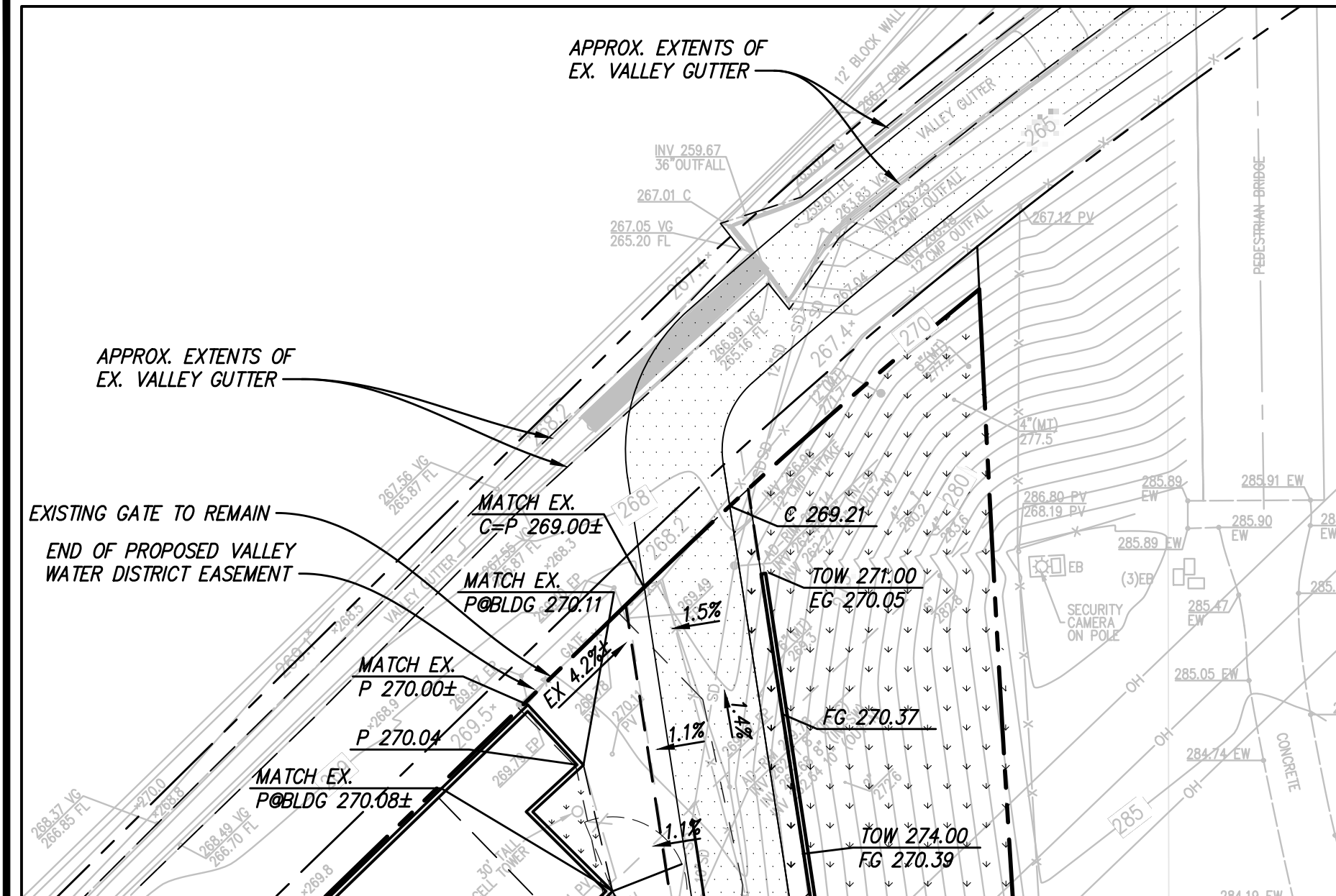
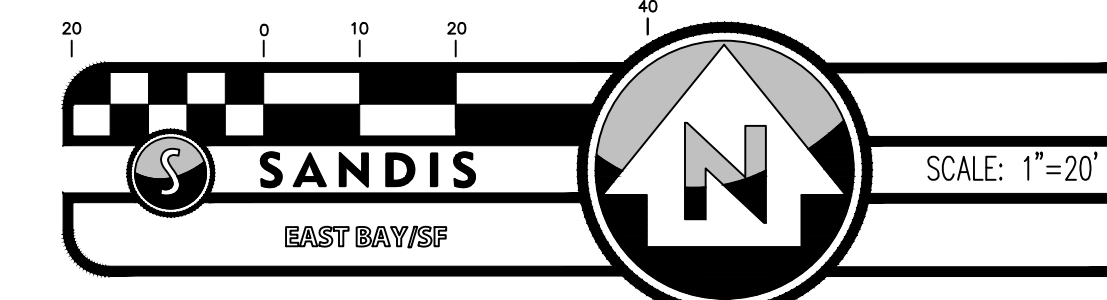
-  BIO-RETENTION AREA
-  AC PAVEMENT
-  LANDSCAPE AREA
-  CONCRETE SIDEWALK
-  FUTURE PATHWAY AND EASEMENT (NOT INCLUDED IN THIS PROJECT)
-  PROPOSED VALLEY WATER DISTRICT EASEMENT EXTENTS
-  EASEMENT TO BE DEDICATED
-  PROPERTY LINE



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SEE INSET FOR CONTINUATION

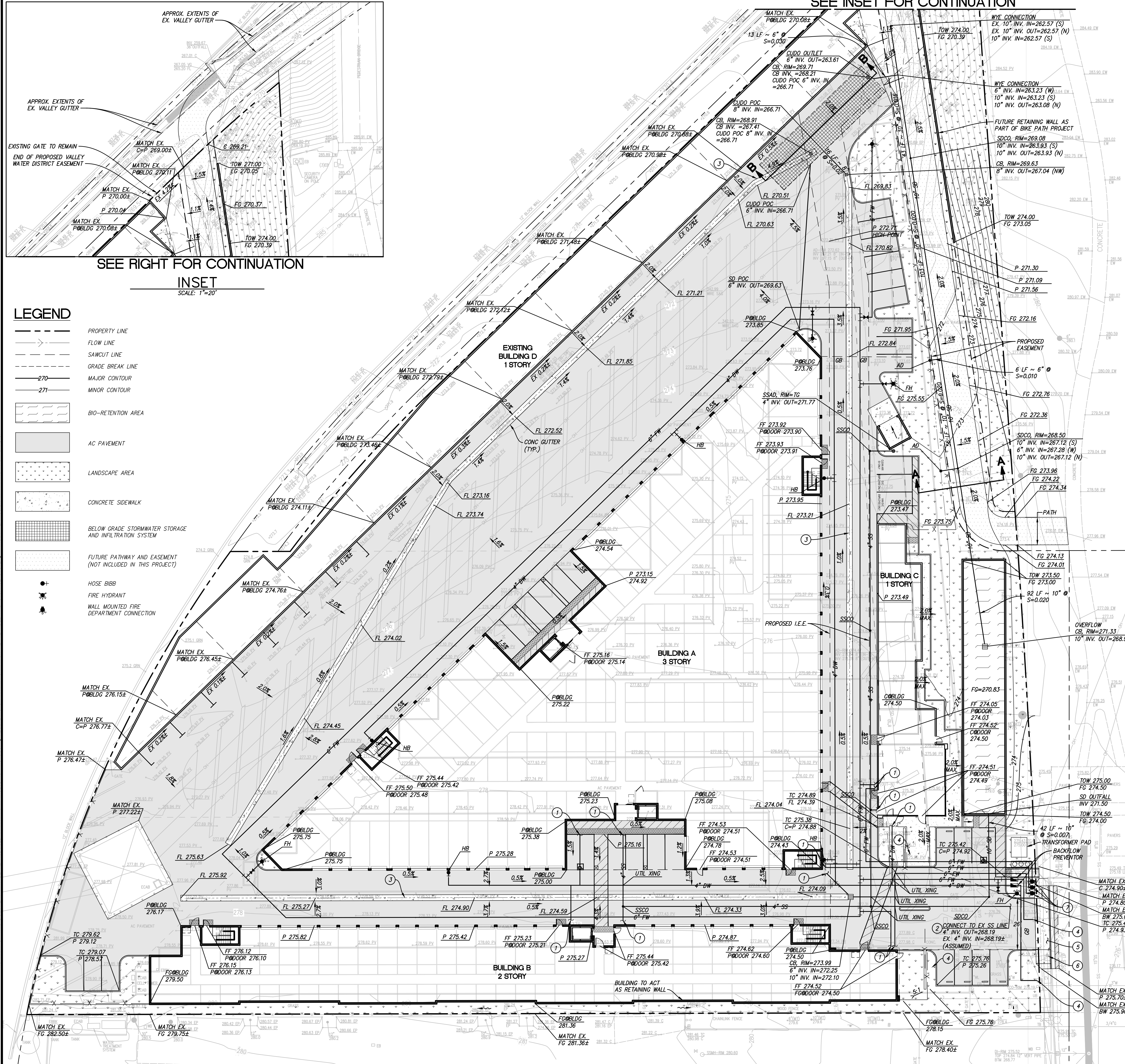


SEE RIGHT FOR CONTINUATION

INSET SCALE: 1"=20'

- LEGEND**
- PROPERTY LINE
  - FLOW LINE
  - SAWCUT LINE
  - GRADE BREAK LINE
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - BIO-RETENTION AREA
  - AC PAVEMENT
  - LANDSCAPE AREA
  - CONCRETE SIDEWALK
  - BELOW GRADE STORMWATER STORAGE AND INFILTRATION SYSTEM
  - FUTURE PATHWAY AND EASEMENT (NOT INCLUDED IN THIS PROJECT)
  - HOSE BIBB
  - FIRE HYDRANT
  - WALL MOUNTED FIRE DEPARTMENT CONNECTION

NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM INCLUDING PHOTOCOPY, RECORDING OR ANY INFORMATION RETRIEVABLE AND STORAGE SYSTEM, WITHOUT PERMISSION IN WRITING FROM SANDIS.



**SHEET NOTES**

- BUILDING POINT OF CONNECTION (P.O.C.)
- CONNECT TO EXISTING SANITARY SEWER POINT OF CONNECTION (P.O.C.)
- CONCRETE VALLEY GUTTER.
- SLIDING GATE.
- DRIVEWAY PER CITY OF CUPERTINO DETAIL 1-21.
- EXISTING POWER POLE TO REMAIN. GUY WIRE TO BE RELOCATED.
- LABEL FDC WITH SIGN INDICATING CONNECTED BUILDING WITH 3" HIGH LETTERS MIN.

**UTILITY NOTES:**

- CATCH BASINS, AREA DRAINS, AND THE BIORETENTION OVERFLOW BASIN SHALL INCLUDE ADS FLEXSTORM TRASH CAPTURE INSERTS OR APPROVED EQUIVALENT.
- ALL EXTERIOR STORM DRAIN INLETS ON THE PARCEL SHALL BE MARKED WITH "NO DUMPING FLOWS TO CREEK".
- EXISTING STORM DRAIN LINES NOT USED IN FINAL SYSTEM DESIGN SHALL BE ABANDONED IN-PLACE.

**GEOTECHNICAL NOTES:**

THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL INVESTIGATION PREPARED BY ADVANCED SOIL TECHNOLOGY, INC. DATED JULY 7, 2017, FILE NUMBER 16346-S.

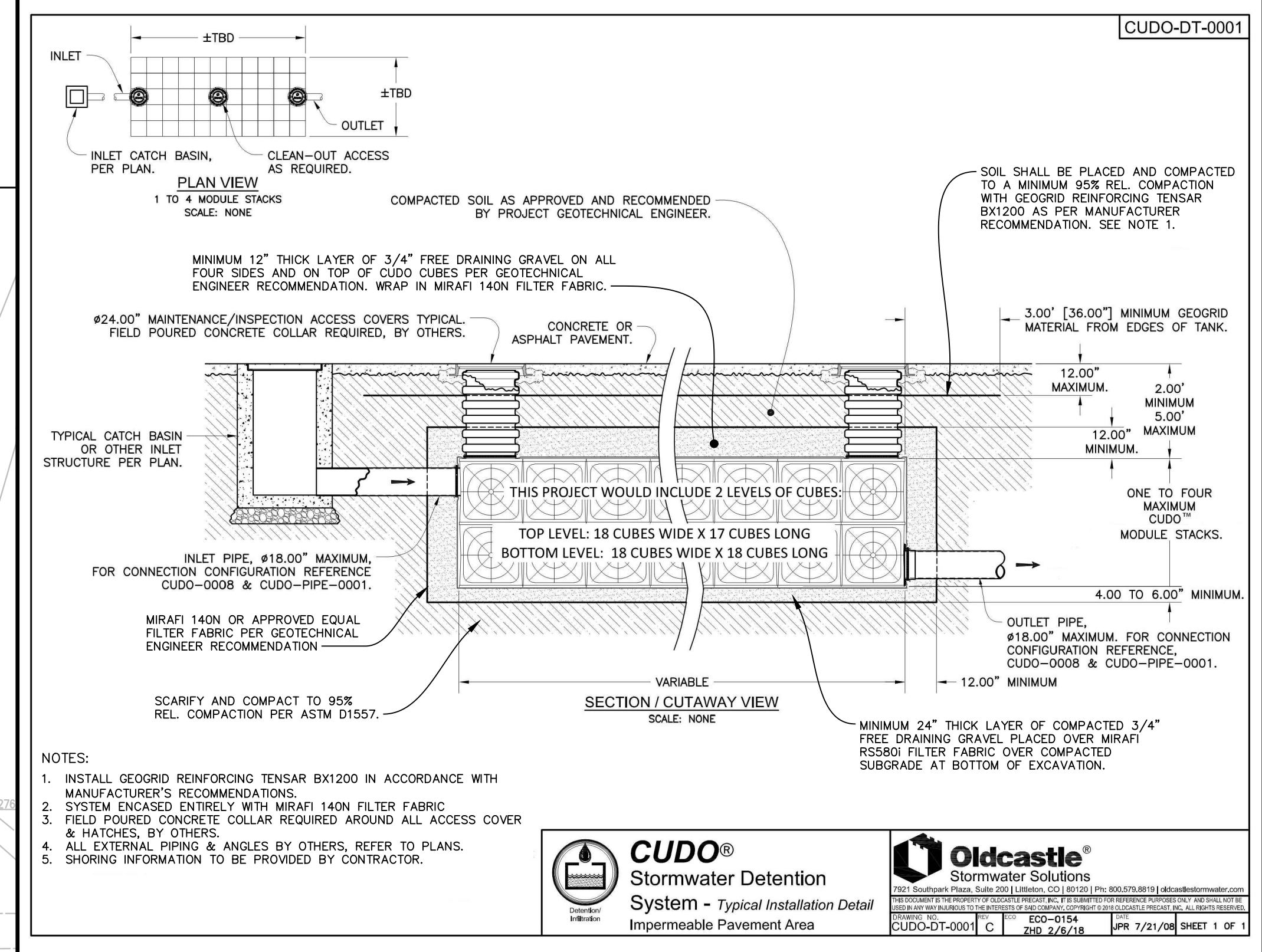
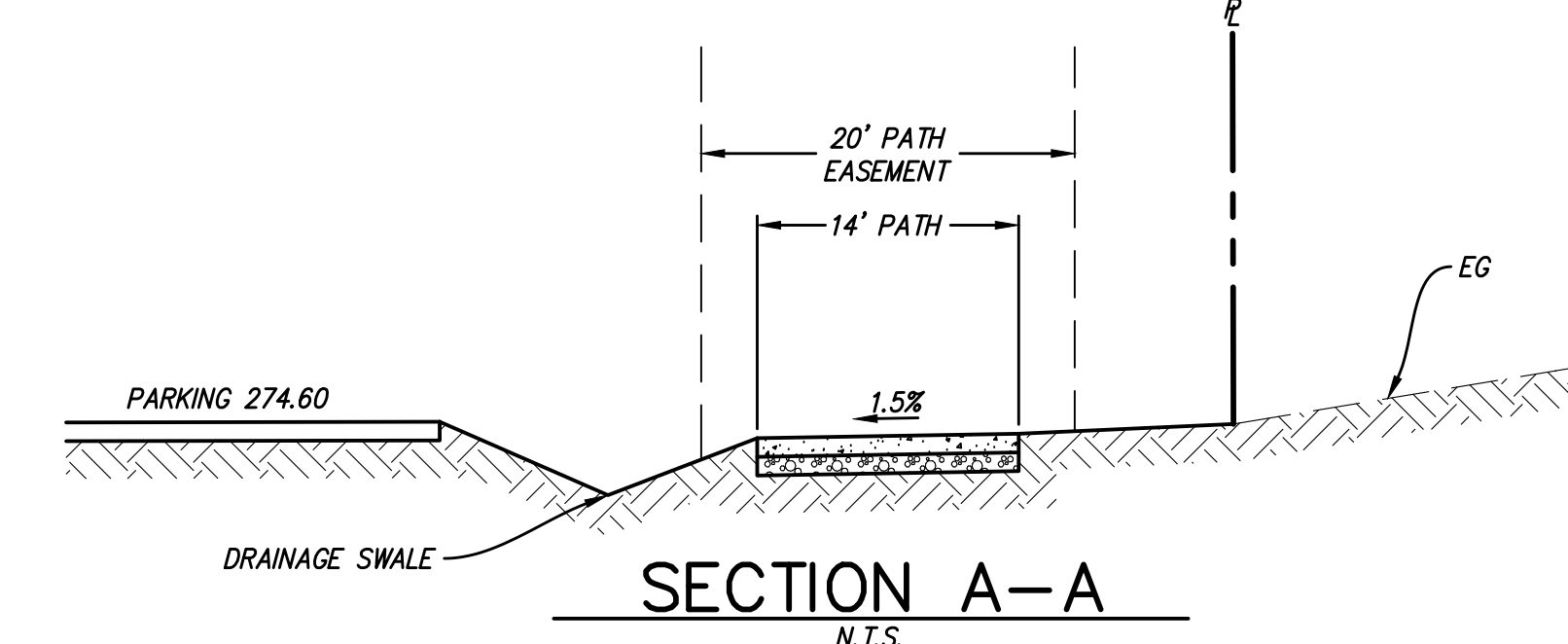
A PERCOLATION TEST WAS PERFORMED BY ADVANCED SOIL TECHNOLOGY, INC. DATED JANUARY 14, 2020, FILE NUMBER 16346-PERC.

**EARTHWORK QUANTITIES**

CUT 7,800 CY

FILL 0 CY

THE EARTHWORK QUANTITIES SHOWN ARE PROVIDED FOR REFERENCE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CARRY OUT THE CUT/FILL, IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES AS SHOWN ON THE PLANS REGARDLESS OF THE ESTIMATED EARTHWORK QUANTITIES AS INDICATED. SIGNIFICANT REVISIONS TO THE QUANTITIES NEED REVIEW BY THE COUNTY. FILL SHORTAGE IS ANTICIPATED TO COME FROM ON-SITE SPOILS ACQUIRED FROM UTILITY TRENCHES AND FOOTING SPOILS.

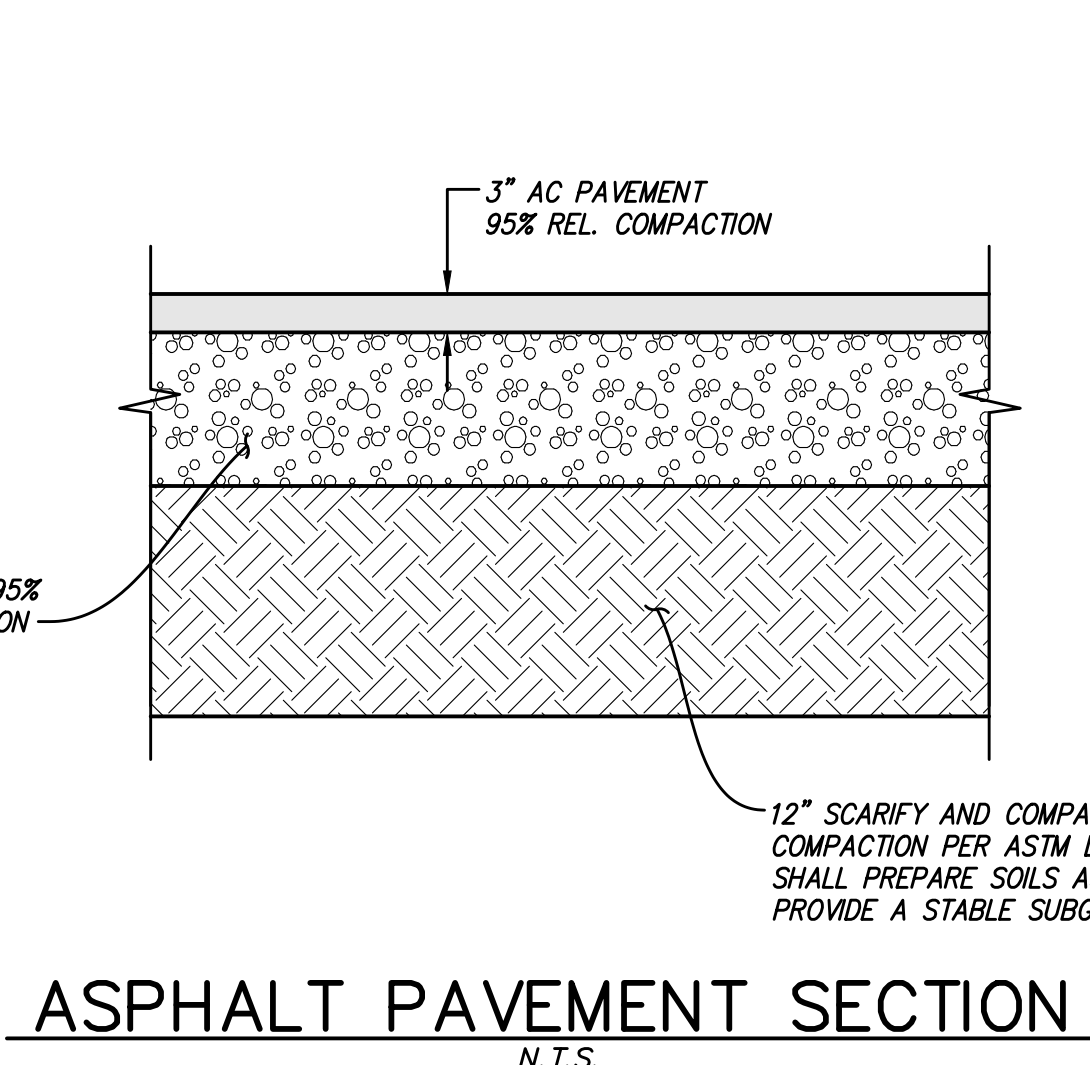


- NOTES:
- INSTALL GEGRID REINFORCING TENSAR BXT200 IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
  - SYSTEM ENCASED ENTIRELY WITH MIRAFI 140N FILTER FABRIC & MATCHES, BY OTHERS.
  - ALL EXTERNAL PIPING & ANGLES BY OTHERS, REFER TO PLANS.
  - SHORING INFORMATION TO BE PROVIDED BY CONTRACTOR.

**CUDO®**  
Stormwater Detention  
System - Typical Installation Detail  
Impermeable Pavement Area

**Oldcastle®**  
Stormwater Solutions  
CUDO-DT-0001 C 200 24x18 1/2 1/2/18 SHEET 1 OF 1

**SECTION B-B**



ASPHALT PAVEMENT SECTION 1

**SANDIS** CIVIL ENGINEERS SURVEYORS PLANNERS  
636 Ninth Street | Oakland, CA 94607 | P. 510.873.8866 | www.sandis.net  
SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE: 11/10/2020	DATE: _____, 2020	No. _____	REVISION _____	DATE _____	BY _____
SCALE: 1"=20'					
DRAWN BY: JW					
APPROVED BY: RS					
DRAWING NO: 617010	RONALD EDMUND SANZO III R.C.E. NO. 79305, EXPIRES 3-31-22				

10655 MARY AVE

CUPERTINO



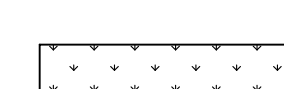
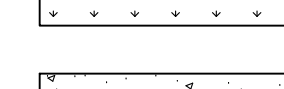
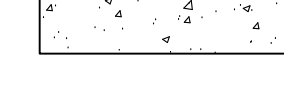
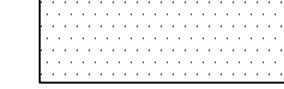


CALIFORNIA

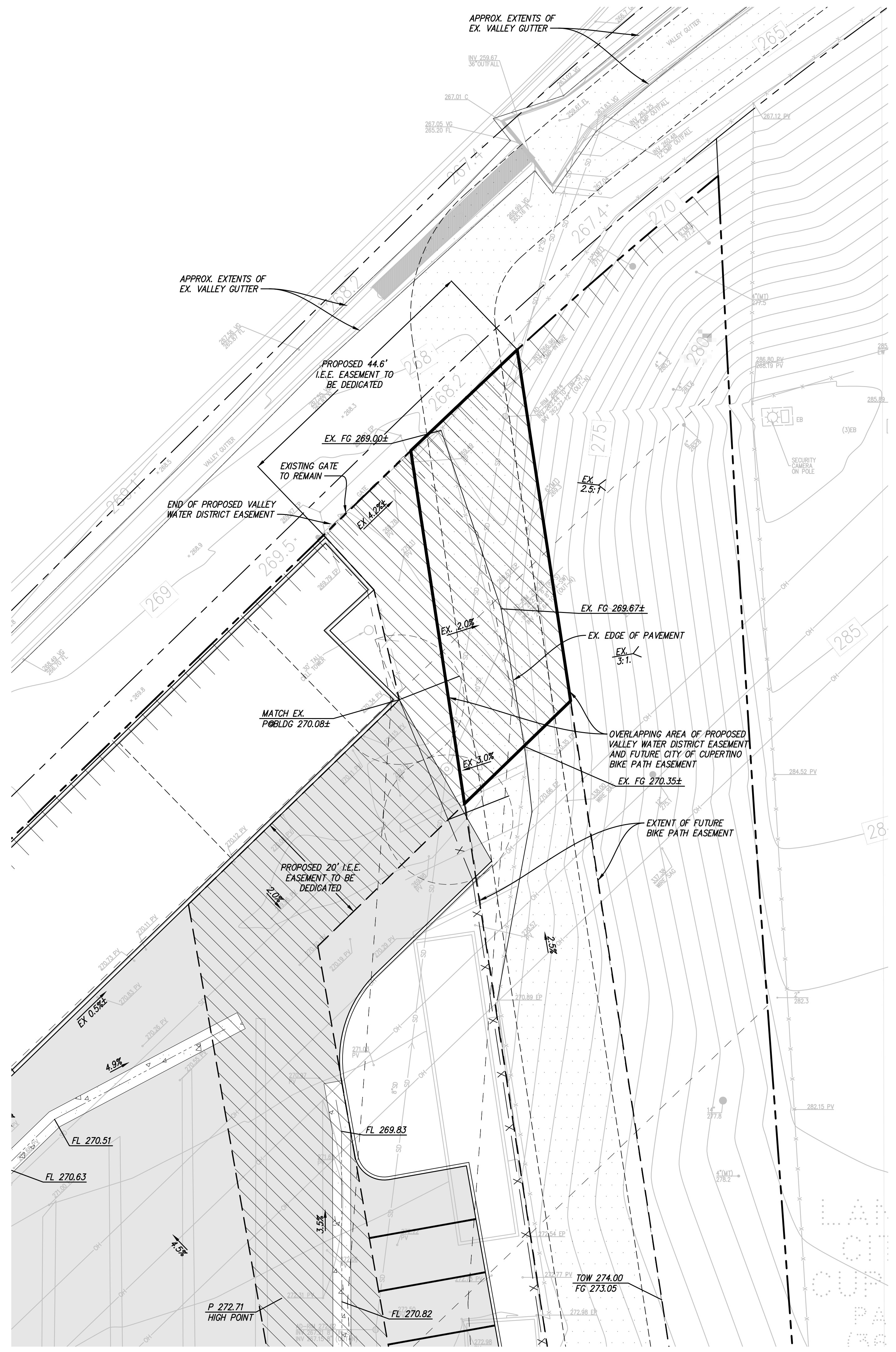
PRELIMINARY GRADING AND UTILITY PLAN

SHEET  
**C2.0**  
OF 5 SHEETS

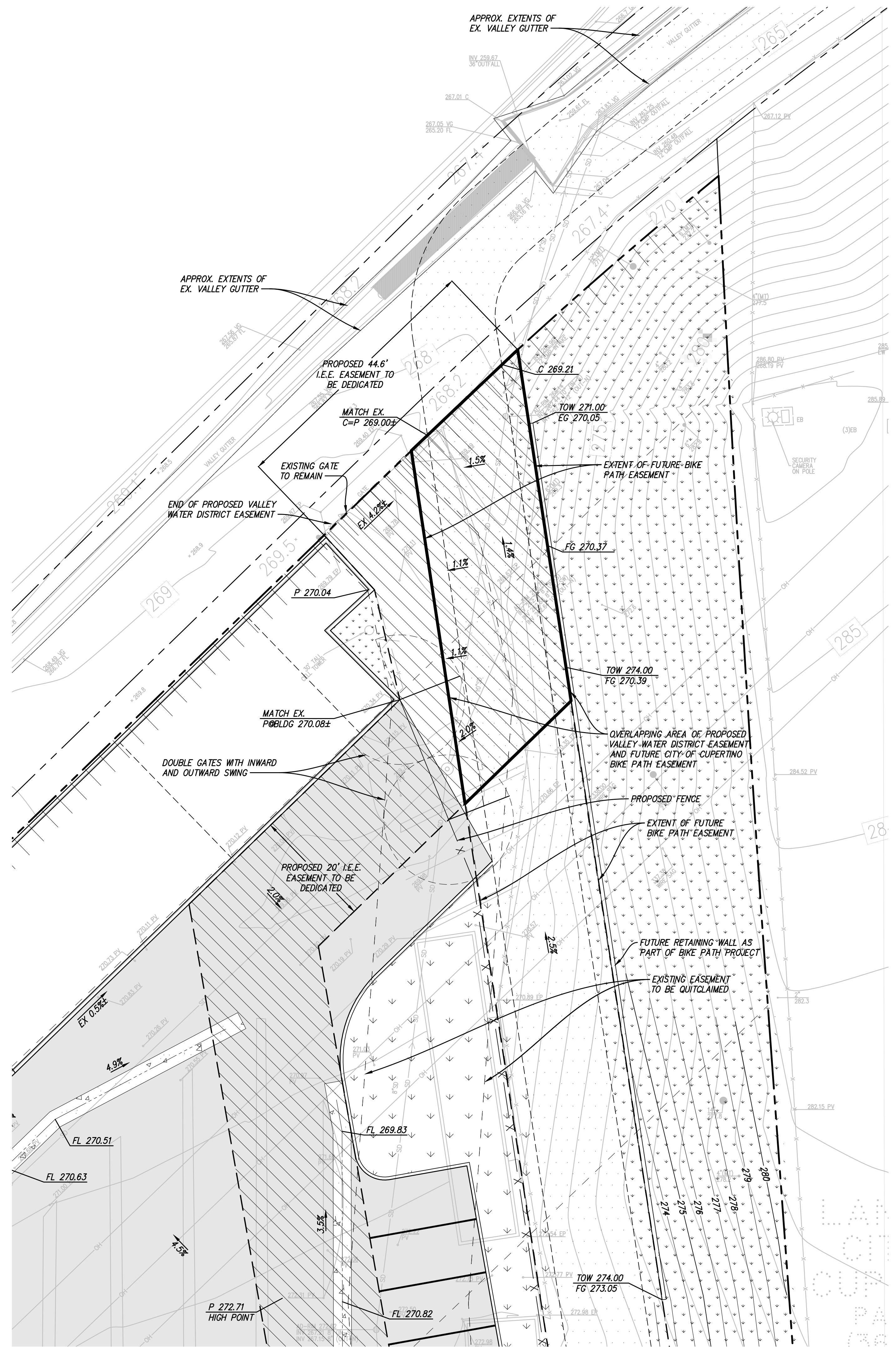


LEGEND

-  BIO-RETENTION AREA
-  AC PAVEMENT
-  LANDSCAPE AREA
-  CONCRETE SIDEWALK
-  FUTURE PATHWAY AND EASEMENT (NOT INCLUDED IN THIS PROJECT)
-  PROPOSED VALLEY WATER DISTRICT EASEMENT EXTENTS
-  EASEMENT TO BE DEDICATED
-  PROPERTY LINE



PROPOSED GRADING FOR INTERIM CONDITION



PROPOSED GRADING FOR FUTURE PATHWAY

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No.	REVISION	DATE	BY

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**GENERAL NOTES:**

- CURBS ADJACENT TO BIORETENTION WILL BE PERFORATED AT LOCATIONS SHOWN.
- FLOOD ZONE DESIGNATION FOR PROJECT: LOCATED IN ZONE D PER FEMA FLOOD INSURANCE RATE MAP, PANEL 2084.
- PER THE NRCS WEB SOIL SURVEY, THE SITE SOILS CONSIST OF "URBAN LAND-FLASKAN COMPLEX". SEE GEOTECHNICAL REPORT FOR DETAILED SOIL INFORMATION.
- THE PROPOSED PROJECT WILL INCLUDE MORE THAN 10,000 SQUARE FEET OF IMPERVIOUS SURFACE AND HAS THEREBY BEEN PLANNED TO COMPLY WITH PROVISION C.3 - NEW DEVELOPMENT AND REDEVELOPMENT OF THE MUNICIPAL REGIONAL STORMWATER PERMIT (ORDER NO. R2-2015-0049).
- GENERAL STORMWATER QUALITY APPROACH - THE PROJECT WILL INCLUDE A BIORETENTION AREA AND A STORMWATER STORAGE AND INFILTRATION (CUDO) SYSTEM. ALL PROPOSED/REPLACED ONSITE IMPERVIOUS SURFACES WILL DRAIN TO THESE AREAS.
- BIORETENTION SIZING - THE PRELIMINARY STORMWATER MANAGEMENT PLAN HAS INCLUDED BIORETENTION MEASURES SIZED PER THE UNIFORM INTENSITY METHOD AND THE 4% RULE, WHEREBY 4% OF THE EFFECTIVE IMPERVIOUS AREA HAS BEEN PROVIDED AS A BIORETENTION SURFACE FOR EACH WATERSHED'S RUNOFF. SEE TABLE ABOVE FOR EACH WATERSHED'S SIZE, PROPOSED IMPERVIOUS AREAS, AND PROPOSED TREATMENT AREAS.

**SITE TREATMENT AREA NOTE:**

THIS PROJECT IS REPLACING MORE THAN 50% OF THE EXISTING IMPERVIOUS AREA AND THEREFORE MUST TREAT THE ENTIRE SITE.

**STORMWATER MANAGEMENT NOTES:**

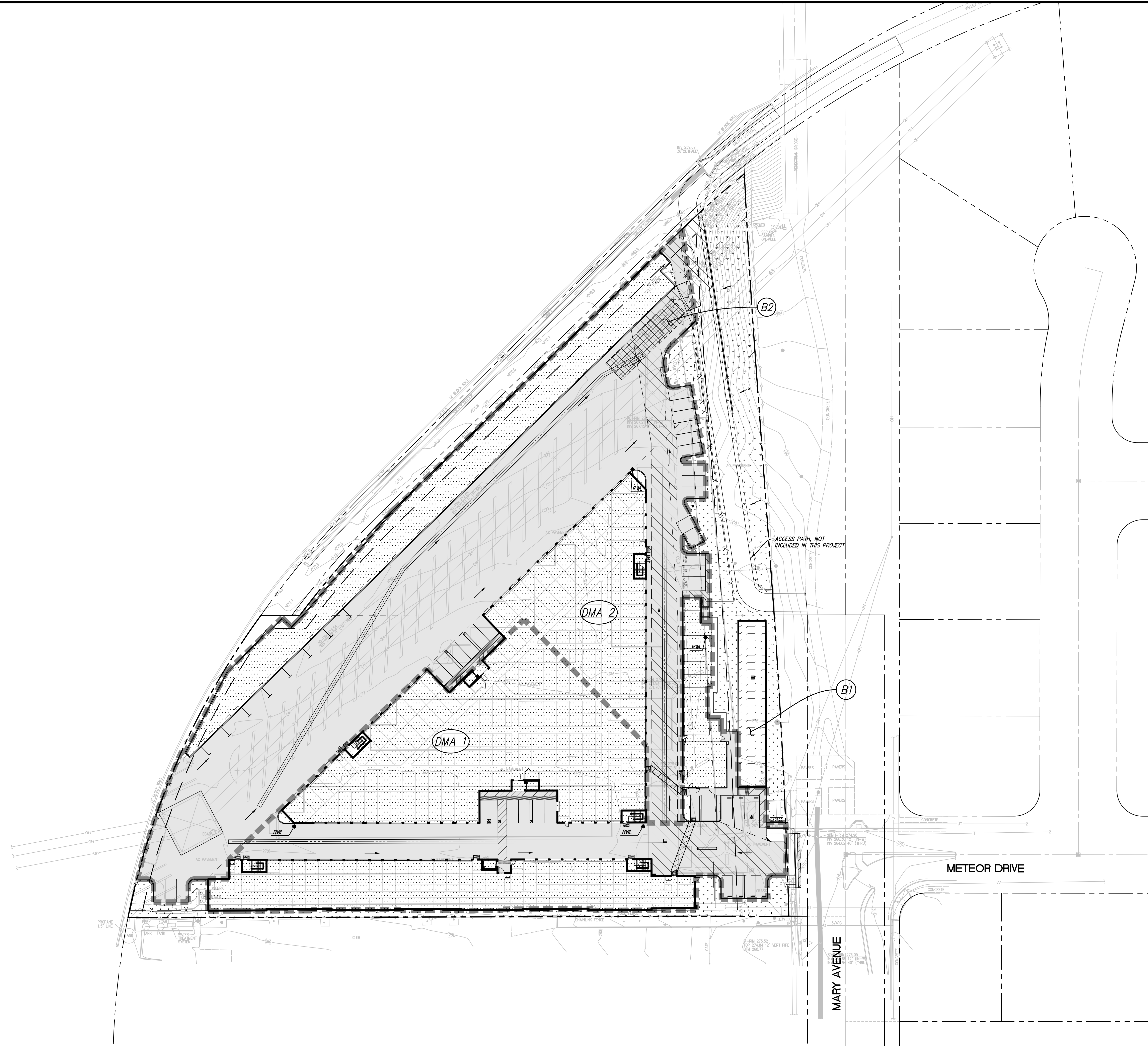
- THIS PLAN PRESENTS METHODS AND CALCULATIONS FOR COMPLYING WITH THE REQUIREMENTS OF PROVISION C.3 OF THE MUNICIPAL REGIONAL STORMWATER PERMIT IN ACCORDANCE WITH THE SANTA CLARA COUNTY PROGRAM AND THE CITY OF CUPERTINO REQUIREMENTS.
- THE FOLLOWING TREATMENT MEASURES ARE PROPOSED TO REGULATE THE QUALITY OF STORM WATER LEAVING THE SITE:
  - SELF-TREATING AREA - RUNOFF IN THIS AREA ORIGINATES IN AND FLOWS THROUGH PLANTING PRIOR TO EXITING THE PROJECT SITE, NO TREATMENT IS REQUIRED.
  - SELF-RETAINING AREA - RUNOFF IN THIS AREA IS DIRECTED TO A DEPRESSED LANDSCAPE AREA THAT ALLOWS WATER TO POND TO 3" PRIOR TO LEAVING THE SITE. NO SPECIAL LANDSCAPING OR SOILS ARE REQUIRED.
  - BIO-RETENTION AREA - RUNOFF IN THIS AREA IS DIRECTED TO A BIO-RETENTION PLANTER/AREA FOR FILTRATION, INFILTRATION, AND ENVIROTRANSPIRATION PRIOR TO EXISTING THE SITE. PLANTING AND SOIL REQUIREMENTS APPLY.
  - INFILTRATION AREA - RUNOFF IN THIS AREA IS DIRECTED TO A BELOW-GROUND CUDO STORMWATER STORAGE SYSTEM, ALLOWING INFILTRATION FROM THE SIDES AND BASE OF THE CUBED SYSTEM.

**C.3 STORMWATER TREATMENT MEASURES**

AREA ID	IMPERVIOUS AREA (SF)	BMP TYPE	BMP ID	REQUIRED BMP SIZE	BMP SIZE PROVIDED	TOTAL DEPTH OF EXCAVATION
DMA 1	61,409	BIORETENTION AREA	B1	2,457 SF	2,575 SF	2.50 FT
DMA 2	86,470	INFILTRATION BASIN	B2	4,930 CF	5,376 CF	8.92 FT

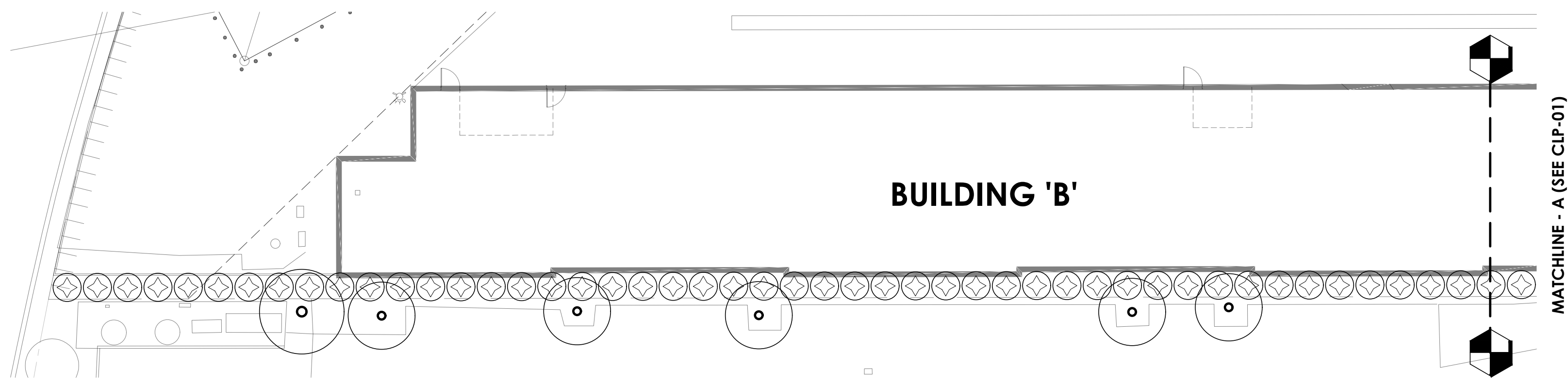
**LEGEND**

- DRAINAGE AREA BOUNDARY
- FLOW LINE
- PERVIOUS AREA
- IMPERVIOUS PAVEMENT AREA
- IMPERVIOUS ROOF AREA
- BIO-RETENTION AREA
- BELOW-GRADE STORMWATER STORAGE AND INFILTRATION SYSTEM
- DRAINAGE AREA ID
- TREATMENT MEASURE ID
- PERVIOUS AREA SURFACE FLOW DIRECTION
- IMPERVIOUS AREA SURFACE FLOW DIRECTION
- ROOF RAINWATER LEADER

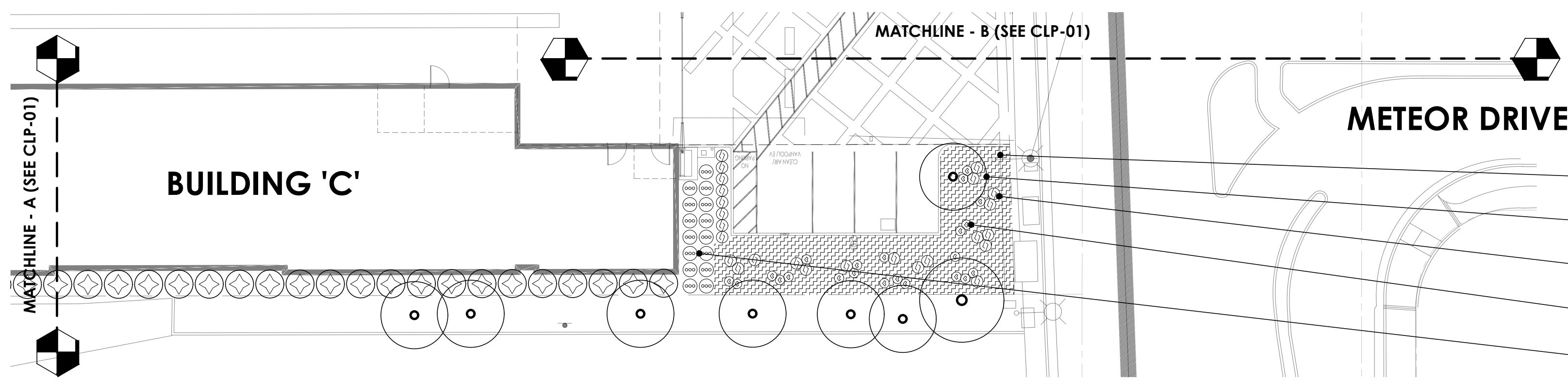


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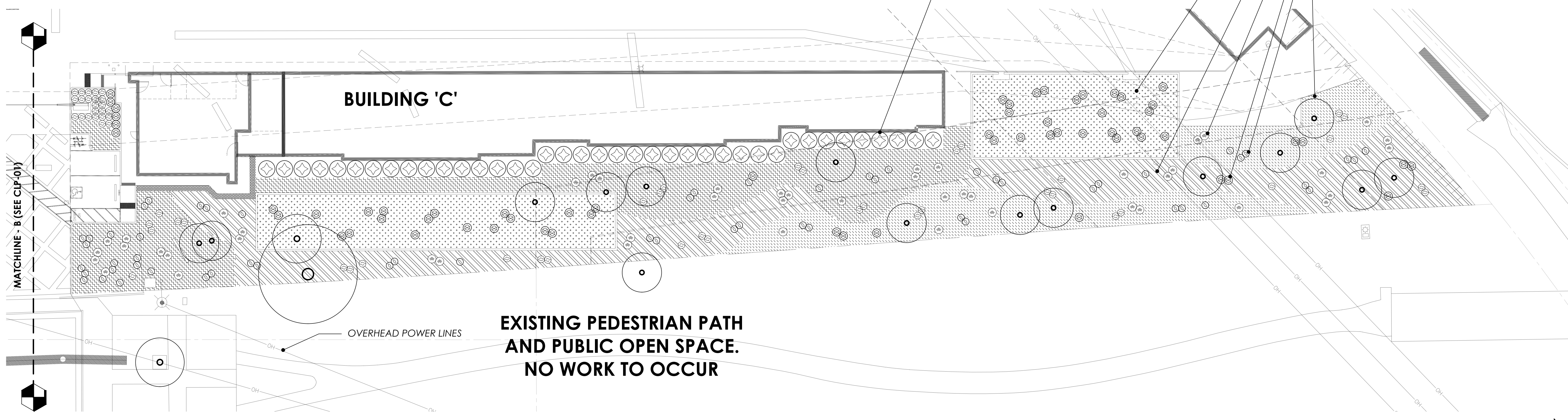




CONCEPTUAL LANDSCAPE PLAN - A



CONCEPTUAL LANDSCAPE PLAN - B



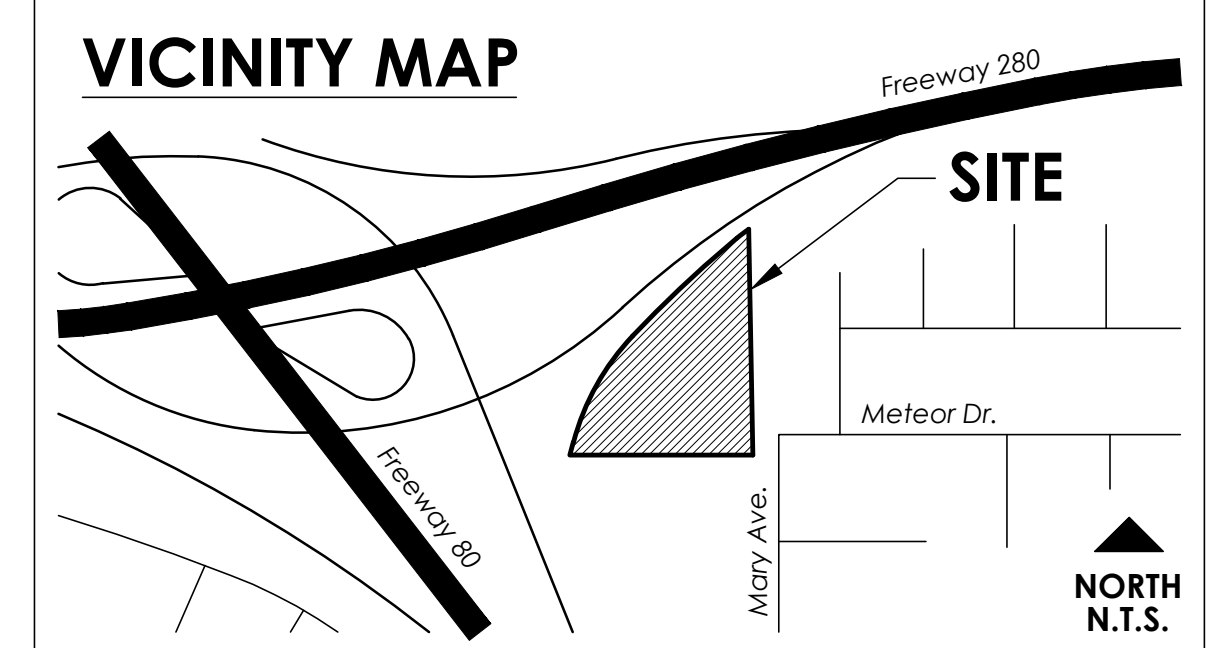
CONCEPTUAL LANDSCAPE PLAN - C

PLANT LEGEND

TREES		SHRUBS	
SYMBOL	NAME	SYMBOL	NAME
(T1)	EXISTING TREE TO REMAIN	(S1)	CAREX DIVULSA BERKELEY SEDGE
<b>GROUNDCOVERS</b>		(S2)	CARISSA MACROCARPA NATAL PLUM
(G1)	ACACIA REDOLENS 'LOWBOY' LOW BOY ACACIA	(S3)	CHONDROPETALUM TECTORUM SMALL CAPE RUSH
(G2)	COBBLES RE-USE EXISTING COBBLES	(S4)	CISTANTHE GRANDIFLORA ROCK PURSLANE
(G3)	COTONEASTER DAMERII 'LOW FAST' BEARBERRY COTONEASTER	(S5)	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED FLAX LILY
(G4)	FESTUCA RUBRA 'MOLATE' MOLATE RED FESCUE	(S6)	LANTANA CAMARA 'GOLD MOUND' GOLD MOUND LANTANA
(G5)	MYOPORUM PARVIFOLIUM 'PUTAH CREEK' CREEPING MYOPORUM	(S7)	WOODWARDIA FIMBRIATA GIANT CHAIN FERN

GENERAL NOTES

- MINIMUM PLANT SIZES: STREET TREES (24" BOX), SITE TREES (15 GAL.), SHRUBS (1 GAL.), GROUNDCOVER (FLATS)
- IRRIGATION SYSTEM TO BE INSTALLED AS A PART OF SITE CONSTRUCTION. SYSTEM SHALL BE UNDERGROUND, AUTOMATIC WITH POP-UP SPRAY HEADS, "SMART" CONTROLLER AND AUTOMATIC RAIN SHUTOFF. LOW PRECIPITATION RATE HEADS TO BE USED TO MINIMIZE RUNOFF.
- POINT OF CONNECTION FOR WATER SUPPLY, SHALL BE BY A NEW LANDSCAPE SUB METER.
- ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF MEDIUM BARK MULCH AFTER INSTALLATION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE CITY OF CUPERTINO OR STATE OF CALIFORNIA MODEL WATER CONSERVATION ORDINANCE.
- ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER THE CITY OF CUPERTINO STANDARDS AND CODES.
- FOR SITE WORK, ARCHITECTURAL, AND GRADING/DRAINAGE INFORMATION SEE PLANS BY OTHERS.
- ALL AREAS BEYOND THE AREA OF WORK THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RETURNED TO ORIGINAL CONDITION.
- DRAWINGS ARE FOR DESIGN AND REVIEW PURPOSES ONLY AND SHALL NOT BE USED AS CONSTRUCTION DOCUMENTS.
- TREES PLANTED IN AN AREA LESS THAN 8' WIDE SHALL BE INSTALLED WITH A ROOT BARRIER TO PROTECT AGAINST HARDSCAPE DAMAGE.
- STREET TREES ARE TO BE SELECTED FROM THE CITY OF CUPERTINO APPROVED TREE LIST.



SHEET TITLE

CONCEPTUAL LANDSCAPE PLAN A,B, & C

OWNER Bass Cupertino, LLC  
10121 Miller Avenue, #200  
Cupertino, California 95014  
T: 408.255.4100

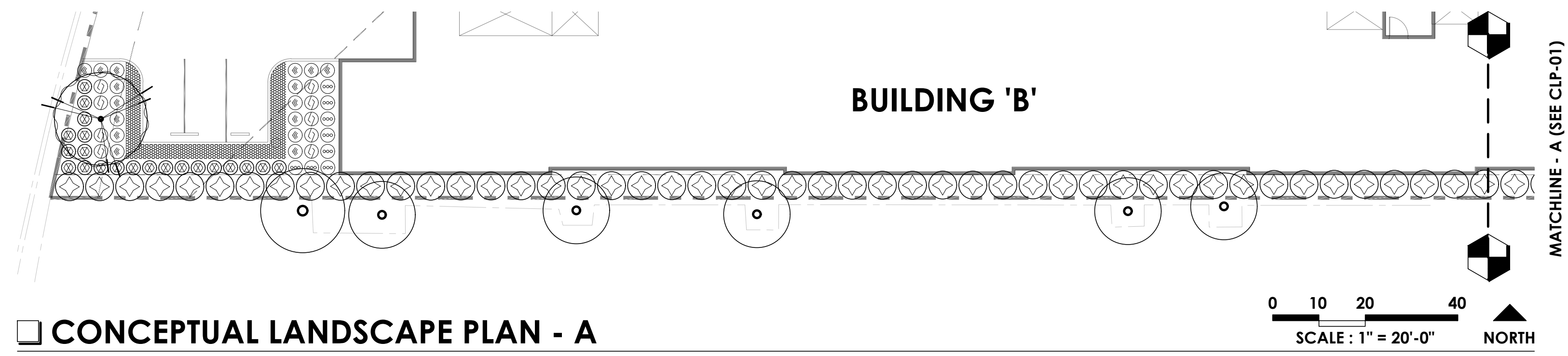
DATE 2018.03.05  
21809

SHEET NO.

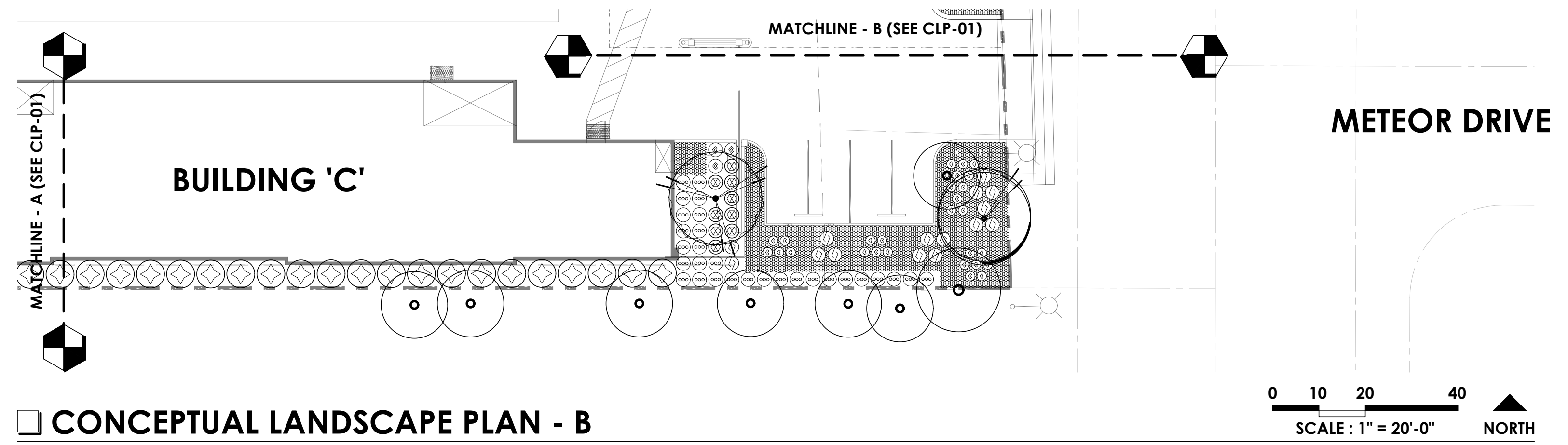
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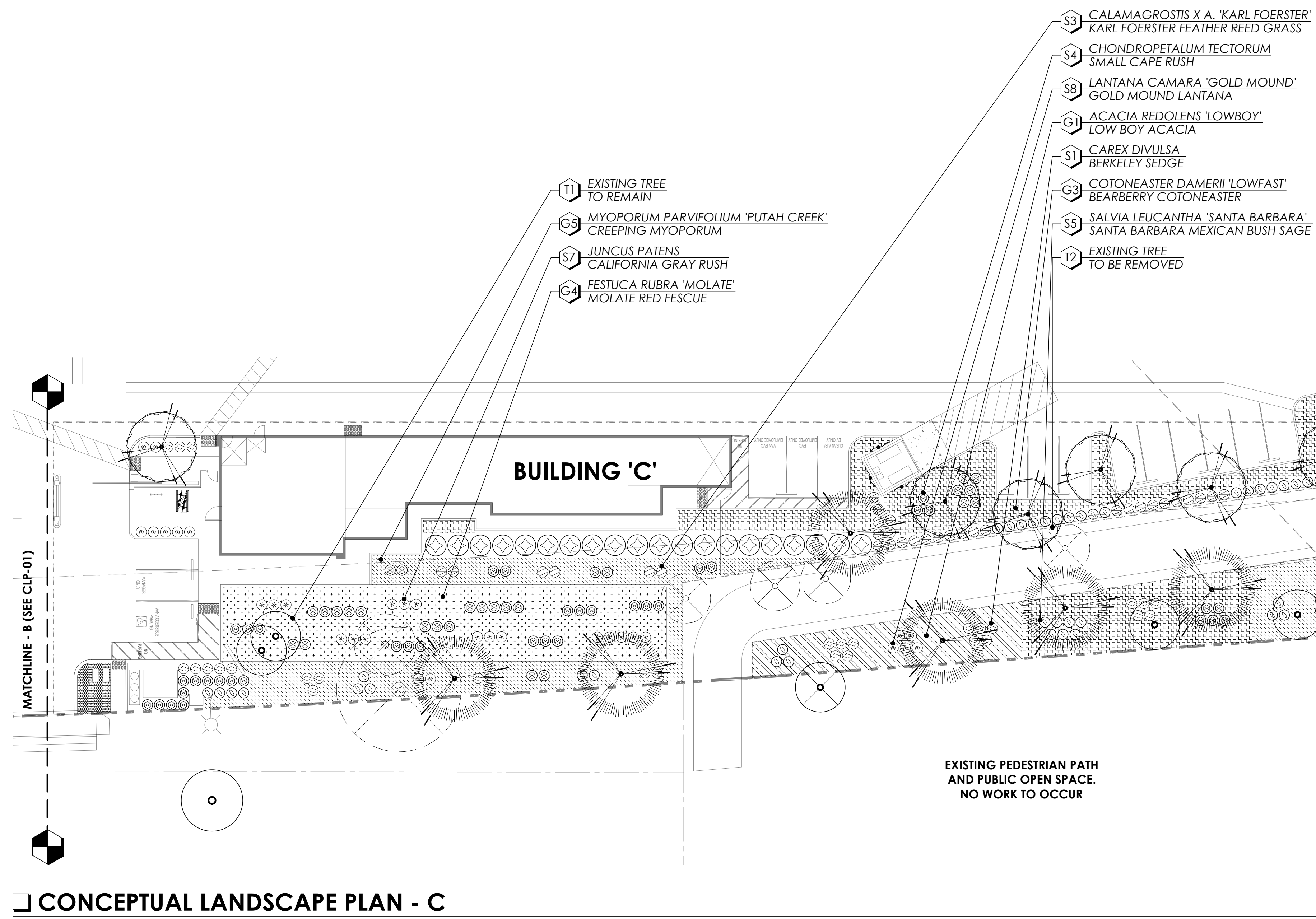




CONCEPTUAL LANDSCAPE PLAN - A



CONCEPTUAL LANDSCAPE PLAN - B



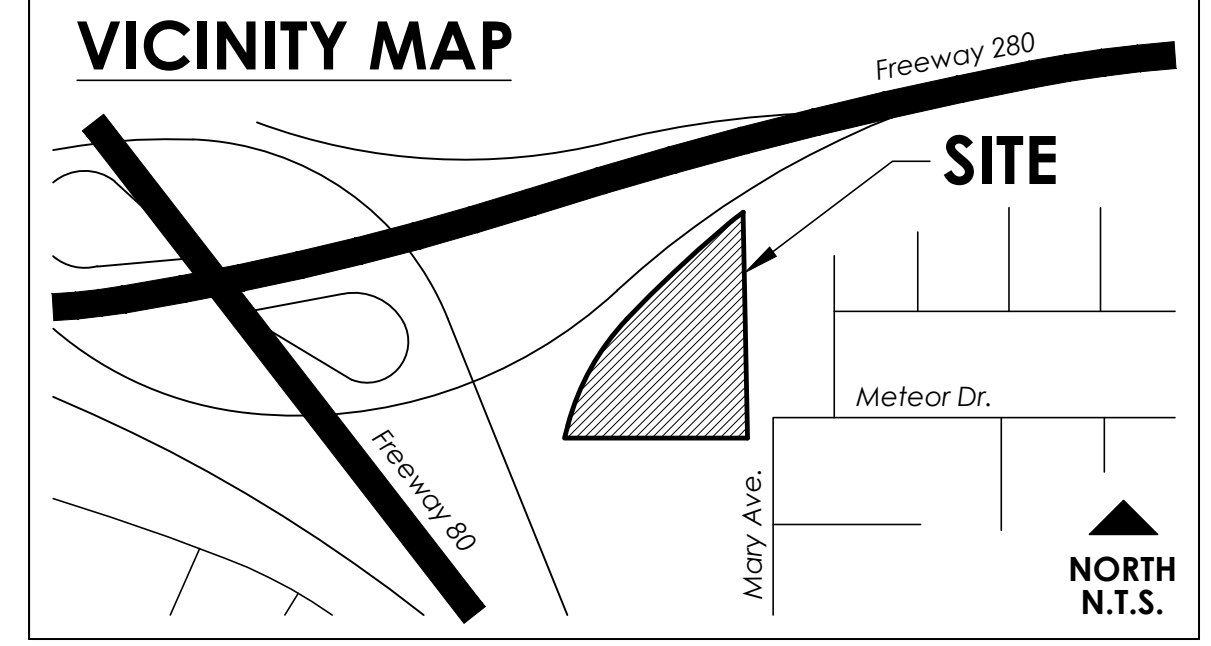
CONCEPTUAL LANDSCAPE PLAN - C

**PLANT LEGEND**

TREES		SHRUBS	
SYMBOL	NAME	SYMBOL	NAME
T1	EXISTING TREE TO REMAIN	S1	CAREX DIVULSA BERKELEY SEDGE
T2	EXISTING TREE TO BE REMOVED	S2	CARISSA MACROCARPA NATAL PLUM
T3	PLATANUS X ACERFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANE	S3	CALAMAGROSTIS X A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS
T4	PISTACHIA CHINENSIS CHINESE PISTACHE	S4	CHONDROPETALUM TECTORUM SMALL CAPE RUSH
STREET TREE		S5	SALVIA LEUCANTHA 'SANTA BARBARA' SANTA BARBARA MEXICAN BOOK SAGE
SYMBOL	NAME	S6	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED FLAX LILY
ST1	PISTACHIA CHINENSIS CHINESE PISTACHE	S7	JUNCUS PATENS CALIFORNIA GRAY RUSH
GROUNDCOVERS		S8	LANTANA CAMARA 'GOLD MOUND' GOLD MOUND LANTANA
SYMBOL	NAME	S9	WOODWARDIA FIMBRIATA GIANT CHAIN FERN
G1	ACACIA REDOLENS 'LOW BOY' LOW BOY ACACIA	VINE	
G2	COBBLES	V1	FICUS PUMILA CREEPING FIG
G3	COTONEASTER DAMERII 'LOW FAST' BEARBERRY COTONEASTER		
G4	FESTUCA RUBRA 'MOLATE' MOLATE RED FESCUE		
G5	MYOPORUM PARVIFOLIUM 'PUTAH CREEK' CREEPING MYOPORUM		

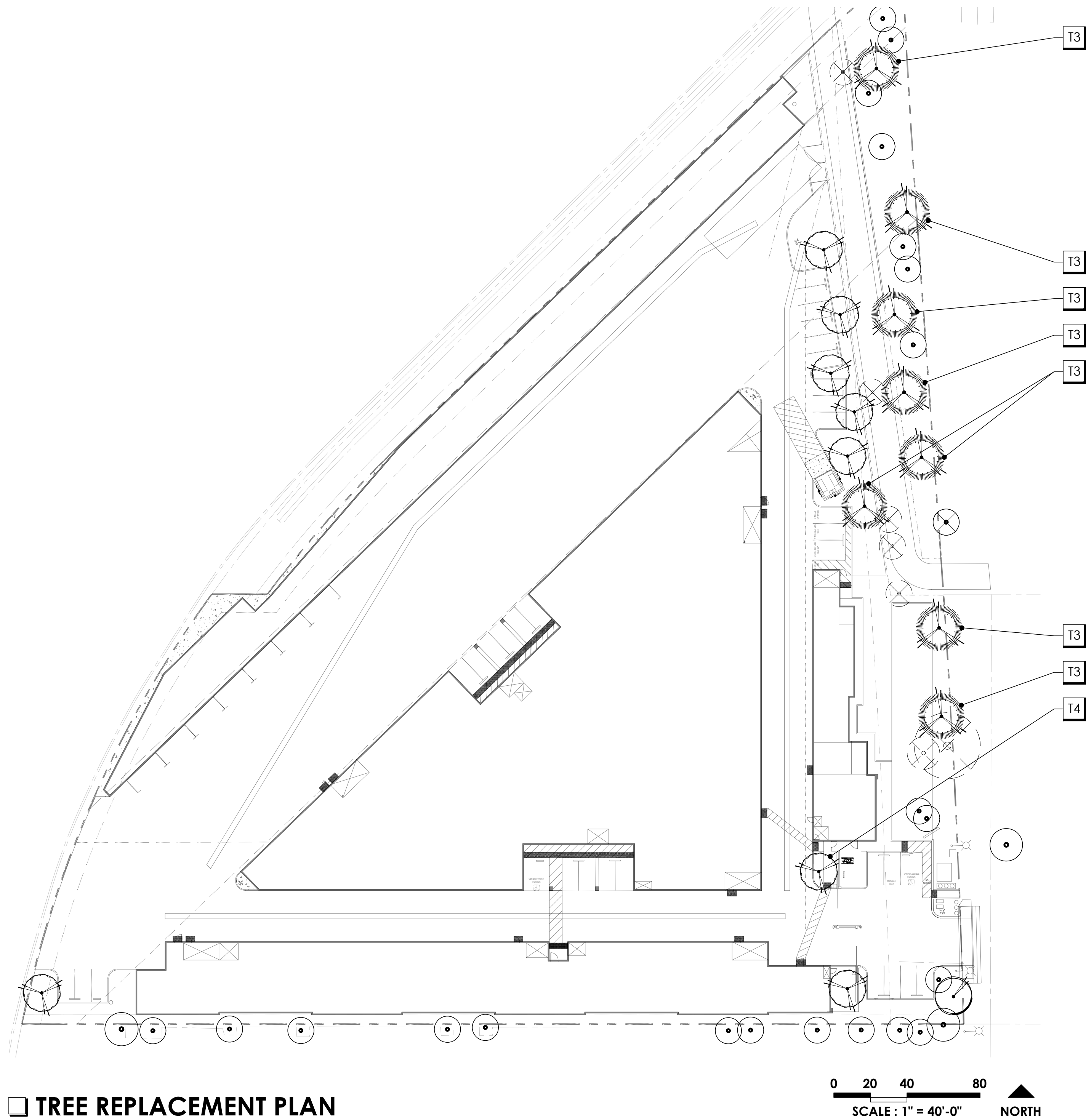
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SCALE: 1" = 20'-0" NORTH





**TREE REPLACEMENT PLAN**

**TREE PRESERVATION GUIDELINES**

**Tree Preservation and Protection Plan**

In providing recommendations for tree preservation, we recognize that injury to trees as a result of construction include mechanical injuries to trunks, roots and branches, and injury as a result of changes that occur in the growing environment.

To minimize these injuries, we recommend grading operations encroach no closer than six times the trunk diameter (i.e. 30" diameter tree x 6=180" distance). At this distance, buttress/anchoring roots would be preserved and minimal injury to the functional root area would be anticipated. Should encroachment within the area become necessary, hand digging is mandatory.

**Barricades**

Prior to initiation of construction activity, temporary barricades should be installed around all trees in the construction area. Six-foot high, chain link fences are to be mounted on steel posts, driven 2 feet into the ground, at no more than 10-foot spacing. The fences shall enclose the entire area under the drip line of the trees or as close to the drip line area as practical. These barricades will be placed around individual trees and/or groups of trees as the existing environment dictates.

The temporary barricades will serve to protect trunks, roots and branches from mechanical injuries, will inhibit stockpiling of construction materials or debris within the sensitive 'drip line' areas and will prevent soil compaction from increased vehicular/pedestrian traffic. No storage of material, topsoil, vehicles or equipment shall be permitted within the tree enclosure area. The ground around the tree canopy shall not be altered. Designated areas beyond the drip lines of any trees should be provided for construction materials and onsite parking.

**Root Pruning (if necessary)**

During and upon completion of any trenching/grading operation within a Tree Protection Zone, clean pruning cuts of exposed, damaged or severed roots greater than one inch diameter should be accomplished under the supervision of a qualified Arborist to minimize root deterioration beyond the soil line within twenty-four (24) hours.

**Pruning**

Pruning of the foliar canopies to include removal of deadwood is recommended and should be initiated prior to construction operations. Such pruning will provide any necessary construction clearance, will lessen the likelihood or potential for limb breakage, reduce 'windsail' effect and provide an environment suitable for healthy and vigorous growth.

**Irrigation**

A supplemental irrigation program is recommended for the ? trees and should be accomplished at regular three to four-week intervals during the period of May 1<sup>st</sup> through October 31<sup>st</sup>. Irrigation is to be applied at or about the 'drip line' in an amount sufficient to supply approximately ten (10) gallons of water for each inch in trunk diameter.

Irrigation can be provided by means of a soil needle, 'soaker' or permeable hose. When using 'soaker' or permeable hoses, water is to be run at low pressure, avoiding runoff/puddling, allowing the needed moisture to penetrate the soil to feeder root depths.

**Fertilization**

A program of fertilization by means of deep root soil injection is recommended with applications in spring and summer for those trees to be impacted by construction. Fertilizer should include organic blends and components such as mycorrhizae and bio stimulants.

Such fertilization will serve to stimulate feeder root development, offset shock/stress as related to construction and/or environmental factors, encourage vigor, alleviate soil compaction and compensate for any encroachment of natural feeding root areas.

Inception of this fertilizing program is recommended prior to the initiation of construction activity.

**Mulch**

Mulching with wood chips (maximum depth 3") within tree environments (outer foliar perimeter) will lessen moisture evaporation from soil, protect and encourage adventitious roots and minimize possible soil compaction.

**Inspection**

Periodic inspections by the Site Arborist are recommended during construction activities, particularly as trees are impacted by trenching/grading operations.

Inspections at approximate four (4) week intervals would be sufficient to assess and monitor the effectiveness of the Tree Preservation Plan and to provide recommendations for any additional care or treatment.

All written material appearing herein constitutes original and unpublished work of the Arborist and may not be duplicated, used or disclosed without written consent of the Arborist.

We thank you for this opportunity to be of assistance in your tree preservation concerns.

Should you have any questions, or if we may be of further assistance in these concerns, kindly contact our office at any time.

**McCLENAHAN CONSULTING, LLC**

By: **John H. McClenahan**  
ISA Board Certified Master Arborist, WE-1476B  
member, American Society of Consulting Arborists

**Summary**

Trees one through thirteen are located on the City of Cupertino neighboring property. Proposed site improvements will include two bioretention areas that will require removal of eight trees (17-23 and 29). Trees scheduled for removal are not protected by city ordinance due to species. Tree Protection Zones have been defined for each tree as six times the trunk diameter from the root flare. Tree protection fencing should be installed as close to the TPZ or dripline as feasible, (whichever distance is greater). Figure 2 indicates the trees protected by City of Cupertino ordinance. Although it is recommended that grading and excavation do not occur within the TPZ, the following recommendations will help protect trees to remain should grading or excavation occur within a TPZ.

- Any grading or excavation within TPZ must be accomplished by hand or air digging
- A qualified arborist must supervise any cutting of roots within TPZ
- A qualified arborist must provide mitigation for any root cutting in the TPZ
- Adoption of Tree Preservation Guidelines will enhance prognosis

Tree removals non protected trees with protected tree mitigation requirements		
17 Red ironbark	19.2"	One 36-inch box tree
18 Red ironbark	15.8, 12.6, 14.5, 14.2, 13.7, 12.2"	One 36-inch box tree
19 Eucalyptus	20.6"	One 36-inch box tree
20 Eucalyptus	16.5"	One 36-inch box tree
21 Eucalyptus	23.3"	One 36-inch box tree
22 Eucalyptus	17.5, 10.3, 9"	One 36-inch box tree
23 Chinese pistache	18.1"	One 36-inch box tree
29 Tree of heaven	8.9"	One 24-inch box tree

Figure 1: Proposed removals with mitigation

**TREE REPLACEMENT LEGEND**

**TREES**

SYMBOL	NAME	SIZE	QTY.
	EXISTING TREE TO REMAIN		30
	EXISTING TREE TO BE REMOVED		8
	PLATANUS X ACERFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANE	36" BOX	7
	PISTACHIA CHINENSIS CHINESE PISTACHE	24" BOX	1

**STREET TREE**

SYMBOL	NAME	SIZE	QTY.
	PISTACHIA CHINENSIS CHINESE PISTACHE	24" BOX	1

**NOTE:**  
FOR MORE INFORMATION SEE THE ATTACHED ARBORIST REPORT & CLP-01.

**PLEINAIRE DESIGN GROUP**

3203 Lightning St., Ste. 201 // Santa Maria, CA 93455  
805.349.9695 // www.pleinairedg.com

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**BAY AREA SELF-STORAGE**

10655 MARY AVENUE // CUPERTINO, CALIFORNIA 95014

**SHEET TITLE**

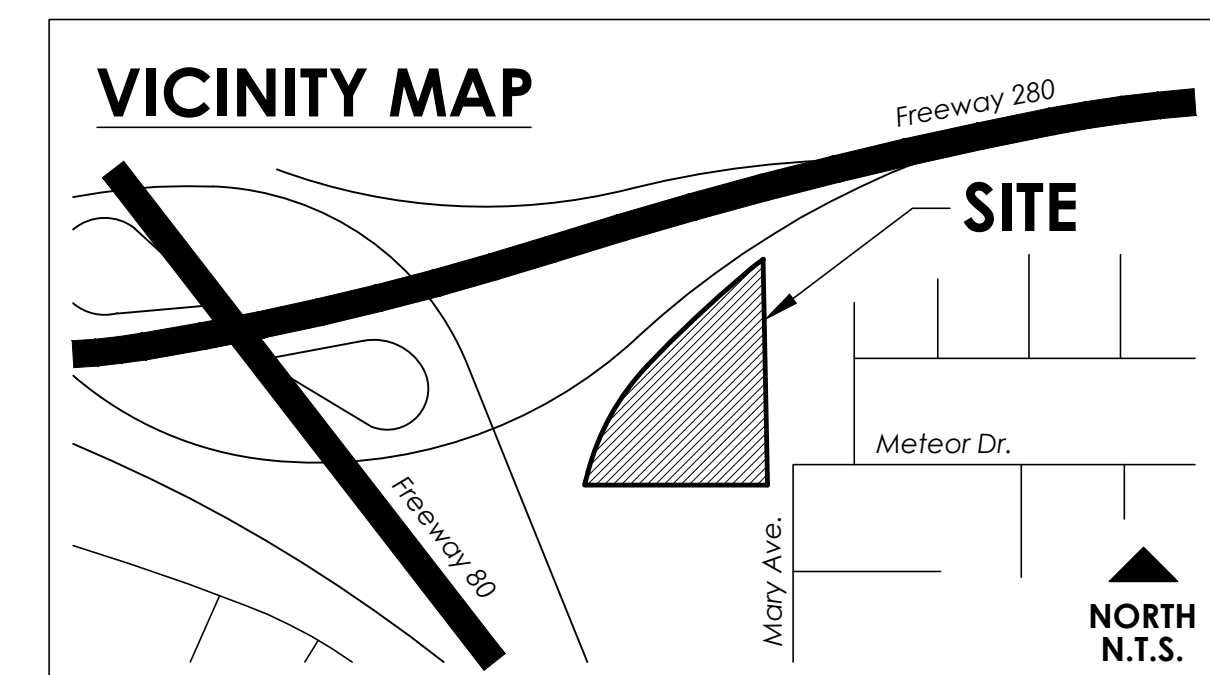
**TREE REPLACEMENT PLAN**

**OWNER** Bass Cupertino, LLC  
10121 Miller Avenue, #200  
Cupertino, California 95014  
T: 408.255.4100

**DATE** 2020.11.13  
21809

**SHEET NO.**

**CLP-02**







Lowboy Acacia



Bearberry Cotoneaster



Molate Red Fescue



Creeping Myoporum



Berkeley Sedge



Natal Plum



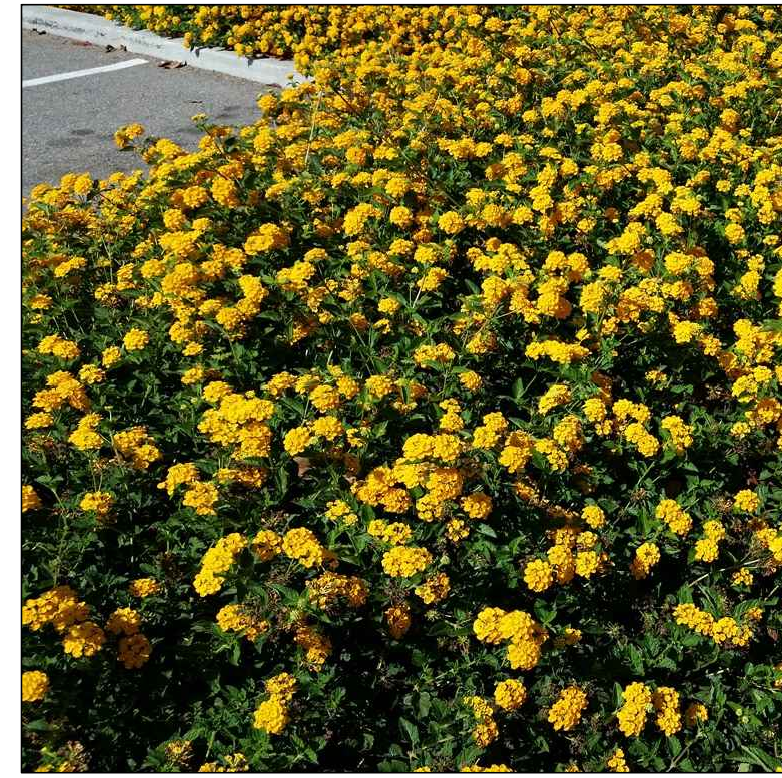
Small Cape Rush



Rock Purslane



Variegated Lily Turf



Gold Mound Lantana



Giant Chain Fern

**PLEINAIRE**  
DESIGN GROUP

3203 Lightning Sr., Ste. 201 // Santa Maria, CA 93455  
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**LOC-N-STOR**  
10655 MARY AVENUE // CUPERTINO, CALIFORNIA 95014

**CITY OF CUPERTINO**  
**WATER EFFICIENT LANDSCAPE WORKSHEET**

City of Santa Maria Reference Evapotranspiration (ET<sub>0</sub>): 45.3

Hydrozone # / Planting Description a	Plant Factor (PF)	Irrigation Method b	Irrigation Efficiency (IE)c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Water (ETWU) e	Total Use
<b>Regular Landscape Areas</b>								
Very Low	0.1	drip	0.81	0.12	-	-	-	-
Low	0.2	drip	0.81	0.25	-	-	-	-
Low	0.3	drip	0.81	0.37	24,008.40	8,892.00	249,740.71	-
Medium	0.5	drip	0.81	0.62	1,263.60	780.00	21,907.08	-
Non-irrigated	0	-	0.81	0.00	-	-	-	-
<b>Totals</b>					25,272.00	9,672.00	271,647.79	-
<b>Special Landscape Areas</b>								
Turf	-	-	-	1	-	-	-	-
<b>Totals</b>					-	-	-	-
<b>ETWU Total</b>							271,647.79	-
<b>Maximum Allowed Water Allowance (MAWA):</b>							319,405.23	-

- a Hydrozone #/Planting Description**  
E.g.  
1.) front lawn  
2.) medium water use planting
- b Irrigation Method**  
overhead spray  
or drip
- c Irrigation Efficiency**  
0.75 for spray head  
0.81 for drip
- d ETWU (Annual Gallons Required)**  
= Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.
- e MAWA (Annual Gallons Allowed)**  
= (Eto) [ 0.62 ] [ (ETAF x LA) + ((1-ETAF) x SLA) ]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations:**  
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas		Regular	
Total ETAF x Area (B+D)	9,672.00	Total ETAF x Area (B)	9,672.00
Total Area (A+C)	25,272.00	Total Area (A)	25,272.00
Sitewide ETAF (B+D) ÷ (A+C)	0.38	Average ETAF (B ÷ A)	0.38

**NOTE:**  
PLANT IMAGERY SHOWN IS REPRESENTATIVE ONLY.  
FINAL SELECTIONS MAY VARY. SEE CONCEPTUAL PLANTING LEGEND FOR MORE INFORMATION.

**SHEET TITLE**  
**PLANT IMAGERY**

**OWNER** Bass Cupertino, LLC  
10121 Miller Avenue, #200  
Cupertino, California 95014  
T: 408.255.4100

**DATE** 2018.03.05  
21809

**SHEET NO.**  
**CLP-02**





Lowboy Acacia



Bearberry Cotoneaster



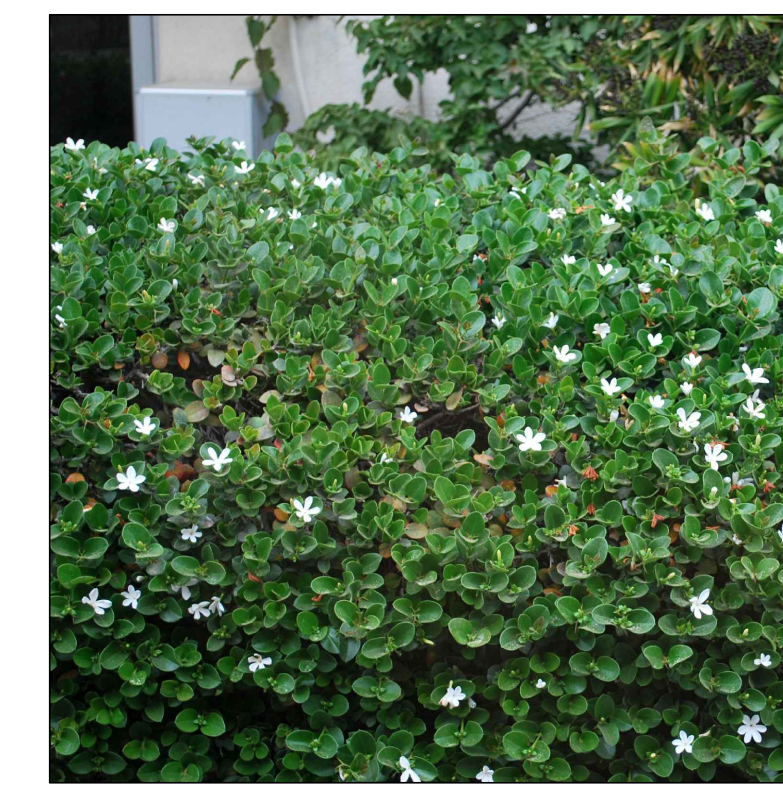
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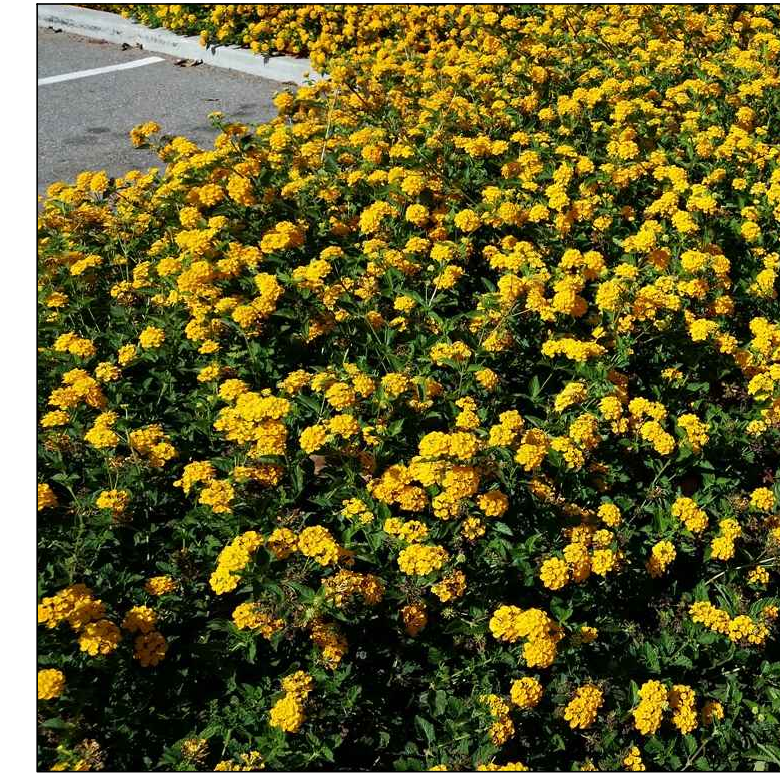
Small Cape Rush



Santa Barbara Mexican Bush Sage



Variegated Lily Turf



Gold Mound Lantana



Giant Chain Fern



Karl Foerster Feather Reed Grass



California Grey Rush

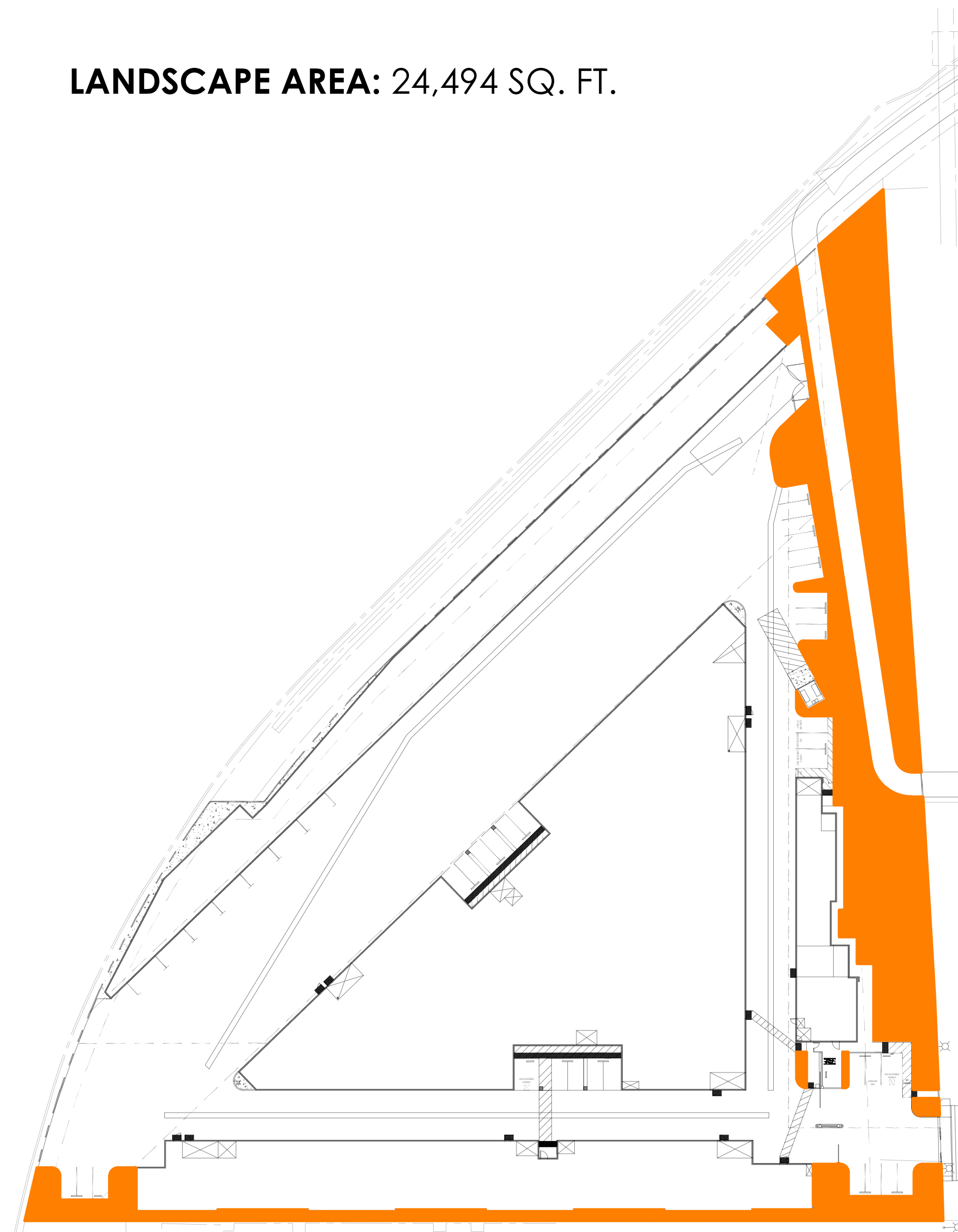


Bloodgood London Plane



Chinese Pistache

LANDSCAPE AREA: 24,494 SQ. FT.



LANDSCAPE AREA MAP



NOTE: PLANT IMAGERY SHOWN IS REPRESENTATIVE ONLY. FINAL SELECTIONS MAY VARY. SEE CONCEPTUAL PLANTING LEGEND FOR MORE INFORMATION.

CITY OF CUPERTINO WATER EFFICIENT LANDSCAPE WORKSHEET

Table with columns: Hydrozone #/Planting Description, Plant Factor (PF), Irrigation Method, Irrigation Efficiency (IE), ETAF (PF/IE), Landscape Area (sq. ft.), ETAF x Area, Estimated Water (ETWU), Total Use. Includes sub-tables for Regular Landscape Areas and Special Landscape Areas.

a Hydrozone #/Planting Description
E.g.
1.) front lawn
2.) medium water use planting

b Irrigation Method
overhead spray or drip
c Irrigation Efficiency
0.75 for spray head or 0.81 for drip

d ETWU (Annual Gallons Required)
= Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

e MAWA (Annual Gallons Allowed)
= (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations:
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Table for All Landscape Areas: Total ETAF x Area (B+D) = 9,383.95; Total Area (A+C) = 24,494.00; Sitewide ETAF (B+D) ÷ (A+C) = 0.38

Table for Regular Landscape Areas: Total ETAF x Area (B) = 9,383.95; Total Area (A) = 24,494.00; Average ETAF (B ÷ A) = 0.38

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BAY AREA SELF-STORAGE

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PLANT IMAGERY & AREA MAP

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