

CAPITAL IMPROVEMENT PROGRAMS FISCAL YEAR 2026 - 2027 and 5-YEAR PLAN

PROJECT LISTS from MASTER PLANS

INDEX:

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1. From the 2016 Bicycle Transportation Master Plan

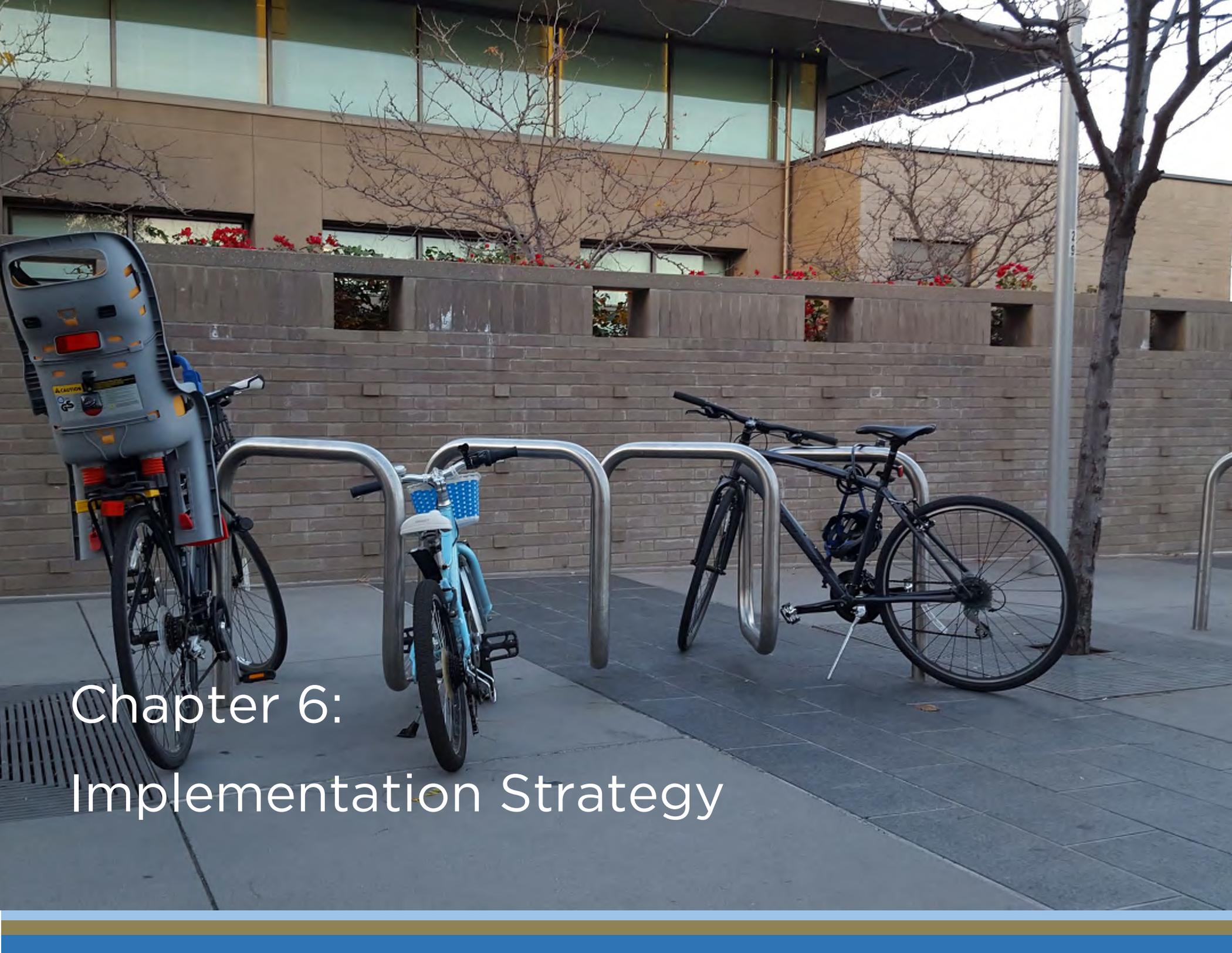


City of Cupertino 2016 Bicycle Transportation Plan

June 2016



CUPERTINO



Chapter 6: Implementation Strategy

6. Implementation Strategy

This chapter presents a prioritized list of the individual infrastructure improvements, including the evaluation criteria and scoring method, project cost estimates, and a list of prioritized projects.

Project Evaluation Strategy

All of the proposed infrastructure projects are evaluated against the criteria described in **Table 6-1**, which was developed jointly with City staff and the Bicycle Pedestrian Commission. Projects are sorted into short, mid, and long-term priority tiers based on a logical breakdown of scores and complexities of implementation. Appendix A to this Working Paper provides the full evaluation criteria breakdown.

The intent of evaluating projects is to create a prioritized list of projects for implementation. As projects are implemented, lower ranked projects move up the list. When implementing sections of the Bike Boulevard network, the City should consider the removal of parallel existing bike routes where they prove to be duplicative or potentially confusing to bicyclists. This should also be coordinated with the recommended Citywide Wayfinding Study.

The project list and individual projects to be included in this Plan are flexible concepts that serve as a guideline. The high-priority project list, and perhaps the overall project list, may change over time as a result of changing walking and bicycling patterns, land use patterns, implementation constraints and opportunities, and the development of other transportation improvements.

Table 6-1: Project Evaluation Criteria

Criteria	Description	Max Score
Safety	Addresses a location with a history of bicycle collisions.	20
Stress Test Analysis	Projects identified along a high or medium-high stress route	5
Travel Routes to/near Schools	Connects to a school.	20
Network Connectivity	Projects that closes gaps in the bikeway network.	15
Low-Stress Network Improvements	Projects that add or upgrade an existing bikeway facility to a low-stress facility	20
Trip Generators and Attractors	Connects to employment centers, retail/business centers, transit, community services, parks and recreation facilities and/or City facilities.	10
Feasibility/Ease of Implementation	The ease of implementing the project within a five year timeframe, taking into consideration outside agency approval.	10
Total Possible Score		100

After scoring, projects were organized into three tiers. Tier 1 is comprised of the projects that received 67 points or more representing projects that should begin implementation within five years. Tier 2 projects scored between 47 and 65 points and are intended to be implemented within five to 15 years. Tier 3 projects scored below 47 points and are intended for implementation within twenty years. It should be noted that projects in Tiers 2 & 3 can be initiated sooner, but that their implementation will likely be delayed.

Table 6-2 shows the scores and cost estimates for all recommended project improvements. Appendix B shows the full breakdown of scores.

Table 6-2: Recommended Projects by Tier

Project	Location	Start	End	Notes	Miles	Total Score	Rounded Cost
Tier 1							
Class IV Protected Bikeway	Stevens Creek Blvd	Foothill Blvd	Tantau Ave	--	3.43	91	\$4,120,00
Class IV Protected Bikeway	McClellan Rd	Byrne Ave	De Anza Blvd	--	1.43	80	\$286,000
Configure Intersection	Stevens Creek Blvd	Stelling Rd	--	Study protected intersection in coordination with proposed Class IV	0	75	\$550,000
Class III Bike Boulevard	Tri School East/West Bike Blvd (#7)	Linda Vista Dr at McClellan Rd	Hyannisport Dr at Bubba Rd	--	0.66	75	\$33,000
Grade Separated Crossing Study	Highway 85 Crossing	Grand Ave	Mary Ave	--	0	71	\$300,000
Class I Path	Union Pacific Trail	Prospect Rd	Stevens Creek Blvd	--	2.10	71	\$1,678,000
Configure Intersection	McClellan Rd	Stelling Rd	--	Study protected intersection in coordination with proposed Class IV	0	70	\$550,000
Class III Bike Boulevard	Portal Ave Bike Blvd (#5)	Portal Ave at Merritt Dr	Portal Ave at Wintergreen Dr	--	0.69	70	\$35,000
Class IV Separated Bikeway	Finch Ave	Phil Ln	Stevens Creek Blvd	--	0.45	69	\$545,000
Class III Bike Boulevard	West Cupertino North/South Bike Blvd (#9)	Orange Ave at Mann Dr	Fort Baker Dr at Hyannisport Dr	--	0.63	69	\$32,000
Configure Intersection	McClellan Rd	Westacres Dr/Kim St	--	Study peanut roundabout to connect off-set north/south bike routes across McClellan	0	68	\$200,000
Class I Path	I-280 Channel Bike Path	Mary Ave/Meteor Dr	Tantau Ave/Vallco Pkwy	--	2.87	61	\$2,293,000
Class III Bike Boulevard	Civic Center to Sterling Barnhart	Rodrigues Ave at Blaney Ave	Sterling Barnhart Park	--	1.41	67	\$70,000

Project	Location	Start	End	Notes	Miles	Total Score	Rounded Cost
	Park Bike Blvd (#2)						
Tier 2							
Class II Buffered Bike Lane	De Anza Blvd	Homestead Rd	Bollinger Rd	--	1.73	65	\$242,000
Class IV Separated Bikeway	Stelling Rd	Prospect Rd	250 South of McClellan Rd	--	1.45	65	\$290,000
Class IV Separated Bikeway	Stelling Rd	250 South of McClellan Rd	Alves Dr	--	0.71	64	\$857,000
Class IV Separated Bikeway	Blaney Ave	Bollinger Rd	Homestead Rd	--	1.91	64	\$383,000
Class IV Separated Bikeway	Stevens Creek Blvd	Foothill Blvd	St Joseph Ave	--	0.62	63	\$124,000
Class IV Separated Bikeway	Stelling Rd	Alves Dr	Homestead Rd	--	0.84	63	\$124,000
Class I Path	Amelia Ct/Varian Way Connector	Amelia Ct	Varian Way	--	0.05	63	\$100,000
Grade Separated Crossing Study	Carmen Rd	Stevens Creek Blvd - South Side	Stevens Creek Blvd - North Side	--	0	62	\$300,000
Configure Intersection	Stevens Creek Blvd	De Anza Blvd	--	Bike lane striping through intersection	0	62	\$10,000
Class III Bike Boulevard	Mary Ave to Portal Ave Bike Blvd (#4)	Mary Ave at Meteor Dr	Portal Ave at Merritt Dr	--	1.51	60	\$75,000
Class II Bike Lane	Vista Dr	Forest Ave	Stevens Creek Blvd	--	0.24	60	\$15,000
Class III Bike Boulevard	Tri-School North/South Bike Blvd (#8)	Santa Teresa Dr at Hyannisport Dr	Terrace Dr at Bubb Rd	--	0.76	59	\$38,000
Class II Buffered Bike Lane	Bollinger Rd	De Anza Blvd	Lawrence Expy	--	2.00	56	\$278,000
Configure Intersection	De Anza Blvd	McClellan Rd	--	Rebuild intersection to facilitate safer east/west travel between McClellan and Pacific	0	56	\$200,000
Configure Intersection	Wolfe Rd	Stevens Creek Blvd	--	Study removal of slip lanes and/or porkchop islands.	0	55	\$100,000
Class II Buffered Bike Lane	Mary Ave	Stevens Creek Blvd	Meteor Dr	--	0.71	55	\$100,000

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Project	Location	Start	End	Notes	Miles	Total Score	Rounded Cost
Class II Buffered Bike Lane	Miller Ave	Bollinger Rd	Calle de Barcelona	--	0.48	54	\$67,000
Configure Intersection	Infinite Loop	Merritt Dr	--	Improve signage/striping to delineate bike/ped space in connector	0	54	\$2,000
Class II Buffered Bike Lane	Homestead Rd	Mary Ave	Wolfe Rd	--	1.97	52	\$276,000
Reconfigure wall/fence	Greenleaf Dr	Mariani Ave	--	2015 Bike Plan Update, create gap in wall to connect bike routes	0	52	\$25,000
Class III Bike Boulevards	Civic Center to Jollyman Park Bike Blvd (#1)	Rodrigues Ave at De Anza Blvd	Jollyman Park	--	0.86	52	\$43,000
Class II Buffered Bike Lane	Prospect Rd	De Anza Blvd	Stelling Rd	--	0.42	49	\$59,000
Configure Intersection	McClellan Rd	Rose Blossom Dr	--	Facilitate through bike travel to De Anza	0	49	\$20,000
Trail Crossing	Homestead Rd	Mary Ave	--	Redesign intersection of Homestead at Mary to better facilitate bicycles exiting Mary Ave bridge path	0	49	\$10,000
Class III Bike Route	Hyde Ave Bike Route (#6)	Hyde Ave at Shadygrove Dr	Hyde Ave at Bollinger Rd	--	0.24	49	\$500
Configure Intersection	Stelling Rd	Alves Dr	--	Enhance east/west bike route crossing for Alves Dr	0	48	\$50,000
Class I Path	Regnart Creek Path	Pacifica Dr	Estates Dr	--	0.83	48	\$664,000
Reconfigure wall/fence	Wheaton Dr	Perimeter Rd	--	Connect bike blvd to proposed bike path on Perimeter road, requires creating gap in existing wall	0	47	\$10,000
Tier 3							
Class II Bike Lane	Rainbow Dr	Bubb Rd	Stelling Rd	--	0.50	46	\$33,000
Class I Path	Perimeter Rd	Stevens Creek Blvd	I-280 Channel Bike Path	--	0.59	44	\$470,000

Project	Location	Start	End	Notes	Miles	Total Score	Rounded Cost
Class III Bike Route	Mary Ave to Vallco Mall Bike Route (#7)	Memorial Park	End of Wheaton Dr	--	1.77	44	\$4,000
Class III Bike Route	Tantau Ave Bike Route (#9)	Tantau Ave at Bollinger Rd	Tantau Ave at Barnhart Ave	--	0.41	44	\$500
Class III Bike Route	Rose Blossom/Huntridge Bike Route (#8)	Rose Blossom Dr at McClellan Rd	Huntridge Ln at De Anza Blvd	--	0.41	43	\$1,000
Class I Path	Wilson Park	Rodrigues Ave	Wilson Park Path	--	0.03	42	\$50,000
Class III Bike Boulevard	Stevens Creek Bike Blvd (#6)	San Fernando Ave at Orange Ave	Carmen Rd at Stevens Creek Blvd	--	1.12	42	\$47,000
Configure Intersection	Blaney Ave	Wheaton Dr	--	Enhance bicycle crossing across Wheaton	0	41	\$50,000
Class II Buffered Bike Lane	Foothill Blvd	Stevens Creek Blvd	McClellan Rd	--	0.55	41	\$77,000
Configure Intersection	Stelling Rd	Rainbow Dr	--	Study removal of slip lanes, study potential for protected intersection	0	40	\$20,000
Class II Buffered Bike Lane	Homestead Rd	Wolfe Rd	Tantau Ave	--	0.49	40	\$69,000
Class II Buffered Bike Lane	Wolfe Rd	Stevens Creek Blvd	I-280 Channel Bike Path	--	0.40	39	\$56,000
Class I Path	Jollyman Park	Stelling Rd	Dumas Dr	--	0.15	39	\$119,000
Reconfigure wall/fence	Imperial Ave	Alcazar Ave	--	Create gap in fence to connect bike routes	0	39	\$20,000
Class II Buffered Bike Lane	Foothill Blvd	Stevens Creek Blvd	I-280 N Offramp	--	0.96	39	\$135,000
Class III Bike Boulevard	Foothill to Stevens Creek Bike Blvd (#3)	Foothill Blvd at Starling Dr	Carmen Rd at Stevens Creek Blvd	--	0.99	38	\$50,000
Class II Buffered Bike Lane	Lazaneo Dr	Bandley Dr	De Anza Blvd	--	0.09	38	\$13,000
Class II Buffered Bike Lane	Wolfe Rd	Perimeter Rd	Homestead Rd	--	0.62	38	\$86,000
Class II Buffered Bike Lane	Bubb Rd	McClellan Rd	Stevens Creek Blvd	--	0.53	37	\$74,000

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Project	Location	Start	End	Notes	Miles	Total Score	Rounded Cost
Grade Separated Crossing Study	UPRR West Cupertino Crossing	Hammond Snyder Loop Trail	Stevens Creek Blvd	--	0	37	\$300,000
Bike/Ped Bridge Enhancement	Mary Ave Ped Bridge	I280	--	Improved signage/striping to delineate bike/ped space on Mary Ave bridge	0	37	\$20,000
Class I Path	Oaks Development Bike Path	Stevens Creek Blvd	Mary Ave	--	0.13	35	\$102,000
Class II Buffered Bike Lane	Miller Ave	Calle de Barcelona	Stevens Creek Blvd	--	0.39	35	\$54,000
Class II Buffered Bike Lane	Tantau Ave	Stevens Creek Blvd	Pruneridge Ave	--	0.65	35	\$91,000
Trail Crossing	McClellan Rd	Union Pacific Railroad Path	--	Coordinate crossing with signal.	0	34	\$10,000
Class II Bike Lane	Pacifica Dr	De Anza Blvd	Torre Ave	--	0.17	33	\$11,000
Freeway interchange enhancement	Wolfe Rd	I-280 Overpass	--	Add green paint to interchange approaches, stripe bike lane through interchange intersection	0	30	\$40,000
Class I Path	San Tomas-Aquino Creek Trail	Sterling/Barnhart Park	Calvert Dr	--	0.37	30	\$294,000
Class I Path	San Tomas-Aquino Creek Trail	South of I280	Stevens Creek Blvd	--	0.17	30	\$138,000
Class II Buffered Bike Lane	Vallco Pkwy	Tantau Ave	Perimeter Rd	--	0.30	30	\$42,000
Class II Bike Lane	Campus Dr/Stevens Creek Blvd Connector	Campus Dr	Stevens Creek Blvd	--	0.11	30	\$7,000
Class III Bike Route	Hwy 85 to Stevens Creek Blvd Bike Route (#5)	Grand Ave at Alhambra Ave	Peninsula Ave at Stevens Creek Blvd	--	0.19	30	\$1,000
Class II Buffered Bike Lane	Rainbow Dr	De Anza Blvd	Stelling Rd	--	0.57	28	\$79,000
Class III Bike Route	Bollinger Rd to Stevens Creek	Johnson Ave at Bollinger Rd	Stern Ave at Stevens Creek Blvd	--	0.84	28	\$1,500

Project	Location	Start	End	Notes	Miles	Total Score	Rounded Cost
	Blvd Bike Route (#1)						
Class III Bike Route	Civic Center to Creekside Park Bike Route (#2)	Torre Ave at Rodrigues Ave	Estates Dr at Creekside Park Path	--	1.24	28	\$3,000
Class III Bike Route	Garden Gate Elementary to Memorial Park Bike Route (#4)	Ann Arbor Dr at Greenleaf Dr	Memorial Park	--	0.42	26	\$1,500
Freeway interchange enhancement	De Anza Blvd	Hwy 85 Overpass	--	Add green paint to interchange approaches, stripe bike lane through interchange intersection	0	26	\$40,000
Trail Crossing	Bubb Rd	Union Pacific Railroad Path	--	Coordinate crossing with signal.	0	25	\$10,000
Freeway interchange enhancement	Stevens Creek Blvd	Hwy 85 Overpass	--	Add green paint to interchange approaches, stripe bike lane through interchange intersection	0	25	\$40,000
Class II Buffered Bike Lane	Tantau Ave	Pruneridge Ave	Homestead Rd	--	0.37	25	\$52,000
Freeway interchange enhancement	De Anza Blvd	I-280 Overpass	--	Add green paint to interchange approaches, stripe bike lane through interchange intersection	0	24	\$40,000
Class II Buffered Bike Lane	Stevens Canyon Rd	McClellan Rd	Rancho Deep Cliff Dr	--	0.23	24	\$33,000
Class II Buffered Bike Lane	Bollinger Rd	200 feet East of Westlynn Way	De Foe Dr	--	0.18	24	\$26,000
Class I Path	Linda Vista Park/Deep Cliff Golf Course	Linda Vista Park Parking Lot off Linda Vista Dr	McClellan Rd	--	0.46	24	\$366,000
Class II Buffered Bike Lane	Pruneridge Ave	Tantau Ave	City Limits - East	--	0.07	22	\$9,000
Configure Intersection	Portal Ave	Wheaton Dr	--	2015 Bike Plan Update, study roundabout conversion	0	20	\$150,000
Class II Bike Lane	Cristo Rey Dr	150 feet East of Cristo Rey Pl	Roundabout	--	0.57	19	\$37,000

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Project	Location	Start	End	Notes	Miles	Total Score	Rounded Cost
Class III Bike Route	Westlynn/ Fallenleaf Bike Route (#11)	Bollinger Rd at Westlynn Way	Fallenleaf Ln at De Anza Blvd	--	0.37	18	\$1,000
Class III Bike Route	Foothill Blvd Bike Route (#3)	Palm Ave at Scenic Blvd	Lockwood Dr at Stevens Creek Blvd	--	0.81	16	\$1,500
Class III Bike Route	Union Pacific to Hwy 85 Bike Route (#10)	September Dr at McClellan Rd	Jamestown Dr at Prospect Rd	--	1.48	13	\$5,000

2. From the 2018 Pedestrian Transportation Master Plan

Pedestrian Transportation Master Plan:

PRIORITY PROJECTS - STATUS

#	Project	Location	Start	End	Score	Status/Notes
Tier 1						
1	Sidewalk	McClellan Road	San Leandro Ave	Orange Ave	80	Complete
2	Sidewalk	McClellan Road	Bonny Dr	McClellan Pl	80	Complete
3	Grade Separated Crossing	SR 85 Overcrossing	Grand Ave	Mary Ave	75	
4	Sidewalk	McClellan Road	SR 85 overcrossing	Rose Blossom Dr	75	Complete
5	Sidewalk	Orange Ave	Granada Ave	Alcazar Ave	75	Complete
6	Crosswalk	Stelling Road	Alves Dr		75	Complete
7	Shorten Turn Lane	Stevens Creek Blvd	Oaks Shopping Center Entrance		75	Westport to complete. Design in progress
8	Add Right-Turn Phase	Stevens Creek Blvd	SR 85 NB On-ramp		75	Westport to complete. Design in progress
9	Shorten Turn Lane	Stevens Creek Blvd	De Anza College West Entrance		75	
10	Sidewalk	Byrne Ave	McClellan Rd	Granada Ave	70	Complete
11	Grade Separated Crossing	Carmen Road	Stevens Creek Blvd south side	Stevens Creek Blvd north side	70	Feasibility Study complete. Funding to be requested for future phases
12	Sidewalk	Foothill Blvd (east side)	Stevens Creek Blvd	Rancho Ventura St	70	
13	Sidewalk	Foothill Blvd (west side)	Stevens Creek Blvd	Rancho Ventura St	70	
14	Shared-use Path	Junipero Serra Trail	Mary Ave	Vallco Parkway	70	Design of east and central segments in progress.
15	Class 1 Path	Mary Ave	Don Burnett Bridge	Stevens Creek Blvd	70	Separated bikeway complete in lieu of Class 1 path, deemed infeasible
16	Sidewalk	Mary Ave	Dog Park	Oaks Shopping Center	70	
17	Bike/Ped Bridge	McClellan Road	at Stevens Creek		70	Partial funding received for bridge replacement
18	Shared-use Path	Regnart Creek Trail	Pacifica Dr	E. Estates Dr	70	Complete
19	Sidewalk	Stelling Road	Catalano Ct	Orion Ct	70	
20	Class 1 Path	Oaks Shopping Center	Mary Ave	Stevens Creek Blvd	70	Westport to complete Class III in lieu of Class I
Tier 2						
21	Grade Separated Crossing	Linda Vista Trail	at McClellan Rd		65	
22	Install Curb Extensions	Stevens Creek Blvd	at Phar Lap Dr		65	Design complete. No funding for construction. May use posts
23	Bike/Ped Bridge and Sidewalk	UPRR/Stevens Creek Blvd	UPRR	Foothill Blvd	65	
24	Sidewalk	Bubb Rd	Edward Wy	Krzich Pl	60	
25	Reconfigure Intersection	De Anza Blvd	at McClellan Rd		60	Design complete. Awaiting Caltrans approval for bidding
26	Install Curb Extensions	Phil Ln	at Finch Ave		60	
27	Reconfigure Intersection	Torre Ave	at Town Center Ln		60	
28	Shared-use Path	Union Pacific RR	north of Stevens Creek Blvd	South City limit	60	Project shelved
29	Shared-use Path	West side Vallco Property	Junipero Serra Trail	Stevens Creek Blvd	60	Project shelved
30	Sidewalk	Foothill Blvd (east side)	Rancho Ventura St	Walnut Cir	55	
31	Shared-use Path	Linda Vista Trail and Stevens Creek Trail	McClellan Ranch	Stevens Creek County Park	55	Linda Vista Trail complete
32	Sidewalk	Blackberry Farm Entrance Road	Byrne Ave	Blackberry Farm	55	Feasibility Study complete. No funding for future phases.
33	Shared-use Path	Wilson Park	Portal Ave	Rodrigues Ave	55	
Tier 3						
34	Stop sign	Alves Dr	At Saich Way		45	
35	Install Curb Extensions	Bandley Dr	at Mariani Ave (SE corner)		45	Design complete. No funding for construction. May use posts
36	Bike/Ped Connection	Imperial Ave	Alcazar Ave	Almaden Ave	45	
37	Install Curb Extensions and High Vis Crosswalk	Rainbow Dr	at Gardenside Ln		45	Completed with flexible posts
38	Shared-use Path	Saratoga Creek	Barnhard-Sterling Park	Stevens Creek Blvd	40	Funding being requested for feasibility study
39	Stop sign	Alves Dr	at Beardon Dr		35	
40	Install Curb Extensions	Bandley Dr	at Alves (south leg)		35	
41	Sidewalk	Beardon Dr	Alves Dr	Valley Green Dr	35	
42	Sidewalk	Alcalde Rd	Footill Blvd	Avenida Ln	30	
43	Install Curb Extensions, High-Vis Crosswalk and consider stop sign	Bandley Dr	at Lazaneo Dr		30	High-vis crosswalk with RRFB installed
44	Install RRFB	Valley Green Dr	at Bandley Dr (west leg)		30	

	Complete
	In progress or partially complete
	Not funded

FEBRUARY 2023

3. From the 2018 Parks and Recreation System Master Plan

Strategic Plan

MASTER PLAN PARK SITE IMPLEMENTATION

introduction

There are a variety of opportunities for enhancing and developing parks and facilities to achieve community goals for Cupertino's park and recreation system. This document provides an overview of city park sites with a description, focus, short and longer term opportunities, and current and planned implementation efforts.

The key on the following page lists 22 types of community goals and icons which denote which goals are being addressed at each park throughout the document. A page for each park or park category provides photos as well as a brief description. The park focus identifies the park's primary function. The implementation narrative provides context for current and planned site enhancement from Fiscal Year 2019-20 through Fiscal Year 2023-24. For recently built or recently renovated parks, near-term opportunities emphasize sustaining existing uses and maintaining the facilities with some opportunities for diversifying recreation options. For older parks and facilities that have not been recently updated, potential site enhancements usually include more extensive opportunities.

park sites

This document includes site opportunities for the parks listed below.

- Memorial Park
- Creekside Park
- Jollyman Park
- Wilson Park
- Stevens Creek Corridor Park – including Blackberry Farm Golf Course, Blackberry Farm Park, and McClellan Ranch Preserve/McClellan Ranch West
- Portal Park
- Monta Vista Park & Recreation Center
- Linda Vista Park
- Hoover Park
- Varian Park
- Civic Center – including Civic Center Plaza, and Library Field
- Three Oaks Park
- Somerset Park
- Small Neighborhood Parks – including Canyon Oak Park, Franco Park, Little Rancho Park, Mary Ave. Dog Park, and Sterling Barnhart Park

key

-  Nature Play Areas
-  Universal/All-Inclusive Play Areas
-  Water Play
-  Improved Outdoor Event Space – Citywide Events
-  Improved Outdoor Event Space – Neighborhood Events
-  Multi-Use Sport Fields
-  Cricket Field
-  Dog Park(s)/Dog Off-Leash Area(s)
-  Basketball Courts
-  Pickleball Courts
-  Gardens
-  Outdoor Recreation Diversity
-  Improved Comfort & Amenities
-  Natural Vegetation Enhancements
-  Neighborhood Parks
-  Trails and Trail Corridors
-  Aquatics Facility
-  Gymnasium Complex & Multi-use Recreation Center
-  Performing/Fine Arts Center
-  Enhanced Teen Space or Services
-  50+ Expanded Senior Center or Services
-  Other Replaced or Repurposed Existing Building

MEMORIAL PARK



COMMUNITY GOALS



Description

Memorial Park was originally constructed in the early and mid 1970's. Additional elements have been added since, such as the Veterans Memorial in 2007. Memorial Park is the city's largest park, with 22 acres (including the Senior and Quinlan Community centers). It offers 6 lighted tennis courts, a lighted baseball field, an outdoor amphitheater and stage, walking paths, reservable group picnicking,

two playgrounds, restrooms, and lawn areas. Memorial Park hosts the city's large outdoor events such as the Cherry Blossom, Kids 'N Fun, and Diwali festivals. The amphitheater is home to annual Shakespeare in the Park, Summer Concert series, and Cinema at Sundown events.

FOCUS

Community hub and multi-use, civic-focused event space.

SITE ENHANCEMENT OPPORTUNITIES

Immediate

- Engage the public in developing a site master plan for Memorial Park as a community hub and multi-use, civic-focused event space. Include the presence of the Quinlan Community, Senior, and Sports centers in planning Memorial Park as a community space.
- Consider repurposing the inactive pond, renovating the amphitheater, adding walking path improvements and playable water feature, enhancing the tree canopy, integrating natural features, and renovating, adding and/or expanding recreation facilities to enhance indoor and outdoor event space, community gathering space, active/healthy recreation uses and play opportunities.
- Clarify the role of memorials at this site, addressing opportunities to make a community-building statement and/or tribute to community cohesiveness.

Short Term

- Implement Phase 1 improvements in the pond/amphitheater area.
- Consider nature integration, shade, ADA accessibility, pathway and seating improvements, pond re-purposing, and other elements consistent with the site master plan process.

Longer Term

- Phase in additional improvements, including improvements to existing facilities, based on the site master plan, and the addition of recreation opportunities. Pending the site master plan, this may potentially include major facilities (such as an aquatic facility, gymnasium/recreation center, senior center expansion and/or a potential performing/fine arts center) at this site, or as an expansion of an adjacent recreation building that would affect this site (Sports Center, Senior Center e.g.), as well as the addition or repurposing of facilities.
- Provide connections to proposed trails, bike lanes and bike routes.



IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, shade, nature play, and inclusive elements.

Pickleball court striping is being recommended at Memorial Park. The proposal is to stripe Court 2 or 3 for both pickleball and tennis.

Fiscal Year 2021-22:

2. Restroom facilities at Memorial Park have been renovated.

Fiscal Year 2021-22:

3. Memorial Park - Specific Plan Design

The proposed project would include the development of a conceptual design for Phase One, incorporating findings from the Master Plan process and building upon the considerable input gained from the community.

Features to be considered include adding walking path improvements, playable water feature, enhancing tree canopy, integrating natural features, and enhancing indoor and outdoor event and gathering space.

4. Memorial Park - Amphitheater Repairs/Upgrades:

Design and construct Memorial Park improvements as indicated in the Parks and Recreation System Master Plan, specifically addressing the needs of the amphitheater in this scope of work.

City Work Program:

5. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation Department’s goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

Operational:

6. Turf reduction is being implemented around redwoods.

CREEKSIDE PARK



COMMUNITY GOALS



Description

This 13-acre site offers three tournament-quality sport fields, two basketball hoops, two playgrounds, family picnicking with barbecues, restrooms, and a recreation building whose community room can be rented. Creekside Park is a popular venue for youth soccer and currently hosts a weekly Farmers Market. The park can be accessed from Miller Avenue, and by pedestrians and cyclists via a bridge over Calabazas Creek. It is the site of the former Fremont Older School and was extensively improved with park amenities in 1997.

FOCUS

Neighborhood recreation and sports hub.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, seating, and inclusive elements.

2. Annual Playground Replacement

Inclusive elements will be implemented in the design of the playground to be replaced at Creekside Park in Fiscal Year 2020-21.

City Work Program:

3. Athletic Field Use Policy

The updated Athletic Field Use Policy was reviewed and approved by City Council on May 4, 2021. This completes the Fiscal Year 2019-20 City Work Program item to assess the Athletic Field Use Policy, including Sunday reservation feasibility.

SITE ENHANCEMENT OPPORTUNITIES

Short Term

- Consider adding nature play and/or inclusive play elements to the existing play area.
- Consider other enhancements to outdoor recreation diversity.
- Evaluate opportunities to enhance the recreation building and reactivate or repurpose the concession area.
- Sustain existing uses.

Longer Term

- Coordinate with results of Public Works' Facility Condition and Use Assessment to modify the recreation building as needed.
- Refresh sports fields to maintain site use as a sports hub. Consider artificial turf or other enhancements to increase the playing capacity.
- Consider adding a full basketball court, other sports courts, and diverse recreation elements to support sports and active uses.
- Provide trailhead amenities and connections to off-street trail and proposed buffered bike lane.

4. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation Department's goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works



towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

5. Wi-Fi

Neighborhood Events is slated to be added to park buildings at Creekside, Portal, and Wilson Parks. This works toward the Fiscal Year 2019-20 City Work Program item to upgrade wireless access in public spaces.

JOLLYMAN PARK



COMMUNITY GOALS



Description

Constructed in the early 1990's, this 11.2-acre park offers soccer play, a baseball field with batting cage, two playground areas, a basketball hoop, turf areas, family picnic areas with barbeques, restrooms, and a walking loop.

FOCUS

Neighborhood and community hub for sports, recreation programs and activities.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, and outdoor table tennis. This works toward the Fiscal Year 2019-20 City Work Program item to install a drinking fountain and bottle filling station at City Hall and Jollyman Park.

Fiscal Year 2019-20:

2. Inclusive Play Area - Planning

3. Restroom facilities at Jollyman Park have been renovated.

Fiscal Year 2020-21:

4. All-Inclusive Playground

The City has addressed an inclusive play area through two capital improvement projects to date: Inclusive Play Area - Planning and All-Inclusive Playground. These items work towards the goals set for the All Inclusive Playground project in Fiscal Year 2019-20 City Work Program.

SITE ENHANCEMENT OPPORTUNITIES

Short Term

- Pursue adding an all-inclusive play area, grouped seating, a picnic shelter, continuous all-weather loop path (that includes the east part of the park), and neighborhood-serving event utilities and infrastructure.
- Sustain existing uses.
- Respond to community request for trial off-leash dog area.

Longer Term

- Consider additional diverse amenities, such as outdoor fitness equipment/parcourse or a full-size basketball court.
- Provide connections to bikeway improvements on Stelling Rd.
- Consider for location of development of major new facilities.

City Work Program:

5. Dog Off-Leash Area (DOLA) Trial

The DOLA at the Jollyman Park ballfield is currently underway. Research for a second location has been performed and will be presented to the Parks and Recreation Commission for review/recommendation to City Council. This trial progresses work on the Fiscal Year 2019-20 City Work Program item calling for the review of athletic fields for use as DOLAs.

6. Athletic Field Use Policy

The updated Athletic Field Use Policy was reviewed and approved by City Council on May 4, 2021. This



completes the Fiscal Year 2019-20 City Work Program item to assess the Athletic Field Use Policy, including Sunday reservation feasibility.

7. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation Department's goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

WILSON PARK



COMMUNITY GOALS



Description

This ~10-acre park includes three baseball fields on the west side of the site and serves as the community's baseball hub. The east side of the site features two playgrounds, family picnicking, restrooms, pathways, a large turf area, and a recreation building that hosts ceramics programs. The eastern part of Wilson Park was constructed in the late 1960's. Park improvements on the western part, including the baseball fields, batting cage and concession building, were constructed in 1992. A portion of the site was renovated in 2003 (restroom building, play area).

FOCUS

Neighborhood and community hub for sports, recreation and activities.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, seating, outdoor table tennis, and inclusive elements.

City Work Program:

2. Athletic Field Use Policy

The updated Athletic Field Use Policy was reviewed and approved by City Council on May 4, 2021. This completes the Fiscal Year 2019-20 City Work Program item to assess the Athletic Field Use Policy, including Sunday reservation feasibility.

SITE ENHANCEMENT OPPORTUNITIES

Short Term

- Consider adding neighborhood-serving event utilities and infrastructure, picnic shelter, and a large/full-size basketball court.
- Sustain existing uses.

Longer Term

- Evaluate use of and desirability of renovating/replacing the ceramics building, particularly if ceramics can be incorporated into a fine arts or recreation facility, and in coordination with Public Works' Facility Condition and Use Assessment.
- Consider a wider, maintenance-friendly loop path, community garden, variety of sports courts, activity hubs, and diverse recreation elements, including those that provide challenge elements.
- Consider full-size basketball court.
- Provide trailhead amenities and connections to nearby bikeways and proposed off-street trail. If desired, a sport field can fit on the east portion of the site (with relocation of the central play area and picnicking reconfiguration).

3. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation Department's goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works



towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

4. Wi-Fi

Wi-Fi is slated to be added to park buildings at Creekside, Portal, and Wilson Parks. This works toward the Fiscal Year 2019-20 City Work Program item to upgrade wireless access in public spaces.

STEVENS CREEK CORRIDOR PARK



COMMUNITY GOALS



Description

BLACKBERRY FARM PARK

Blackberry Farm was acquired by the City in 1991. It has been subsequently renovated, including extensive improvements in 2009 which also included the Stevens Creek Trail and creek restoration. The trail and creek corridor parkland are open daily. The group picnic grounds and pool complex are operated seasonally, currently from May to September, within a 100-day window. Seasonal amenities include two swimming pools with pool buildings and lawn area, reservable group picnic area with barbecues and sinks, and food service concession. Additional amenities include two volleyball courts, two bocce courts, two horseshoe pits, picnic tables, playground, lawn area, trail, and restrooms. The creek corridor setting, all-weather trail, and wildlife viewing opportunities are popular year-round.

BLACKBERRY FARM GOLF COURSE

Blackberry Farm Golf Course is a nine-hole Par 29 golf facility acquired by the City in 1991, from private owners who had built it in 1962. The course, located along Stevens Creek, offers narrow tree-lined fairways and small greens which reward accuracy. The course includes a putting green and a range structure for drive practice. A pro shop with golf merchandise and a restaurant are on site; professional instruction is available. Footgolf is also offered.

MCCLELLAN RANCH PRESERVE & MCCLELLAN RANCH WEST

Purchased by the City 1972, McClellan Ranch has a rich history, including uses for agriculture and as a horse ranch. The site contains various buildings relating to

its past as well as the relocated Parrish tank house and Blacksmith Shop. A new Environmental Education Center was completed in 2015. The 4-H area was renovated and Stevens Creek Trail constructed in 2008-2009. McClellan Ranch is the hub of the city's environmental education activities and hosts City Naturalist-led programs. This site offers community gardens for residents, a stretch of Stevens Creek Trail, riparian habitat areas, plus creek

SITE ENHANCEMENT OPPORTUNITIES

Immediate

- Complete the Stevens Creek Corridor Master Plan.

Short Term

- Phase in improvements as guided by the site master plan, enhancing natural/habitat areas and facilities supporting environmental education, gatherings and recreation uses, while retaining the natural character of the park. Provide connections to any extension of the Stevens Creek Trail and nearby bikeways. Provide trailhead amenities. Complete feasibility work & if approved, pursue implementation of improved pedestrian and bicycle access to Blackberry Farm Park via San Fernando Ave. Evaluate steps for expanded use of Blackberry Farm.

Longer Term

- Implement renovation of Stocklmeir Ranch, Blackberry Farm Golf Course, Blackberry Farm Park, and/or McClellan Ranch Preserve and West, and other corridor parcels, consistent with the recommendations of the Stevens Creek Corridor Master Plan.



and wildlife views. Rolling Hills 4-H, Santa Clara Valley Audubon Society, and Friends of Stevens Creek Trail are housed at this site. McClellan Ranch was designated as the city's first and only nature and rural preserve in 1976; its name was updated to McClellan Ranch Preserve in 2012. McClellan Ranch West, a 3.1-acre parcel, was acquired in 1990.

FOCUS FOR STEVENS CREEK CORRIDOR PARK

Community-focused natural area supporting environmental education, outdoor gathering and recreation consistent with protecting wildlife and habitat value.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade including hydration stations, shade, and inclusive elements.

Fiscal Year 2020-21:

2. McClellan Ranch Preserve Community Garden Improvements

Reconstruct the existing community garden based on the design developed in Fiscal Year 2017-18. The project includes reconfiguration of the garden plots, improved ADA accessibility to and within the garden, installation of new perimeter fencing, irrigation distribution system and informal meeting area. This item completes the Fiscal Year 2019-20 City Work Program item to build an efficient and highly functional community garden at McClellan Ranch.

Fiscal Year 2021-22

3. Tree Inventory - Stevens Creek Corridor

Inventory and map City-owned trees (above a threshold size) that are within the Stevens Creek Corridor, including the Blackberry Farm Golf Course.

City Work Program:

4. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation Department's goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

5. Blackberry Farm Golf Course Feasibility Study

Preliminary study to consider three options for the golf course including minimal repairs, a major renovation, and a return to natural habitat. Initial research and community feedback was conducted as part of the Stevens Creek Corridor Master Plan and the Parks and Recreation System Master Plan. Council will receive an update on the three options and determine which to pursue further for feasibility. This item is part of the Fiscal Year 2020-21 City Work Program.

6. Art in Unexpected Places

The Fine Arts Commission and Parks and Recreation Department are collaborating on the Art in Unexpected Places program as part of the Fiscal Year 2019-20 City Work Program. The program will see the installation of mural wall art as a pilot.

PORTAL PARK



COMMUNITY GOALS



Description

Portal Park, designed in the late 1960's, is one of the city's oldest. Portal Park with its 3.8 acres offers a reservable group picnic area, two playgrounds, rolling turf, a recreation building and restrooms. The play areas were renovated in 2002-03. This site borders L.P. Collins Elementary School.

FOCUS

Neighborhood park and gathering space.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, seating, shade, exercise equipment, and inclusive elements.

City Work Program:

2. Wi-Fi

Wi-Fi is slated to be added to park buildings at Creekside, Portal, and Wilson Parks. This works toward the Fiscal Year 2019-20 City Work Program item to upgrade wireless access in public spaces.

3. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation Department's goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

SITE ENHANCEMENT OPPORTUNITIES

Short Term

- Improve walkway lighting and signage.
- Explore options to share adjacent school parking.
- Sustain existing uses.

Longer Term

- Consider adding shading to the picnic area, grouped seating, nature play area and/or inclusive play elements, and diverse recreation elements, such as badminton, bocce/lawn bowling, and/or games to support small group gatherings.
- Improve connections to the adjacent school.
- Re-evaluate the location and use of the recreation building, considering relocating the building or the preschool-age and child programming or adding indoor restrooms, and in coordination with Public Works' Facility Condition and Use Assessment.
- Provide connections to the proposed bike boulevard and adjacent neighborhoods.

MONTA VISTA PARK & RECREATION CENTER



COMMUNITY GOALS



Description

The site of a former elementary school, Monta Vista Park and Recreation Center was acquired by the City and renovated as a park in 1982. Additional improvements to the softball area occurred in 1993. This 6.2-acre park offers a two-building recreation center including restrooms, two tennis courts, two softball fields and a batting cage, turf areas, play equipment, and family picnicking. A preschool and gymnastics/martial arts programs are currently hosted at this site, as is girls' softball.

FOCUS

Neighborhood recreation and sports hub.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, seating, outdoor exercise equipment, nature play, and inclusive elements.

City Work Program:

2. Athletic Field Use Policy

The updated Athletic Field Use Policy was reviewed and approved by City Council on May 4, 2021. This completes the Fiscal Year 2019-20 City Work Program item to assess the Athletic Field Use Policy, including Sunday reservation feasibility.

3. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation

SITE ENHANCEMENT OPPORTUNITIES

Short Term

- Consider temporary options to expand play opportunities near the preschool.
- Consider restriping tennis court(s) to share for pickleball.
- In conjunction with major facility business plans, explore opportunities to relocate or expand the gymnastics/martial arts and preschool programs to other facilities.
- Sustain existing uses.

Longer Term

- Address renovation or replacement of the existing multi-use and preschool buildings based on major facility recommendations and in coordination with Public Works' Facility Condition and Use Assessment.
- Consider adding a basketball court, picnic shelter, neighborhood-serving event utilities and infrastructure, and other diverse recreation elements.
- Provide connections to proposed buffered bikeway.

Department's goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

Operational:

4. Monta Vista Park will see turf reduction and native plantings incorporated into current landscaping.

LINDA VISTA PARK



COMMUNITY GOALS



Description

This 11-acre park site includes a reservable large group picnic/barbecue area, two playground areas (preschool and elementary), a fitness station, restrooms, and an extensive turf area. It was acquired in 1968 and renovated to its current configuration in 1986.

FOCUS

Neighborhood and community hub for picnicking and nature-based recreation.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, seating, shade, nature play, and inclusive elements.

Fiscal Year 2019-20:

2. Linda Vista Trail

Design and construct a bicycle pedestrian trail between Linda Vista Park and McClellan Road.

City Work Program:

3. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation Department's goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

SITE ENHANCEMENT OPPORTUNITIES

Short Term

- Select design concept to repair or repurpose the inactive ponds. Sustain existing uses.

Longer Term

- Repair or renovate the ponds (per 2014 technical report).
- Consider adding neighborhood-serving event utilities and infrastructure, a picnic shelter or pavilion, a destination nature play and/or water play area, and diverse recreation elements, potentially including adventure and challenge elements.
- Consider a community garden or demonstration, healing, or rain garden.
- Provide trailhead amenities and connections to the proposed off-street trail. Consider installing outdoor exercise equipment in addition to, or as replacement for, existing parcourse equipment.

Operational:

4. Successional Tree Plantings

58 trees donated by Stanford Sports will be planted at various park locations. Five have been planted at Linda Vista Park.

HOOVER PARK



COMMUNITY GOALS



Description

Hoover Park is a 5-acre site built in 1987 that offers two sport fields, two playgrounds for elementary and preschool-age children, basketball hoop, and family picnicking.

FOCUS

Neighborhood park and recreation and sports space.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, seating, shade, outdoor exercise equipment, and inclusive elements.

City Work Program:

2. Athletic Field Use Policy

The updated Athletic Field Use Policy was reviewed and approved by City Council on May 4, 2021. This completes the Fiscal Year 2019-20 City Work Program item to assess the Athletic Field Use Policy, including Sunday reservation feasibility.

SITE ENHANCEMENT OPPORTUNITIES

Short Term

- Sustain existing uses.

Longer Term

- Consider adding a community garden and diverse recreation elements.
- Consider providing a larger/full-size basketball court.
- Consider a looped walking path and restrooms.

VARIAN PARK



COMMUNITY GOALS



Description

This is a 6.3-acre site includes two tennis courts, two playgrounds, an apricot orchard, lawn areas, walkways, and family picnic areas. It is adjacent to Stevens Creek Elementary School.

FOCUS

Neighborhood park with tennis, passive recreation, orchard and habitat focus.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, seating, nature play, and inclusive elements.

2. Annual Playground Replacement

Inclusive elements will be implemented in the design of the playground to be replaced at Creekside Park in Fiscal Year 2020-21.

SITE ENHANCEMENT OPPORTUNITIES

Short Term

- Consider expanding or replacing play area with nature play area and/or thematic or inclusive play elements.
- Consider restriping tennis court(s) to share for pickleball.
- Consider other enhancements for outdoor recreation diversity.
- Sustain existing uses.

Longer Term

- Consider diverse recreation elements focused on passive uses and nature education.
- Consider community garden, outdoor classroom, pollinator patches, and interpretive signage.
- Maintain connections to adjacent school.
- Provide trailhead amenities and connections to proposed bikeway.

CIVIC CENTER — PLAZA & LIBRARY FIELD



COMMUNITY GOALS



Description

The civic center plaza was renovated in 2004 as part of construction of the new Library and Community Hall. The site forms the heart of the city's civic center. The one-acre plaza hosts a popular interactive fountain. It also offers benches, landscaping, wifi availability, and hosts annual community events such as Earth & Arbor Day and the springtime Big Bunny 5K & Kids Fun Run.

The 3-acre Library Field is adjacent to the Cupertino Library and Civic Center. It is currently used by both youth cricket and youth volleyball teams for sports activities, and hosts occasional special events. Its east side is bordered by Regnart Creek.

FOCUS

Multi-use civic space for green space, recreation, gathering, and programming.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, seating, outdoor work space, shade, and water play. This works toward the Fiscal Year 2019-20 City Work Program item to install a drinking fountain and bottle filling station at City Hall and Jollyman Park.

SITE ENHANCEMENT OPPORTUNITIES

Short & Longer Term - Civic Center

- Sustain existing uses in the short term.
- Evaluate Civic Center Master Plan in relation to major new facility discussions to clarify use of Civic Center, and adjacent areas.

Short Term - Library Field

- Sustain existing uses pending decision on implementation of Civic Center Master Plan and cricket field long-term location.
- Consider creating a separate parcel for Library Field and rezoning it as PR zoning (park and recreation).

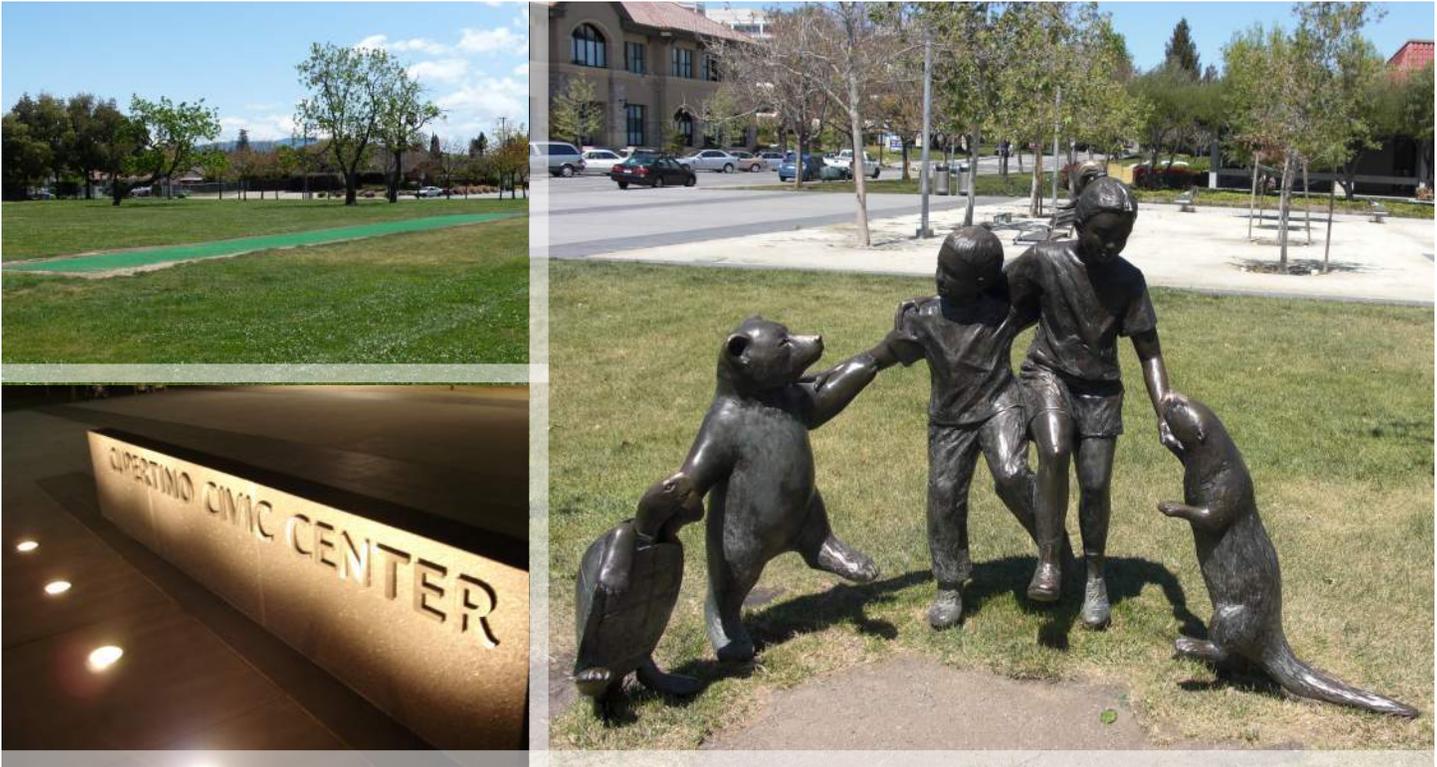
Longer Term - Library Field

- Consider the addition of major facilities, relocation of cricket field if a better site is identified, and long-term options as civic center-related space or permanent green space.
- Consider whether adjacent parking can be put underground to expand Library Field and green space.

City Work Program:

2. Athletic Field Use Policy

The updated Athletic Field Use Policy was reviewed and approved by City Council on May 4, 2021. This completes the Fiscal Year 2019-20 City Work Program item to assess the Athletic Field Use Policy, including Sunday reservation feasibility.



3. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation Department's goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

THREE OAKS PARK



COMMUNITY GOALS



Description

This 3.1-acre neighborhood park was constructed in 1980, with a later renovation of the play area in 1996. Three Oaks Park offers playgrounds, family picnicking, walkways and lawn space. It is also known for the distinctive large oak trees that are its namesake.

FOCUS

Neighborhood park with nature emphasis.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, outdoor exercise equipment, and inclusive elements.

City Work Program:

2. Neighborhood Events

Neighborhood Events has featured several cultural events in parks across Cupertino. The Parks and Recreation Department's goal moving forward is to provide a minimum of three cultural events and a series of art events as part of the summer program lineup. This works towards the Fiscal Year 2019-20 City Work Program item for Arts and Cultural Festivals and Programs.

SITE ENHANCEMENT OPPORTUNITIES

Short Term

- Sustain existing uses.

Longer Term

- Address successional tree plantings to maintain character.
- Consider adding nature play area and/or inclusive elements and repurposing or improving the southeasterly rock play area.
- Consider adding neighborhood-serving event utilities and infrastructure, and diversifying recreation opportunities.

SOMERSET PARK



COMMUNITY GOALS



Description

Somerset Park was constructed in the early 1970's and renovated in 1996. Somerset Park's neighborhood enjoys its 1.7 acres of picnic area, playground, basketball hoop, trees, and lawn space.

FOCUS

Neighborhood park.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, seating, outdoor exercise equipment, nature play, and inclusive elements.

SITE ENHANCEMENT OPPORTUNITIES

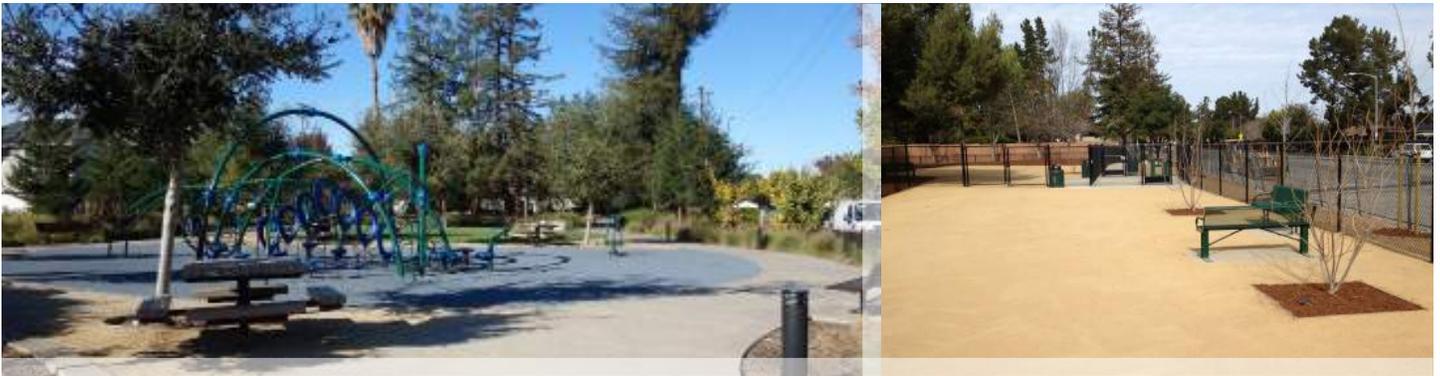
Short Term

- Sustain existing uses.

Longer Term

- Consider adding a community garden, dog area, and/or larger basketball area or other amenities.
- Provide trailhead amenities and connections to the De Anza Trail if it is implemented.

SMALL NEIGHBORHOOD PARKS



COMMUNITY GOALS



Description

CANYON OAK PARK

Constructed in the early 2000's, this 0.6-acre park provides play equipment, seating, and a small lawn area. It enjoys a view to extensive open space.

FRANCO PARK

Cupertino's Franco Park opened in January 2011. This 0.6-acre neighborhood park includes picnic tables and seating, as well as playground equipment with safety surfacing and a perimeter fence to separate the park from adjacent streets.

LITTLE RANCHO PARK

Constructed in the early 2000's, this 0.3-acre park serves its neighbors with play equipment, benches, and landscaping.

MARY AVE DOG PARK

Opened in early 2014, Mary Avenue Dog Park is Cupertino's first park designed for off-leash dogs. This 0.5-acre site provides a fenced areas for large and small dogs, benches, and a dog drinking fountain.

STERLING BARNHART PARK

Sterling Barnhart Park is one of the city's newer parks and was dedicated in August 2010. This 0.5 acre site provides playground equipment, picnicking, game table, benches, and plantings which include California native species. This site is bordered by Saratoga Creek and offers pedestrian-bicycle access to Saratoga Creek Trail on the opposite creek bank.

SITE ENHANCEMENT OPPORTUNITIES

CANYON OAK PARK

Short & Longer Term

- Maintain orientation to the view of open space. Sustain existing uses.

FRANCO PARK

Short & Longer Term

- Sustain existing uses.
- Consider adding shade and small group seating area.
- Improve pedestrian and bicycle access from Franco Court.
- Evaluate possible on-street parking and crosswalk to Franco Court access point.

LITTLE RANCHO PARK

Short & Longer Term

- Sustain existing uses.

MARY AVE DOG PARK

Short & Longer Term

- Enhance existing use.
- Consider adding shade, varied terrain, small group seating areas, dog amenities (such as dog agility features).

STERLING BARNHART PARK

Short & Longer Term

- Sustain existing uses.
- Consider effects of an extension of Saratoga Creek Trail or the acquisition of Lawrence-Mitty property, if pursued.



FOCUS

Neighborhood parks and play nodes for local use and trail connection.

Mary Ave Dog Park serves as a gathering site for dog owners/friends.

IMPLEMENTATION

Multi-Year Funding:

1. Park Amenity Improvements

A variety of amenities are being considered for implementation or upgrade, including hydration stations, improved waste disposal, and outdoor table tennis.

**4. Parks & Recreation System
Master Plan (PRSMP) - Park
Amenities Strategic Plan
2021**

PARK AMENITIES PROJECT - INSTALLATION STRATEGY

Park	Pickleball Striping	INSTALLED: Pickleball Striping	Hydration Stations	INSTALLED: Hydration Stations	Garbage Cans/ Recycling Bins (Trios)*	INSTALLED: Garbage Cans/ Recycling Bins (Trios)*	Benches/ Picnic Tables	INSTALLED: Benches/ Picnic Tables	Shade trees	INSTALLED: Shade trees	Shade structures	INSTALLED: Shade structures
Memorial	1	1	3	0	2	0	CIP-1		12		CIP	
Stevens Creek Corridor			2	0							CIP	
Creekside			3	3	8	0	1	1				
Hoover			2	2	6	0			6			
Jollyman			3	1	1	0	2	0				
Linda Vista			2	0	1	0	6	0			CIP	
MVRC			3	3	5	0	4	0				
Portal			2	1	4	0	4	0				
Varian			2	1	2	0	3	0				
Wilson			4	3	4	0	3	0				
Canyon Oak				1	1	0			4			
Franco					2	0						
Little Rancho				1	1	0	3	0	3			
Somerset			1	1	2	0	2	0				
Sterling Barnhardt						0			2			
Three Oaks			1	1	2	0	3	0				
Civic Center			2	0		0	CIP-2	0	?			
Library Field			1	0		0	6	0				
NO. OF UNITS	1		31		41		37		27		3	
UNIT COST	\$6,000	\$2,990	\$4,500		\$2,000		\$1,800		\$350		\$125,000	
SUBTOTAL BY AMENITY/NO CIP	\$6,000		\$139,500	\$88,986	\$82,000		\$66,600		\$9,450		\$0	
CIP SUBTOTAL							\$18,000				\$375,000	

*Garbage Cans/ Recycling Bins (Trios): counted as units, whether planned as a trio, duo, or single. Each count as one unit.

CIP-1: Include in Memorial Park redesign

CIP-2: USB charging tables

CIP-3: add water play feature

PARK AMENITIES PROJECT - INSTALLATION STRATEGY

Park	Outdoor Table Tennis	INSTALLED: Outdoor Table Tennis	Exercise Equipment	INSTALLED: Exercise Equipment	Cornhole	INSTALLED: Cornhole	Mile Markers	INSTALLED: Mile Markers	Inclusive Swings	INSTALLED: Inclusive Swings	Checkers Table	INSTALLED: Checkers Table
Memorial												
Stevens Creek Corridor												
Creekside			CIP						CIP			
Hoover												
Jollyman	1	1										
Linda Vista												
MVRC			CIP						1			
Portal												
Varian												
Wilson	1	1										
Canyon Oak												
Franco												
Little Rancho												
Somerset	1	0										
Sterling Barnhardt												
Three Oaks												
Civic Center												
Library Field												
NO. OF UNITS	3		2		0		0		2		0	
UNIT COST	\$7,000		\$300,000						\$50,000			
SUBTOTAL BY AMENITY/NO CIP	\$21,000	\$27,012	\$0		\$0		\$0		\$50,000		\$0	
CIP SUBTOTAL			\$600,000						\$50,000			

PARK AMENITIES PROJECT - INSTALLATION STRATEGY

Park	Tennis Court	INSTALLED: Tennis Court	Gathering Space	INSTALLED: Gathering Space	Bike Racks	INSTALLED: Bike Racks	Nature Play	INSTALLED: Nature Play	BBQ	INSTALLED: BBQ	Volleyball	INSTALLED: Volleyball
Memorial												
Stevens Creek Corridor			CIP		1							
Creekside												
Hoover												
Jollyman												
Linda Vista												
MVRC							1					
Portal									1			
Varian												
Wilson												
Canyon Oak												
Franco												
Little Rancho												
Somerset												
Sterling Barnhardt												
Three Oaks												
Civic Center							CIP-3					
Library Field												
NO. OF UNITS	0		1		1		2		1		0	
UNIT COST			\$300,000		\$1,000		\$300,000		\$3,500			
SUBTOTAL BY AMENITY/NO CIP	\$0		\$0		\$1,000		\$300,000		\$3,500		\$0	
CIP SUBTOTAL			\$300,000				\$300,000					

Status

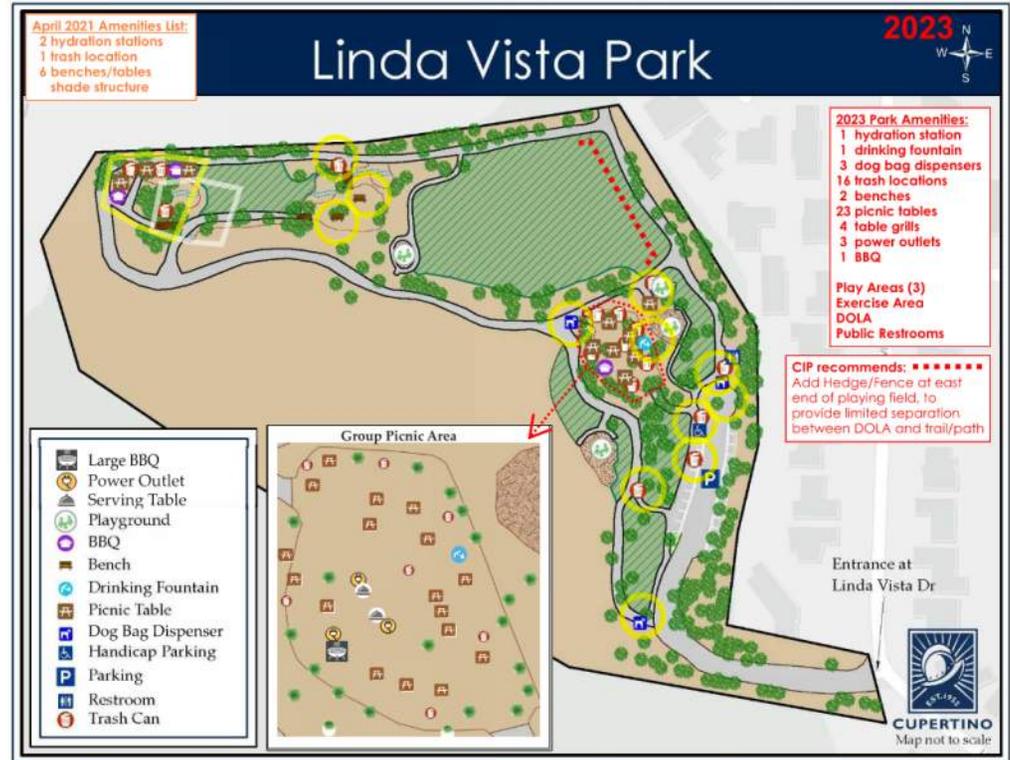
Park	Hydration Stations	INSTALLED: Hydration Stations	Garbage Cans/ Recycling Bins*	INSTALLED: Garbage Cans/ Recycling Bins (Trios)*	Benches/ Picnic Tables	INSTALLED: Benches/ Picnic Tables	Pickleball Striping	INSTALLED: Pickleball Striping	Shade trees	INSTALLED: Shade trees	Outdoor Table Tennis	INSTALLED: Outdoor Table Tennis	BBQ	INSTALLED: BBQ	Bike Racks	INSTALLED: Bike Racks	Hedges, Fences (2023)	INSTALLED: Hedges, Fences	Dog Bag Dispenser (2023)	INSTALLED: Dog Bag Dispenser
Canyon Oak	0	1	1	0	0	0			4											
Civic Center	2	0	0	0	CIP-2	0			?											
Creekside	3	3	8	0	1	1								1						
Franco	0	0	2	0	0	0														
Hoover	2	2	6	0	0	0			6											
Jollyman	3	1	1	0	2	0					1	1								
Library Field	1	0	0	0	6	0														
Linda Vista	2	0	1	0	6	0														
Little Rancho	0	1	1	0	3	0			3											
Memorial	3	0	2	0	CIP-1	0	1	1	12							0	0	0	0	
MVRC	3	3	5	0	4	0														
Portal	2	1	4	0	4	0						1								
Somerset	1	1	2	0	2	0					1	0								
Sterling Barnhardt	0	1	0	0	0	0			2											
Stevens Creek Corridor	2	0	0		0	0									1					
Three Oaks	1	1	2	0	3	0														
Varian	2	1	2	0	3	0														
Wilson	4	3	4	0	3	0					1	1								
NO. OF UNITS	31	19	41	0	37	1	1	1	27	0	3	2	1	1	1	0	0	0	0	0
UNIT COST	\$7,000		\$2,000		\$2,000		\$2,990		\$350		\$4,255		\$4,000		\$1,000		\$29,000		\$200	
SUBTOTAL BY AMENITY/NO CIP	\$217,000		\$82,000		\$74,000		\$2,990		\$9,450		\$12,765		\$4,000		\$1,000		\$0		\$0	
CIP SUBTOTAL					\$18,000															
previously estimated at	\$4,500		\$2,000		\$1,800		\$6,000		\$350		\$7,000		\$3,500		\$1,000					

*2024 Update: Grounds staff installed two benches adjacent to the Jollyman DOLA, and two benches adjacent to the Linda Vista DOLA.

Potential Additions

Linda Vista Park

- DOLA users have requested Hedge + Fence installation.
Estimated Cost: \$29,000
- DOLA users have requested additional seating **Completed*



**2025 Update: Grounds staff proposes to install two Group BBQ's with adjustable grill and two serving tables. This will be reviewed at the April 2025 Parks and Recreation Commission meeting.*

5. From the 2019 Green Stormwater Infrastructure Plan



City of Cupertino

Green Stormwater Infrastructure Plan

Approved on: September 3, 2019

Approved by: The City Council of the City of Cupertino

**Submitted by:
City of Cupertino
10300 Torre Avenue
Cupertino, CA 95014**



In compliance with Provision C.3.j.i.(2) of Order R2-2015-0049

These potential CIP project locations are shown on the map in Figure 5-3. A GSI concept for the Mary Avenue Greenbelt and Trail Project was completed for the SWRP. The project is currently unfunded, and the concept design is intended to assist with the grant application process should the City decide to pursue funding via Proposition 1 or other State bond-funded grant program.

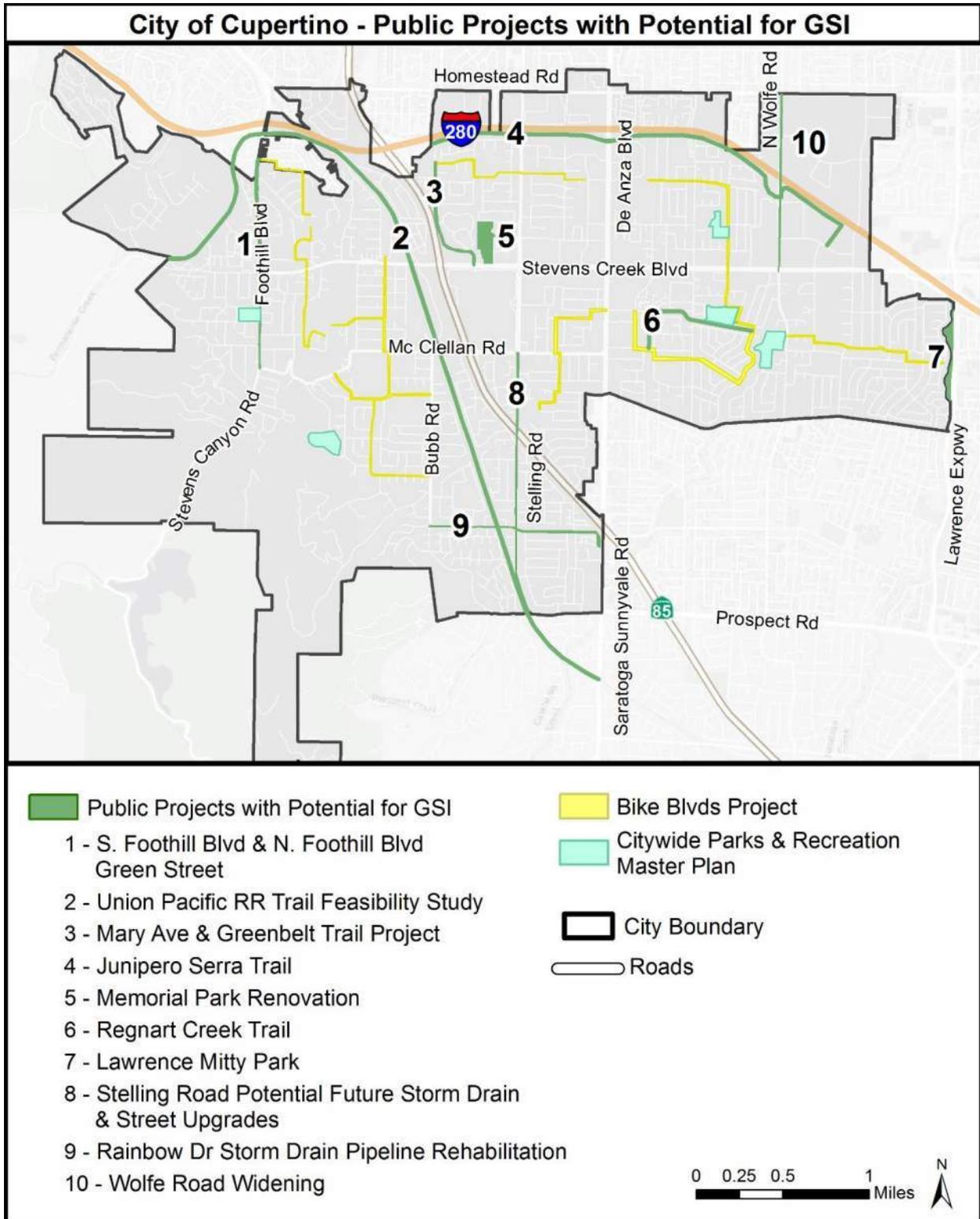


Figure 5-3. City of Cupertino Public Projects with Potential for GSI (Source: City of Cupertino FY 17-18 Annual Report, and 2018 Santa Clara Basin Stormwater Resource Plan)

5.3 Prioritization Output

The map in Figure 5-4 presents a compilation of the factors used to identify and prioritize the City's opportunities for GSI projects: the City's list of parcel-based and green street project opportunities, overlaid with the City's PDA, Special Areas, and CIP projects that may have potential to include GSI. The locations of the City's completed GSI projects, including the McClellan Ranch West Parking Lot project which is under construction and expected to be completed by September 2019, are also shown. As shown in Figure 5-4, a large number of the green street opportunities identified in the SWRP are located within the City's PDA and Special Areas. This indicates a strong correlation between the areas identified as having potential for GSI and the City's construction and redevelopment plans.

The City's list of parcel-based and green street opportunities is provided in tabular format in Appendix B. The list includes additional information for each parcel and green street opportunity, including general information such as APN, landowner and land use or street name, the SWRP prioritization score for each project opportunity, and co-location with a City criteria for prioritization (CIP project, PDA or Special Area).

An implementation plan is described in Section 6 to guide the development, design, and construction of GSI projects.

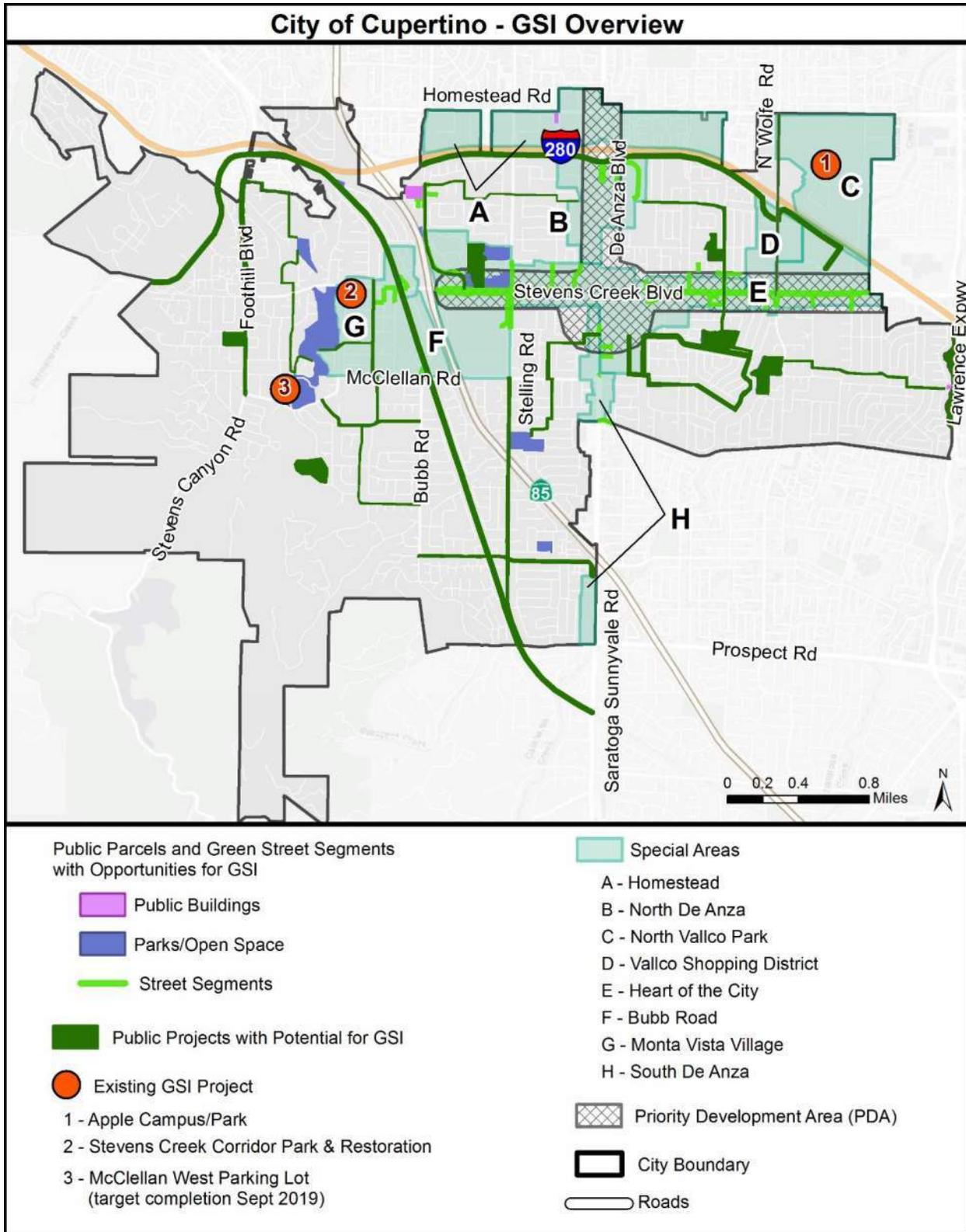


Figure 5-4 City of Cupertino GSI Overview

6. From the 2018 Storm Drain Master Plan

Chapter 5. Capital Improvement Plan

5.1. Overview

Chapter 4 discusses Cupertino's storm drain collection system and recommends prioritized capital improvements to address known and modeled deficiencies. This chapter provides a Capital Improvement Program (CIP) that recognizes these priorities. The CIP provides an overall guideline for the City to use as a tool in preparing annual budgets. Exigent circumstances and future in-field experiences may necessitate deviations from the Storm Drain CIP. A master plan is intended to be a tool for planning. Capital improvement priorities are not intended to be hard and fast.

The CIP does not include the cost of new facilities related to new development (e.g., pipeline extensions to serve areas that are currently undeveloped). These new facilities may be constructed as part of the new developments, and are not included in the CIP.

5.2. Capital Improvements Priorities

The proposed CIP for storm drainage in Cupertino is broken into three priority levels for the purpose of funding and implementation. The total cost summary for CIP projects is shown for each priority level in Table 5-1. Summary of CIP Costs Based on Priority Level (total project cost)

Table 5-1: Summary of CIP Costs Based on Priority Level (total project cost)

Priority Level	Cost ¹
High Priority Capital Improvements	\$12,520,000
Moderate Priority Capital Improvements	\$25,880,000
Low Priority Capital Improvements	\$40,880,000
Total Capital Improvement Program	\$79,280,000

1. Cost rounded to the nearest ten thousand

The above costs do not include design, administration, or construction contingencies. Project subtotals (cost of pipe demolition and replacement), construction totals (including traffic control, mobilization, demobilization, and contingency), and CIP totals (including design and engineering costs) are detailed in Appendix C.



Table 5-3: CIP Projects for the City of Cupertino

Project	Priority	Project Length	Total MH #	Total Project Cost ¹
Pumpkin Fiesta Phase 1	High	587	4	\$ 476,000
Pumpkin Fiesta Phase 2	High	1698	9	\$ 1,402,000
Bubb Phase 1	High	302	2	\$ 182,000
Bubb Phase 2	High	823	10	\$ 583,000
Bubb Phase 3	High	3048	17	\$ 1,651,000
Foothill South Phase 1	High	1643	11	\$ 1,295,000
Foothill South Phase 2	High	2186	9	\$ 1,219,000
McClellan Phase 1	High	4270	20	\$ 2,558,000
McClellan Phase 2	High	2020	10	\$ 1,136,000
Stevens East	High	1428	6	\$ 816,000
Foothill North Phase 1	High	1164	9	\$ 567,000
Foothill North Phase 2	High	1192	7	\$ 515,000
Cali	High	235	4	\$ 115,000
Beardon	Moderate	2211	11	\$ 1,060,000
Blaney North	Moderate	3034	12	\$ 1,503,000
Blaney South	Moderate	2633	12	\$ 1,221,000
Bollinger	Moderate	2987	16	\$ 1,612,000
Calle de Barcelona	Moderate	4144	15	\$ 2,019,000
Calvert	Moderate	1465	6	\$ 690,000
Columbus	Moderate	4547	19	\$ 2,072,000
Finch	Moderate	1000	6	\$ 428,000
Fort Baker	Moderate	3280	14	\$ 1,432,000
John	Moderate	982	6	\$ 379,000
Kingsbury	Moderate	1689	9	\$ 676,000
Majestic Oak	Moderate	513	4	\$ 200,000
Peach Blossom	Moderate	3694	13	\$ 1,539,000
Poppy	Moderate	1331	7	\$ 623,000
Rainbow	Moderate	1119	4	\$ 568,000
Rodrigues	Moderate	4811	20	\$ 2,259,000
Royal Oak	Moderate	746	6	\$ 304,000
Scenic	Moderate	682	6	\$ 308,000
Scotland	Moderate	1349	8	\$ 550,000
Stafford	Moderate	1217	6	\$ 496,000
Stelling North	Moderate	2689	13	\$ 1,541,000
Stelling South	Moderate	3232	14	\$ 1,374,000
Stern	Moderate	1390	6	\$ 533,000
Stevens West	Moderate	1578	8	\$ 621,000
Stokes	Moderate	2283	13	\$ 1,048,000
Vista	Moderate	1571	10	\$ 633,000
Weymoth	Moderate	518	3	\$ 189,000
Adriana	Low	140	2	\$ 66,000
Ainsworth	Low	637	4	\$ 348,000



Project	Priority	Project Length	Total MH #	Total Project Cost ¹
Alcalde	Low	847	6	\$ 418,000
Alhambra	Low	924	6	\$ 366,000
Alves	Low	2926	19	\$ 1,326,000
Bandly	Low	219	2	\$ 89,000
Baywood	Low	828	5	\$ 307,000
Bubb North	Low	1617	5	\$ 697,000
Bubb South	Low	1219	7	\$ 584,000
Byrne	Low	678	6	\$ 304,000
Candlewood	Low	1348	7	\$ 562,000
Castine Phase 1	Low	1587	9	\$ 920,000
Castine Phase 2	Low	1069	4	\$ 429,000
Clarkston	Low	991	6	\$ 370,000
Clifford	Low	944	4	\$ 344,000
Colony Hills	Low	605	3	\$ 214,000
De Anza Circle	Low	298	3	\$ 125,000
De Anza North Phase 1	Low	1660	7	\$ 859,000
De Anza North Phase 2	Low	1776	15	\$ 936,000
De Anza South	Low	1014	5	\$ 569,000
De Foe	Low	466	5	\$ 230,000
DeAnza	Low	203	2	\$ 97,000
Deep Cliffe	Low	482	3	\$ 172,000
Derbyshire	Low	1101	5	\$ 389,000
Drake	Low	985	5	\$ 341,000
Elmsford	Low	1182	4	\$ 394,000
Estates	Low	727	4	\$ 292,000
Fairwoods	Low	627	4	\$ 271,000
Farallone	Low	330	3	\$ 134,000
Felton	Low	330	4	\$ 206,000
Gardena	Low	166	2	\$ 70,000
Gardenside	Low	933	5	\$ 335,000
Greenwood	Low	712	3	\$ 245,000
Homestead	Low	2873	10	\$ 1,325,000
Homestead West Phase 1	Low	7946	38	\$ 4,339,000
Homestead West Phase 2	Low	1260	5	\$ 430,000
Imperial	Low	493	4	\$ 237,000
Kim	Low	916	6	\$ 399,000
La Mar	Low	1603	10	\$ 638,000
Lazaneo	Low	351	3	\$ 163,000
Lilac	Low	950	5	\$ 342,000
Linda Vista	Low	363	3	\$ 144,000
Longdown	Low	332	3	\$ 143,000
Mariani	Low	555	4	\$ 339,000
Martinwood	Low	548	4	\$ 210,000

Project	Priority	Project Length	Total MH #	Total Project Cost ¹
Mary	Low	432	4	\$ 276,000
Merritt	Low	934	6	\$ 511,000
Meteor	Low	542	4	\$ 197,000
Miramonte	Low	686	7	\$ 319,000
Norwich	Low	2909	10	\$ 1,311,000
Palo Vista	Low	649	6	\$ 339,000
Par Three	Low	201	2	\$ 80,000
Parlett	Low	514	2	\$ 175,000
Pendergast	Low	824	2	\$ 356,000
Phar Lap 1	Low	1397	9	\$ 607,000
Phar Lap 2	Low	1229	5	\$ 480,000
Plum Tree	Low	762	4	\$ 272,000
Portal	Low	1847	10	\$ 778,000
Richwood	Low	1180	6	\$ 419,000
Rivercrest	Low	208	2	\$ 205,000
Scotfield	Low	1903	7	\$ 787,000
Somerset	Low	617	3	\$ 217,000
St Joseph	Low	258	3	\$ 118,000
Stevens Canyon	Low	281	4	\$ 148,000
Stevens Creek	Low	11439	66	\$ 7,312,000
Suisun	Low	391	4	\$ 189,000
Swallow	Low	192	2	\$ 93,000
Terrace	Low	1034	5	\$ 396,000
Torre	Low	1028	6	\$ 445,000
United Place	Low	203	3	\$ 98,000
Vallco Parkway 1	Low	441	3	\$ 216,000
Vallco Parkway 2	Low	384	5	\$ 199,000
Vallco Parkway 3	Low	838	5	\$ 429,000
Valley Green 1	Low	502	3	\$ 198,000
Valley Green 2	Low	349	3	\$ 161,000
Voss	Low	809	4	\$ 302,000
Wheaton	Low	572	3	\$ 204,000
White Fir	Low	116	2	\$ 57,000
Wildflower	Low	162	2	\$ 73,000
Wolfe	Low	1315	7	\$ 543,000
Wunderlich	Low	1778	6	\$ 657,000

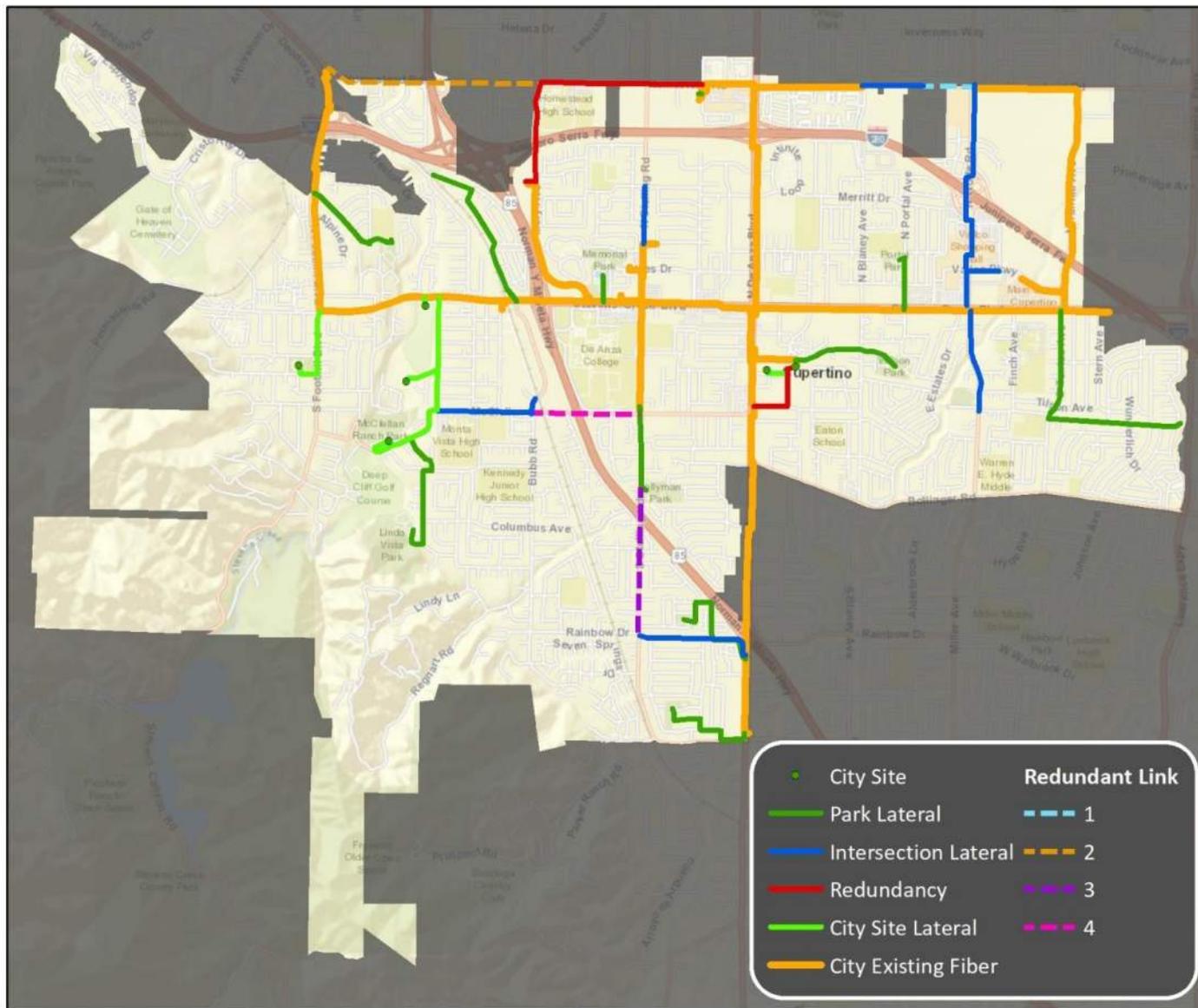
1. Total Project Cost rounded to the nearest thousand

5.7. Green Infrastructure

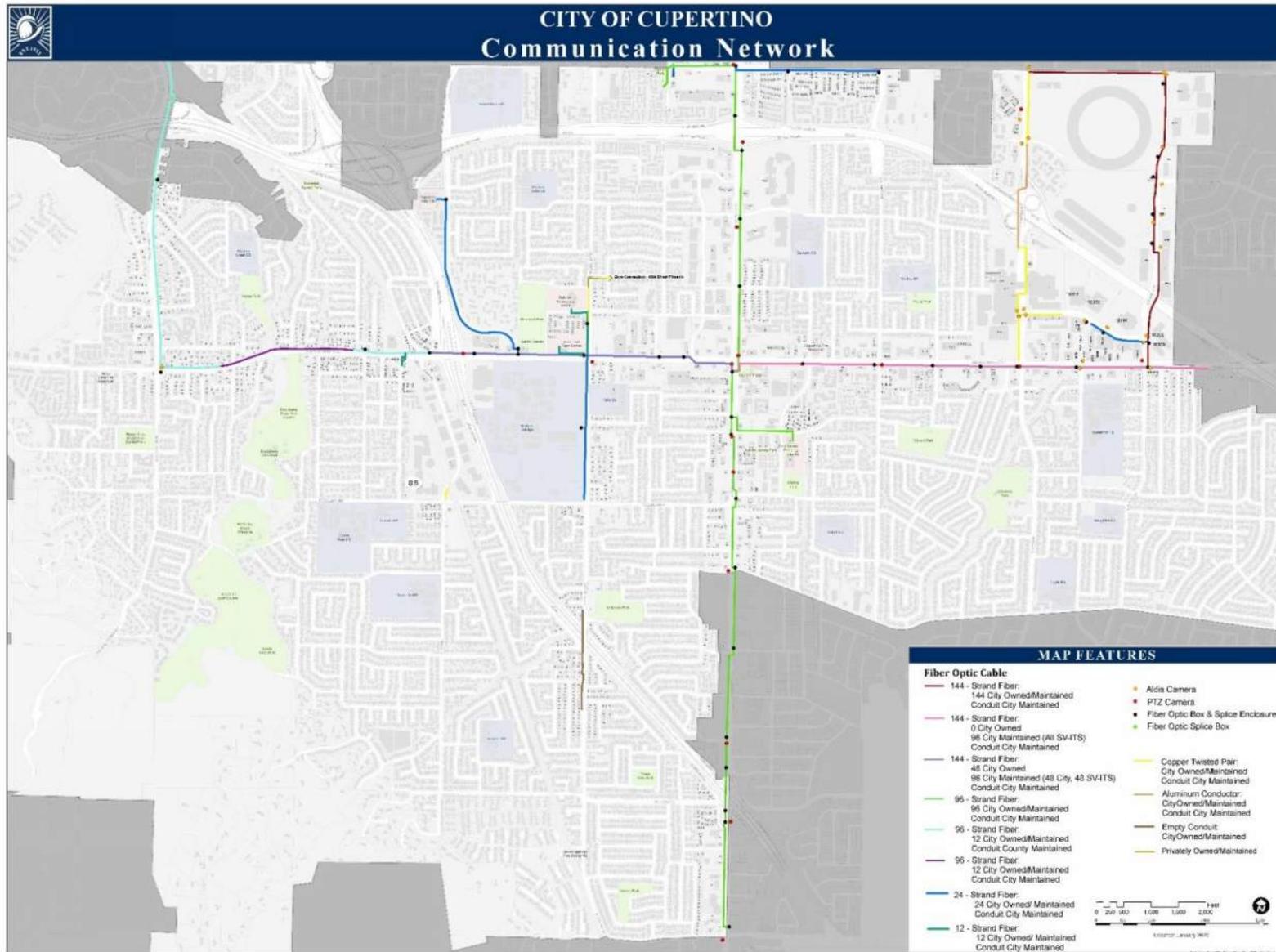
The 2015 MRP section C.3.j includes development of a Green Infrastructure Program Plan to include LID (Low Impact Development) design on public and private lands, including streets, roads, storm drains and other storm drain infrastructure elements. The Plan is intended to act as a roadmap to turn the City's 'gray' infrastructure into 'green'. Additionally, the intent of the Plan is to provide reasonable assurance that the TMDL wasteload

7. From the 2020 Fiber Optic Master Plan

Appendix D: Proposed Future Routes



Appendix E: Fiber Count and Ownership



8. From the Facility Condition Assessment report

Building Condition Assessment Report, February 2023

SUMMARY	Current	Escalated
Location Name	Repair Cost	Repair Costs
Blackberry Farms Café	\$352,400	\$426,440
Blackberry Farms Pool Pump Buildings 1 & 2, Lifeguard Bldg., and Kiosk	\$221,800	\$262,590
Blackberry Farms Trail Auxiliary Building	\$78,140	\$92,230
Blackberry Farms Trail Restroom	\$40,340	\$47,610
Blackberry Farms Retreat Center & Garage	\$237,370	\$280,950
Blesch House	\$336,340	\$397,250
Byrne Ave. House	\$74,360	\$87,780
City Hall	\$5,514,620	\$6,400,930
City Hall Annex	\$2,075,040	\$2,450,300
Community Hall	\$602,660	\$701,580
Creekside Park Recreation Building	\$251,100	\$294,520
Jollyman Park Restroom	\$57,630	\$68,040
Kennedy Sports Field Restroom	\$392,560	\$463,280
Library	\$4,491,090	\$5,236,410
Linda Vista Park Restroom & Shed	\$50,360	\$59,450
McClellan Ranch Preserve 4H Building	\$104,160	\$125,560
McClellan Ranch Preserve Barn, Barn Shed, Blacksmith & Milk Barn Bldgs.	\$315,160	\$373,250
McClellan Ranch Preserve Nature Museum and Ranch House/Gift Shop	\$431,280	\$515,660
Memorial Park Gazebo	\$13,520	\$15,960
Memorial Park Restrooms (2) and Sheds (2)	\$194,880	\$230,060
Monta Vista - Gymnastics Building	\$1,571,600	\$1,834,880
Monta Vista - Pre-School Building	\$530,990	\$604,870
Portal Park Recreation Building & Restrooms	\$198,290	\$233,370
Quinlan Community Center	\$4,460,440	\$5,245,100
Senior Center	\$1,881,970	\$2,169,230
Service Center Welding Bldg., Shops & Mechanical Bldg, Administration Bldg.	\$2,026,380	\$2,381,950
Sports Center	\$1,986,900	\$2,300,830
Traffic Maintenance Yard - Buildings 1 & 2	\$186,200	\$223,780
Wilson Park Recreation Bldg, Restroom and Snack Shack	\$219,300	\$258,870
Total	\$28,909,270	\$33,797,360

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1012	Blackberry Farms Café	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 200A (24 ckts, indoor, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$5,850	\$6,910
1011	Blackberry Farms Café	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/240V, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,540	\$20,700
1017	Blackberry Farms Café	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 400A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$22,320	\$26,340
1007	Blackberry Farms Café	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 800A switchboard is approaching the end of its expected useful life.	Replace the existing switchboard with a new switchboard.	\$31,720	\$37,430
1006	Blackberry Farms Café	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$115,290	\$136,050
1024	Blackberry Farms Café	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Existing door frames are deteriorated.	Replace door frame, reinstall the door and its associated hardware.	\$5,560	\$6,570
828	Blackberry Farms Café	B2010 - Exterior Walls	4 - Necessary - Long Term (3-4 Years)	CMU walls are showing signs of wear.	Clean and repaint CMU walls.	\$18,480	\$22,740
1025	Blackberry Farms Café	C2030 - Flooring	4 - Necessary - Long Term (3-4 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$78,540	\$96,610
1005	Blackberry Farms Café	D3030 - Cooling Systems	5 - Potential - Long Term (4-5 Years)	Direct/indirect (4-ton) evaporative cooler with gas/electric heat is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$57,100	\$73,090

Blackberry Farms Café

\$352,400

\$426,440

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
956	Blackberry Farms Pool Pump Building 1	D3060 - Ventilation	1 - Immediate (0-1 Years)	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$10,860	\$11,730
815	Blackberry Farms Pool Pump Building 2	A4010 - Standard Slabs on Grade	3 - Impending (2-3 Years)	The concrete pad has major cracks and divots that present tripping hazards.	Repair the concrete pad to eliminate tripping hazards.	\$8,210	\$9,690
1039	Blackberry Farms Pool Pump Building 2	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Grout is damaged and deteriorating on the tiled walls.	Clean and regrout tiles.	\$61,590	\$72,680
810	Blackberry Farms Pool Pump Building 1	C2030 - Flooring	3 - Impending (2-3 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$41,590	\$49,080
1027	Blackberry Farms Pool Pump Building 1	C2030 - Flooring	3 - Impending (2-3 Years)	Grout is damaged and deteriorating on the tiled floor.	Clean and regrout tiles.	\$4,950	\$5,850
813	Blackberry Farms Pool Pump Building 2	C2030 - Flooring	3 - Impending (2-3 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$22,190	\$26,190
959	Blackberry Farms Pool Pump Building 1	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (40 ckts, 120/240, 1P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$23,650	\$27,910
980	Blackberry Farms Pool Pump Building 2	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
962	Blackberry Farms Pool Pump Building 1	D2010 - Domestic Water Distribution	4 - Necessary - Long Term (3-4 Years)	Gas fired water heater more than 75 Gal is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$23,810	\$29,290
816	Blackberry Farms Lifeguard Building	B2010 - Exterior Walls	5 - Potential - Long Term (4-5 Years)	Trim is worn and should be replaced.	Replace trim and finish to match. Replace at the same time as siding.	\$950	\$1,220

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
831	Blackberry Farms Kiosk	B2050 - Exterior Doors and Grilles	5 - Potential - Long Term (4-5 Years)	Metal door is damaged or deteriorated.	Repair door and repaint.	\$3,710	\$4,750
1026	Blackberry Farms Kiosk	C2030 - Flooring	5 - Potential - Long Term (4-5 Years)	Sealed concrete floor is approaching the end of its useful life.	Repair and refinish the concrete floor.	\$2,480	\$3,180
Blackberry Farms Pool Pump Buildings 1 & 2, Lifeguard Bldg., and Kiosk						\$221,800	\$262,590
808	Blackberry Farms Golf Course Maintenance Building	C2030 - Flooring	3 - Impending (2-3 Years)	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	\$70	\$90
949	Blackberry Farms Golf Course Maintenance Building	D3060 - Ventilation	3 - Impending (2-3 Years)	Roof/sidewall ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,270
950	Blackberry Farms Golf Course Maintenance Building	D3060 - Ventilation	3 - Impending (2-3 Years)	Roof/sidewall ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,270
Blackberry Farms Golf Course Maintenance Building						\$12,390	\$14,630
817	Blackberry Farms Trail Auxiliary Building	B1020 - Roof Construction	3 - Impending (2-3 Years)	Wood roof framing and decking are in poor condition.	Remove and replace wood roof framing and decking.	\$46,820	\$55,250
822	Blackberry Farms Trail Auxiliary Building	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$18,730	\$22,110

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
820	Blackberry Farms Trail Auxiliary Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (120/208V) all-in-one combination service entrance pedestal is approaching the end of its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	\$7,890	\$9,320
819	Blackberry Farms Trail Auxiliary Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
Blackberry Farms Trail Auxiliary Building						\$78,140	\$92,230
827	Blackberry Farms Trail Restroom	B1020 - Roof Construction	3 - Impending (2-3 Years)	Wood roof framing and decking are in poor condition.	Remove and replace wood roof framing and decking.	\$22,190	\$26,190
821	Blackberry Farms Trail Restroom	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$8,880	\$10,480
824	Blackberry Farms Trail Restroom	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior wood entrance door, frame and hardware is approaching the end of its useful life.	Replace wood door, frame, and hardware.	\$9,270	\$10,940
Blackberry Farms Trail Restroom						\$40,340	\$47,610
807	Blackberry Farms Retreat Center & Garage	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Trim is worn and should be replaced.	Replace trim and finish to match. Replace at the same time as siding.	\$50	\$60
1030	Blackberry Farms Retreat Center & Garage	C2030 - Flooring	3 - Impending (2-3 Years)	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	\$2,450	\$2,900

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DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
803	Blackberry Farms Retreat Center & Garage	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$7,400	\$8,740
1028	Blackberry Farms Retreat Center & Garage	C2030 - Flooring	3 - Impending (2-3 Years)	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	\$2,160	\$2,550
938	Blackberry Farms Retreat Center & Garage	D2010 - Domestic Water Distribution	3 - Impending (2-3 Years)	Gas fired water heater less than 75 Gal is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$12,700	\$14,990
805	Blackberry Farms Retreat Center & Garage	D2030 - Building Support Plumbing Systems	3 - Impending (2-3 Years)	Evidence of leaks at roof drains & overflow drains with damage to soffit around downspout penetration	Replace roof & overflow drains & accessories including downspout through soffit.	\$10,790	\$12,740
943	Blackberry Farms Retreat Center & Garage	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (120/208V) all-in-one combination service entrance pedestal is approaching the end of its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	\$7,890	\$9,320
944	Blackberry Farms Retreat Center & Garage	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$92,790	\$109,500
941	Blackberry Farms Retreat Center & Garage	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$2,190	\$2,590

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1029	Blackberry Farms Retreat Center & Garage	E2010 - Fixed Furnishings	3 - Impending (2-3 Years)	The existing casework is at or is approaching the end of its useful life.	Replace original wood cabinets and countertops.	\$83,170	\$98,150
1031	Blackberry Farms Retreat Center & Garage	C2030 - Flooring	4 - Necessary - Long Term (3-4 Years)	Carpet tile is missing or damaged.	Replace carpet tile.	\$15,780	\$19,410
Blackberry Farms Retreat Center & Garage						\$237,370	\$280,950
734	Blesch House	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$67,530	\$79,690
1035	Blesch House	B3020 - Roof Appurtenances	3 - Impending (2-3 Years)	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	\$9,270	\$10,940
735	Blesch House	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	\$38,510	\$45,450
1034	Blesch House	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Paneling is not in serviceable condition.	Remove and replace existing wood wall panels.	\$1,240	\$1,470
1033	Blesch House	C2030 - Flooring	3 - Impending (2-3 Years)	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	\$24,420	\$28,820
738	Blesch House	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$24,640	\$29,080
736	Blesch House	C2030 - Flooring	3 - Impending (2-3 Years)	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	\$1,580	\$1,870
642	Blesch House	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1156	Blesch House	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$150,420	\$177,500
1155	Blesch House	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$10,910	\$12,880
638	Blesch House	D3020 - Heating Systems	5 - Potential - Long Term (4-5 Years)	Radiant wall heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$1,560	\$2,000
640	Blesch House	D3020 - Heating Systems	5 - Potential - Long Term (4-5 Years)	Radiant wall heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$1,560	\$2,000

Blesch House

\$336,340

\$397,250

800	Byrne Ave. House	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Wood window is approaching the end of its useful life.	Replace wood window.	\$6,160	\$7,270
1037	Byrne Ave. House	C2030 - Flooring	3 - Impending (2-3 Years)	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	\$15,600	\$18,410
1041	Byrne Ave. House	C2030 - Flooring	3 - Impending (2-3 Years)	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	\$25,340	\$29,910
1040	Byrne Ave. House	C2030 - Flooring	3 - Impending (2-3 Years)	Wood flooring shows signs of wear.	Sand, repair and refinish the wood flooring.	\$3,020	\$3,570

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
929	Byrne Ave. House	D3020 - Heating Systems	3 - Impending (2-3 Years)	Gas-fired furnace less than 250 Mbh is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$16,350	\$19,300
917	Byrne Ave. House	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (120/240V, 1P) all-in-one combination service entrance device is approaching the end of its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	\$7,890	\$9,320
Byrne Ave. House						\$74,360	\$87,780
141	City Hall	D3030 - Cooling Systems	1 - Immediate (0-1 Years)	Split system (2-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$22,860	\$24,690
1157	City Hall	D4010 - Fire Suppression	1 - Immediate (0-1 Years)	The existing fire sprinkler system is past its expected useful life.	Replace fire sprinkler system.	\$1,064,250	\$1,149,400
163	City Hall	D7050 - Detection and Alarm	1 - Immediate (0-1 Years)	The existing fire alarm system is approaching the end of its useful life and should be replaced.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system.	\$425,700	\$459,760
321	City Hall	D3020 - Heating Systems	2 - Crucial (1-2 Years)	Medium boiler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$80,070	\$90,480
170	City Hall	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Split system (3-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$26,120	\$29,520

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
165	City Hall	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
166	City Hall	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
137	City Hall	D3060 - Ventilation	2 - Crucial (1-2 Years)	Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$17,430
140	City Hall	D3060 - Ventilation	2 - Crucial (1-2 Years)	Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$17,430
1062	City Hall	B2010 - Exterior Walls	3 - Impending (2-3 Years)	The top of the parapet wall is not protected.	Provide a sheet metal cap.	\$15,420	\$18,200
332	City Hall	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Aluminum storefront is at or approaching the end of its useful life.	Replace with 3/8" plate glass in 2"x4" aluminum frame.	\$121,970	\$143,930
334	City Hall	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Aluminum window is approaching/past it's expected useful life.	Replace aluminum window.	\$73,910	\$87,220
335	City Hall	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior aluminum (storefront) entrance door is approaching the end of its useful life.	Replace aluminum door (storefront).	\$91,460	\$107,930
1063	City Hall	B3010 - Roofing	3 - Impending (2-3 Years)	Modified bitumen roofing is at or approaching the end of its useful life.	Replace modified bitumen roofing.	\$116,890	\$137,940
329	City Hall	B3010 - Roofing	3 - Impending (2-3 Years)	Wood fascia and trim chipped and have peeling paint.	Clean, repair, and paint the trim and/or fascia.	\$46,580	\$54,970

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
308	City Hall	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$443,430	\$523,250
299	City Hall	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$11,000	\$12,980
315	City Hall	C2030 - Flooring	3 - Impending (2-3 Years)	Wood wall base is approaching the end of its useful life.	Replace the wood wall base.	\$70	\$90
310	City Hall	C2050 - Ceiling Finishes	3 - Impending (2-3 Years)	Existing suspended ceiling grid is approaching the end of its expected useful life.	Replace the ceiling grid, including the tiles.	\$120,120	\$141,750
328	City Hall	D1010 - Vertical Conveying Systems	3 - Impending (2-3 Years)	2 floor hydraulic elevator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$77,010	\$90,880
305	City Hall	D1010 - Vertical Conveying Systems	3 - Impending (2-3 Years)	Geared elevator motor is leaking.	Provide equipment repair.	\$3,110	\$3,670
304	City Hall	D2010 - Domestic Water Distribution	3 - Impending (2-3 Years)	Water leakage from plumbing fixture.	Investigate cause of leak and provide repairs and adjustments as necessary.	\$630	\$750
159	City Hall	D2060 - Process Support Plumbing Systems	3 - Impending (2-3 Years)	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$18,200
133	City Hall	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Cooling tower (120-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$84,700	\$99,950
172	City Hall	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Outdoor condensing unit (5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$20,030	\$23,640

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
143	City Hall	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Split system (2-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$22,860	\$26,980
160	City Hall	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Water cooled chiller (60-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$298,090	\$351,750
161	City Hall	D3050 - Facility HVAC Distribution Systems	3 - Impending (2-3 Years)	Hydronic pump (100 gpm) and motor (5-hp) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$11,870	\$14,010
162	City Hall	D3050 - Facility HVAC Distribution Systems	3 - Impending (2-3 Years)	Hydronic pump (100 gpm) and motor (5-hp) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$11,870	\$14,010
317	City Hall	D3050 - Facility HVAC Distribution Systems	3 - Impending (2-3 Years)	Hydronic pump (100 gpm) and motor (5-hp) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$11,870	\$14,010
318	City Hall	D3050 - Facility HVAC Distribution Systems	3 - Impending (2-3 Years)	Hydronic pump (100 gpm) and motor (5-hp) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$11,870	\$14,010
134	City Hall	D3060 - Ventilation	3 - Impending (2-3 Years)	Roof/sidewall ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,270
135	City Hall	D3060 - Ventilation	3 - Impending (2-3 Years)	Roof/sidewall ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,270
138	City Hall	D3060 - Ventilation	3 - Impending (2-3 Years)	Roof/sidewall ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,270

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
319	City Hall	D5010 - Facility Power Generation	3 - Impending (2-3 Years)	The existing diesel generator is undersized for required loading.	Replace the existing generator with an upsized new generator.	\$199,220	\$235,080
155	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
323	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
157	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 1600A switchboard is approaching the end of its expected useful life.	Replace the existing switchboard with a new switchboard.	\$60,220	\$71,060
150	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 200A (24 ckts, indoor, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$5,850	\$6,910
151	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 200A (24 ckts, indoor, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$5,850	\$6,910
148	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
149	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
158	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
164	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
313	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
324	City Hall	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
153	City Hall	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$933,140	\$1,101,110
1119	City Hall	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$43,570	\$51,420
296	City Hall	D6010 - Data Communications	3 - Impending (2-3 Years)	Data distribution infrastructure is awkward and will need to be reworked in many locations in order to accommodate building refurbishment/renovation.	Rework the data distribution to both utilize and accommodate building refurbishment/renovation.	\$6,750	\$7,970

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
229	City Hall	B2010 - Exterior Walls	4 - Necessary - Long Term (3-4 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$108,410	\$133,350
303	City Hall	C2010 - Wall Finishes	4 - Necessary - Long Term (3-4 Years)	Interior wall paint is in need of refresh.	Paint interior walls with 2 coat finish (includes surface prep and primer).	\$133,410	\$164,100
298	City Hall	E2010 - Fixed Furnishings	4 - Necessary - Long Term (3-4 Years)	Plastic Laminate Casework is at or will be approaching the end of its expected useful life.	Provide new plastic laminate casework (upper, lower, and countertop)	\$41,410	\$50,940
309	City Hall	C1030 - Interior Doors	5 - Potential - Long Term (4-5 Years)	Interior wood door, frame and hardware is at or approaching the end of its useful life.	Replace interior wood door, frame and hardware.	\$443,430	\$567,600

City Hall

\$5,514,620 \$6,400,930

192	City Hall Annex	D3020 - Heating Systems	1 - Immediate (0-1 Years)	Gas-fired furnace less than 250 Mbh is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$16,350	\$17,660
197	City Hall Annex	D3030 - Cooling Systems	1 - Immediate (0-1 Years)	Split system (2-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$22,860	\$24,690
194	City Hall Annex	D7050 - Detection and Alarm	1 - Immediate (0-1 Years)	The existing fire alarm system is approaching the end of its useful life and should be replaced.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system.	\$118,260	\$127,730
270	City Hall Annex	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Metal window is approaching the end of its useful life.	Replace metal window.	\$147,810	\$174,420

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1066	City Hall Annex	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Stained art glass panels in refurbished windows are in need of restoration.	Refurbish stained glass panels in windows.	\$300,250	\$354,300
1067	City Hall Annex	B3010 - Roofing	3 - Impending (2-3 Years)	Clay tile roofing is at or approaching end of expected useful service life.	Remove and replace clay tile roofing.	\$371,390	\$438,250
265	City Hall Annex	B3060 - Horizontal Openings	3 - Impending (2-3 Years)	Skylights are leaking, damaged and discolored.	Remove the existing skylight and replace it with a new skylight.	\$10,410	\$12,290
264	City Hall Annex	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Vinyl wall covering is approaching the end of its useful life.	Install a new vinyl wall covering.	\$117,020	\$138,090
262	City Hall Annex	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$177,390	\$209,330
252	City Hall Annex	C2030 - Flooring	3 - Impending (2-3 Years)	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	\$19,490	\$23,000
196	City Hall Annex	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Heat pump is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$22,930	\$27,060
846	City Hall Annex	D3060 - Ventilation	3 - Impending (2-3 Years)	Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$18,200
187	City Hall Annex	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
188	City Hall Annex	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
190	City Hall Annex	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
191	City Hall Annex	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
1121	City Hall Annex	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 600A switchboard is approaching the end of its expected useful life.	Replace the existing switchboard with a new switchboard.	\$20,460	\$24,150
1122	City Hall Annex	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$351,300	\$414,540
1123	City Hall Annex	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$26,150	\$30,860
254	City Hall Annex	E2010 - Fixed Furnishings	3 - Impending (2-3 Years)	Solid Surface countertops are at or are approaching the end of their useful life.	Remove and replace the solid surface countertops.	\$1,600	\$1,890
266	City Hall Annex	E2010 - Fixed Furnishings	3 - Impending (2-3 Years)	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing wood casework and counters.	\$15,420	\$18,200

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Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
261	City Hall Annex	B2050 - Exterior Doors and Grilles	4 - Necessary - Long Term (3-4 Years)	Exterior exit door is at or approaching the end of its useful life.	Provide new 3' x 7' HM exterior exit door and frame with panic hardware and closer.	\$9,650	\$11,870
250	City Hall Annex	B2050 - Exterior Doors and Grilles	4 - Necessary - Long Term (3-4 Years)	Exterior wood entrance door, frame and hardware is approaching the end of its useful life.	Replace wood door, frame, and hardware.	\$13,870	\$17,070
268	City Hall Annex	C1030 - Interior Doors	4 - Necessary - Long Term (3-4 Years)	Interior wood door is at or approaching the end of its useful life.	Replace with new wood door.	\$203,240	\$249,990
198	City Hall Annex	D3030 - Cooling Systems	4 - Necessary - Long Term (3-4 Years)	Split system (4-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$29,380	\$36,140
1065	City Hall Annex	C1020 - Interior Windows	5 - Potential - Long Term (4-5 Years)	Interior fixed steel window is at or approaching the end of its useful life.	Replace fixed steel window.	\$27,290	\$34,940
267	City Hall Annex	C2030 - Flooring	5 - Potential - Long Term (4-5 Years)	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	\$18,300	\$23,430
City Hall Annex						\$2,075,040	\$2,450,300
177	Community Hall	D3030 - Cooling Systems	1 - Immediate (0-1 Years)	Rooftop/ground mounted packaged DX AC unit (1-ton to 3-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$16,660
175	Community Hall	D2010 - Domestic Water Distribution	2 - Crucial (1-2 Years)	Electric water heater (20-gallon) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$11,420	\$12,910

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
179	Community Hall	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (1-ton to 3-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$15,420	\$17,430
176	Community Hall	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$46,220	\$52,230
178	Community Hall	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$46,220	\$52,230
186	Community Hall	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$46,220	\$52,230
237	Community Hall	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior exit door is at or approaching the end of its useful life.	Provide new 3' x 7' HM exterior exit door and frame with panic hardware and closer.	\$4,840	\$5,720
241	Community Hall	C1030 - Interior Doors	3 - Impending (2-3 Years)	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	\$950	\$1,130
238	Community Hall	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Fabric wall covering is approaching the end of its useful life.	Install a new fabric wall covering.	\$1,110	\$1,310
185	Community Hall	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Heat pump is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$22,930	\$27,060

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
181	Community Hall	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Split system (1-ton) with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$16,350	\$19,300
182	Community Hall	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Split system (2-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$22,860	\$26,980
1124	Community Hall	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$329,360	\$388,650
1126	Community Hall	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$19,630	\$23,170
242	Community Hall	B2050 - Exterior Doors and Grilles	4 - Necessary - Long Term (3-4 Years)	Metal door is damaged or deteriorated.	Repair door and repaint.	\$3,710	\$4,570
Community Hall						\$602,660	\$701,580

99	Creekside Park Recreation Building	D7050 - Detection and Alarm	1 - Immediate (0-1 Years)	The existing fire alarm system is approaching the end of its useful life and should be replaced.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system	\$32,350	\$34,940
32	Creekside Park Recreation Building	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	\$21,580	\$25,470

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
35	Creekside Park Recreation Building	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	\$10,790	\$12,740
36	Creekside Park Recreation Building	C2030 - Flooring	3 - Impending (2-3 Years)	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	\$38,980	\$46,000
29	Creekside Park Recreation Building	D3060 - Ventilation	3 - Impending (2-3 Years)	Ceiling exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$2,160	\$2,550
1137	Creekside Park Recreation Building	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$96,070	\$113,370
107	Creekside Park Recreation Building	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$21,790	\$25,720
27	Creekside Park Recreation Building	G2030 - Pedestrian Plazas and Walkways	3 - Impending (2-3 Years)	Caulking is missing / damaged.	Replace caulking.	\$2,790	\$3,300
26	Creekside Park Recreation Building	B3020 - Roof Appurtenances	4 - Necessary - Long Term (3-4 Years)	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	\$12,030	\$14,800
38	Creekside Park Recreation Building	C2030 - Flooring	4 - Necessary - Long Term (3-4 Years)	Sealed concrete floor is approaching the end of its useful life.	Repair and refinish the concrete floor.	\$3,870	\$4,770
37	Creekside Park Recreation Building	C2030 - Flooring	4 - Necessary - Long Term (3-4 Years)	Wood wall base is approaching the end of its useful life.	Replace the wood wall base.	\$3,330	\$4,100

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
34	Creekside Park Recreation Building	D2010 - Domestic Water Distribution	4 - Necessary - Long Term (3-4 Years)	Swing faucet is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$2,160	\$2,660
33	Creekside Park Recreation Building	D2010 - Domestic Water Distribution	5 - Potential - Long Term (4-5 Years)	Electric water heater (10-gallon) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$3,200	\$4,100

Creekside Park Recreation Building

\$251,100 \$294,520

1044	Jollyman Park Restroom	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Exterior cement plaster walls are damaged and spalling in several areas.	Clean, patch, and repair the cement plaster wall finish.	\$120	\$150
292	Jollyman Park Restroom	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	\$10,790	\$12,740
1043	Jollyman Park Restroom	B3020 - Roof Appurtenances	3 - Impending (2-3 Years)	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	\$2,320	\$2,740
294	Jollyman Park Restroom	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Fiberglass reinforced paneling is at or approaching the end of its useful life.	Install and replace the fiberglass reinforced paneling.	\$11,110	\$13,110
1042	Jollyman Park Restroom	C2030 - Flooring	3 - Impending (2-3 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$13,870	\$16,370
222	Jollyman Park Restroom	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
223	Jollyman Park Restroom	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
225	Jollyman Park Restroom	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$6,550	\$7,730
227	Jollyman Park Restroom	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$3,470	\$4,100
Jollyman Park Restroom						\$57,630	\$68,040
1051	Kennedy Sports Field Restroom	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Concrete masonry units exterior walls are damaged and in need of repair.	Repair Concrete masonry units exterior walls and repaint.	\$110,860	\$130,820
1057	Kennedy Sports Field Restroom	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Fixed wood window needs restoration.	Remove window, restore and reinstall.	\$21,580	\$25,470
1047	Kennedy Sports Field Restroom	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	\$21,580	\$25,470
1053	Kennedy Sports Field Restroom	B3010 - Roofing	3 - Impending (2-3 Years)	Existing insulation is insufficient.	Add R30 Batt insulation.	\$4,640	\$5,480
1055	Kennedy Sports Field Restroom	B3010 - Roofing	3 - Impending (2-3 Years)	Metal Roofing is at or approaching end of expected useful service life.	Remove and replace metal roofing.	\$53,140	\$62,710
1049	Kennedy Sports Field Restroom	B3060 - Horizontal Openings	3 - Impending (2-3 Years)	Skylights are leaking, damaged and discolored.	Remove the existing skylight and replace it with a new skylight.	\$11,110	\$13,110
1046	Kennedy Sports Field Restroom	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Interior wall paint is in need of refresh.	Paint interior walls with 2 coat finish (includes surface prep and primer).	\$8,700	\$10,270
1048	Kennedy Sports Field Restroom	C2030 - Flooring	3 - Impending (2-3 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$27,740	\$32,740

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1054	Kennedy Sports Field Restroom	C2030 - Flooring	3 - Impending (2-3 Years)	Sealed concrete floor is approaching the end of its useful life.	Repair and refinish the concrete floor.	\$9,270	\$10,940
849	Kennedy Sports Field Restroom	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
853	Kennedy Sports Field Restroom	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$15,270	\$18,020
1139	Kennedy Sports Field Restroom	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$8,070	\$9,530
1050	Kennedy Sports Field Restroom	E2010 - Fixed Furnishings	3 - Impending (2-3 Years)	Plastic Laminate Casework is at or will be approaching the end of its expected useful life.	Provide new plastic laminate casework (upper, lower, and countertop)	\$82,790	\$97,700

Kennedy Sports Field Restroom

\$392,560 \$463,280

62	Library	D7050 - Detection and Alarm	1 - Immediate (0-1 Years)	The existing fire alarm system is approaching the end of its useful life and should be replaced.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system	\$997,710	\$1,077,530
3	Library	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,810	\$17,870
18	Library	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Aluminum window is approaching/past it's expected useful life.	Replace aluminum window.	\$1,870	\$2,210

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
21	Library	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Aluminum window is approaching/past it's expected useful life.	Replace aluminum window.	\$1,400	\$1,660
1	Library	B3010 - Roofing	3 - Impending (2-3 Years)	Roofing membrane needs a recoating.	Repair and recoat the roof membrane. Provide a white (light color) neoprene coating and replace the roof membrane as scheduled	\$790	\$940
130	Library	B3010 - Roofing	3 - Impending (2-3 Years)	Roofing membrane needs a recoating.	Repair and recoat the roof membrane. Provide a white (light color) neoprene coating and replace the roof membrane as scheduled	\$790	\$940
131	Library	B3010 - Roofing	3 - Impending (2-3 Years)	Roofing membrane needs a recoating.	Repair and recoat the roof membrane. Provide a white (light color) neoprene coating and replace the roof membrane as scheduled	\$6,160	\$7,270
132	Library	C1030 - Interior Doors	3 - Impending (2-3 Years)	Interior door hardware is at or approaching the end of its useful life.	Replace interior door hardware.	\$1,080	\$1,280
22	Library	C1030 - Interior Doors	3 - Impending (2-3 Years)	Interior hollow metal door is in visual need of refurbishment.	Refurbish/repair interior hollow metal door.	\$10,480	\$12,370
11	Library	C1030 - Interior Doors	3 - Impending (2-3 Years)	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	\$950	\$1,130
12	Library	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Interior wall paint is in need of refresh.	Paint interior walls with 2 coat finish (includes surface prep and primer).	\$289,460	\$341,570

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
14	Library	C2030 - Flooring	3 - Impending (2-3 Years)	6" Vinyl wall base is approaching the end of its useful life.	Replace the vinyl wall base.	\$1,040	\$1,230
23	Library	D2010 - Domestic Water Distribution	3 - Impending (2-3 Years)	Porcelain sink is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$7,710	\$9,100
25	Library	D2010 - Domestic Water Distribution	3 - Impending (2-3 Years)	Porcelain sink is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$7,710	\$9,100
56	Library	D3020 - Heating Systems	3 - Impending (2-3 Years)	Medium boiler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$80,070	\$94,490
55	Library	D3050 - Facility HVAC Distribution Systems	3 - Impending (2-3 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$81,780
1127	Library	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$2,223,050	\$2,623,200
1128	Library	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$26,150	\$30,860
16	Library	E2010 - Fixed Furnishings	3 - Impending (2-3 Years)	Plastic laminate countertops are at or are approaching the end of their useful life.	Repair or replace plastic laminate countertops.	\$2,230	\$2,640
53	Library	D3030 - Cooling Systems	4 - Necessary - Long Term (3-4 Years)	Split system (3-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$26,120	\$32,130

Building Condition Assessment Report, February 2023 DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
4	Library	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,360
19	Library	E2010 - Fixed Furnishings	4 - Necessary - Long Term (3-4 Years)	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing wood casework and counters.	\$246,350	\$303,020
24	Library	E2010 - Fixed Furnishings	4 - Necessary - Long Term (3-4 Years)	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing wood casework and counters.	\$468,070	\$575,730

Library

\$4,491,090 \$5,236,410

1060	Linda Vista Park Restroom	C2030 - Flooring	3 - Impending (2-3 Years)	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	\$15,270	\$18,020
862	Linda Vista Park Restroom	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
1141	Linda Vista Park Restroom	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$2,320	\$2,740
1059	Linda Vista Park Restroom	G3010 - Water Utilities	3 - Impending (2-3 Years)	Outdoor drinking fountain requires repairs.	Repair drinking fountain.	\$3,710	\$4,380
1058	Linda Vista Park Shed	B2010 - Exterior Walls	3 - Impending (2-3 Years)	CMU walls are showing signs of wear.	Clean and repaint CMU walls.	\$2,320	\$2,740
777	Linda Vista Park Shed	B3010 - Roofing	3 - Impending (2-3 Years)	Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.	Remove and replace asphalt composition shingle roofing.	\$7,870	\$9,290

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
866	Linda Vista Park Shed	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
864	Linda Vista Park Shed	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$7,150	\$8,440
1140	Linda Vista Park Shed	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$2,320	\$2,740
Linda Vista Park Restroom & Shed						\$50,360	\$59,450
872	McClellan Ranch Preserve 4H Building	D2010 - Domestic Water Distribution	2 - Crucial (1-2 Years)	Small under-counter electric water heater less than 10 Gal is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$3,040	\$3,440
1090	McClellan Ranch Preserve 4H Building	B3020 - Roof Appurtenances	3 - Impending (2-3 Years)	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	\$2,790	\$3,300
1091	McClellan Ranch Preserve 4H Building	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Interior wall paint is in need of refresh.	Paint interior walls with 2 coat finish (includes surface prep and primer).	\$3,490	\$4,120
1089	McClellan Ranch Preserve 4H Building	C2030 - Flooring	3 - Impending (2-3 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$27,740	\$32,740
871	McClellan Ranch Preserve 4H Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1088	McClellan Ranch Preserve 4H Building	E2010 - Fixed Furnishings	3 - Impending (2-3 Years)	The existing casework is at or is approaching the end of its useful life.	Replace original wood cabinets and countertops.	\$34,660	\$40,900
1092	McClellan Ranch Preserve 4H Building	B3010 - Roofing	5 - Potential - Long Term (4-5 Years)	Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.	Remove and replace asphalt composition shingle roofing.	\$27,740	\$35,510
McClellan Ranch Preserve 4H Building						\$104,160	\$125,560
1094	McClellan Ranch Preserve Barn	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$73,910	\$87,220
1095	McClellan Ranch Preserve Barn	B3010 - Roofing	3 - Impending (2-3 Years)	Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.	Remove and replace asphalt composition shingle roofing.	\$92,390	\$109,030
1096	McClellan Ranch Preserve Barn	B3010 - Roofing	3 - Impending (2-3 Years)	Wood fascia and trim chipped and have peeling paint.	Clean, repair, and paint the trim and/or fascia.	\$17,270	\$20,380
1098	McClellan Ranch Preserve Barn Shed	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$17,270	\$20,380
1097	McClellan Ranch Preserve Barn Shed	B3010 - Roofing	3 - Impending (2-3 Years)	Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.	Remove and replace asphalt composition shingle roofing.	\$32,350	\$38,180

Building Condition Assessment Report, February 2023 DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1099	McClellan Ranch Preserve Barn Shed	B3010 - Roofing	3 - Impending (2-3 Years)	Wood fascia and trim chipped and have peeling paint.	Clean, repair, and paint the trim and/or fascia.	\$8,640	\$10,200
791	McClellan Ranch Preserve Blacksmith Shop	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$17,270	\$20,380
785	McClellan Ranch Preserve Milk Barn Building	B2010 - Exterior Walls	3 - Impending (2-3 Years)	CMU walls are showing signs of wear.	Clean and repaint CMU walls.	\$70	\$90
786	McClellan Ranch Preserve Milk Barn Building	C2030 - Flooring	3 - Impending (2-3 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$20,800	\$24,550
1143	McClellan Ranch Preserve Milk Barn Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
1142	McClellan Ranch Preserve Milk Barn Building	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$4,610	\$5,440
1100	McClellan Ranch Preserve Milk Barn Building	B2050 - Exterior Doors and Grilles	4 - Necessary - Long Term (3-4 Years)	Metal door is damaged or deteriorated.	Repair door and repaint.	\$7,400	\$9,110
787	McClellan Ranch Preserve Milk Barn Building	C1090 - Interior Specialties	4 - Necessary - Long Term (3-4 Years)	Toilet partitions have excessive amounts of rust.	Replace the toilet partitions	\$18,480	\$22,740

McClellan Ranch Preserve Barn, Barn Shed, Blacksmith & Milk Barn Bldgs.

\$315,160

\$373,250

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
784	McClellan Ranch Preserve Environmental Education Center	B1020 - Roof Construction	3 - Impending (2-3 Years)	Wood roof framing and decking are in poor condition.	Remove and replace wood roof framing and decking.	\$16,950	\$20,010
789	McClellan Ranch Preserve Environmental Education Center	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior wood entrance door is approaching the end of its useful life.	Replace wood door.	\$15,420	\$18,200
892	McClellan Ranch Preserve Environmental Education Center	D3030 - Cooling Systems	4 - Necessary - Long Term (3-4 Years)	Fan coil unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$10,790	\$13,280
893	McClellan Ranch Preserve Environmental Education Center	D3030 - Cooling Systems	4 - Necessary - Long Term (3-4 Years)	Fan coil unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$10,790	\$13,280
886	McClellan Ranch Preserve Environmental Education Center	D3030 - Cooling Systems	4 - Necessary - Long Term (3-4 Years)	Split system (2-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$22,860	\$28,120
793	McClellan Ranch Preserve Nature Museum	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$22,530	\$26,590
1102	McClellan Ranch Preserve Nature Museum	C2050 - Ceiling Finishes	3 - Impending (2-3 Years)	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	\$180	\$220
897	McClellan Ranch Preserve Nature Museum	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Split system (4-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$29,380	\$34,670
901	McClellan Ranch Preserve Nature Museum	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (120/240V, 1P) all-in-one combination service entrance device is approaching the end of its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	\$7,890	\$9,320

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1145	McClellan Ranch Preserve Nature Museum	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$2,190	\$2,590
1144	McClellan Ranch Preserve Nature Museum	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$4,610	\$5,440
1101	McClellan Ranch Preserve Nature Museum	B2020 - Exterior Windows	4 - Necessary - Long Term (3-4 Years)	Vinyl window sash is at or approaching end of expected useful service life.	Replace with new frame, insulated glazing and glazing compound.	\$46,220	\$56,860
1106	McClellan Ranch Preserve Ranch House/Gift Shop	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Wood window is damaged.	Replace wood window.	\$12,320	\$14,540
1104	McClellan Ranch Preserve Ranch House/Gift Shop	C1010 - Interior Partitions	3 - Impending (2-3 Years)	Lath and plaster interior wall skin is approaching the end of its useful life.	Remove and replace existing lath and plaster with new lath and plaster.	\$12,950	\$15,290
1105	McClellan Ranch Preserve Ranch House/Gift Shop	C1010 - Interior Partitions	3 - Impending (2-3 Years)	Lath and plaster interior wall skin is approaching the end of its useful life.	Remove and replace existing lath and plaster with new lath and plaster.	\$25,880	\$30,540
1107	McClellan Ranch Preserve Ranch House/Gift Shop	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$49,270	\$58,140
798	McClellan Ranch Preserve Ranch House/Gift Shop	C2030 - Flooring	3 - Impending (2-3 Years)	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	\$11,690	\$13,800
1103	McClellan Ranch Preserve Ranch House/Gift Shop	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$18,480	\$21,810

Building Condition Assessment Report, February 2023 DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
903	McClellan Ranch Preserve Ranch House/Gift Shop	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
1146	McClellan Ranch Preserve Ranch House/Gift Shop	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$68,400	\$80,720
1147	McClellan Ranch Preserve Ranch House/Gift Shop	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$8,730	\$10,310
910	McClellan Ranch Preserve Ranch House/Gift Shop	D3020 - Heating Systems	4 - Necessary - Long Term (3-4 Years)	Gas-fired furnace less than 250 Mbh is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$16,350	\$20,120
909	McClellan Ranch Preserve Ranch House/Gift Shop	D2010 - Domestic Water Distribution	5 - Potential - Long Term (4-5 Years)	Gas fired water heater less than 75 Gal is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$12,700	\$16,260
McClellan Ranch Preserve Nature Museum and Ranch House/Gift Shop						\$431,280	\$515,660
1068	Memorial Park Gazebo	B1080 - Stairs	3 - Impending (2-3 Years)	Wood steps need refurbishing.	Refinish/refurb wood steps.	\$12,320	\$14,540
1070	Memorial Park Gazebo	G2060 - Site Development	3 - Impending (2-3 Years)	Bench finish is at or approaching the end of its useful life.	Repaint and refinish bench.	\$1,200	\$1,420
Memorial Park Gazebo						\$13,520	\$15,960

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
686	Memorial Park Restroom 1	B3020 - Roof Appurtenances	3 - Impending (2-3 Years)	Gutters are clogged with leaves.	Clean gutters.	\$630	\$750
684	Memorial Park Restroom 1	C2030 - Flooring	3 - Impending (2-3 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$16,190	\$19,110
685	Memorial Park Restroom 1	D2010 - Domestic Water Distribution	3 - Impending (2-3 Years)	Porcelain sink is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$7,710	\$9,100
540	Memorial Park Restroom 1	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$8,730	\$10,310
1148	Memorial Park Restroom 1	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$2,320	\$2,740
691	Memorial Park Restroom 2	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Existing gate is at or approaching the end of its useful life.	Install a new gate and associated gate hardware.	\$9,270	\$10,940
689	Memorial Park Restroom 2	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	\$10,790	\$12,740
1071	Memorial Park Restroom 2	C1090 - Interior Specialties	3 - Impending (2-3 Years)	Toilet partitions have excessive amounts of rust.	Replace the toilet partitions	\$11,110	\$13,110
690	Memorial Park Restroom 2	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Interior wall paint is in need of refresh.	Paint interior walls with 2 coat finish (includes surface prep and primer).	\$4,660	\$5,500
561	Memorial Park Restroom 2	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
559	Memorial Park Restroom 2	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (30 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$11,000	\$12,980
558	Memorial Park Restroom 2	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (30 ckts, 277/480, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,020	\$20,090
557	Memorial Park Restroom 2	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 45kVA transformer (3P dry-type, 480-120/208V) is approaching the end of its expected useful life.	Replace the existing transformer with a new transformer.	\$12,500	\$14,760
1149	Memorial Park Restroom 2	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$4,370	\$5,160
562	Memorial Park Restroom 2	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$4,610	\$5,440
1074	Memorial Park Shed by Field	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Trim is worn and should be replaced.	Replace trim and finish to match. Replace at the same time as siding.	\$1,980	\$2,340
1075	Memorial Park Shed by Field	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$10,610	\$12,520
1076	Memorial Park Shed by Field	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood wall framing is approaching the end of its useful life.	Remove and replace the wood frame exterior and interior walls.	\$8,550	\$10,090
1077	Memorial Park Shed by Restroom	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Trim is worn and should be replaced.	Replace trim and finish to match. Replace at the same time as siding.	\$3,890	\$4,600

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1078	Memorial Park Shed by Restroom	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$17,760	\$20,960
692	Memorial Park Shed by Restroom	B3010 - Roofing	3 - Impending (2-3 Years)	Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.	Remove and replace asphalt composition shingle roofing.	\$12,950	\$15,290
694	Memorial Park Shed by Restroom	C2030 - Flooring	3 - Impending (2-3 Years)	Sealed concrete floor is approaching the end of its useful life.	Repair and refinish the concrete floor.	\$4,320	\$5,100
564	Memorial Park Shed by Restroom	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
1151	Memorial Park Shed by Restroom	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$2,190	\$2,590
1150	Memorial Park Shed by Restroom	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$2,320	\$2,740
Memorial Park Restrooms (2) and Sheds (2)						\$194,880	\$230,060

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1082	Monta Vista - Gymnastics Building	B3010 - Roofing	1 - Immediate (0-1 Years)	Built-up roofing is beyond its expected useful service life and needs replacement.	Remove and replace built-up roofing.	\$23,110	\$24,960
661	Monta Vista - Gymnastics Building	D7050 - Detection and Alarm	1 - Immediate (0-1 Years)	The existing fire alarm system is approaching the end of its useful life and should be replaced.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system	\$173,440	\$187,320
1083	Monta Vista - Gymnastics Building	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior doors are not properly weather-stripped.	Weather-strip the openings properly.	\$9,270	\$10,940
1080	Monta Vista - Gymnastics Building	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Metal door is damaged or deteriorated.	Repair door and repaint.	\$44,350	\$52,340
1081	Monta Vista - Gymnastics Building	B3010 - Roofing	3 - Impending (2-3 Years)	Built-up roofing is beyond its expected useful service life and needs replacement.	Remove and replace built-up roofing.	\$531,200	\$626,820
763	Monta Vista - Gymnastics Building	B3080 - Overhead Exterior Enclosures	3 - Impending (2-3 Years)	Stucco soffits is damaged.	Repair stucco soffit.	\$160	\$190
751	Monta Vista - Gymnastics Building	C2030 - Flooring	3 - Impending (2-3 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$13,870	\$16,370
746	Monta Vista - Gymnastics Building	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$9,870	\$11,650
748	Monta Vista - Gymnastics Building	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$27,740	\$32,740
753	Monta Vista - Gymnastics Building	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$23,110	\$27,270

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1079	Monta Vista - Gymnastics Building	C2050 - Ceiling Finishes	3 - Impending (2-3 Years)	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	\$6,300	\$7,440
648	Monta Vista - Gymnastics Building	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$46,220	\$54,540
649	Monta Vista - Gymnastics Building	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$46,220	\$54,540
650	Monta Vista - Gymnastics Building	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$46,220	\$54,540
654	Monta Vista - Gymnastics Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (30 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$11,000	\$12,980
672	Monta Vista - Gymnastics Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (30 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$11,000	\$12,980
676	Monta Vista - Gymnastics Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (30 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$11,000	\$12,980

Building Condition Assessment Report, February 2023 DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
655	Monta Vista - Gymnastics Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 400A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$22,320	\$26,340
657	Monta Vista - Gymnastics Building	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$515,200	\$607,940

Monta Vista - Gymnastics Building

\$1,571,600 \$1,834,880

1087	Monta Vista - Pre-School Building	B3010 - Roofing	1 - Immediate (0-1 Years)	Built-up roofing is beyond its expected useful service life and needs replacement.	Remove and replace built-up roofing.	\$124,730	\$134,710
681	Monta Vista - Pre-School Building	D7050 - Detection and Alarm	1 - Immediate (0-1 Years)	The building is not equipped with a fire alarm system or the existing fire alarm system is at the end of its industry rated useful life.	Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.	\$60,090	\$64,900
670	Monta Vista - Pre-School Building	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Split system (7.5-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$32,660	\$36,910
671	Monta Vista - Pre-School Building	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Split system (7.5-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$32,660	\$36,910
762	Monta Vista - Pre-School Building	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Exterior cement plaster walls are damaged and spalling in several areas.	Clean, patch, and repair the cement plaster wall finish.	\$1,060	\$1,260

Building Condition Assessment Report, February 2023 DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1085	Monta Vista - Pre-School Building	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Metal door is damaged or deteriorated.	Repair door and repaint.	\$14,790	\$17,460
1086	Monta Vista - Pre-School Building	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$62,380	\$73,610
1084	Monta Vista - Pre-School Building	C2050 - Ceiling Finishes	3 - Impending (2-3 Years)	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	\$38,890	\$45,900
678	Monta Vista - Pre-School Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 800A metered main switchboard (3P, 120/208) is approaching the end of its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	\$20,460	\$24,150
1135	Monta Vista - Pre-School Building	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$143,270	\$169,060

Monta Vista - Pre-School Building

\$530,990

\$604,870

45	Portal Park Recreation Building	C1030 - Interior Doors	1 - Immediate (0-1 Years)	Interior wood door is at or approaching the end of its useful life.	Replace with new wood door.	\$6,790	\$7,340
52	Portal Park Recreation Building	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Painted stucco wall is showing signs of age and wear.	Power wash and repaint existing stucco walls.	\$1,170	\$1,390
51	Portal Park Recreation Building	B3020 - Roof Appurtenances	3 - Impending (2-3 Years)	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	\$5,560	\$6,570
47	Portal Park Recreation Building	C1010 - Interior Partitions	3 - Impending (2-3 Years)	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint	\$1,310	\$1,550

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
312	Portal Park Recreation Building	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$41,590	\$49,080
120	Portal Park Recreation Building	D2010 - Domestic Water Distribution	3 - Impending (2-3 Years)	Small under-counter electric water heater less than 10 Gal is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$3,040	\$3,590
118	Portal Park Recreation Building	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Split system (3-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$26,120	\$30,830
116	Portal Park Recreation Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
1152	Portal Park Recreation Building	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$85,490	\$100,880
112	Portal Park Recreation Building	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$2,190	\$2,590

Building Condition Assessment Report, February 2023 DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
40	Portal Park Restrooms	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Interior wall paint is in need of refresh.	Paint interior walls with 2 coat finish (includes surface prep and primer).	\$1,760	\$2,080
307	Portal Park Restrooms	C2030 - Flooring	3 - Impending (2-3 Years)	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	\$13,870	\$16,370
122	Portal Park Restrooms	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550

Portal Park Recreation Building & Restrooms

\$198,290 \$233,370

503	Quinlan Community Center	D3030 - Cooling Systems	1 - Immediate (0-1 Years)	Air cooled chiller (120-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$67,750	\$73,180
339	Quinlan Community Center	D3020 - Heating Systems	2 - Crucial (1-2 Years)	Medium boiler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$80,070	\$90,480
360	Quinlan Community Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Fan coil unit (10-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$16,030	\$18,120
374	Quinlan Community Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Split ductless AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$23,110	\$26,120
363	Quinlan Community Center	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
365	Quinlan Community Center	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
366	Quinlan Community Center	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
377	Quinlan Community Center	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
390	Quinlan Community Center	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
502	Quinlan Community Center	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
522	Quinlan Community Center	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
389	Quinlan Community Center	D3060 - Ventilation	2 - Crucial (1-2 Years)	In-Line building exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$28,800	\$32,550
378	Quinlan Community Center	D3060 - Ventilation	2 - Crucial (1-2 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$7,680
500	Quinlan Community Center	B2010 - Exterior Walls	3 - Impending (2-3 Years)	The top of the parapet wall is not protected.	Provide a sheet metal cap.	\$9,870	\$11,650
518	Quinlan Community Center	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Aluminum window is approaching/past it's expected useful life.	Replace aluminum window.	\$1,108,570	\$1,308,120
499	Quinlan Community Center	C1030 - Interior Doors	3 - Impending (2-3 Years)	Door frames are approaching the end of their useful life.	Replace the door frames with a pressed metal frame.	\$9,870	\$11,650

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DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
497	Quinlan Community Center	C1030 - Interior Doors	3 - Impending (2-3 Years)	Interior hollow metal door is in visual need of refurbishment.	Refurbish/repair interior hollow metal door.	\$62,830	\$74,140
510	Quinlan Community Center	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$29,580	\$34,910
520	Quinlan Community Center	C2030 - Flooring	3 - Impending (2-3 Years)	Wood flooring shows signs of wear.	Sand, repair and refinish the wood flooring.	\$34,040	\$40,170
498	Quinlan Community Center	C2030 - Flooring	3 - Impending (2-3 Years)	Wood wall base is approaching the end of its useful life.	Replace the wood wall base.	\$6,120	\$7,230
495	Quinlan Community Center	C2050 - Ceiling Finishes	3 - Impending (2-3 Years)	Glue-On Acoustical Ceiling Tile is in poor condition.	Remove existing Glue-On Acoustical and replace with new Glue-On Acoustical Tiles.	\$104,700	\$123,550
341	Quinlan Community Center	D2010 - Domestic Water Distribution	3 - Impending (2-3 Years)	Gas fired water heater less than 75 Gal is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$12,700	\$14,990
338	Quinlan Community Center	D2060 - Process Support Plumbing Systems	3 - Impending (2-3 Years)	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$18,200
384	Quinlan Community Center	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Split system (2-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$22,860	\$26,980
351	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020

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DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
353	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
392	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
393	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
394	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 277/480, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$25,160	\$29,690
367	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 30kVA transformer (3P dry-type, 480-120/208V) is approaching the end of its expected useful life.	Replace the existing transformer with a new transformer.	\$10,730	\$12,670
354	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 75kVA transformer (3P dry-type, 480-120/208V) is approaching the end of its expected useful life.	Replace the existing transformer with a new transformer.	\$15,870	\$18,730
395	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 75kVA transformer (3P dry-type, 480-120/208V) is approaching the end of its expected useful life.	Replace the existing transformer with a new transformer.	\$15,870	\$18,730

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
355	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 800A metered main switchboard (3P, 277/480) is approaching the end of its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	\$20,460	\$24,150
359	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The motor control center is at or is approaching end of its expected useful life.	Replace the existing motor control center with a new motor control center.	\$59,140	\$69,790
375	Quinlan Community Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The motor control center is at or is approaching end of its expected useful life.	Replace the existing motor control center with a new motor control center.	\$59,140	\$69,790
1129	Quinlan Community Center	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$1,575,060	\$1,858,580
1130	Quinlan Community Center	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$82,770	\$97,670
512	Quinlan Community Center	E2010 - Fixed Furnishings	3 - Impending (2-3 Years)	Mirror is damaged.	Remove and replace mirror.	\$6,480	\$7,650
489	Quinlan Community Center	B2050 - Exterior Doors and Grilles	4 - Necessary - Long Term (3-4 Years)	Exterior aluminum (storefront) entrance door is approaching the end of its useful life.	Replace aluminum door (storefront).	\$291,010	\$357,950
380	Quinlan Community Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	In-Line building exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$28,800	\$35,430
346	Quinlan Community Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$18,970

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
347	Quinlan Community Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$18,970
362	Quinlan Community Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$18,970
381	Quinlan Community Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$18,970
370	Quinlan Community Center	D3030 - Cooling Systems	5 - Potential - Long Term (4-5 Years)	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,890
343	Quinlan Community Center	D5020 - Electrical Service and Distribution	5 - Potential - Long Term (4-5 Years)	The 7.5kVA transformer (1P dry-type, 240/480-120/240V) is approaching the end of its expected useful life.	Replace the existing transformer with a new transformer.	\$6,660	\$8,530

Quinlan Community Center

\$4,460,440 \$5,245,100

1158	Senior Center	D7050 - Detection and Alarm	1 - Immediate (0-1 Years)	The existing fire alarm system is approaching the end of its useful life and should be replaced.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system.	\$286,410	\$309,330
442	Senior Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (15-ton to 25-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$123,180	\$139,200
446	Senior Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$46,220	\$52,230

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
448	Senior Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$46,220	\$52,230
450	Senior Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (8-ton to 15-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$77,010	\$87,030
452	Senior Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (8-ton to 15-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$77,010	\$87,030
454	Senior Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (8-ton to 15-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$77,010	\$87,030
445	Senior Center	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
464	Senior Center	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Split system (3-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$26,120	\$30,830
457	Senior Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 1000A metered main switchboard (3P, 120/208) is approaching the end of its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	\$31,720	\$37,430

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
461	Senior Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
462	Senior Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
476	Senior Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
477	Senior Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
1131	Senior Center	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$850,800	\$1,003,950
1132	Senior Center	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$43,570	\$51,420
443	Senior Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,360
447	Senior Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,360
449	Senior Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,360

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
451	Senior Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,360
453	Senior Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,360
455	Senior Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,360
444	Senior Center	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$15,420	\$18,970

Senior Center

\$1,881,970 \$2,169,230

699	Service Center Administration Building	B3060 - Horizontal Openings	1 - Immediate (0-1 Years)	Roof hatch lacks safety post.	Provide safety post.	\$1,240	\$1,340
587	Service Center Administration Building	D7050 - Detection and Alarm	1 - Immediate (0-1 Years)	The existing fire alarm system is approaching the end of its useful life and should be replaced.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system	\$131,200	\$141,700
570	Service Center Administration Building	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (1-ton to 3-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$15,420	\$17,430
566	Service Center Administration Building	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$46,220	\$52,230

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DETAIL BY BUILDING

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
569	Service Center Administration Building	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$46,220	\$52,230
701	Service Center Administration Building	A4010 - Standard Slabs on Grade	3 - Impending (2-3 Years)	Excessive cracks were detected in the floor slab-on-grade.	Fill the slab-on-grade cracks with caulking.	\$660	\$780
698	Service Center Administration Building	B2010 - Exterior Walls	3 - Impending (2-3 Years)	The top of the parapet wall is not protected.	Provide a sheet metal cap.	\$30,800	\$36,350
712	Service Center Administration Building	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Metal window is approaching the end of its useful life.	Replace metal window.	\$73,910	\$87,220
697	Service Center Administration Building	B3010 - Roofing	3 - Impending (2-3 Years)	Built-up roofing is beyond its expected useful service life and needs replacement.	Remove and replace built-up roofing.	\$304,880	\$359,760
1117	Service Center Administration Building	C1030 - Interior Doors	3 - Impending (2-3 Years)	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	\$12,950	\$15,290
707	Service Center Administration Building	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Interior wall paint is in need of refresh.	Paint interior walls with 2 coat finish (includes surface prep and primer).	\$23,180	\$27,360
706	Service Center Administration Building	C2030 - Flooring	3 - Impending (2-3 Years)	Grout is damaged and deteriorating on the tiled floor.	Clean and regrout tiles.	\$3,710	\$4,380
703	Service Center Administration Building	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$9,870	\$11,650
1118	Service Center Administration Building	C2030 - Flooring	3 - Impending (2-3 Years)	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	\$33,140	\$39,110

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
700	Service Center Administration Building	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$16,190	\$19,110
702	Service Center Administration Building	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$3,490	\$4,120
708	Service Center Administration Building	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$11,560	\$13,650
710	Service Center Administration Building	C2050 - Ceiling Finishes	3 - Impending (2-3 Years)	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	\$57,590	\$67,960
588	Service Center Administration Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
585	Service Center Administration Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (30 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$11,000	\$12,980
583	Service Center Administration Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$17,810	\$21,020
586	Service Center Administration Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 400A metered main switchboard (3P, 120/208) is approaching the end of its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	\$17,020	\$20,090

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
575	Service Center Administration Building	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$389,730	\$459,890
1136	Service Center Administration Building	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$32,690	\$38,580
711	Service Center Administration Building	B2050 - Exterior Doors and Grilles	4 - Necessary - Long Term (3-4 Years)	Exterior aluminum entrance door, frame and hardware is approaching the end of its useful life.	Replace aluminum door, frame, and hardware.	\$27,000	\$33,220
568	Service Center Administration Building	D3030 - Cooling Systems	4 - Necessary - Long Term (3-4 Years)	Split system (1-ton) with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$16,350	\$20,120
571	Service Center Administration Building	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof/sidewall ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,580
572	Service Center Administration Building	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof/sidewall ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,580
590	Service Center Administration Building	D3030 - Cooling Systems	5 - Potential - Long Term (4-5 Years)	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,890
1116	Service Center Shops & Mechanic Building	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Metal siding panels damaged in several locations.	Replace damaged panels.	\$4,950	\$5,850
713	Service Center Shops & Mechanic Building	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	Exterior aluminum entrance door, frame and hardware is approaching the end of its useful life.	Replace aluminum door, frame, and hardware.	\$6,770	\$7,990

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1115	Service Center Shops & Mechanic Building	B2050 - Exterior Doors and Grilles	3 - Impending (2-3 Years)	The existing threshold is approaching the end of its useful life.	Replace the associated threshold.	\$480	\$570
722	Service Center Shops & Mechanic Building	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$9,870	\$11,650
725	Service Center Shops & Mechanic Building	C2030 - Flooring	3 - Impending (2-3 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$29,580	\$34,910
612	Service Center Shops & Mechanic Building	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,270
617	Service Center Shops & Mechanic Building	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,270
615	Service Center Shops & Mechanic Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (120/208V) all-in-one combination service entrance pedestal is approaching the end of its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	\$7,890	\$9,320
609	Service Center Shops & Mechanic Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
620	Service Center Shops & Mechanic Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550

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ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
621	Service Center Shops & Mechanic Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
719	Service Center Shops & Mechanic Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
724	Service Center Shops & Mechanic Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
728	Service Center Shops & Mechanic Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
715	Service Center Shops & Mechanic Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (30 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	\$11,000	\$12,980
625	Service Center Shops & Mechanic Building	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$452,850	\$534,370
619	Service Center Shops & Mechanic Building	D3030 - Cooling Systems	4 - Necessary - Long Term (3-4 Years)	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,580

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
622	Service Center Shops & Mechanic Building	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof/sidewall ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,580
623	Service Center Shops & Mechanic Building	D3060 - Ventilation	4 - Necessary - Long Term (3-4 Years)	Roof/sidewall ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,580
614	Service Center Shops & Mechanic Building	D3020 - Heating Systems	5 - Potential - Long Term (4-5 Years)	Gas fired unit heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$11,420	\$14,620
626	Service Center Shops & Mechanic Building	D3020 - Heating Systems	5 - Potential - Long Term (4-5 Years)	Gas fired unit heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$11,420	\$14,620
606	Service Center Shops & Mechanic Building	D3060 - Ventilation	5 - Potential - Long Term (4-5 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,700
607	Service Center Shops & Mechanic Building	D3060 - Ventilation	5 - Potential - Long Term (4-5 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,700
731	Service Center Welding Building	B2080 - Exterior Wall Appurtenances	3 - Impending (2-3 Years)	Awning (metal) is approaching the end of its useful life.	Replace metal awning.	\$21,580	\$25,470
730	Service Center Welding Building	C2010 - Wall Finishes	3 - Impending (2-3 Years)	Interior wall paint is in need of refresh.	Paint interior walls with 2 coat finish (includes surface prep and primer).	\$5,800	\$6,850
629	Service Center Welding Building	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,270
628	Service Center Welding Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550

Building Condition Assessment Report, February 2023 DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
631	Service Center Welding Building	D3030 - Cooling Systems	5 - Potential - Long Term (4-5 Years)	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,890
729	Service Center Welding Building	D3030 - Cooling Systems	5 - Potential - Long Term (4-5 Years)	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$7,890

Service Center Welding Bldg., Shops & Mechanical Bldg, Administration Bldg.

\$2,026,380 \$2,381,950

414	Sports Center	D7050 - Detection and Alarm	1 - Immediate (0-1 Years)	The existing fire alarm system is approaching the end of its useful life and should be replaced.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system	\$309,490	\$334,250
423	Sports Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$46,220	\$52,230
430	Sports Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$46,220	\$52,230
431	Sports Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (3-ton to 8-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$46,220	\$52,230
422	Sports Center	D3030 - Cooling Systems	2 - Crucial (1-2 Years)	Rooftop/ground mounted packaged DX AC unit (8-ton to 15-ton) is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$77,010	\$87,030

Building Condition Assessment Report, February 2023 DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
424	Sports Center	D3050 - Facility HVAC Distribution Systems	2 - Crucial (1-2 Years)	Air handler / make up air unit (17.5-ton) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$69,300	\$78,310
527	Sports Center	B1080 - Stairs	3 - Impending (2-3 Years)	Wood steps need refurbishing.	Refinish/refurb wood steps.	\$49,270	\$58,140
526	Sports Center	B2080 - Exterior Wall Appurtenances	3 - Impending (2-3 Years)	Awning (fabric) is approaching the end of its useful life.	Replace fabric awning.	\$1,560	\$1,850
524	Sports Center	B3010 - Roofing	3 - Impending (2-3 Years)	Wood fascia and trim chipped and have peeling paint.	Clean, repair, and paint the trim and/or fascia.	\$39,680	\$46,830
1114	Sports Center	C1030 - Interior Doors	3 - Impending (2-3 Years)	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	\$3,710	\$4,380
531	Sports Center	C2030 - Flooring	3 - Impending (2-3 Years)	Grout is damaged and deteriorating on the tiled floor.	Clean and regrout tiles.	\$12,320	\$14,540
538	Sports Center	C2030 - Flooring	3 - Impending (2-3 Years)	Gymnasium floor is approaching the end of its useful life.	Replace the existing flooring with a new wood gym floor.	\$197,080	\$232,560
530	Sports Center	C2030 - Flooring	3 - Impending (2-3 Years)	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	\$18,710	\$22,080
528	Sports Center	C2050 - Ceiling Finishes	3 - Impending (2-3 Years)	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	\$1,470	\$1,740
534	Sports Center	C2050 - Ceiling Finishes	3 - Impending (2-3 Years)	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	\$14,410	\$17,010

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
426	Sports Center	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Split system (3-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$26,120	\$30,830
427	Sports Center	D3030 - Cooling Systems	3 - Impending (2-3 Years)	Split system (3-ton) with fan coil and outdoor condensing unit is approaching the end of its expected useful life	Provide equipment replacement and installation.	\$26,120	\$30,830
411	Sports Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
421	Sports Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
439	Sports Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life	Replace the existing load center with a new load center.	\$4,700	\$5,550
409	Sports Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 150kVA transformer (3P dry-type, 480-120/208V) is approaching the end of its expected useful life	Replace the existing transformer with a new transformer.	\$24,800	\$29,270
413	Sports Center	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 400A switchboard is approaching the end of its expected useful life.	Replace the existing switchboard with a new switchboard.	\$17,020	\$20,090

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
1134	Sports Center	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$919,400	\$1,084,900
1133	Sports Center	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$13,090	\$15,450
428	Sports Center	D3060 - Ventilation	5 - Potential - Long Term (4-5 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,700
436	Sports Center	D3060 - Ventilation	5 - Potential - Long Term (4-5 Years)	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,790	\$8,700

Sports Center

\$1,986,900 \$2,300,830

769	Traffic Maintenance Yard - Building 1	B2020 - Exterior Windows	3 - Impending (2-3 Years)	Steel framed windows are at or approaching end of expected useful service life.	Replace steel framed windows.	\$30,800	\$36,350
768	Traffic Maintenance Yard - Building 1	B3010 - Roofing	3 - Impending (2-3 Years)	Metal Roofing is at or approaching end of expected useful service life.	Remove and replace metal roofing.	\$42,510	\$50,170
1112	Traffic Maintenance Yard - Building 1	B3020 - Roof Appurtenances	3 - Impending (2-3 Years)	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	\$4,640	\$5,480
1109	Traffic Maintenance Yard - Building 1	C2050 - Ceiling Finishes	3 - Impending (2-3 Years)	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	\$15,850	\$18,710
1110	Traffic Maintenance Yard - Building 1	C2030 - Flooring	4 - Necessary - Long Term (3-4 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$18,480	\$22,740

Building Condition Assessment Report, February 2023 DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
833	Traffic Maintenance Yard - Building 1	D3030 - Cooling Systems	4 - Necessary - Long Term (3-4 Years)	Wall mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$30,800	\$37,890
834	Traffic Maintenance Yard - Building 1	D3030 - Cooling Systems	4 - Necessary - Long Term (3-4 Years)	Wall mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$30,800	\$37,890
1111	Traffic Maintenance Yard - Building 1	C2030 - Flooring	5 - Potential - Long Term (4-5 Years)	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	\$6,160	\$7,890
842	Traffic Maintenance Yard - Building 2	D3030 - Cooling Systems	1 - Immediate (0-1 Years)	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$6,160	\$6,660

Traffic Maintenance Yard - Buildings 1 & 2

\$186,200 \$223,780

274	Wilson Park Recreation Building	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	\$36,960	\$43,620
278	Wilson Park Recreation Building	B3010 - Roofing	3 - Impending (2-3 Years)	Wood fascia and trim chipped and have peeling paint.	Clean, repair, and paint the trim and/or fascia.	\$17,270	\$20,380
273	Wilson Park Recreation Building	C1030 - Interior Doors	3 - Impending (2-3 Years)	Interior wood door is at or approaching the end of its useful life.	Replace with new wood door.	\$6,790	\$8,020
1113	Wilson Park Recreation Building	C2030 - Flooring	3 - Impending (2-3 Years)	6" Vinyl wall base is approaching the end of its useful life.	Replace the vinyl wall base.	\$390	\$470
272	Wilson Park Recreation Building	D2010 - Domestic Water Distribution	3 - Impending (2-3 Years)	Water leakage from plumbing fixture.	Investigate cause of leak and provide repairs and adjustments as necessary.	\$630	\$750

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
205	Wilson Park Recreation Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (120/240V, 1P) all-in-one combination service entrance device is approaching the end of its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	\$7,890	\$9,320
202	Wilson Park Recreation Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
271	Wilson Park Recreation Building	D5020 - Electrical Service and Distribution	3 - Impending (2-3 Years)	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	\$4,700	\$5,550
1153	Wilson Park Recreation Building	D5040 - Lighting	3 - Impending (2-3 Years)	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	\$78,340	\$92,450
215	Wilson Park Recreation Building	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$2,190	\$2,590
279	Wilson Park Recreation Building	G2060 - Site Development	3 - Impending (2-3 Years)	Bench finish is at or approaching the end of its useful life.	Repaint and refinish bench.	\$610	\$720
284	Wilson Park Restroom	B2010 - Exterior Walls	3 - Impending (2-3 Years)	Trim is worn and should be replaced.	Replace trim and finish to match. Replace at the same time as siding.	\$6,160	\$7,270
280	Wilson Park Restroom	B3010 - Roofing	3 - Impending (2-3 Years)	Wood fascia and trim chipped and have peeling paint.	Clean, repair, and paint the trim and/or fascia.	\$6,910	\$8,160

Building Condition Assessment Report, February 2023

DETAIL BY BUILDING

Highlighted Rows are likely to require Engineering Services

ID#	Location Name	Building System Classification	Priority	Deficiency Description	Description of Work	Current Repair Cost	Escalated Repair Costs
281	Wilson Park Restroom	C1090 - Interior Specialties	3 - Impending (2-3 Years)	Toilet partitions have excessive amounts of rust.	Replace the toilet partitions	\$11,110	\$13,110
1154	Wilson Park Restroom	D5040 - Lighting	3 - Impending (2-3 Years)	The exterior wall mounted fixture is approaching the end of its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	\$2,190	\$2,590
213	Wilson Park Restroom	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$3,470	\$4,100
285	Wilson Park Snack Shack	B3020 - Roof Appurtenances	3 - Impending (2-3 Years)	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	\$3,710	\$4,380
289	Wilson Park Snack Shack	C2030 - Flooring	3 - Impending (2-3 Years)	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	\$6,030	\$7,120
291	Wilson Park Snack Shack	D2010 - Domestic Water Distribution	3 - Impending (2-3 Years)	Porcelain sink is approaching the end of its expected useful life.	Provide equipment replacement and installation.	\$7,710	\$9,100
219	Wilson Park Snack Shack	D5040 - Lighting	3 - Impending (2-3 Years)	The light fixtures utilize inefficient incandescent lamps.	Replace existing incandescent fixtures with LED fixtures.	\$11,540	\$13,620
Wilson Park Recreation Bldg, Restroom and Snack Shack						\$219,300	\$258,870
Total						\$28,909,270	\$33,797,360

9. From the 2022 Playground Prioritizations

PLAYGROUND PRIORITIZATION LIST

Playground	Age	Manufacturer	Year	Priority	Equipment	Observation	Recommendation	Photos	Outreach	ADA notes
Canyon Oaks	Preschool	Gametime	1999	1	Slide	There is a gap between the slide bed and the platform that might catch clothing, especially strings or cords that children could have around their necks. Slides should not have any spaces or gaps between the platform, section seams, or the start of the slide chute.	The manufacturer should be contacted to determine what actions are appropriate to correct the gap.		No	<ul style="list-style-type: none"> • 5 items related to path of travel work including play equipment area. • Cost: \$18,000 • Transition plan has listed only 9 items total for this playground.
Canyon Oaks	Preschool	Gametime	1999	3	Webs	There are spider webs in several areas of the composite structure.	The spider webs should be removed. The undersides of all platforms should be inspected regularly to ensure hazards posed by insects are controlled.			
Canyon Oaks	Preschool	Gametime	1999	3	Platform	The coating on several platforms is beginning to crack. This damage could compromise the integrity of the structure if the metal is exposed to the elements. The cracking could also present a trip hazard for children using the platform.	The manufacturer should be contacted to determine what corrective actions can be taken to repair the coating on the platform.			
Canyon Oaks	Preschool	Gametime	1999	4	Play Surface	Play surfaces throughout the playground showed signs of vandalism.	The play surfaces should be cleaned in accordance with the manufacturers' instructions.			
Creekside	School	Landscape Structures	1998	1	Slide	Gaps were observed between the section seams of the slide that might catch clothing, especially strings or cords that children could have around their necks. To avoid potential entanglement hazards, slides should not have any spaces or gaps between the platform, section seams, or at the start of the slide chute.	The manufacturer should be contacted to determine what steps should be taken to eliminate the entanglement hazard.		Yes	<ul style="list-style-type: none"> • 3 items related to path of travel work including play equipment area. • Cost: \$25,000
Creekside	School	Landscape Structures	1998	2	Loose Fill Surfacing Material	The loose fill surfacing material is not level with the top of the recommended surfacing mark. This may indicate that the depth of the loose fill material is inadequate.	The City should ensure the loose fill surfacing material is maintained at the required depth and is evenly distributed throughout the playground equipment area.			
Creekside	School	Landscape Structures	1998	2	Platform	There were bolts on the underside of some of the platforms that have two nuts on each bolt. Projections on playground equipment should not be able to entangle children's clothing nor should they be large enough to cause an impalement hazard.	One nut should be removed, and the bolt should be trimmed so that no more than two threads protrude. Any sharp edges or burrs should be removed.			
Creekside	School	Landscape Structures	1998	2	Bolts	Rusted bolts were noted on the structure. Rust is a sign of metal deterioration, which may eventually compromise the structural strength of the equipment.	Bolts and other hardware on all equipment should be checked on a regular basis and replaced in accordance with the manufacturer's requirements. The City should review its playground maintenance program to ensure high-frequency inspections are conducted and documented.			
Creekside	School	Landscape Structures	1998	3	Paint	Some of the surfaces of the composite structure showed signs of worn, chipping, or peeling paint. This may result in a child accidentally ingesting paint, and if the painted surfaces contain lead, there is the possibility of lead poisoning. In addition, having exposed areas of bare metal may cause increased deterioration in the components as a result of exposure to weather conditions.	The manufacturer should be contacted to determine what steps should be taken to repaint surface.			
Creekside	School	Landscape Structures	1998	4	Play Surface	Play surfaces throughout the playground showed signs of vandalism.	The play surfaces should be cleaned in accordance with the manufacturer's instructions.			

Note: Playground Inspections were conducted by an outside consultant, and these prioritizations were developed by PW Staff.

PLAYGROUND PRIORITIZATION LIST

Oak Valley	Preschool	Gametime	1999	2	Bolts	There are missing bolts from portals. All fastening devices are required to provide structural strength.	The missing bolt should be replaced with manufacturer- approved hardware and in accordance with the manufacturer’s installation instructions.		No	<ul style="list-style-type: none"> • 3 items on the path of travel. The play equipment area was NOT called out. • Cost: \$15,000 • Transition plan has listed only 5 items total for this playground.
Oak Valley	Preschool	Gametime	1999	2	Skylight	The surface of the skylight has a crack. Cracks will expand in time, which increases the risk of injury.	The skylight should be checked, and the manufacturer of the composite structure contacted regarding the repair or the replacement of the porthole.			
Oak Valley	Preschool	Gametime	1999	3	Platform	The coating on several platforms is beginning to crack. This damage could compromise the integrity of the structure if the metal is exposed to the elements. The cracking could also present a trip hazard for children using the platform.	The manufacturer should be contacted to determine what corrective actions can be taken to repair the coating on the platform.			
Varian	Preschool	Gametime	1998	2	Bolts	Rusted bolts were noted on the play structure. Rust is a sign of metal deterioration, which may eventually compromise the structural strength of the equipment.	Bolts and other hardware on all equipment should be checked on a regular basis and replaced in accordance with the manufacturer’s requirements. The City should review its playground maintenance program to ensure high-frequency inspections are conducted and documented.		Yes	<ul style="list-style-type: none"> • 6 items on the path of travel, including play equipment area. • Cost: \$13,000
Varian	Preschool	Gametime	1998	3	Paint	Some of the surfaces of the composite structure showed signs of worn, chipping, or peeling paint. This may result in a child accidentally ingesting paint, and if the painted surfaces contain lead, there is the possibility of lead poisoning. In addition, having exposed areas of bare metal may cause increased deterioration in the components as a result of exposure to weather conditions.	The manufacturer should be contacted to determine what steps should be taken to repaint surfaces.			
Varian	Preschool	Gametime	1998	3	Slide	The surfaces of the slides appear to have cracks. Cracks on the slide bed will increase with time, which increases the risk of injury.	Contact the manufacturer of the composite structure for information on repairing the slide beds.			

**10. From the 2024 Storm Drain
Outfall
Assessment report**

Cupertino Storm Drain Outfall Assessment

To: Jimmy Tan, PE (City of Cupertino)

From: Connor Thomas (V&A); Noy Phannavong, PE (V&A)

Date: August 20, 2024

V&A #: 23-0026

Subject: Storm Drain Outfall Pipes and Structures Assessment Report

Introduction

V&A Consulting Engineers, Inc. (V&A) was retained by the City of Cupertino (City) to perform condition assessments as part of the Storm Drain Outfall Condition Assessment Project. The purpose of the condition assessment was to inventory the storm drain assets and to determine necessary improvements and maintenance activities for the outfall pipes and structures.

The City maintains 175 outfall pipe segments, totaling approximately 17,051 feet, within the storm drain network. The outfall pipes discharge urban rainfall runoff from the City into various creeks/channels managed by the Santa Clara Valley Water District (Valley Water). V&A was tasked with assessing the accessible outfall pipes along with their corresponding outfall structure and nearest upstream structure.

The primary assessment method for the upstream and outfall structures consisted of visual examinations and documentation through photographs. Observed defects and corrosion of concrete and metal structures were rated using VANDA Condition Index Ratings. Key attribute information such as GPS location, diameter, pipe material, etc., of the structures were also documented. Data and attribute information will be submitted in a GIS shapefile format in conjunction with this report.

For the outfall pipes, V&A retained Presidio Systems, Inc. (Presidio) to capture closed-circuit television (CCTV) footage of the pipes.

Figure 1 below presents an overview map of the approximate locations of the outfall and upstream structures that were assessed.

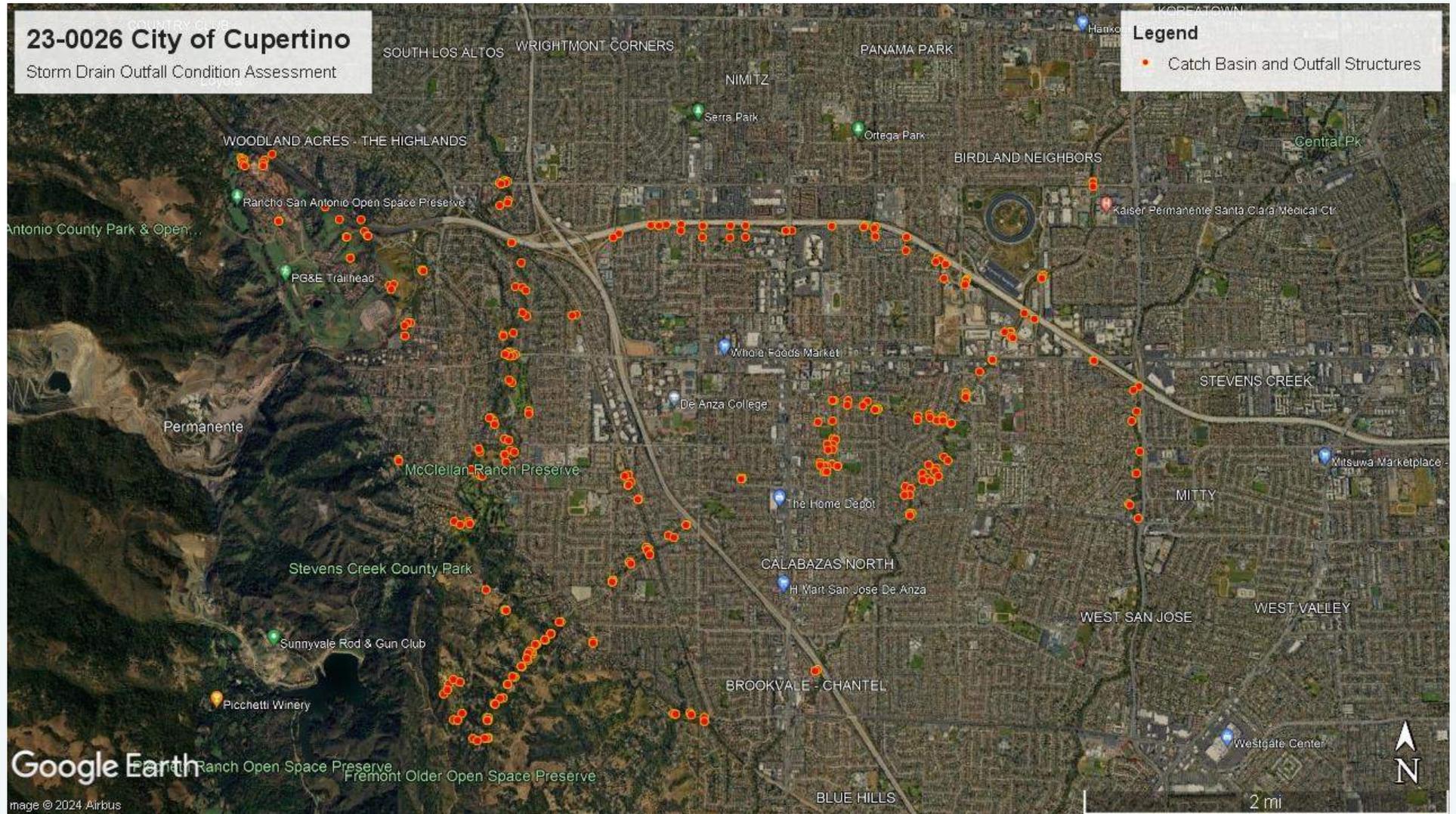


Figure 1. Overview map of outfall pipe and structure locations.

Assessment Methods

Visual Assessment of Structures

Qualitative visual evaluations were conducted from outside of the assessed structures, focusing on the condition of concrete and metal surfaces. Cracks, delamination, corrosion, and other concrete defects referenced in American Concrete Institute (ACI) 201.1R-92, “Guide for Making a Condition Survey of Concrete in Service” were documented with digital, still photographs. The condition of metal components and coatings were also evaluated and documented. It should be noted that much of the visual assessment data is subjective and is based upon V&A’s extensive experience evaluating concrete and metallic structures in the water and wastewater industries.

Standardized ratings used to characterize condition were assigned based on the VANDA Concrete and Metal Condition Indices, as shown in the subsequent sections.

VANDA® Concrete Condition Index

V&A created the VANDA Concrete Condition Index (Table 1) to provide consistent reporting of corrosion damage based on objective criteria. Concrete condition is rated from Level 1 to Level 5 based upon field observations and measurements, with Level 1 indicating the best case and Level 5 indicating severe damage. The individual criteria are applied based on engineering judgment to arrive at the overall rating.

Table 1. VANDA® Concrete Condition Index

Condition Rating	Description	Representative Photograph
Level 1	<p>Little or no damage to concrete</p> <ul style="list-style-type: none"> ▪ Hardnesshard surface ▪ Surface profile.....smooth, apparently intact ▪ Cracks.....hairline width, minimal frequency ▪ Spalling.....none ▪ Reinforcement.....not exposed or damaged 	
Level 2	<p>Minor surface damage</p> <ul style="list-style-type: none"> ▪ Hardnesssoft surface layer to 1/8-inch depth ▪ Surface profile.....fine aggregate exposed ▪ Cracks.....hairline width, moderate frequency ▪ Spalling.....shallow spalling, minimal frequency ▪ Reinforcement.....not exposed or damaged 	
Level 3	<p>Moderate surface damage</p> <ul style="list-style-type: none"> ▪ Hardnesssoft surface layer to 1/4-inch depth ▪ Surface profile.....large aggregate exposed or protruding ▪ Cracks.....up to 1/32-inch width, moderate frequency ▪ Spalling.....shallow spalling, minimal frequency ▪ Reinforcement.....exposed; minor damage, minimal frequency 	
Level 4	<p>Loss of concrete mortar and damage to reinforcement</p> <ul style="list-style-type: none"> ▪ Hardnesssoft paste beyond 1/4-inch depth ▪ Surface profile.....large aggregate exposed, loose, or missing ▪ Cracks.....1/8- to 1/4-inch width, moderate frequency ▪ Spalling.....deep spalling, moderate frequency ▪ Reinforcement.....exposed with damage, moderate frequency 	
Level 5	<p>Bulk loss of concrete and reinforcement</p> <ul style="list-style-type: none"> ▪ Hardnesssoft paste beyond 1-inch depth ▪ Surface profile.....large aggregate exposed, loose, or missing ▪ Cracks.....over 1/2-inch width, or narrower and frequent ▪ Spalling.....deep spalling, high frequency ▪ Reinforcement.....consumed; loss of structural integrity 	

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VANDA® Metal Condition Index

V&A created the VANDA Metal Condition Index (Table 2) to provide consistent reporting of corrosion damage based on objective criteria. Metal condition is rated from Level 1 to Level 5 based upon field observations and measurements, with Level 1 indicating the best case and Level 5 indicating severe damage. The individual criteria are applied based on engineering judgment to arrive at the overall rating.

Table 2. VANDA® Metal Condition Index

Condition Rating	Description	Representative Photograph
Level 1	<p>Little or no corrosion</p> <ul style="list-style-type: none"> ▪ Wall thickness loss, general none ▪ Wall thickness loss, pitting none to minimal ▪ Extent (area) of corrosion may be widespread but superficial 	
Level 2	<p>Minor corrosion</p> <ul style="list-style-type: none"> ▪ Wall thickness loss, general up to 20% ▪ Wall thickness loss, pitting up to 20% ▪ Extent (area) of corrosion localized 	
Level 3	<p>Moderate corrosion</p> <ul style="list-style-type: none"> ▪ Wall thickness loss, general 20% to 40% ▪ Wall thickness loss, pitting 20% to 60% ▪ Extent (area) of corrosion up to half of surface 	
Level 4	<p>Severe corrosion</p> <ul style="list-style-type: none"> ▪ Wall thickness loss, general 40% to 60% ▪ Wall thickness loss, pitting 60% to 100% (pinholes) ▪ Extent (area) of corrosion most of surface 	
Level 5	<p>Failure or imminent failure</p> <ul style="list-style-type: none"> ▪ Wall thickness loss, general greater than 60% ▪ Wall thickness loss, pitting 100% (holes) ▪ Extent (area) of corrosion most or all of surface 	

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Closed-Circuit Television Assessment of Outfall Pipes

Presidio performed CCTV of the outfall pipes. This method of traditional CCTV consists of a color CCTV camera and light system mounted to a wheeled crawler. The camera is equipped with tilt, rotation, and zoom capabilities to capture detailed observations of defects. Video images are captured via a recording console, and the camera is controlled from the CCTV truck at the surface access point through a coaxial cable that also allows the distance to be recorded in feet. Observations were noted per the National Association of Sewer Services Companies (NASSCO) Pipeline Assessment Certification Program (PACP). The PACP reports from Presidio are attached in Appendix A.

Findings

Outfall Pipes

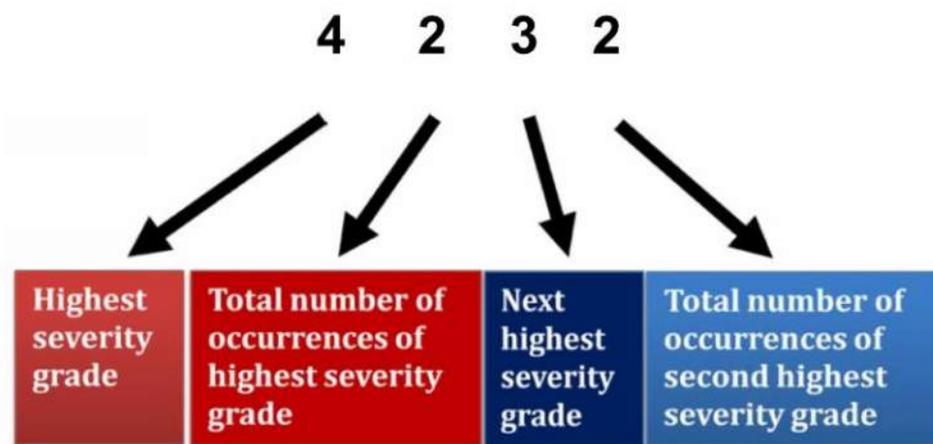
CCTV assessments of the outfall pipes were conducted between the outfall opening and the nearest upstream catch basin. Presidio assessed approximately 16,000 feet of outfall piping across 176 sites. These pipes typically consisted of reinforced concrete pipe (RCP) and corrugated metal pipe (CMP). There were also pipes made of polyethylene (PE), polyvinyl chloride (PVC), cast iron (CI), ductile iron (DI), and high-density polyethylene (HDPE), though these were fewer in number. Pipe sizes varied widely and ranged from 8 to 84 inches. The PACP reports provided by Presidio can be found in Appendix A, and the CCTV videos will be submitted to the City in electronic format.

The CCTV data obtained by Presidio was evaluated using the standards established by the NASSCO PACP. In particular, NASSCO's Quick Rating standards are used to rate the condition of the pipe segments assessed. The Quick Rating is a four-character code that describes the occurrence of the two highest severity defect grades in a pipeline. Severity grading ranges from 1 to 5. The grades, as defined by NASSCO, are shown in Table 3.

Table 3. NASSCO PACP Rating System

Rating	Description
5	Most significant defect grade
4	Significant defect grade
3	Moderate defect grade
2	Minor to moderate defect grade
1	Minor defect grade or no defect

The first and third characters of the Quick Rating code, as shown in Figure 2, describe the highest severity grade and second highest severity grade along the pipe segment, respectively. The second and fourth characters describe how often the highest and second-highest severity grades occurred in a pipe segment. The number of occurrences is represented by a number between 1 and 9. However, if the number of occurrences exceeds 9, letters are used to represent a range of numbers. For example, the letter A represents 10 to 14 occurrences, B represents 15 to 19, C represents 20 to 24, etc. Figure 2 below is a graphic from the NASSCO/PACP manual that further describes this coding system.



For example: 4B27

This immediately shows no grade 5 defects or grade 3 defects were observed. However, fifteen to nineteen grade 4 defects and seven grade 2 defects were found.

Figure 2. NAASCO/PACP Quick Ratings graphic.

Defects are also split into two categories: structural and operations and maintenance (O&M). Structural defects typically rate the structural integrity of a structure and note defects such as cracking, holes, deformation, joint separations, and more. O&M defects categorize the observations that have an impact on the maintenance and operations of a pipe, such as sediment deposits, roots, obstacles, pipe turns, and more. Structural defects typically represent a higher priority than O&M defects.

Presidio assessed 205 pipe segments across 175 sites. However, 21 sites could not be assessed either due to a lack of access or because the access structures could not be located. A list of the unassessed outfall pipes is compiled in Appendix E. The reason that the number of pipe segments exceeded the number of sites is that several previously unknown manholes were discovered during the CCTV assessments. These manholes were named after the connecting outfall and given a letter (i.e. SWST1375A). The letters would progress from A, B, C, etc., if there were multiple unknown manholes in the pipeline.

Table 4 summarizes the number of occurrences of NAASCO structural defects as the highest defect grade along a pipe segment. The NAASCO structural ratings of individual pipe segments can be referenced in Appendix B along with overview maps of the structural Grade 4 and Grade 5 defects.

Table 4. Summary of Highest Structural Defect Grades Across Assessed Pipe Segments

Highest NAASCO Defect Grade	Rating Description	No. of Pipe Segments	Percentage of Total
5	Most significant defect grade	52	26%
4	Significant defect grade	11	5%
3	Moderate defect grade	34	17%
2	Minor to moderate defect grade	2	1%
1	Minor defect grade or no defects	106	52%

Table 5 summarizes the number of occurrences of NASSCO O&M defect grades as the highest defect grade along a pipe segment. The NASSCO O&M ratings of individual pipe segments can be referenced in Appendix B along with overview maps of the O&M Grade 4 and Grade 5 defects.

Table 5. Summary of Highest O&M Defect Grades Across Assessed Pipe Segments

Highest NASSCO Defect Grade	Rating Description	No. of Pipe Segments	Percentage of Total
5	Most significant defect grade	19	9%
4	Significant defect grade	21	10%
3	Moderate defect grade	41	20%
2	Minor to moderate defect grade	54	26%
1	Minor defect grade or no defects	70	34%

The condition of the outfall pipes varied depending on the material used. RCP was one of the most common material types and typically only exhibited Grade 2 structural defects and lower. Grade 3 defects were uncommon but did appear in some of the outfall pipe segments. Grade 4 to 5 defects were rare but were present in a few outfall pipes.

CMP was another common material used for pipelines. Many pipelines that were comprised of multiple materials typically used CMP at the end of a pipeline towards the outfall. Grade 3, 4, and 5 defects were common in pipelines that were constructed from CMP. This is because CMP is susceptible to corrosion, which leads to holes developing in the pipes. The lining, if present, would typically also degrade at the bottom half of the pipe. Though not as common, a number of CMP pipelines also showed signs of deformation. Similar to the RCP pipelines, O&M defects usually consisted of roots present in the pipe or sediment and debris.

Uncommon material types, such as plastic, which includes PVC and HDPE, and metals, such as DI and CI, were typically in good condition. Plastic pipes had very few defects and no Grade 4 or 5 defects except for one HDPE pipe that had nails puncturing the pipe walls. The metal segments of the pipelines, not including CMP, were also in good condition and had no Grade 4 or 5 defects.

O&M defects were generally slightly more common than structural defects and usually had to do with debris or obstructions in the pipeline. The Grade 4 and Grade 5 defects usually represented a level of debris in the pipeline that prevented or nearly prevented the CCTV crawler from progressing further into a pipe. Lower grades were usually roots in the pipes or lower levels of sediment.

Photo 1 through Photo 12 show some of the notable structural and O&M defects for the outfall pipes.

Appendix B provides a list of the assessed outfall pipes along with a summary of the structural and O&M defects, and the NASSCO Quick Rating for each pipe segment.



Photo 1. Broken RCP (Grade 4); SWPP724.



Photo 2. Crack longitudinal hinge on RCP, (Grade 4); SWPP4745.



Photo 3. Grade 4 structural defect on CMP; Grade 3 O&M defect (debris); SWPP4896.



Photo 4. Grade 5 structural defect on CMP (hole); SWPP1698.



Photo 5. Grade 5 structural defect on CMP (holes at invert); SWPP3232.



Photo 6. Grade 5 structural defect on CMP (large hole/void); SWPP3360.



Photo 7. Hole with soil visible on CMP (VANDA Level 5); SWPP4745.



Photo 8. Hole in CMP pipeline due to corrosion (Grade 5); SWPP4896.



Photo 9. O&M Grade 4 defect due to debris; SWPP4643.



Photo 10. O&M Grade 5 defect due to debris; SWPP3661.



Photo 11. O&M Grade 4 defect due to concrete deposits; SWPP1546



Photo 12. Grade 5 defect due to roots, dirt, and debris; SWPP3283.

Outfall Structures

V&A assessed the condition of 117 outfall structures. This number does not include those that could not be located or accessed during the assessment. The assessed structures consisted of open channels, concrete headwalls, and other features. At some sites, no structure existed, and the outfall pipe was exposed to the surrounding environment. The condition of these structures was evaluated using the VANDA rating scale described in Sections 1.1.1 and 1.1.2.

Most of the sites with structures were in VANDA Level 2 to 3 condition. This indicates that the structures were typically in good to moderate condition. Of the 117 outfalls, three (3) were in VANDA Level 5 condition, and three (3) were in VANDA Level 4 condition, which are considered poor conditions. Table 6 summarizes the VANDA® concrete condition ratings of the outfall structures. Individual structure ratings are provided in Appendix B.

Table 6. Summary of VANDA® Concrete Condition Ratings for Outfall Structures

VANDA® Concrete Condition Rating	Rating Description	No. of Structures
5	Severe damage, imminent failure	3
4	Moderate to severe damage	3
3	Moderate surface damage	23
2	Minor surface damage	76
1	Little or no damage to concrete	12

Level 5 defects are defined by structural failures or imminent failures of the outfall structures. These would include the collapse of the structure, the structure no longer being able to support the pipe, and major structural defects such as large cracks, breaks, or undermining of the structure. Photo 13 through Photo 15 show the three structures that were in VANDA Level 5 condition, such as structure SWST3548, which collapsed on itself and the pipe.

Level 4 defects are characterized by moderate to severe damage to the structure that has not yet reached the point of failure or imminent failure but is likely to reach that point in the near future. In the case of the outfall structures, missing structural elements, moderate to severe concrete deterioration, and moderate to severe cracking are indicative of a Level 4 condition. Photo 16 through Photo 18 show the Level 4 condition outfall structures.

Level 3 defects are characterized by moderate damage to the structure. This would include large aggregate visible due to concrete deterioration, moderately frequent cracks, and spalling of the concrete. Photo 19 through Photo 22 examples of structures with Level 3 defects.

Level 2 defects are defined as minor damage to structures and were the most common. Defects include small aggregate being visible and superficial cracks on the concrete surface. Photo 23 and Photo 24 are examples of the minor surface damage that denotes Level 2 defects for the structures.

Level 1 condition is characterized by structures having no defects.



Photo 13. Collapsed outfall structure SWST3548 (VANDA Level 5).



Photo 14. Large cracking of outfall structure; undermining (VANDA Level 5); SWST25337.



Photo 15. Failure of the headwall and undermining at SWST3786 (VANDA Level 5).



Photo 16. Collapsed outfall structure SWST2041 (VANDA Level 4).



Photo 17. Severe damage to outfall headwall SWST4805 (VANDA Level 4).



Photo 18. Severe damage to outfall headwall SWST4807 (VANDA Level 4).



Photo 19. Spalling of outfall structure SWST26153 (VANDA Level 3).



Photo 20. Moderate surface damage on outfall structure SWST25297 (VANDA Level 3).



Photo 21. Moderate cracking of outfall structure SWST26153 (VANDA Level 3).



Photo 22. Moderate surface damage and cracking of outfall structure SWST3528 (VANDA Level 3).



Photo 23. Minor surface damage to outfall structure SWST433 (VANDA Level 2).



Photo 24. Minor surface damage to outfall structure SWST3549 (VANDA Level 2).

Upstream Structures

V&A assessed the condition of 145 upstream structures, not including several structures that could not be found or accessed at the time of the assessment. It should be noted that several previously unknown manholes/upstream structures were discovered throughout the CCTV assessment, but these were not visually assessed.

The concrete surfaces of the upstream structures were typically in good condition across the board. Most structures were either in VANDA Level 2 or 3 condition, meaning they were in good or moderate condition, respectively. Of the 145 structures, none were in VANDA Level 5 condition, and **three (3) were in VANDA Level 4 condition**, which is poor condition. Some structures were inaccessible and couldn't be assessed. Table 7 summarizes the VANDA® concrete condition ratings of the structures. Individual structure ratings are provided in Appendix B.

Table 7. Summary of VANDA® Concrete Condition Ratings for Upstream Structures

VANDA® Concrete Condition Rating	Rating Description	No. of Manholes
5	Bulk loss of concrete and reinforcement	0
4	Loss of concrete mortar and damage to reinforcement	3
3	Moderate surface damage	37
2	Minor surface damage	99
1	Little or no damage to concrete	6

Defects in the upstream structures are categorized similarly to those in the outfall structures.

SWST24885, SWST10461, and SWST2015 were the three structures with a Level 4 condition rating.

SWST24885 was found with multiple large cracks spanning the structure that could jeopardize the structural integrity of the catch basin. SWST10461 exhibited signs of moderate surface damage and multiple gaps that exposed voids. These voids left gaps at the joint in the structure and underneath the cover frame. SWST2015 had a broken catch basin cover. Photo 25 through Photo 27 show these observations.

Level 3 defects primarily consisted of moderate cracking, moderate surface damage that exposed large aggregates, concrete spalling of the concrete surfaces, and degradation of the concrete underneath the cover frame. Photo 28 through Photo 33 show common examples of Level 3 defects in the upstream structures.

Like the outfall structures, Level 2 defects were the most common and typically consisted of minor surface damage exposing small aggregate and superficial cracking along the concrete surfaces. Photo 34 and Photo 35 show what those defects generally looked like.



Photo 25. Frequent cracking along catch basin SWST24885 (VANDA Level 4).



Photo 26. Moderate surface damage and voids in SWST10461 (VANDA Level 4).



Photo 27. Broken catch basin cover; SWST2015 (VANDA Level 4).



Photo 28. Moderate crack in structure SWST3066 (VANDA Level 3).



Photo 29. Moderate surface damage in SWST434 (VANDA Level 3).



Photo 30. Moderate cracking of SWST1411 (VANDA Level 3).



Photo 31. Concrete spalling and moderate cracking of SWST4473 (VANDA Level 3).



Photo 32. Deterioration of concrete under cover frame in SWST2156 (VANDA Level 3).



Photo 33. Moderate surface damage of SWST15657 SWST26153 (VANDA Level 3).



Photo 34. Minor surface damage SWST2412 (VANDA Level 2).



Photo 35. Minor surface damage of SWST1179 (VANDA Level 2).

GIS Discrepancies

There were a number of discrepancies between what had been previously recorded in the GIS data and what was discovered during the field assessments. These discrepancies included differing pipe diameters and lengths, additional structures that weren't previously recorded, and missing/non-existent structures or pipes. A list of these discrepancies and their associated site has been compiled in Appendix D.

Conclusions

Based on the findings of the condition assessment, V&A presents the following conclusions for the condition of the outfall pipes and their associated structures .

Outfall pipes

- From a structural perspective:
 - RCP, PVC, PE, HDPE, DI, and CI pipe segments were typically in good condition with only a few outliers, if any.
 - CMP pipe segments typically varied from moderate to poor condition. Corrosion was very common in these pipelines and sometimes resulted in the formation of holes within the piping. Some of the pipes also showed signs of deformation.
- From an O&M standpoint:
 - Roots, debris, and sediment have caused moderate to significant O&M defect grades for 40% of the outfall pipes with 49% of these segments having Grade 4 or Grade 5 O&M defects.
 - 60% of the outfall pipes have minor O&M defects. In general, these defects do not warrant action at this time.

Outfall and Upstream Structures

- A vast majority of outfall structures were in VANDA Level 1 or 2 condition. 23 structures were in VANDA Level 3 condition, three (3) were in VANDA Level 4 condition, and another three (3) were in VANDA Level 5 condition.
- Like the outfall structures, the upstream structures were mostly in VANDA Level 1 or 2 condition. 37 structures were in VANDA Level 3 condition, three (3) were in VANDA Level 4 condition, and none were in VANDA Level 5 condition.

Recommendations

Based on the results of the condition assessment, V&A presents the following recommendations for the City to consider.

Outfall pipes

Table 8 summarizes the repair and rehabilitation recommendations for the outfall pipes.

Table 8. Summary of Outfall Pipe Repair and Rehabilitation Recommendations

NASSCO Defect Grade	No. of Pipe Segments	Recommendation
5	52	Repair or rehabilitate pipes within 2 years
4	11	Repair or rehabilitate pipes in 2 – 5 years
3	34	Repair or rehabilitate pipes in 5 – 10 years
2	2	Reassess pipes in 10 years
1	106	Reassess pipes in 10 years

Table 9 summarizes the O&M recommendations for the outfall pipes.

Table 9. Summary of Outfall Pipe O&M Recommendations

NASSCO Defect Grade	No. of Pipe Segments	Recommendation
5	19	Perform maintenance prior to the upcoming wet weather season
4	21	Perform maintenance within 2 years
3	41	Perform maintenance in 2 – 5 years
2	54	Reassess pipes in 10 years
1	70	Reassess pipes in 10 years

Outfall and Upstream Structures

Table 10 summarizes the repair recommendations for the outfall structures.

Table 10. Summary of Outfall Structure Repair Recommendations

VANDA® Concrete Condition Rating	No. of Structures	Recommendation
5	3	Repair the structures within 2 years
4	3	Repair the structures in 2 – 5 years
3	23	Repair the structures in 5 – 10 years
2	76	Reassess the structures in 10 years
1	12	Reassess the structures in 10 years

Table 11 summarizes the repair recommendations for the upstream structures.

Table 11. Summary of Upstream Structure Repair Recommendations

VANDA® Concrete Condition Rating	No. of Structures	Recommendation
5	0	Repair the structures within 2 years
4	3	Repair the structures in 2 – 5 years
3	37	Repair the structures in 5 – 10 years
2	99	Reassess the structures in 10 years
1	6	Reassess the structures in 10 years