



## COMMUNITY DEVELOPMENT DEPARTMENT

CITY HALL  
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### CITY COUNCIL STAFF REPORT SUPPLEMENTAL 1

Meeting: March 17, 2026

#### Agenda Item #12

#### Subject

Consider a Tentative Map, Architectural and Site Approval, and Tree Removal Permit for the construction of a 51-unit townhome condominium development on Housing Element Priority Housing Sites 25 through 28. The project utilizes Senate Bill 330 and provisions of State Density Bonus law. (Application No(s): TM-2024-009, ASA-2024-015, TR-2024-044; Applicant: SummerHill Homes, LLC; Location: 10857, 10867, 10877, and 10887 Linda Vista Drive; APNs: 356-06-001, -002, -003, and -004).

#### Recommended Action

1. Find the project exempt from the California Environmental Quality Act (CEQA);
2. Make the required findings of No Net Loss (SB 166); and
3. Approve the following permits:
  - a. Adopt Resolution No. 26-XXX approving Tentative Final Map (TM-2024-009) (Attachment A);
  - b. Adopt Resolution No. 26-XXX approving Architectural & Site Approval Permit (ASA-2024-015) (Attachment B); and
  - c. Adopt Resolution No. 26-XXX approving Tree Removal Permit (TR-2024-044) (Attachment C).

#### Background:

**Staff's responses to questions received from councilmembers are shown in italics.**

Q1: Does the March 2025 Very High Fire Hazard classification apply to this project?

*Staff response: The City adopted the State Fire Marshall's recommendations regarding Fire Hazard Severity Zones (FHSZ) in June 2025 as required by state law. The project has been evaluated utilizing the Very High FHSZ designation due to its reclassification in June 2025.*

Q2: Regarding "E - AB 130 CEQA Exemption Memo.pdf", it recognizes that AB 130 exemption requires "Most of the project site is located within a Very High Fire Hazard Severity Zone". Thus, the project does not qualify for AB 130 exemption unless the "sites that have adopted fire hazard mitigation measures pursuant to existing building standards or state fire mitigation measures applicable to the development". Where are the previously "adopted fire hazard mitigation measures pursuant to existing building standards or state fire mitigation measures" to allow AB 130 exemption for this site?

*Staff response: The fire hazard mitigation measures applicable to the site are adopted in Title 16 of the City's Municipal Code in different chapters, including but not limited to Chapters 16.06 (Residential Code), 16.10 (Wildland Urban Interface Code) and 16.40 (Fire Code).*

Q3-1: For the proposed mitigation measures in "F - Alternative Means and Methods Request Approval.pdf", what documents, adopted by any agency as standards, can demonstrate that they satisfy "the same practical effect of the minimum 30' setback requirement of CCR Section 1276.01"?

*Staff Response: Fire Department staff will be present at the Council meeting and can respond at that time.*

Q3-2: Would the proposed mitigation measures have the same "practical effect" as 20-foot setback? 10-foot setback? 5-foot setback? How is the "practical effect" measured, through some theoretical model or empirical data?

*Staff Response: Fire Department staff will be present at the Council meeting and can respond at that time.*

Q4-1: What's the approval process for the "Application for Use of Alternative Materials, Methods of Construction, or Modification of Code" by the Fire Department?

*Staff Response: Fire Department staff will be present at the Council meeting and can respond at that time.*

Q4-2: Any objective standards adopted by the Fire Department on what "Alternative Materials, Methods of Construction, or Modification of Code" would be sufficient for "practical effect"? Or, is the approval based on opinions of the reviewer?

*Staff Response: Fire Department staff will be present at the Council meeting and can respond at that time.*

Q5: All units of the project include 4 bedrooms, "with individual units ranging in size from 2,356 square feet to 2,779 square feet." Is there any requirement to mandate these large square footage per unit at this site? Or is it a design choice?

*Staff Response: The City does not have a minimum size requirement for units proposed at this site. The unit size proposed is at the applicant's design choice.*

Q6: All units of the project are 4-bedroom units with two car garages? Is there any requirement to mandate 4 bedrooms or more? Or is it a design choice?

*Staff Response: All units have two-car garages. The unit type proposed is at the applicant's design choice.*

Q7: Board of Forestry Fire Safe Regulations (14 CCR §1276.01) states "A reduction in the minimum setback shall be based upon practical reasons, which may include but are not limited to, parcel

dimensions or size, topographic limitations". Is there any analysis to show that 30 feet setback requirement is "not feasible"?

*Staff Response: Fire Department staff will be present at the Council meeting and can respond at that time.*

Q8-1: Google AI states "The average size of a 4-bedroom townhouse typically ranges between 1,800 and 2,500 square feet. " and "The average size of a 3-bedroom townhouse generally falls between 1,200 and 2,000 square feet." In the attachment "F - Alternative Means and Methods Request Approval.pdf", the justification for not providing 30-foot setback is "the development density requirement and site constraints due to existing public right-of-way...", which means a minimum unit count requirement of 51 units. How come the project cannot provide smaller units, which are also more affordable, so that they can comply with the 30-foot setback requirement?

*Staff Response: Fire Department staff will be present at the Council meeting and can respond at that time.*

Q8-2: It is a design choice to provide larger 4-bedroom units, rather than smaller units, rather than any density requirement. Is it a valid "practical reason" required under Board of Forestry Fire Safe Regulations (14 CCR §1276.01) to waive the 30-foot setback requirement?

*Staff Response: Fire Department staff will be present at the Council meeting and can respond at that time.*

Q9-1: Can the project provide lower than 51 units, the minimum unit requirement?

*Staff Response: Under state housing law, the project must meet the minimum residential density at the site.*

Q9-2: What would be the approval process if the project had to reduce the number of units in order to provide better fire safety in the High Fire Severity Zone?

*Staff Response: The City would have to amend the General Plan and Housing Element in order to reduce the number of residential units that could be developed on this site.*

Q10: Since there is no 30-foot setback requirement as required by Board of Forestry Fire Safe Regulations (14 CCR §1276.01), would the insurance rate for the newly built townhomes and the adjacent single-family homes increase or make it challenging to get fire insurance?

*Staff Response: Insurance rates/coverage and availability are determined by private insurance companies. City staff do not have any information on insurance requirements.*

Q11-1: Please include the evaluation study conducted by Cupertino, which appears to show evacuation demand on key corridors serving this neighborhood exceed 200% of roadway capacity.

*Staff Response: The Evacuation Study prepared by the City's Consultant, Fehr and Peers, does not pertain to the proposed residential development under consideration. It is a citywide study prepared for planning purposes to address requirements of state law, prepared in conjunction with a separate project to update the City's Health and Safety Element. The study may be used to identify areas in which future efforts related to evacuation planning to address potential existing constraints may be directed, and to identify additional policies to address evacuation in the event of an emergency. Policies have been incorporated into the Public Draft Health and Safety Element to address evacuation as a result of this study. The Evacuation study and the Draft Health and Safety Element is available online at: [Cupertino.gov/healthandsafetyelement](http://Cupertino.gov/healthandsafetyelement).*

Q11-2: How many homes are adjoining Linda Vista Drive today? What would be the impact of the project on the evacuation time from this area, given the Cupertino?

*Staff Response: There are approximately 34 homes with a Linda Vista Dr. address between Columbus Dr and Santa Teresa Dr, with an additional 12 homes on Mount Crest Place. In addition, there are 30 homes (including 4 at the project site) with a Linda Vista Dr. address between Columbus Dr. and Hyannisport, with 14 additional homes around Baxley Ct.*

*There are no applicable objective thresholds for evacuation citywide. As a result, project review did not require the project proponent to prepare, and for city staff to peer review, any evacuation plan specific to the project. Additionally, the project is eligible for a statutory exemption under the California Environmental Quality Act (CEQA), which precludes the city from requiring a project specific evacuation study. Under state law, special studies that do not pertain to the allowable exemption under CEQA may not be required.*

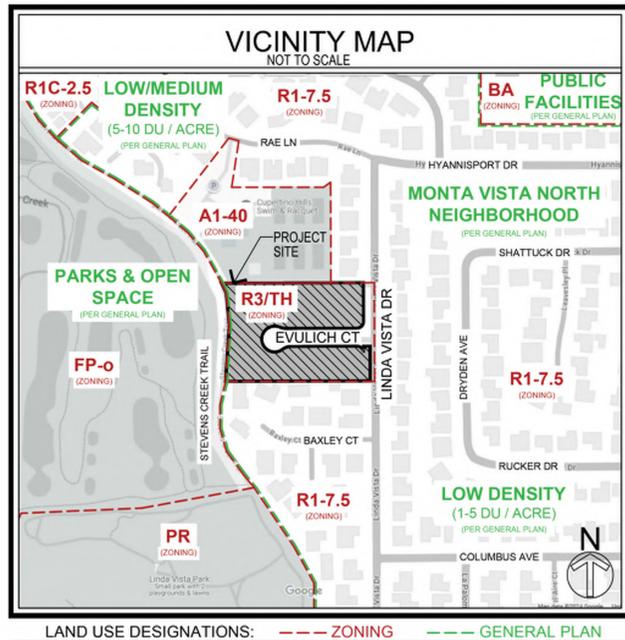
#### Attachments Provided with Original Staff Report:

- A. *Draft Resolution for TM-2024-009*
- B. *Draft Resolution for ASA-2024-015*
- C. *Draft Resolution for TR-2024-044*
- D. *Applicable Standards Matrix*
- E. *AB 130 CEQA Exemption Memorandum*
- F. *Alternative Means and Method Request Approval*
- G. *County Fire Review Letter*
- H. *Geotechnical Report*
- I. *Geotechnical Report Peer Review*
- J. *Biological Report*
- K. *Biological Report Peer Review*
- L. *Phase I Environmental Site Assessment*
- M. *Phase II Environmental Site Assessment*
- N. *Phase I and Phase II ESA Applicant Review*
- O. *Phase I and II ESA Peer Review*
- P. *Underground Storage Tank Closure Report*
- Q. *Public Comments (2-25-2026 to 3-10-2026)*
- R. *Public Comments (01-01-2024 to 2-24-2026)*
- S. *Final Transportation Study*
- T. *Project Site Plan*

# 10857 LINDA VISTA DRIVE



ARTIST CONCEPTION. PLEASE SEE PLANS FOR PROJECT SPECIFICATIONS



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PH: (925) 634-7000

**CIVIL ENGINEER**  
CARLSON BARBEE & GIBSON RYAN HANSEN  
2633 CAMINO RAMON,  
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SAN RAMON, CA 94583  
PH: (925) 866-0322

**LANDSCAPE ARCHITECT**  
R3 Studios  
248 3rd STREET STE. 202  
OAKLAND, CA 94607  
PH: (510) 452-4190

**JOINT TRENCH**  
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5820 STONERIDGE MALL RD.,  
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PLEASANTON, CA 94588  
PH: (925) 467-1740

**PHOTOMETRIC**  
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OAKLAND, CA 94621  
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**SITE ADDRESS:**  
10857, 10867, 10877 AND 10887 LINDA VISTA DRIVE

**APN:**  
356-06-001, 356-06-002, 356-06-003, 356-06-004

**GENERAL PLAN DESIGNATION (EXISTING)**  
MEDIUM/HIGH DENSITY RESIDENTIAL

**GENERAL PLAN DESIGNATION (PROPOSED)**  
MEDIUM/HIGH DENSITY RESIDENTIAL - NO CHANGE

**ZONING (EXISTING)**  
R-3/TH - MULTIPLE-FAMILY RESIDENTIAL/TOWNHOME COMBINING DISTRICT

**ZONING (PROPOSED)**  
R-3/TH - MULTIPLE-FAMILY RESIDENTIAL/TOWNHOME COMBINING DISTRICT - NO CHANGE

**PRIOR DEVELOPMENT APPROVALS**  
- 4-TM-69  
- 7-Z-69

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10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026



981.078 10857 Linda Vista Drive  
 Cupertino, CA  
 January 12, 2026

SIMPLE ILLUSTRATED SITE PLAN  
 A02

**SUMMERHILL HOMES™**  
 COMMUNITIES OF DISTINCTION  
 3000 Executive Parkway, Suite 450 San Ramon, Ca 94583  
 650-857-0122

**cbg** CIVIL ENGINEERS  
 SURVEYORS  
 PLANNERS  
 SAN RAMON • ROSEVILLE

**R** 3  
**STUDIOS**



**SDG Architects, Inc.**  
 3361 Walnut Blvd, Suite 120  
 Brentwood, CA 94513  
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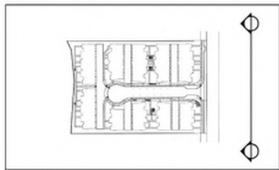
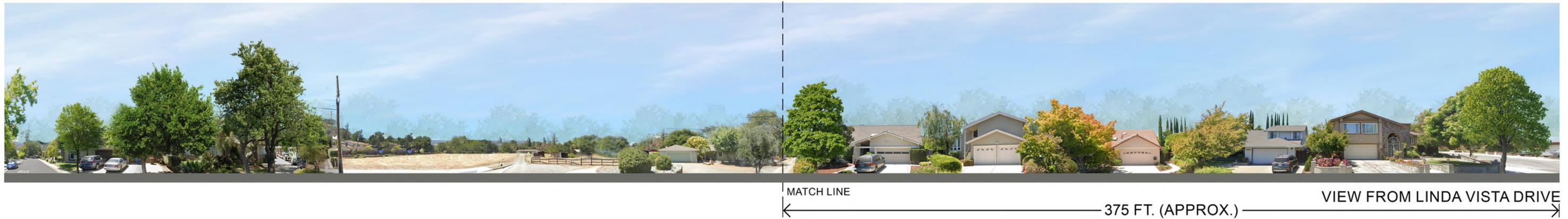
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SITE AERIAL & NEIGHBORHOOD CONTEXT  
 A03



381.078 10857 Linda Vista Drive  
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January 12, 2026

EXISTING SITE & SURROUNDING CONTEXT  
A04



KEY MAP - N.T.S.

981.078 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

STREETSCENE - EXISTING SITE  
A04.1



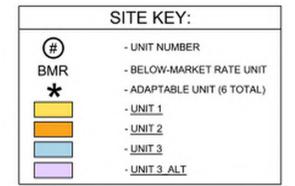
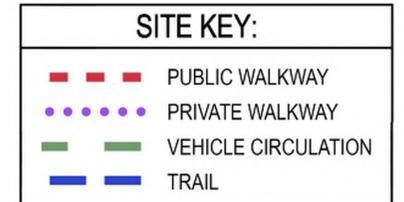
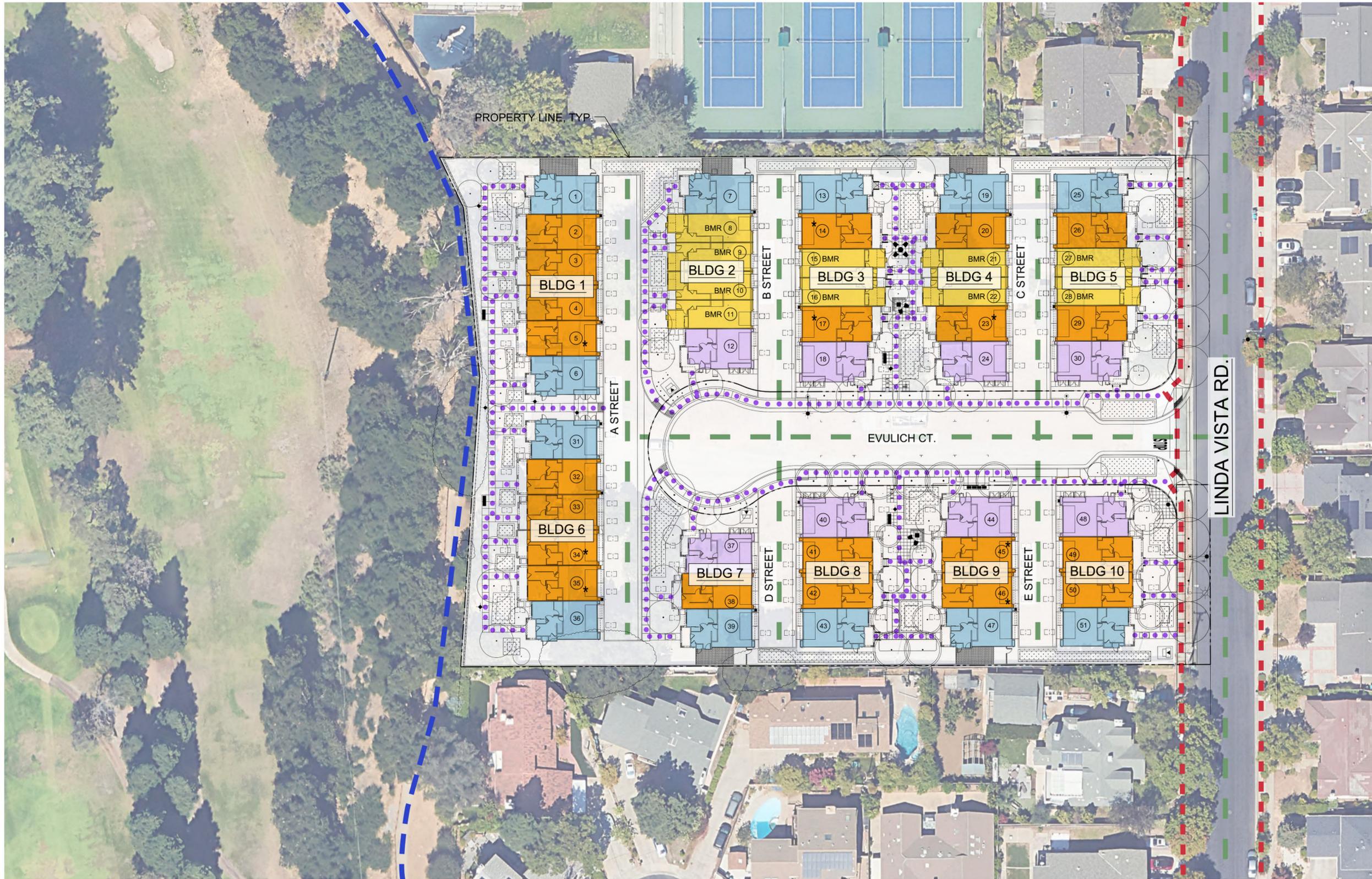
NOTE: TREES ARE SHOWN AT FULL MATURITY



KEY MAP - N.T.S.

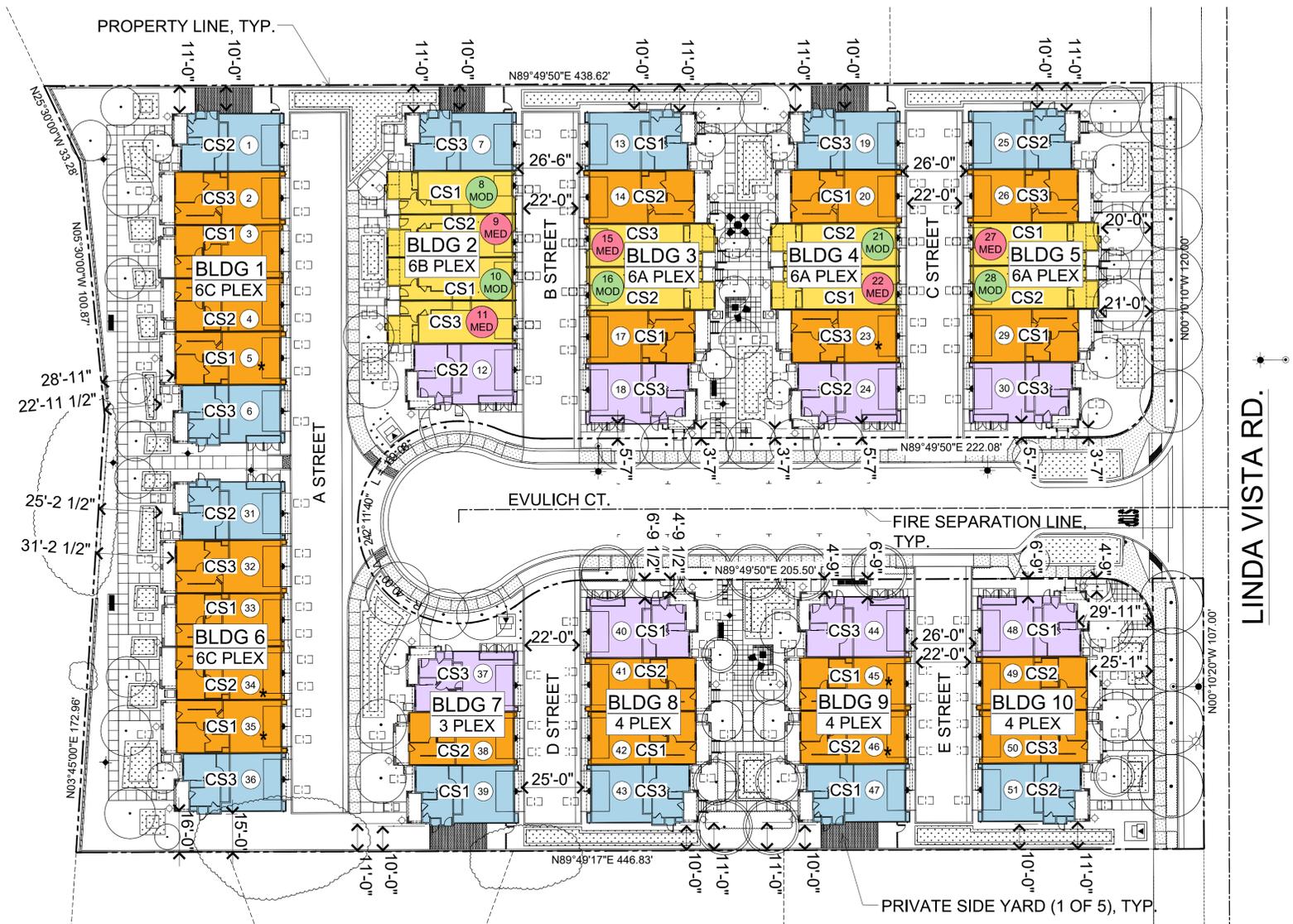
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STREETSCENE & PHOTO SIMULATION  
A05



381.078 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

**CIRCULATION PLAN  
A06**



**BMR UNIT SUMMARY**

ELIGIBLE HOUSEHOLD INCOME

UNIT #	PLAN TYPE	BEDROOMS	LIVING AREA (SF)	80% - 100% of AMI	100% - 120% of AMI
9, 11, 15, 22, 27	PLAN 1	4	1,777		X
8, 10, 16, 21, 28	PLAN 1	4	1,777	X	

**BMR MIX**

ELIGIBLE HOUSEHOLD INCOME	UNITS	PERCENTAGE
80% - 100% of AMI	5	50%
100% - 120% of AMI	5	50%
TOTAL	10	100%

**SITE KEY:**

- UNIT NUMBER
- PROPERTY LINE
- FIRE SEPARATION LINE
- WALL PACK
- WALL SCNCE
- ADAPTABLE UNIT (6 TOTAL)
- STREET LIGHT
- UNIT 1
- UNIT 2
- UNIT 3
- UNIT 3\_ALT
- COLOR SCHEME 1
- COLOR SCHEME 2
- COLOR SCHEME 3
- BELOW-MARKET RATE UNIT (10 TOTAL)
- MODERATE INCOME UNIT
- MEDIAN INCOME UNIT

NOTE: BMR LOCATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE.

**NOTE:**

1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to project data sheet A08 for all site summary info
3. Refer to Landscape sheets for landscape design, dimensions and detailed information



381.078 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

**GARDCO PWS-196L-450-NW-G3-2-UNV @ 8'**

**Wall sconce** **PWS**

**Rugged construction**  
Die-cast aluminum housing  
Light engine is rated IP66 and luminaire is rated IP65



**Multiple finish options**  
Black, white, bronze, dark gray and medium gray textured finish options available, see p. 29

**Emergency battery backup**  
Optional emergency battery back up meets path-of-egress illumination requirements and is integral to the luminaire



**Precision optics**  
Multiple lumen outputs allow for mounting up to 32°  
Backlights control optics available to limit spill light



**Optional integral motion sensor**  
Completely integral to the luminaire with comfort optics  
Does not take away from aesthetics of the luminaire  
Offers energy savings and can enhance sense of security

**Comfort optics**  
Comfort optics enhance the user experience by providing a low glare lighting solution

**Lumen output:** Comfort optics: 2,500-10,700 lumens  
Precision optics: 6,300-21,800 lumens

**Efficacy:** Comfort optics: 92-111 LPW  
Precision optics: 94-137 LPW

**Color temperature:** Amber: 2700K, 3000K, 3500K, 4000K, 5000K  
Comfort optics: Type 2, 3, 4  
Precision optics: Type 2, 3, 4, BLC

**Optical distributions:** Comfort optics: Type 2, 3, 4  
Precision optics: Type 2, 3, 4, BLC

**Emergency:** Optional emergency battery backup (cold pack available)

**Weight:** Precision optics luminaire, 24 lbs  
Comfort optics luminaire, 20 lbs



Prior to ordering, consult specification sheets on lightingproducts.sigrify.com for the most current information, notes, and exclusions.

2

**EXTERIOR LIGHT, WALL MOUNT DETAIL**

NOT TO SCALE

**GARAGE WALL PAK LIGHTING FIXTURE**

**NERO**  
B7116-TBZ

**FINISHES**  
**TEXTURED BRONZE**  
Coastal Suitable Finish (EPM): No

**DIMENSIONS**  
Height: 15.5"  
Width/Diameter: 5.25"  
Product Weight: 4.14lb  
Extension: 5.25"  
Top to Center: 4.5"  
Canopy/Backplate Shape: Rectangular  
Sloped Ceiling Compatible: No  
Living Finish: No  
Uplight Only: Yes

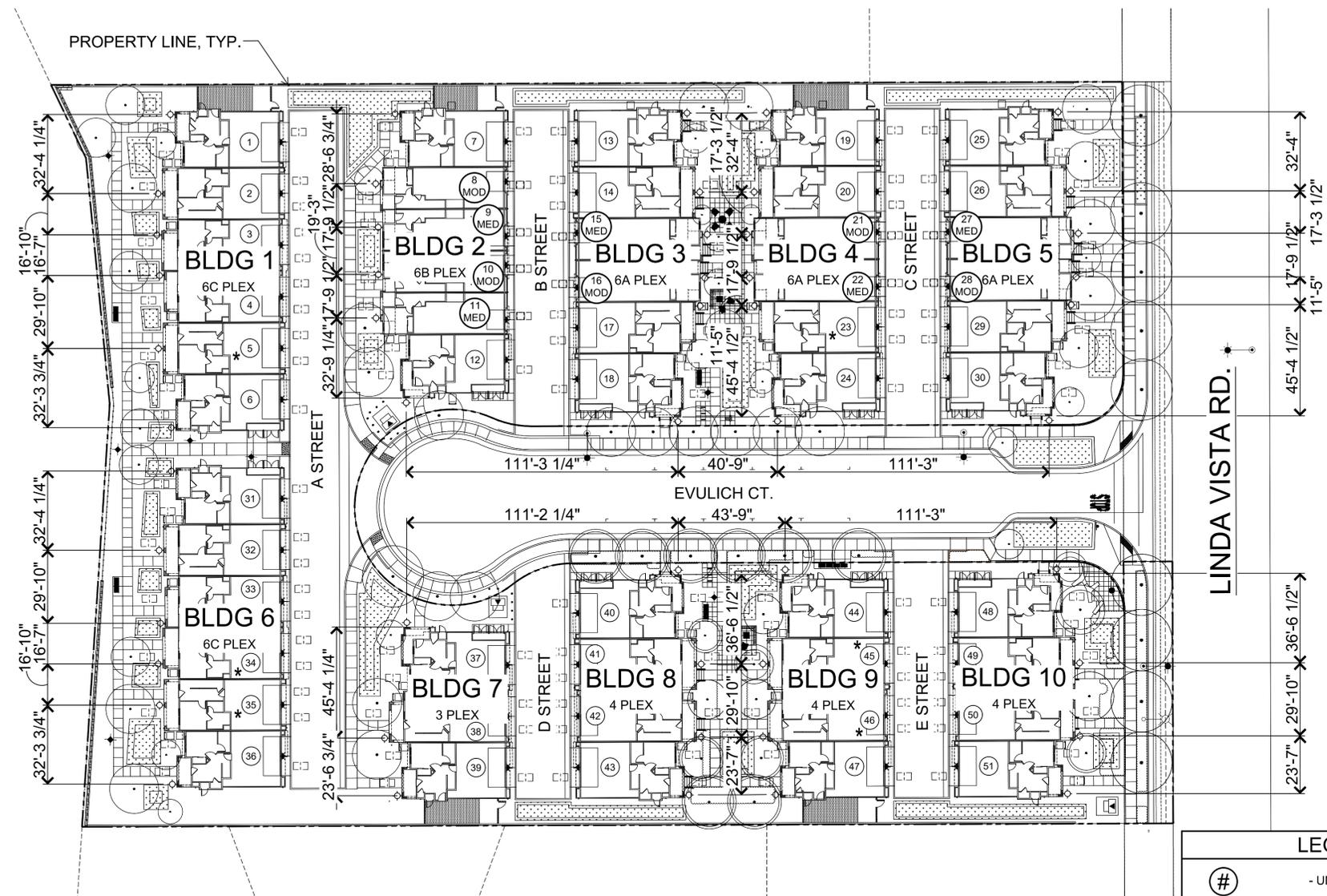
**Shade**  
Shade 1: Glass  
Shade 1 Finish: Clear  
Shade 1 Top Width: 3.5"  
Shade 1 Bottom LW: 0" / 3.5"  
Shade 1 Height: 13"  
Replacement Glass Item #(s): GLS-B7116

**ELECTRICAL**  
Bulb 1  
Bulb Included: No  
Socket: GU10  
Max Wattage: 40  
Bulb Quantity: 1  
Bulb Included: No  
Wire Length: 7"  
Gem Box Required (2"x3"): No  
Dark Sky: Yes

**SHIPPING**  
Carton 1: 20" x 7" x 8"  
Carton 1 Weight: 5lb  
Shipping Method: Ground  
Country of Origin: TH



**FRONT PORCH LIGHTING FIXTURE**

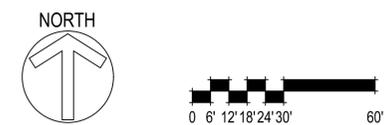


**LEGEND:**

- # - UNIT NUMBER
- - PROPERTY LINE
- ★ - WALL PAK (SEE PHOTOMETRIC STUDY)
- ⊙ - WALL SCONCE AT PORCH
- \* - ADAPTABLE UNIT (6 TOTAL)
- - STREET LIGHT

**NOTE: PRIOR TO FINAL - EXT LIGHTING:**  
Prior to final occupancy all exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. All lighting shall utilize shields so that no bulb is visible and to ensure that the light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.

- NOTE:**
- Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
  - Refer to project data sheet A08 for all site summary info
  - Refer to Landscape sheets for landscape design, dimensions and detailed information



**WALL SCONCE LOCATIONS**  
**A07.1**

381.078 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

UNIT MATRIX											
Unit Name	Description	Garage Type	Quantity	%	Total Bedroom Count	Unit Net SF*	Garage SF (1,000 sf Max)	Unit Gross SF**	Porch SF	Deck SF	Total Net Living Space SF
Unit 1	4 Bedroom + 2.5 Bath	2-Car Tandem	10	19.6%	40	1,777	579	2,356	0 - 43	52 - 64	17,770
Unit 2	4 Bedroom + 3.5 Bath	Slid 2 Car	21	41.2%	84	2,217	469	2,686	91 - 126	91 - 126	46,557
Unit 3	4 Bedroom + 3.5 Bath	Slid 2 Car	12	23.5%	48	2,317	447	2,764	74	64	27,804
Unit 3ALT	4 Bedroom + 3.5 Bath	Slid 2 Car	8	15.7%	32	2,315	464	2,779	106	64	18,520
Avg. Unit Square Footage						2,170	485	2,654			
Total Units			51	100.0%	204						110,651
Garage % Tandem			9.8								

\* Net SF: Measured to outside face of stud, excludes garage area, deck, and porches. Includes center line of air gap at unit party walls.  
 \*\* Gross SF: Measured to outside face of stud, includes garage area. Includes air gap per unit.

BUILDING MATRIX														
Building Name	Unit Configuration	Net SF	Garage SF	Gross SF	Porch SF	Deck SF	Gross SF w/ Porches/Decks	# Bldgs	Total Net SF	Total Garage SF	Total Gross SF	Total Porch SF	Total Deck SF	Total Gross SF w/ Porches/Decks
Bldg 1, 6	3-2-2-2-3	13,502	2,770	16,272	598	776	19,640	2	27,004	5,540	32,844	1,196	1,552	35,292
Bldg 2	3-1-1-1-3ALT	11,740	3,227	14,967	266	592	18,460	1	11,740	3,227	14,967	266	592	15,825
Bldg 3, 4, 5	3ALT-2-1-1-2-3	12,620	3,027	15,627	448	684	19,082	3	37,860	9,021	46,881	1,344	2,052	50,277
Bldg 7	3ALT-2-3	6,849	1,380	8,229	279	326	9,898	1	6,849	1,380	8,229	279	326	8,834
Bldg 8, 9, 10	3-2-2-3ALT	9,066	1,849	10,915	405	452	13,169	3	27,198	5,547	32,745	1,215	1,356	35,316
Building Totals									110,651	24,715	135,366	4,300	5,878	145,544

## WILDFIRE PROTECTION CONSTRUCTION MEASURES:

THIS PROJECT HAS BEEN IDENTIFIED AS BEING LOCATED IN A LOCAL RESPONSIBILITY AREA (LRA) VERY HIGH FIRE HAZARD SEVERITY ZONE.

THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA RESIDENTIAL CODE SECTION R337, MATERIALS AND METHODS FOR EXTERIOR WILDFIRE EXPOSURE, AS FOLLOWS:

- EXTERIOR WINDOWS AND EXTERIOR DOORS WITH GLAZING EXTERIOR WINDOWS AND EXTERIOR DOORS WITH GLAZING, SHALL BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE. (C.R.C. R337.8.2.1)
- EXTERIOR DOORS SHALL MEET ONE OF THE FOLLOWING (C.R.C. R337.8.3):
  - THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
  - SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MIN. WHEN TESTED ACCORDING TO NFPA 252.
  - SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.
- GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS FROM ENTERING BY PREVENTING GAPS BETWEEN DOORS AND DOOR OPENINGS, AT THE BOTTOM, SIDES, AND TOPS OF DOORS, FROM EXCEEDING 1/8", GAPS BETWEEN DOORS AND DOOR OPENINGS SHALL BE CONTROLLED BY ONE OF THE FOLLOWING METHODS:
  - WEATHER STRIPPING PRODUCTS MADE OF MATERIALS THAT: (A) HAVE BEEN TESTED FOR TENSILE STRENGTH IN ACCORDANCE WITH ASTM D638 AFTER EXPOSURE TO ASTM G155 FOR A PERIOD OF 2,000 HOURS, WHERE THE MAXIMUM ALLOWABLE DIFFERENCE IN TENSILE STRENGTH VALUES BETWEEN EXPOSED AND NONEXPOSED SAMPLES DO NOT EXCEED 10% AND (B) EXHIBIT A V-2 OR BETTER FLAMMABILITY RATING WHEN TESTED TO UL 94.
  - DOOR OVERLAPS ONTO JAMBS AND HEADERS.
  - GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
- VENTS SHALL RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS WITH THE MINIMUM REQUIREMENTS (C.R.C. R337.6)
  - THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MIN. OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH.
  - THE MATERIALS SHALL BE INCOMBUSTIBLE
  - THE MATERIALS USED SHALL BE CORROSION RESISTANT.
- THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL COMPLY WITH ONE OF THE FOLLOWING C.R.C. R337.7.3:
  - NONCOMBUSTIBLE MATERIAL.
  - IGNITION-RESISTANT MATERIAL.
  - SAWN LUMBER OR GLUE-LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4". SAWN OR GLUE-LAMINATED PLANKS SPLINED, TONGUE-AND-GROOVE, OR SET CLOSE TOGETHER AND WELL SPIKED.
  - LOG WALL CONSTRUCTION.
  - WALL ASSEMBLIES THAT HAVE BEEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN ASTM E2707 WITH THE CONDITIONS OF ACCEPTANCE SHOWN IN SECTION R337.7.3.1.
  - WALL ASSEMBLIES THAT MEET THE PERFORMANCE REQUIREMENTS CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN SFM STANDARD 12-7A-1.
 

EXCEPTIONS: ANY OF THE FOLLOWING SHALL BE DEEMED TO MEET THE ASSEMBLY PERFORMANCE CRITERIA AND INTENT OF THIS SECTION:

    - ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE FRAMING.
    - THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTIVE FIRE DESIGN MANUAL.
- DECKING SURFACES SHALL COMPLY WITH C.R.C. R337.9.3. THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONY AND STAIRS SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING MATERIALS:
  - MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SECTION R337.9.4 WHEN TESTED IN ACCORDANCE WITH BOTH ASTM E2632 AND ASTM E2726.
  - IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE

- REQUIREMENTS OF SECTION R337.4.3 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.
- MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND SFM STANDARD 12-7A-5.
  - EXTERIOR FIRE RETARDANT TREATED WOOD.
  - NONCOMBUSTIBLE MATERIAL.
  - ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO COMPOSED OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. EXCEPTION: WALL MATERIAL MAY BE OF ANY MATERIAL THAT OTHERWISE COMPLIES WITH THIS CHAPTER WHEN THE DECKING SURFACE MATERIAL COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.
  - ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SECTION R337.9.5 WHEN TESTED IN ACCORDANCE WITH ASTM E2632 AND WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO COMPOSED OF ONLY NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIALS. EXCEPTION: WALL MATERIAL SHALL BE PERMITTED TO BE OF ANY MATERIAL THAT OTHERWISE COMPLIES WITH THIS CHAPTER WHEN THE DECKING SURFACE MATERIAL COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

## ADDITIONAL WILDFIRE PROTECTION MITIGATION MEASURES

- PROVIDE AN ADDED FIRE SPRINKLER HEAD WITHIN EACH OF THE PORCHES AND DECKS OF THE TOWNHOMES AS SHOWN ON SHEET A08.2.
- DESIGN TO STRICTER FIRE SEPARATION DISTANCE REQUIREMENTS PER CALIFORNIA RESIDENTIAL CODE R302.1 (2), AS FOLLOWS:
  - EXTERIOR WALL ELEMENTS - 1 HR. RATED FIRE RESISTANT ASSEMBLY
  - PROJECTIONS - 1 HR. RATED FIRE RESISTANT ASSEMBLY
  - PENETRATIONS - COMPLY WITH SECTION 302.4

THESE MITIGATION MEASURES WILL BE IMPLEMENTED AT THE EXTERIOR WALLS FACING THE NORTH & SOUTH PERIMETER OF THE SITE, SPECIFICALLY AT UNITS 1, 7, 13, 19, & 25 (NORTH PERIMETER), AND AT UNITS 36, 39, 43, 47, & 51 (SOUTH PERIMETER), AND UNITS 2-6 AND 35-31 (WEST PERIMETER) AS SHOWN ON SHEET A08.2
- PLEASE NOTE: THERE ARE NO PROPOSED MODIFICATIONS TO WINDOW OPENINGS IN THE EXTERIOR WALLS NOTED ABOVE.

SITE AREAS	
AREA	SQUARE FOOTAGE
COMMON LANDSCAPE	29,231 S.F.
COMMON HARDSCAPE (AMENITY)	901 S.F.
COMMON HARDSCAPE (PRIVATE SIDEWALKS, AC & TRANSFORMER PADS)	7,535 S.F.
PRIVATE DRIVEWAYS	2,576 S.F.
PRIVATE STREET ROW	17,044 S.F.
BUILDING FOOTPRINT AREA	49,629 S.F.
PRIVATE SIDE YARDS (HARDSCAPE)	1,046 S.F.
PRIVATE SIDE YARDS (LANDSCAPE)	504 S.F.
20'-0" PUBLIC UTILITY EASMENT	2,140 S.F.

\* SEE SHT. A10 FOR COLOR CODED DIAGRAMS OF AREAS.

PRIVATE USABLE OPEN SPACE							
BUILDING #	UNIT #	UNIT TYPE	PORCH SQUARE FOOTAGE	FLOOR 2 DECK SQUARE FOOTAGE	FLOOR 3 DECK SQUARE FOOTAGE	PRIVATE SIDE YARD	
BUILDING 1	1	UNIT 3	74	64	-	321	
	2	UNIT 2	126	126	-	252	
	3	UNIT 2	107	107	107	321	
	4	UNIT 2	91	91	91	273	
	5	UNIT 2	126	126	-	252	
	6	UNIT 3	74	64	-	138	
BUILDING 2	7	UNIT 3	74	64	-	274	
	8	UNIT 1	43	64	64	171	
	9	UNIT 1	0 (non-qualifying usable P.O.S. = 26 S.F.)	52	52	104	
	10	UNIT 1	0 (non-qualifying usable P.O.S. = 26 S.F.)	52	52	104	
	11	UNIT 1	43	64	64	171	
	12	UNIT 3 ALT	106	64	-	170	
BUILDING 3	13	UNIT 3	74	64	-	138	
	14	UNIT 2	126	126	-	252	
	15	UNIT 1	43	64	64	171	
	16	UNIT 1	0 (non-qualifying usable P.O.S. = 26 S.F.)	52	52	104	
	17	UNIT 2	99	99	99	297	
	18	UNIT 3 ALT	106	64	-	170	
BUILDING 4	19	UNIT 3	74	64	-	319	
	20	UNIT 2	126	126	-	252	
	21	UNIT 1	43	64	64	171	
	22	UNIT 1	0 (non-qualifying usable P.O.S. = 26 S.F.)	52	52	104	
	23	UNIT 2	99	99	99	297	
	24	UNIT 3 ALT	106	64	-	170	
BUILDING 5	25	UNIT 3	74	64	-	138	
	26	UNIT 2	126	126	-	252	
	27	UNIT 1	43	64	64	171	
	28	UNIT 1	0 (non-qualifying usable P.O.S. = 26 S.F.)	52	52	104	
	29	UNIT 2	99	99	99	297	
	30	UNIT 3 ALT	106	64	-	170	
BUILDING 6	31	UNIT 3	74	64	-	138	
	32	UNIT 2	126	126	-	252	
	33	UNIT 2	91	91	91	273	
	34	UNIT 2	107	107	107	321	
	35	UNIT 2	126	126	-	252	
	36	UNIT 3	74	64	-	138	
BUILDING 7	37	UNIT 3 ALT	106	64	-	170	
	38	UNIT 2	99	99	99	297	
	39	UNIT 3	74	64	-	318	
BUILDING 8	40	UNIT 3 ALT	106	64	-	170	
	41	UNIT 2	126	126	-	252	
	42	UNIT 2	99	99	99	297	
	43	UNIT 3	74	64	-	138	
BUILDING 9	44	UNIT 3 ALT	106	64	-	170	
	45	UNIT 2	126	126	-	252	
	46	UNIT 2	99	99	99	297	
	47	UNIT 3	74	64	-	318	
BUILDING 10	48	UNIT 3 ALT	106	64	-	170	
	49	UNIT 2	126	126	-	252	
	50	UNIT 2	99	99	99	297	
	51	UNIT 3	74	64	-	138	
TOTAL SQUARE FOOTAGE			4,300	4,209	1,669	1,550	11,728

BUILDING ELEVATIONS RELATIVE TO CURB HEIGHT AT LINDA VISTA DRIVE						
BUILDING #	REFERENCE CURB ELEV. @ LINDA VISTA DR.	PAD ELEVATION	TOP OF SLAB FIRST FLOOR ELEVATION	SECOND FLOOR ELEVATION	THIRD FLOOR ELEVATION	MAIN ROOF ELEVATION
BUILDING 1	390.7 (HIGH)	395.5	396.5	406.2	416.5	433.4
	389.6 (LOW)					
BUILDING 2	390.7 (HIGH)	395.4	396.4	406.1	416.4	433.5
	389.6 (LOW)					
BUILDING 3	390.7 (HIGH)	395.3	396.3	406.0	416.3	433.5
	389.6 (LOW)					
BUILDING 4	390.7 (HIGH)	392.6	393.6	403.3	413.6	430.8
	389.6 (LOW)					
BUILDING 5	390.7 (HIGH)	392.4	393.4	403.1	413.4	430.6
	389.6 (LOW)					
BUILDING 6	392.0 (HIGH)	396.2	397.2	406.9	417.2	434.1
	391.3 (LOW)					
BUILDING 7	392.0 (HIGH)	396.3	397.3	407.0	417.3	433.9
	391.3 (LOW)					
BUILDING 8	392.0 (HIGH)	395.3	396.3	406.0	416.3	433.0
	391.3 (LOW)					
BUILDING 9	392.0 (HIGH)	392.8	393.8	403.5	413.8	430.5
	391.3 (LOW)					
BUILDING 10	392.0 (HIGH)	392.5	393.5	403.2	413.5	430.2
	391.3 (LOW)					

BUILDING CODE SUMMARY	
Code References	2022 CALIFORNIA RESIDENTIAL CODE (CRC)  CALIFORNIA BUILDING CODE (CBC) CHAPTER 11A SECTION 1102A.3 (for accessible route provisions for Multistory Dwellings).  2022 CALIFORNIA FIRE CODE (CFC), as adopted by the CITY OF CUPERTINO MUNICIPAL CODE (CCMC), CALIFORNIA CODE OF REGULATIONS (CCR), AND HEALTH & SAFETY CODE.
Occupancy	R-3 TOWNHOME PER 2022 CRC
Fire Sprinkler System	NFPA 13D
Type of Construction	V8 NON-RATED
Allowable Height	3 Stories
Accessibility	PER 2022 CBC, CHAPTER 11A
CBC 1102.A.3 accessibility Provisions for Adaptable Units	California Building Code (CBC) Section 1102A.3 covers accessibility requirements for multistory apartments or condominium dwellings in buildings without elevators. The requirements include: - The primary entry to the dwelling unit must be on an accessible route, unless exempt by site impracticality tests. - A bathroom or powder room must be located on the primary entry level and served by an accessible route. - All rooms and spaces on the primary entry level must be served by an accessible route. - Common use areas must be accessible as required by the chapter.

SITE INFORMATION	
APN	356-06-001, 356-06-002, 356-06-003, 356-06-004
General Plan	Medium/High Density Residential
Gross Area	2.555 ACRES (+/- 111,296 SF)
Site Area	2.506 ACRES (+/- 109,161 SF)
Existing	Medium/High Density Residential
Proposed	No change
Zoning	Multiple-Family Residential / Townhome (R3/TH)
Existing	No change
Proposed	No change
Units	
Market Rate	41
Below-Market Rate	10
Total	51

DEVELOPMENT STANDARDS		
	Required (PAMC secs. 18.14.020, 18.16.060)	Proposed Project
Minimum Site Specifications		
Site Area		2.506 ACRES (+/- 109,161 SF)
Site Width	None required	303' - 0"
Site Depth		446' - 10"

Minimum Setbacks		
Front (Linda Vista Dr.)	20'	20' (property line to porch) 26' (property line to building face)
Rear	15'	20.7'
Interior Side	6' (+ an additional 10' if building is more than one story higher than any adjacent primary residential structure)	10' (property line to building face), w/ allowance for 1' architectural projection up to 25% of overall façade length
Street Side (Evulch Ct.)	12'	2' (property line to porch)* 4' (property line to building face)*
Maximum Site Coverage	55%	45.5%
Common Open Space (Hardscape)	-	901 SF / 109,161 Net SF = .8% of the site is Common Open Space (average per unit = 18 SF)
Common Landscaped Area	-	29,231 SF / 109,161 Net SF = 26.7% of the site is Landscaped (average per unit = 573 SF)
Private Usable Open Space	60 SF per Unit Minimum = (3,060 SF) w/ minimum 6' dimension	11,728 SF / 109,161 Net SF = 10.7% of the site is Private Open Space (average per unit = 230 SF)
Community Recreation Space	150 SF per Unit Minimum = (7,650 SF)	901 SF for Common Open Space + 29,231 SF for Landscaped Area = 30,132 SF / 109,161 Net SF = 27.6% of the site is Community Recreation Space (average per unit = 591 SF)
Total Usable Open Space	-	901 SF for Common Open Space + 29,231 SF for Landscape + 11,728 SF for Private Open Space = 41,860 SF / 109,161 Net SF = 38.3% of the site is Usable Open Space (average per unit = 821 SF)
Maximum Height	30'	approximately 40'-7" above existing / natural grade*
Residential Density (net)	20.01 DU/AC (Minimum) 35 DU/AC (Maximum)	20.35 DU/AC
Maximum Residential Floor Area Ratio (FAR)	0.85	FAR = 1.36* (Building FAR: 148,473 SF / 109,161 Net SF)
Parking		
Vehicle (Resident)	51 spaces (1/DU) **	102 spaces
Vehicle (Guest)	None required **	None required **
Bicycle (Class I, Resident)	25.5 spaces (1 space per 2 residential units)	51 spaces
Bicycle (Class II, Guest)	6 spaces (1 space per 10 residential units)	12 spaces
Below Market Rate (BMR) Summary		
BMR Units	10.2	5 Median Income Household Units + 5 Moderate Income Household Units = 10 Total Below Market Rate Units (0.2 in lieu fees)

\* Waiver or reduction of development standards requested pursuant to State Density Bonus Law, Gov. Code sec. 65915.  
 \*\* Parking requirements pursuant to CMC 19.124.040(A).

NOTE: Per City of Cupertino Housing Mitigation Program Procedural Manual Section 2.3.4 BMR Unit Design Requirements, BMR units shall be comparable to market rate units in terms of unit type, number of bedrooms per unit, quality of exterior appearance, and overall quality of construction. BMR unit size should be generally representative of the unit sizes within the market-rate portion of residential projects. Interior features and finishes shall be durable, of good quality, and consistent with contemporary standards for new housing. The BMR units shall be dispersed throughout the residential project.

NOTE: BMR units will be constructed and eligible

10857 Linda Vista Drive, Cupertino  
(Reference City of Cupertino Planning Application File Numbers #TM-2024-009, ASA-2024-015)  
Application for Use of Alternate Materials, Methods of Construction, or Modification of Code  
October 28, 2025 (REVISED December 19, 2025)

**Requirement**  
California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Article 5, Section 1276.01, subsection (a):

\*All parcels shall provide a minimum thirty (30) foot setback for all Buildings from all property lines and/or the center of a Road, except as provided for in subsection (b).

**Description of Request**  
Request a reduction of the 30 foot setback from all buildings to the property lines as shown on the attached Exhibit A, which is consistent with the Development Permit plan set submitted to the City of Cupertino as file number TM-2024-009 and ASA-2024-015. In summary, the proposed setbacks to the public roads and property lines are proposed as follows:

1. Setbacks to center of Public Roads (In compliance with requirement)
  - a. Evulich Court: Minimum 30 feet
  - b. Linda Vista Drive: Minimum 30 feet
2. Setbacks to Property Lines (Request for Reduction)
  - a. Northern Property Line: Minimum 10 feet
  - b. Southern Property Line: Minimum 10 feet
  - c. Western Property Line: Minimum 20 feet

**Justification**  
The primary justifications for the reduction of the 30-foot setback requirement to the northern, southern, and western property lines are the development density requirements and site constraints due to the existing public right-of-way for the cul-de-sac within the site. Subsection (b) of the above listed Code includes Development density requirements and site constraints among the exceptions to the 30' setback requirement.

The City of Cupertino General Plan and Zoning designations for the site are Medium/High Density Residential and Multiple-Family Residential / Townhome Combining District, respectively. The density requirement for the site in accordance with the City of Cupertino General Plan designation is a minimum of 20.01 units per acre and a maximum of 35 units per acre (Reference Cupertino General Plan: Land Use Plan and Appendix A Land Use Definitions). The project site is approximately 2.51 acres, which results in

Linda Vista Site  
Alternative Materials, Methods of Construction, or Modification of Code  
October 28, 2025 (Revised December 19, 2025)  
Page 2 of 2

a minimum unit count requirement of 51 units to achieve the minimum density. The proposed unit count for the project is 51 units, which is the minimum required to comply with the City General Plan and Zoning for the site. The proposed homes will be townhomes in compliance with the Zoning designation. The proposed setbacks exceed the City of Cupertino Zoning standards at the northern, southern, and western boundaries.

The site is constrained by an existing City right-of-way within the approximate center of the site (Evulich Court). The width of Evulich Court reduces the size of the development area for the project. The size and quantity of the proposed townhomes necessitate a reduction of the 30 foot setback requirement in order to fit the minimum required number of units within the site.

**Mitigation**  
In accordance with subsection (b) of Section 1276.01, the project will include the following mitigation measures to mitigate the reduced setback by providing the same practical effect:

1. Non-combustible landscaping material extending five (5) feet horizontally from the furthest existing point of the Building. Please see Exhibits B1 and B2, which are included within the Development Permit Plan set as Sheets L7.1 and L7.2.
2. The Wildfire protective measures in accordance with the California Building Code Chapter 7A as noted on Exhibit C, which is included within the Development Permit Plan set as Sheet A08.
3. An added fire sprinkler head within each of the covered porches and decks that are within 30' of the property line as shown on Exhibit A.
4. Designing to stricter fire separation distance requirements within 30' of the property lines as shown on Exhibit A per Residential Code R302.1 (2) as follows\*:
  - a. Exterior Wall Elements – Fire resistance rated for 1 hour.
  - b. Projections – Fire resistance rated for 1 hour
  - c. Penetrations – Comply with Section 302.4

\*Please note that we are not proposing modifications to the Openings (Windows) in Walls.

**FIRE PREVENTION PLAN REVIEW COMMENTS**

**PROJECT INFO:** PROJECT NAME: Multi family

**PREPARED BY:** NAME/TITLE: Caleb Flanagan / DFM II

FIRE DEPT PLAN REVIEW #: 250800 EMAIL: Caleb.flanagan@sccfd.org

CITY/COUNTY PROJECT #: TM-2024-009 / ASA-2024-015 / TR-2024-044 DATE: 1/7/26

LOCATION: 10857 Linda Vista Dr

**The scope of this project includes the following:**  
Alternate Means/Methods Application for an exception request to PRC 4290 - Proposed new 10 building 51-unit multi-family residential subdivision.

**Plan Status:**  
The exception request to PRC 4290 methods request is **APPROVED**.

**Discussion:**  
This alternate proposes to mitigate deficiencies to non-conforming 30' setback requirements.

**In order to mitigate the noncompliant setbacks, the applicant proposes the following:**  
-Add sprinkler heads to covered patios in all reduced setback areas.  
-Design portions of buildings non meeting setback requirements to stricter fire separation distance requirements in accordance with CRC 302.4.  
-Extend non-combustible landscaping 5 feet from buildings.

**Comments and Conditions of Approval:**  
1. A copy of the Alternate Means/Methods application form, with approval signature, and these comments shall be made part of the building permit drawing set, to be routed to Santa Clara County Fire Department for final approval.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch. 1, 105.3.6]

**APPLICATION FOR USE OF ALTERNATE MATERIALS, METHODS OF CONSTRUCTION, OR MODIFICATION OF CODE**

Project Street Address: 10857 Linda Vista Drive  
Project City: Cupertino Building Permit #:

Applicant's Name: SummerHill Homes; Attn.: Steven Bull  
Applicant's Address: 6101 Bollinger Canyon Road, San Ramon, CA 94583 Suite: 425  
Phone Number: (510)410-1188 Email: sbull@shhomes.com

**The applicant hereby requests the following:**  
 Use of Alternate Materials or Method of Construction  
 Modification of Code

**Codes Affected:**  
 Building Code  
 Fire Code  
 Mechanical Code  
 Electrical Code  
 Other: California Code of Regulations, Title 14, Division 1.5, Chapter 7 - Fire Protection, Article 6, Subchapter 2, Article 5

Specific section(s) of the code involved: Section 1276.01 - Building and Parcel Siting and Setbacks, Subsection (b)  
Brief description of the request: Request a reduction in the minimum 30' setback to neighboring properties.  
Please see the attached narrative for justification of the reduction pursuant to Section 1276.01(b).

The Building and Fire Official must evaluate information that the material(s), method of work, and / or modification is equal to the intent of the code in strength, effect, fire-resistance, durability, safety, etc.

Please complete the following information as applicable to support your request. Use additional paper if necessary.

1. Quality: See attached documentation
2. Strength: See attached documentation
3. Effectiveness: See attached documentation
4. Fire Resistance: See attached documentation
5. Durability: See attached documentation
6. Safety: See attached documentation

Additional evidence of proof:

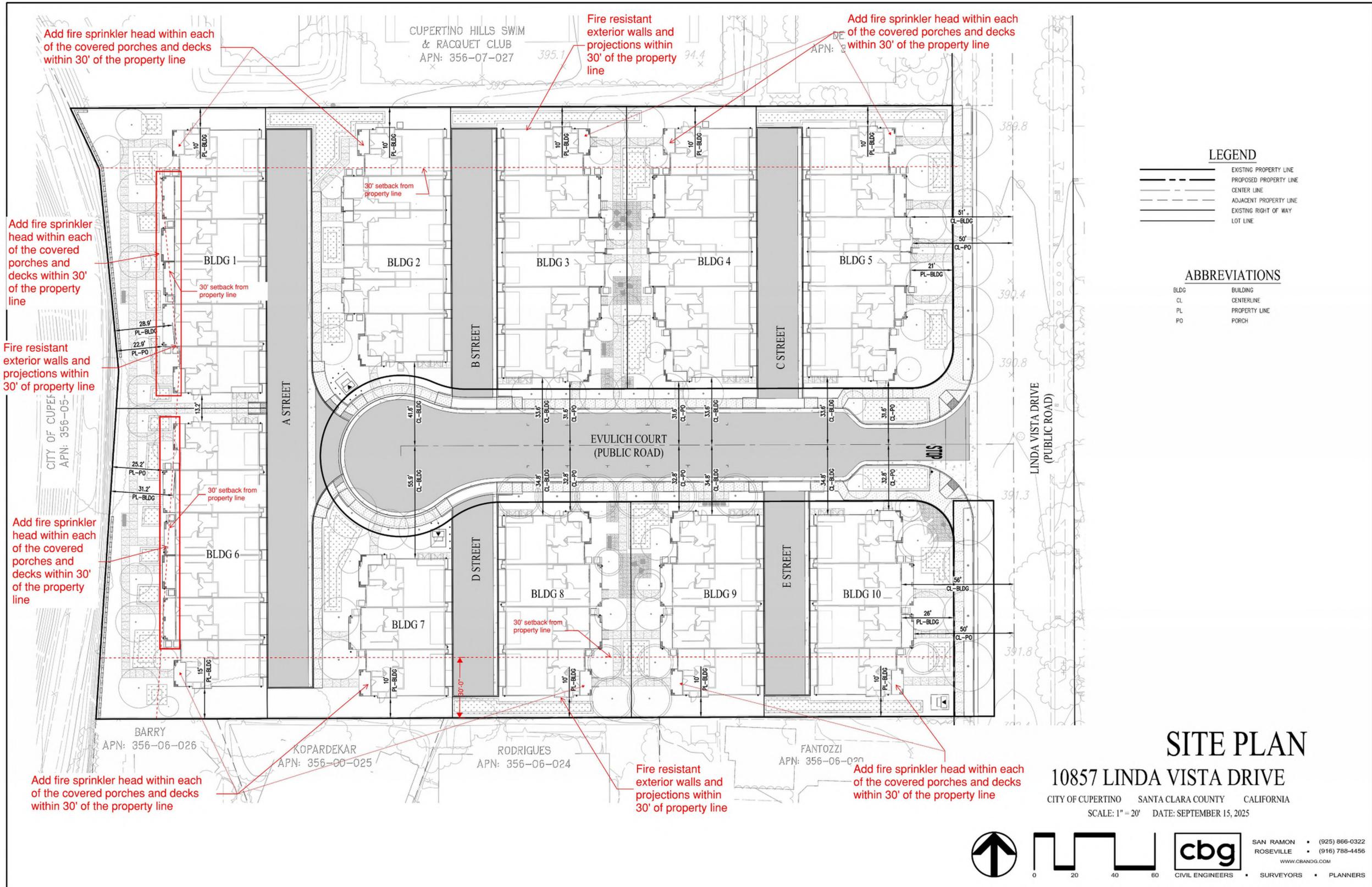
Applicant Signature: *[Signature]* Date: 1/5/2026

The above application has been reviewed and has been:

**ACCEPTED**  **REJECTED**

Signature: *[Signature]*  
Fire Official: BRANDON K. (FOR AL ESTRADA) Date: 1/6/26  
Building Official: \_\_\_\_\_ Date: \_\_\_\_\_

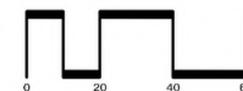
Drop Box: FirePrevention/Administrative/applications/04/06.21.2025



# SITE PLAN

10857 LINDA VISTA DRIVE

CITY OF CUPERTINO SANTA CLARA COUNTY CALIFORNIA  
SCALE: 1" = 20' DATE: SEPTEMBER 15, 2025



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January 12, 2026

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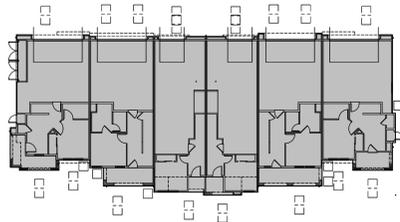


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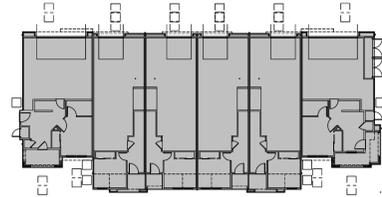
AMMR SITE PLAN  
A08.2

NOTE: BUILDING AREAS FOR PURPOSES OF LOT COVERAGE ARE THE TOTAL LAND AREA THAT IS COVERED BY BUILDINGS, BUT EXCLUDING ALL PROJECTIONS, GROUND LEVEL PAVING, LANDSCAPE FEATURES, AND OPEN RECREATIONAL FACILITIES PER CMC 19.08.030 DEFINITIONS.



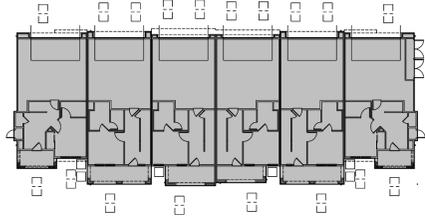
**BUILDING 3, 4 & 5**

(3 BUILDING ON SITE)  
 LOT COVERAGE AREA PER CITY CODE  
 CALCULATION = 5,743 SQ. FT. X 3 = 17,229 SQ. FT.



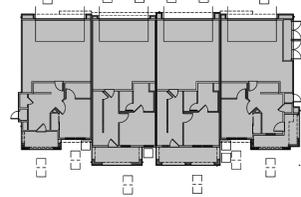
**BUILDING 2**

(1 BUILDING ON SITE)  
 LOT COVERAGE AREA PER CITY CODE  
 CALCULATION = 5,471 SQ. FT.



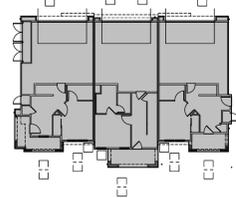
**BUILDING 1 & 6**

(2 BUILDING ON SITE)  
 LOT COVERAGE AREA PER CITY CODE  
 CALCULATION = 5,962 SQ. FT. X 2 = 11,924 SQ. FT.



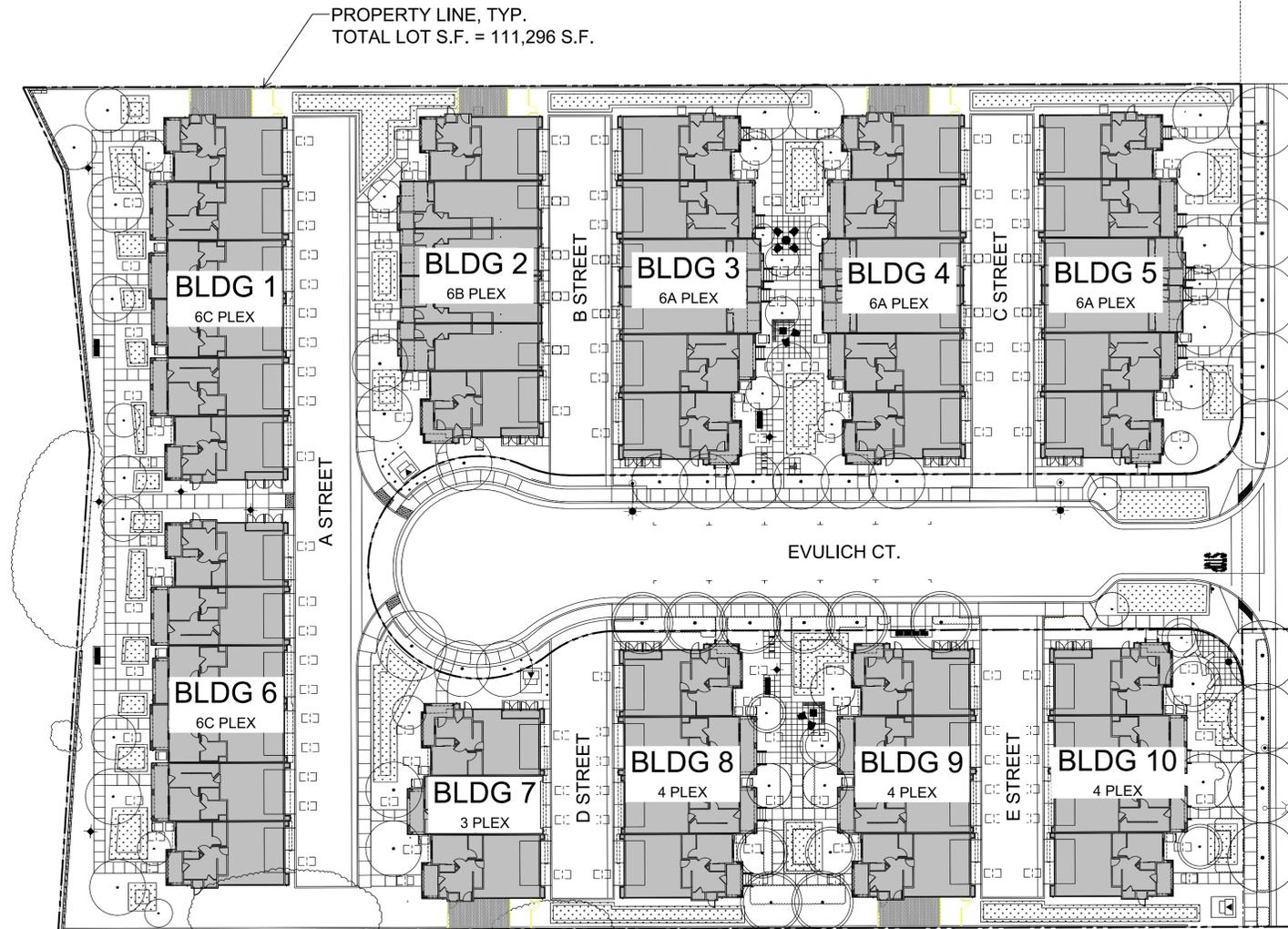
**BUILDING 8, 9 & 10**

(3 BUILDING ON SITE)  
 LOT COVERAGE AREA PER CITY CODE  
 CALCULATION = 4,006 SQ. FT. X 3 = 12,018 SQ. FT.



**BUILDING 7**

(1 BUILDING ON SITE)  
 LOT COVERAGE AREA PER CITY CODE  
 CALCULATION = 2,986 SQ. FT.



PROPERTY LINE, TYP.  
 TOTAL LOT S.F. = 111,296 S.F.

NET LOT AREA = 109,161 S.F.

**BUILDING COVERAGE:**

BUILDING 1 & 6 = 5,962 S.F. EA. x 2 BLDGS.	=	11,924 S.F.
BUILDING 2 = 5,471 S.F. EA. x 1 BLDG.	=	5,471 S.F.
BUILDING 3, 4, & 5 = 5,743 S.F. EA. x 3 BLDGS.	=	17,229 S.F.
BUILDING 7 = 2,986 S.F. EA. x 1 BLDG.	=	2,986 S.F.
BUILDING 8, 9 & 10 = 4,006 S.F. EA. x 3 BLDGS.	=	12,018 S.F.

TOTAL COVERAGE OF LOT = 49,628 S.F.

PERCENTAGE OF TOTAL BUILDING COVERAGE TO NET LOT AREA = 45.5%

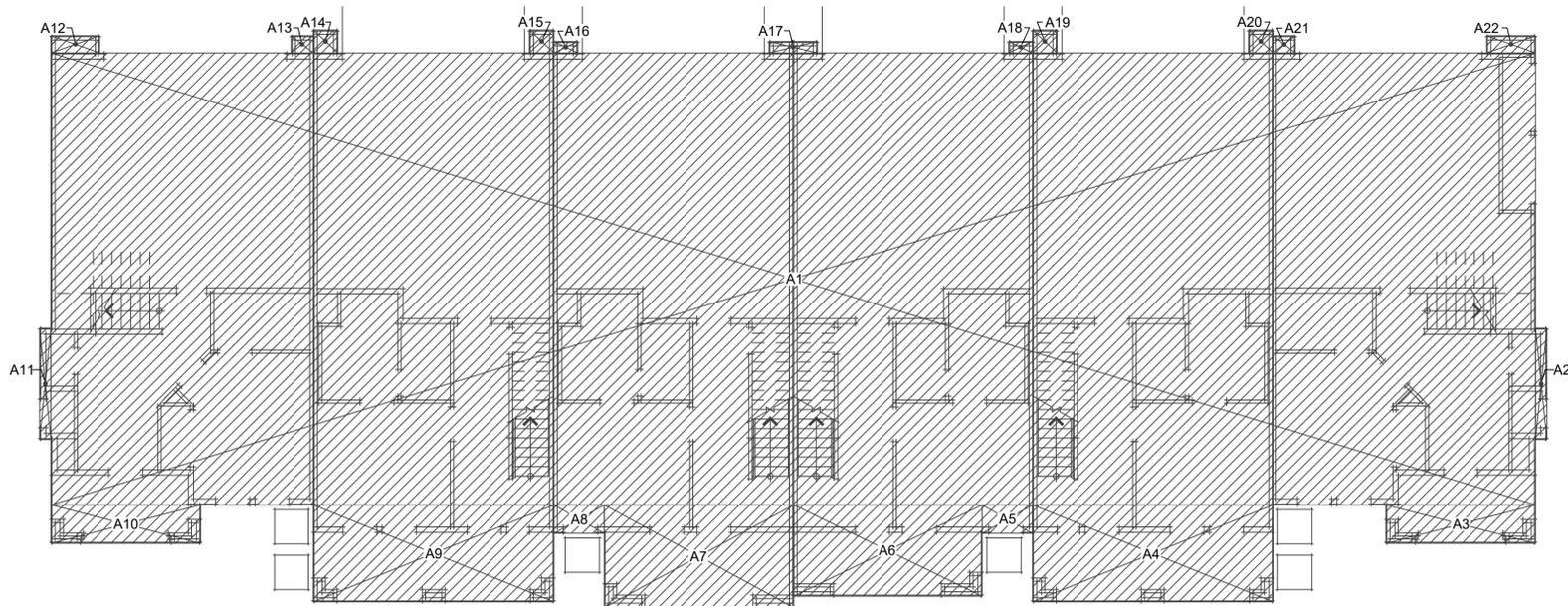
**NOTE:**

1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to project data sheet A08 for all site summary info
3. Refer to Landscape sheets for landscape design, dimensions and detailed information

LINDA VISTA RD.



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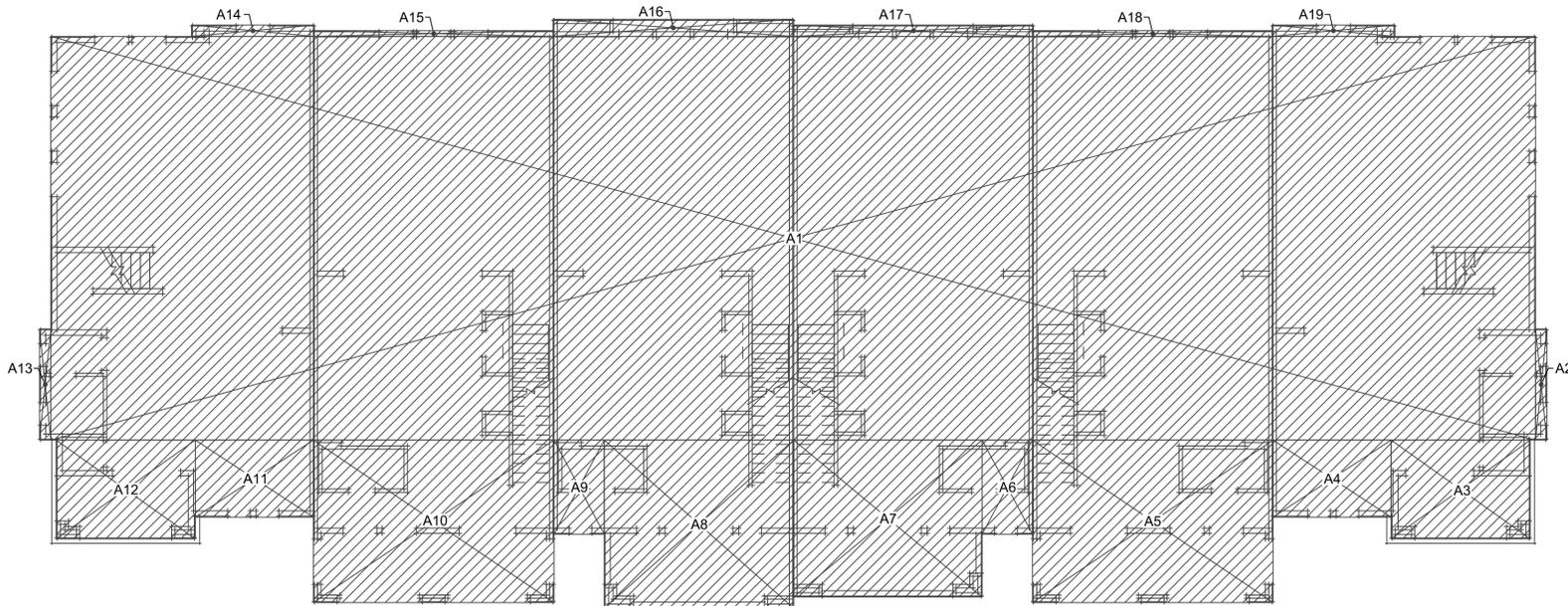
FIRST FLOOR PLAN  
5,997 SF

AREA-A1	130'-7" x 39'-8"	5179.80 SQ. FT.
AREA-A2	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A3	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A4	21'-2" x 8'-6"	179.91 SQ. FT.
AREA-A5	4'-5" x 2'-6"	11.04 SQ. FT.
AREA-A6	16'-7" x 8'-0"	132.66 SQ. FT.
AREA-A7	16'-8" x 9'-0"	150.00 SQ. FT.
AREA-A8	4'-5" x 2'-6"	11.04 SQ. FT.
AREA-A9	21'-2" x 8'-6"	179.91 SQ. FT.
AREA-A10	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A11	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A12	4'-3 1/2" x 1'-6"	6.43 SQ. FT.
AREA-A13	1'-11 1/2" x 1'-6"	2.93 SQ. FT.
AREA-A14	2'-2" x 2'-0"	4.33 SQ. FT.
AREA-A15	2'-2" x 2'-0"	4.33 SQ. FT.
AREA-A16	2'-1" x 1'-0"	2.08 SQ. FT.
AREA-A17	4'-3" x 1'-0"	4.25 SQ. FT.
AREA-A18	2'-1" x 1'-0"	2.08 SQ. FT.
AREA-A19	2'-2" x 2'-0"	4.33 SQ. FT.
AREA-A20	2'-2" x 2'-0"	4.33 SQ. FT.
AREA-A21	1'-11 1/2" x 1'-6"	2.93 SQ. FT.
AREA-A22	4'-3 1/2" x 1'-6"	6.43 SQ. FT.
TOTAL FAR: BUILDING 1 & 6 FIRST FLOOR		5997.17 SQ. FT.

FAR CALCULATION

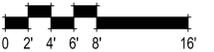
BLDG 1 & 6 x 2	35,952 SF
BLDG 2 x 1	16,199 SF
BLDG 3, 4 & 5 x 3	51,249 SF
BLDG 7 x 1	9,049 SF
BLDG 8, 9 & 10 x 3	36,024 SF
<b>TOTAL</b>	<b>148,473 SF</b>

NET AREA 148,473 / 109,161 = 1.36



SECOND FLOOR PLAN  
6,242 SF

AREA-A1	130'-7" x 35'-5"	4624.82 SQ. FT.
AREA-A2	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A3	12'-3" x 8'-8"	106.16 SQ. FT.
AREA-A4	10'-4 1/2" x 6'-9"	70.03 SQ. FT.
AREA-A5	21'-2" x 14'-3"	301.62 SQ. FT.
AREA-A6	4'-5" x 8'-3"	36.43 SQ. FT.
AREA-A7	16'-7" x 13'-9"	228.02 SQ. FT.
AREA-A8	16'-8" x 14'-9"	245.83 SQ. FT.
AREA-A9	4'-5" x 8'-3"	36.43 SQ. FT.
AREA-A10	21'-2" x 14'-3"	301.62 SQ. FT.
AREA-A11	10'-4 1/2" x 6'-9"	70.03 SQ. FT.
AREA-A12	12'-3" x 8'-8"	106.16 SQ. FT.
AREA-A13	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A14	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A15	21'-0" x 6"	10.50 SQ. FT.
AREA-A16	21'-2" x 1'-6"	31.75 SQ. FT.
AREA-A17	21'-1" x 1'-0"	21.08 SQ. FT.
AREA-A18	21'-0" x 6"	10.50 SQ. FT.
AREA-A19	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
TOTAL FAR: BUILDING 1 & 6 SECOND FLOOR		6242.06 SQ. FT.



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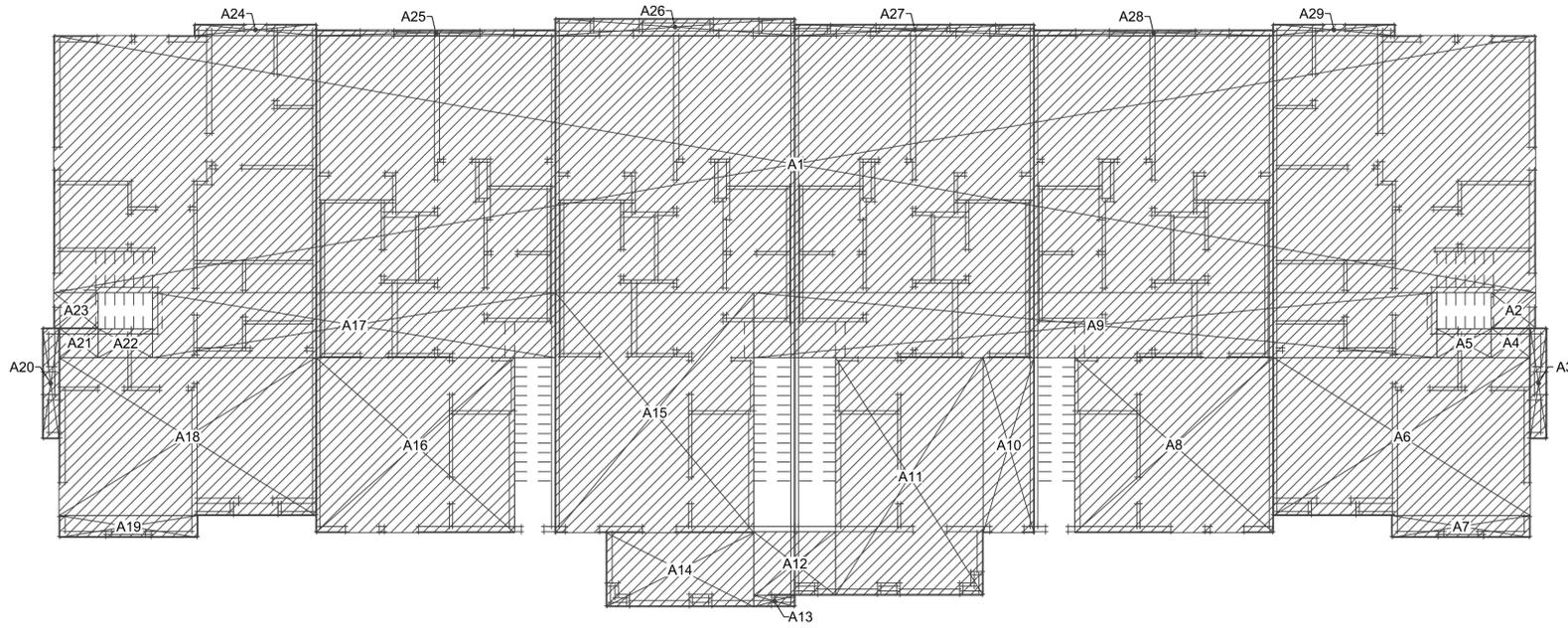


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BUILDING 1 & 6 FIRST & SECOND FLOOR FAR DIAGRAMS

A09.1

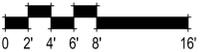


AREA-A1	130'-7" x 22'-7"	2949.00 SQ. FT.
AREA-A2	3'-11" x 3'-1"	12.07 SQ. FT.
AREA-A3	1'-5 1/2" x 9'-9"	14.21 SQ. FT.
AREA-A4	3'-5 1/2" x 2'-7 1/2"	9.07 SQ. FT.
AREA-A5	4'-9 1/2" x 2'-6 1/2"	12.17 SQ. FT.
AREA-A6	22'-7 1/2" x 13'-10 1/2"	313.92 SQ. FT.
AREA-A7	12'-3" x 1'-11"	23.47 SQ. FT.
AREA-A8	17'-6 1/4" x 15'-4 1/2"	269.38 SQ. FT.
AREA-A9	60'-2 1/4" x 5'-8 1/2"	343.57 SQ. FT.
AREA-A10	4'-5 1/2" x 15'-4 1/2"	68.54 SQ. FT.
AREA-A11	13'-0 1/4" x 20'-10 1/2"	271.80 SQ. FT.
AREA-A12	7'-2 1/2" x 5'-7"	40.24 SQ. FT.
AREA-A13	3'-7 3/4" x 1'-0"	3.64 SQ. FT.
AREA-A14	13'-0 1/4" x 6'-6"	84.63 SQ. FT.
AREA-A15	17'-5 3/4" x 21'-1"	368.51 SQ. FT.
AREA-A16	17'-6 1/4" x 15'-4 1/2"	269.38 SQ. FT.
AREA-A17	35'-6" x 5'-8 1/2"	202.64 SQ. FT.
AREA-A18	22'-7 1/2" x 13'-10 1/2"	313.92 SQ. FT.
AREA-A19	12'-3" x 1'-11"	23.47 SQ. FT.
AREA-A20	1'-5 1/2" x 9'-9"	14.21 SQ. FT.
AREA-A21	3'-5 1/2" x 2'-7 1/2"	9.07 SQ. FT.
AREA-A22	4'-9 1/2" x 2'-6 1/2"	12.17 SQ. FT.
AREA-A23	3'-11" x 3'-1"	12.07 SQ. FT.
AREA-A24	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A25	21'-0" x 6"	10.50 SQ. FT.
AREA-A26	21'-2" x 1'-6"	31.75 SQ. FT.
AREA-A27	21'-1" x 1'-0"	21.08 SQ. FT.
AREA-A28	21'-0" x 6"	10.50 SQ. FT.
AREA-A29	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
TOTAL FAR: BUILDING 1 & 6 THIRD FLOOR		5736.56 SQ. FT.

THIRD FLOOR PLAN  
5,737 SF

TOTAL AREA = 17,976 SF

2 x 17,976 SF = 35,952 SF



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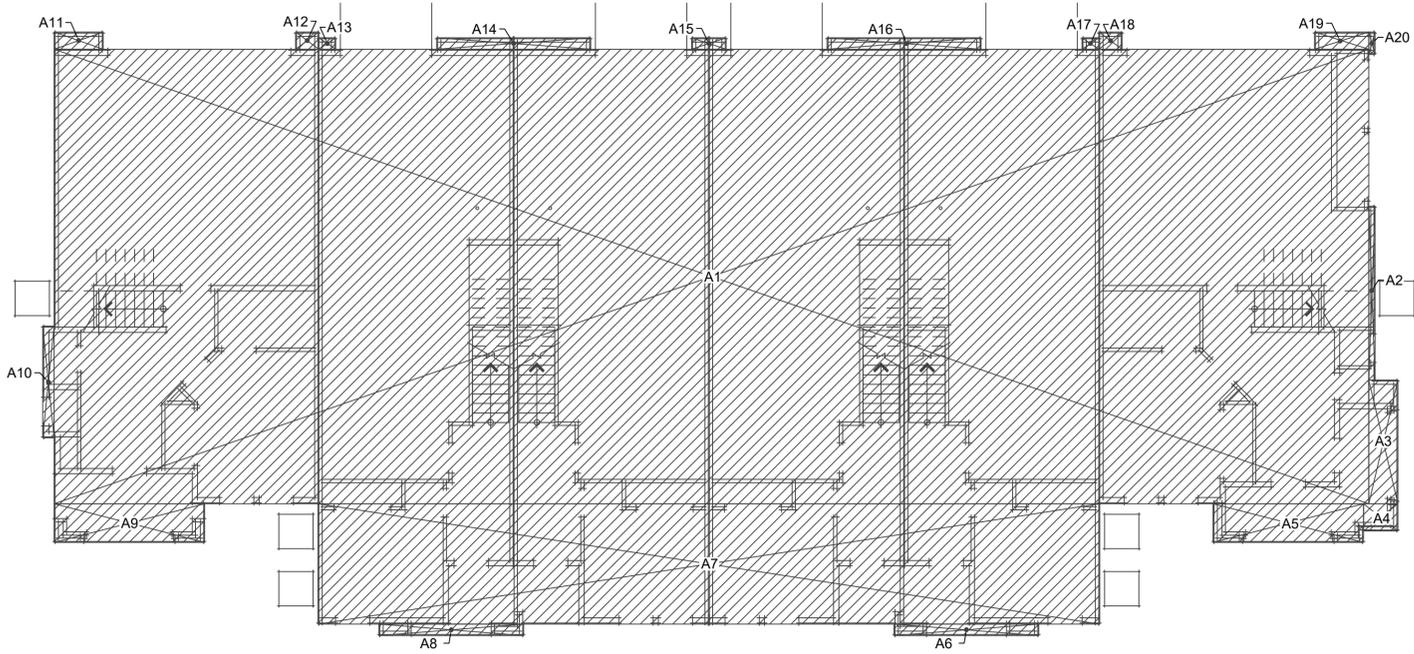
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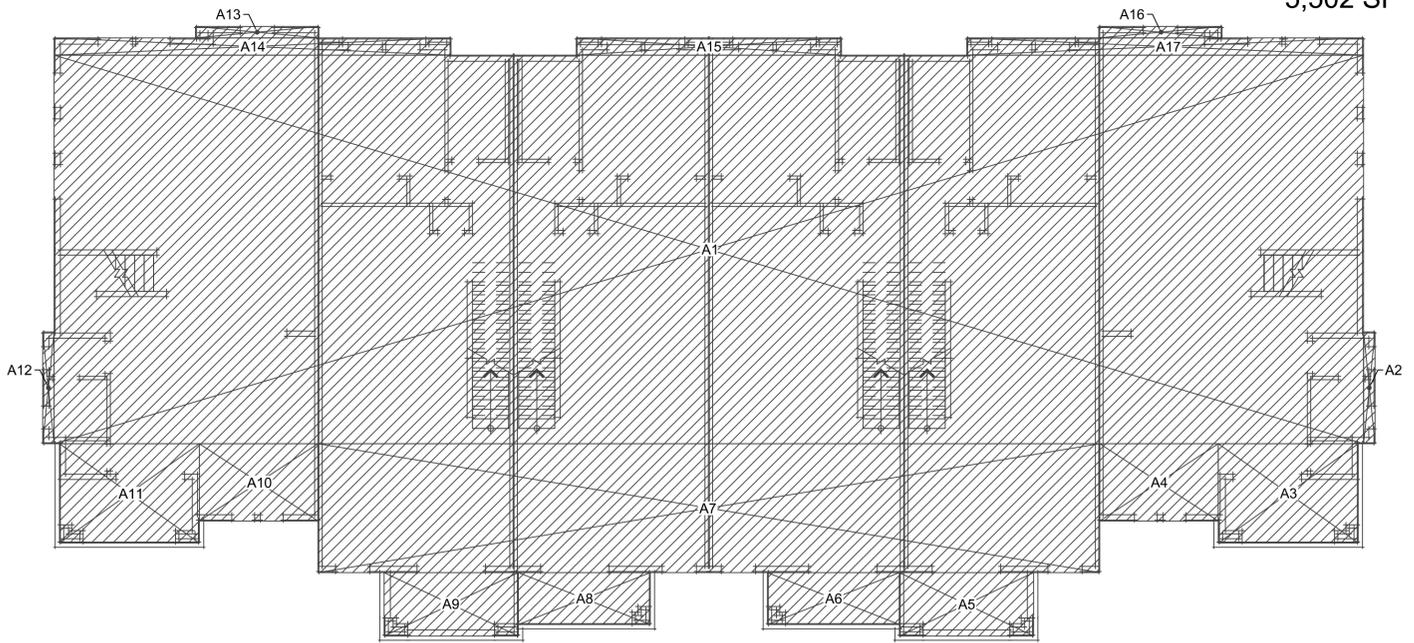


BUILDING 1 & 6 THIRD FLOOR FAR DIAGRAM  
A09.2



**FIRST FLOOR PLAN**  
5,502 SF

AREA-A1	115'-0 1/2" x 39'-8"	4563.31 SQ. FT.
AREA-A2	6 1/2" x 15'-2"	8.21 SQ. FT.
AREA-A3	2'-6 1/2" x 10'-9 1/2"	27.42 SQ. FT.
AREA-A4	3'-0" x 2'-4 1/2"	7.12 SQ. FT.
AREA-A5	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A6	12'-8" x 1'-0"	12.67 SQ. FT.
AREA-A7	68'-5" x 10'-6"	718.38 SQ. FT.
AREA-A8	12'-8" x 1'-0"	12.67 SQ. FT.
AREA-A9	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A10	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A11	4'-3 1/2" x 1'-6"	6.43 SQ. FT.
AREA-A12	2'-0 1/2" x 1'-6"	3.06 SQ. FT.
AREA-A13	1'-5 5/8" x 1'-0"	1.46 SQ. FT.
AREA-A14	13'-5 3/4" x 1'-0"	13.47 SQ. FT.
AREA-A15	3'-0 1/4" x 1'-0"	3.02 SQ. FT.
AREA-A16	13'-5 3/4" x 1'-0"	13.47 SQ. FT.
AREA-A17	1'-5 5/8" x 1'-0"	1.46 SQ. FT.
AREA-A18	2'-0 1/2" x 1'-6"	3.06 SQ. FT.
AREA-A19	4'-9" x 1'-6"	7.12 SQ. FT.
AREA-A20	6 1/2" x 1'-11 1/2"	1.06 SQ. FT.
TOTAL FAR: BUILDING 2 FIRST FLOOR		5502.00 SQ. FT.



**SECOND FLOOR PLAN**  
5,423 SF

AREA-A1	114'-7" x 33'-11"	3886.27 SQ. FT.
AREA-A2	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A3	12'-3" x 8'-8"	106.16 SQ. FT.
AREA-A4	10'-4 1/2" x 6'-9"	70.03 SQ. FT.
AREA-A5	11'-9" x 5'-6 1/2"	65.11 SQ. FT.
AREA-A6	11'-6 1/2" x 4'-6 1/2"	52.41 SQ. FT.
AREA-A7	68'-5" x 11'-3"	769.68 SQ. FT.
AREA-A8	11'-6 1/2" x 4'-6 1/2"	52.41 SQ. FT.
AREA-A9	11'-9" x 5'-6 1/2"	65.11 SQ. FT.
AREA-A10	10'-4 1/2" x 6'-9"	70.03 SQ. FT.
AREA-A11	12'-3" x 8'-8"	106.16 SQ. FT.
AREA-A12	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A13	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A14	34'-8 3/4" x 1'-6"	52.09 SQ. FT.
AREA-A15	23'-2 1/2" x 1'-6"	34.81 SQ. FT.
AREA-A16	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A17	34'-8 3/4" x 1'-6"	52.09 SQ. FT.
TOTAL FAR: BUILDING 2 SECOND FLOOR		5423.44 SQ. FT.



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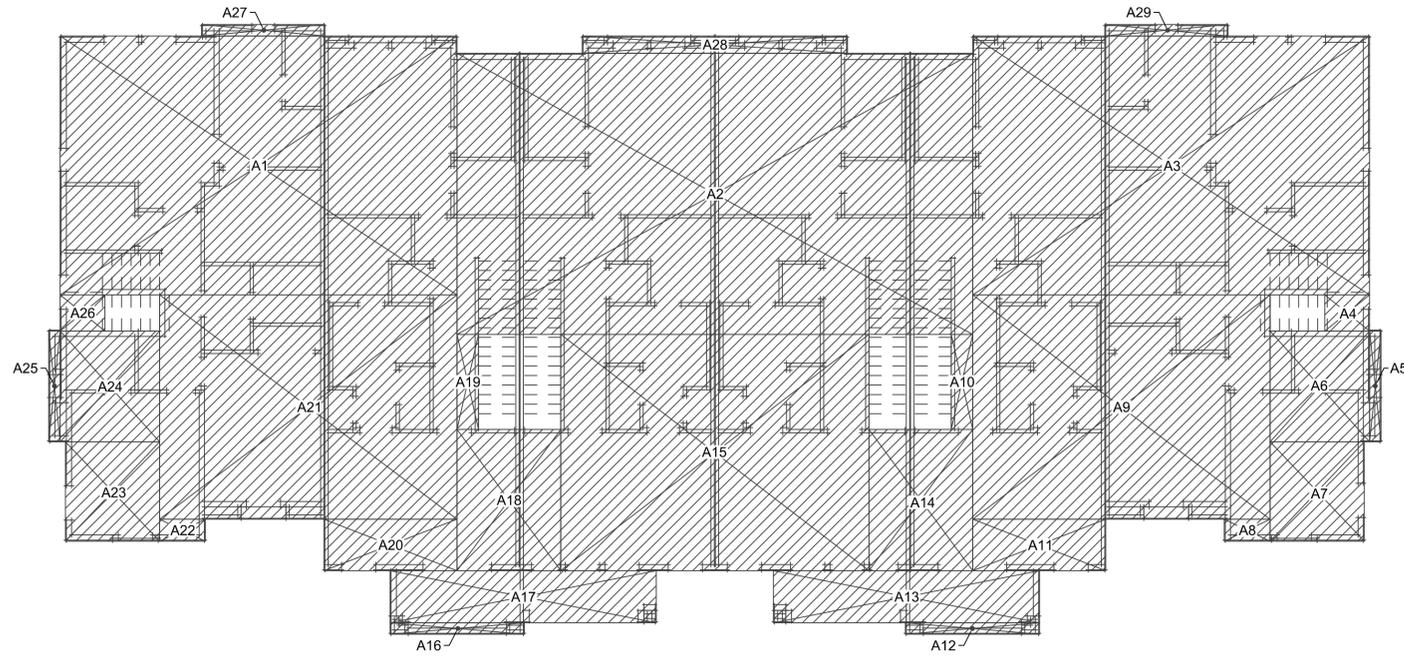
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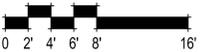




THIRD FLOOR PLAN  
5,274 SF

AREA-A1	34'-8 3/4" x 22'-7"	784.29 SQ. FT.
AREA-A2	45'-1 1/2" x 24'-6 1/2"	1107.44 SQ. FT.
AREA-A3	34'-8 3/4" x 22'-7"	784.29 SQ. FT.
AREA-A4	3'-11" x 3'-2"	12.40 SQ. FT.
AREA-A5	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A6	8'-8 1/2" x 9'-8"	84.18 SQ. FT.
AREA-A7	8'-3" x 8'-8"	71.50 SQ. FT.
AREA-A8	4'-0" x 1'-11"	7.66 SQ. FT.
AREA-A9	26'-0 1/4" x 19'-7"	509.57 SQ. FT.
AREA-A10	1'-10 1/2" x 8'-3 1/2"	15.54 SQ. FT.
AREA-A11	11'-7 3/4" x 4'-6"	52.40 SQ. FT.
AREA-A12	11'-9" x 1'-0"	11.75 SQ. FT.
AREA-A13	23'-3 1/2" x 4'-6 1/2"	105.78 SQ. FT.
AREA-A14	9'-1" x 12'-4"	112.02 SQ. FT.
AREA-A15	26'-11 1/2" x 20'-7 1/2"	556.01 SQ. FT.
AREA-A16	11'-9" x 1'-0"	11.75 SQ. FT.
AREA-A17	23'-3 1/2" x 4'-6 1/2"	105.78 SQ. FT.
AREA-A18	9'-1" x 12'-4"	112.02 SQ. FT.
AREA-A19	1'-10 1/2" x 8'-3 1/2"	15.54 SQ. FT.
AREA-A20	11'-7 3/4" x 4'-6"	52.40 SQ. FT.
AREA-A21	26'-0 1/4" x 19'-7"	509.57 SQ. FT.
AREA-A22	4'-0" x 1'-11"	7.66 SQ. FT.
AREA-A23	8'-3" x 8'-8"	71.50 SQ. FT.
AREA-A24	8'-8 1/2" x 9'-8"	84.18 SQ. FT.
AREA-A25	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A26	3'-11" x 3'-2"	12.40 SQ. FT.
AREA-A27	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A28	23'-2 1/2" x 1'-6"	34.81 SQ. FT.
AREA-A29	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
	TOTAL FAR: BUILDING 2 THIRD FLOOR	5273.52 SQ. FT.

TOTAL AREA = 16,199 SF



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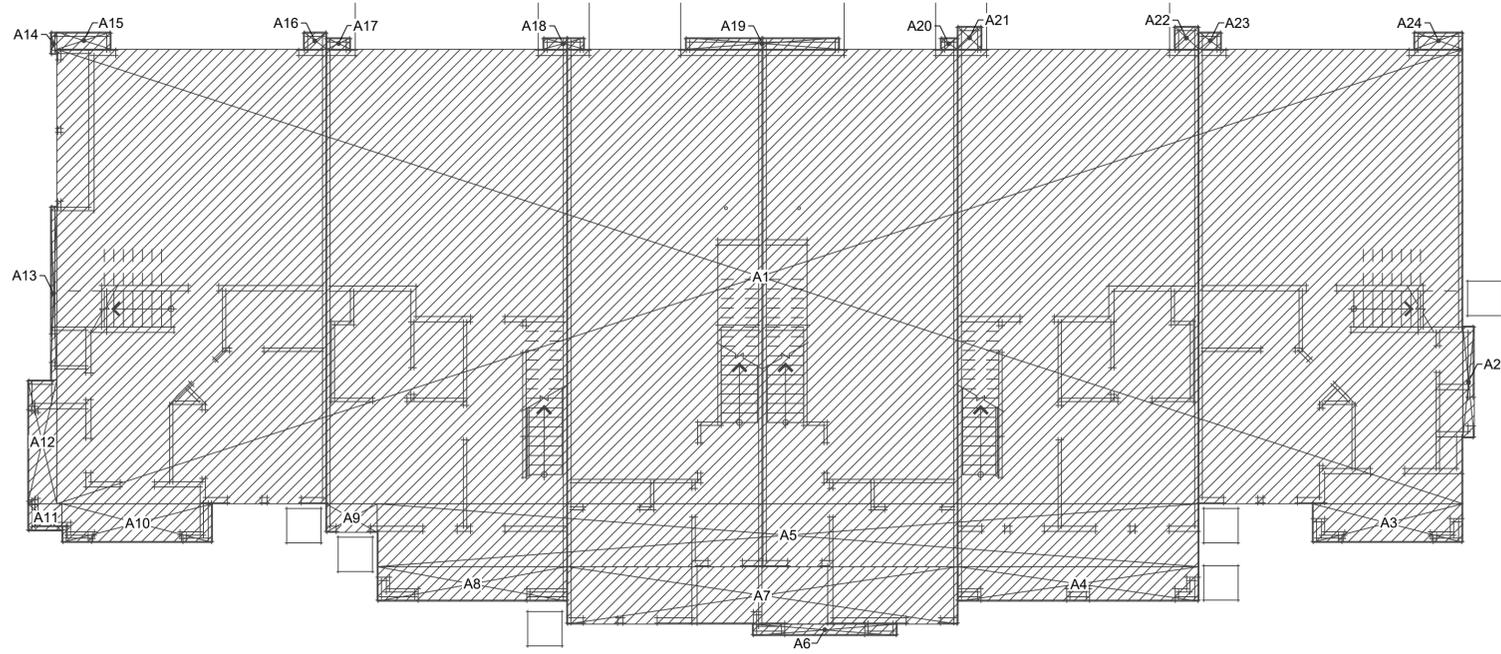
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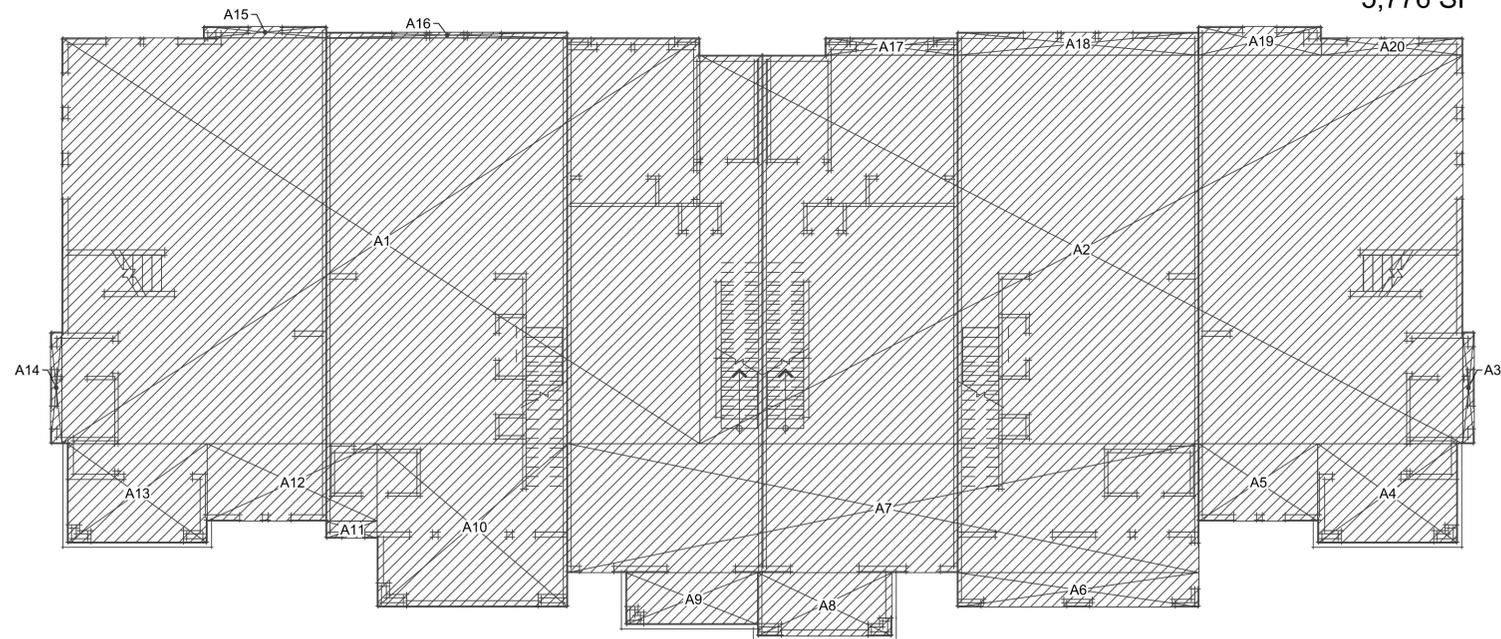


BUILDING 2 THIRD FLOOR FAR DIAGRAM  
A09.4



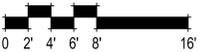
FIRST FLOOR PLAN  
5,776 SF

AREA-A1	123'-0 1/2" x 39'-8"	4880.65 SQ. FT.
AREA-A2	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A3	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A4	21'-1" x 3'-0"	63.25 SQ. FT.
AREA-A5	71'-11" x 5'-6"	395.54 SQ. FT.
AREA-A6	12'-8" x 1'-0"	12.67 SQ. FT.
AREA-A7	34'-3" x 5'-0"	171.25 SQ. FT.
AREA-A8	16'-7" x 3'-0"	49.75 SQ. FT.
AREA-A9	4'-6" x 2'-6"	11.25 SQ. FT.
AREA-A10	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A11	3'-0" x 2'-4 1/2"	7.12 SQ. FT.
AREA-A12	2'-6 1/2" x 10'-9 1/2"	27.42 SQ. FT.
AREA-A13	6 1/2" x 15'-2"	8.21 SQ. FT.
AREA-A14	6 1/2" x 1'-11 1/2"	1.06 SQ. FT.
AREA-A15	4'-9" x 1'-6"	7.12 SQ. FT.
AREA-A16	2'-0 1/2" x 1'-6"	3.06 SQ. FT.
AREA-A17	2'-1" x 1'-0"	2.08 SQ. FT.
AREA-A18	3'-7 5/8" x 1'-0"	3.63 SQ. FT.
AREA-A19	13'-5 3/4" x 1'-0"	13.47 SQ. FT.
AREA-A20	1'-5 5/8" x 1'-0"	1.46 SQ. FT.
AREA-A21	2'-2" x 2'-0"	4.33 SQ. FT.
AREA-A22	2'-2" x 2'-0"	4.33 SQ. FT.
AREA-A23	1'-11 1/2" x 1'-6"	2.93 SQ. FT.
AREA-A24	4'-3 1/2" x 1'-6"	6.43 SQ. FT.
	TOTAL FAR: BUILDING 3, 4 & 5 FIRST FLOOR	5775.62 SQ. FT.



SECOND FLOOR PLAN  
5,817 SF

AREA-A1	55'-9 3/4" x 35'-5"	1976.69 SQ. FT.
AREA-A2	66'-9 1/4" x 33'-11"	2264.64 SQ. FT.
AREA-A3	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A4	12'-3" x 8'-8"	106.16 SQ. FT.
AREA-A5	10'-4 1/2" x 6'-9"	70.03 SQ. FT.
AREA-A6	21'-2" x 3'-0"	63.50 SQ. FT.
AREA-A7	55'-3" x 11'-3"	621.56 SQ. FT.
AREA-A8	11'-9" x 5'-6 1/2"	65.11 SQ. FT.
AREA-A9	11'-6 1/2" x 4'-6 1/2"	52.41 SQ. FT.
AREA-A10	16'-8" x 14'-3"	237.50 SQ. FT.
AREA-A11	4'-6" x 1'-6"	6.75 SQ. FT.
AREA-A12	14'-10 1/2" x 6'-9"	100.40 SQ. FT.
AREA-A13	12'-3" x 8'-8"	106.16 SQ. FT.
AREA-A14	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A15	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A16	21'-1" x 6"	10.54 SQ. FT.
AREA-A17	11'-6 3/4" x 1'-6"	17.34 SQ. FT.
AREA-A18	21'-1" x 2'-0"	42.16 SQ. FT.
AREA-A19	10'-9 1/2" x 2'-6"	26.97 SQ. FT.
AREA-A20	12'-4 1/2" x 1'-6"	18.56 SQ. FT.
	TOTAL FAR: BUILDING 3, 4 & 5 SECOND FLOOR	5816.77 SQ. FT.



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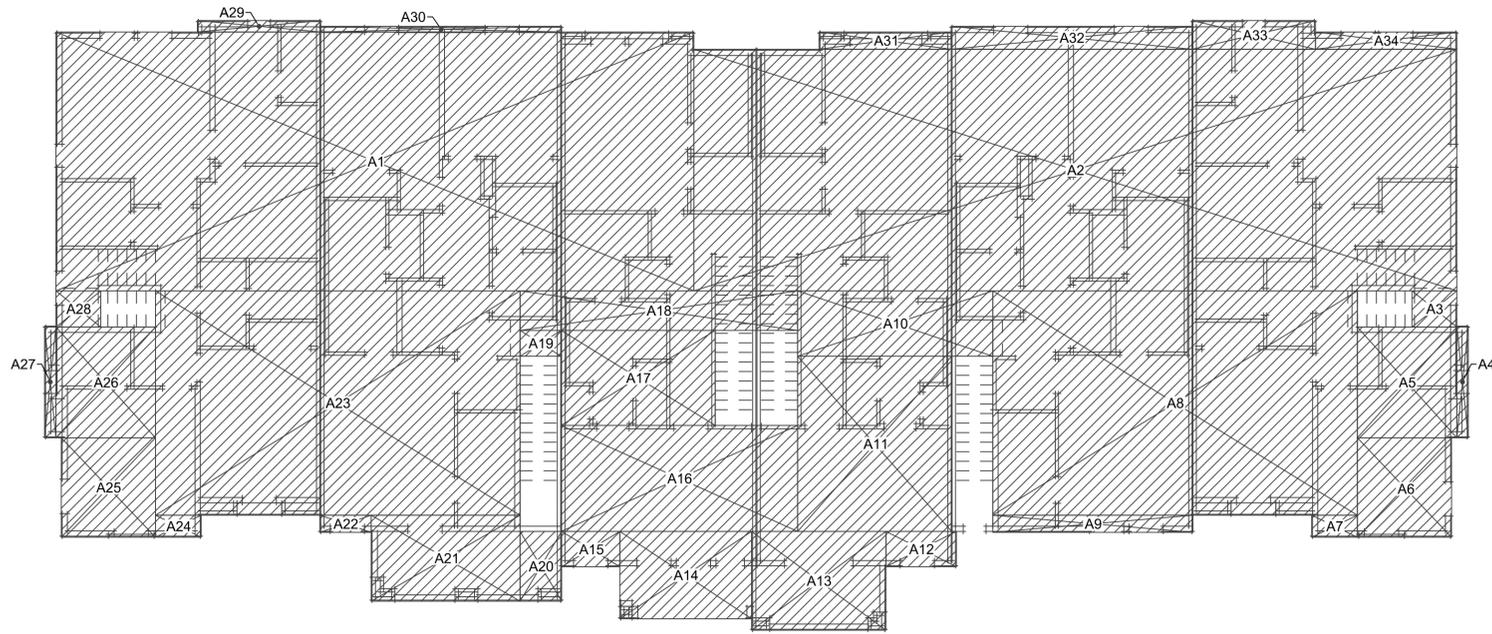
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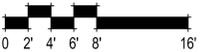


THIRD FLOOR PLAN  
5,490 SF

AREA-A1	55'-9 3/4" x 22'-7"	1260.42 SQ. FT.
AREA-A2	66'-9 1/4" x 21'-1"	1407.74 SQ. FT.
AREA-A3	3'-11" x 3'-2"	12.40 SQ. FT.
AREA-A4	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A5	8'-8 1/2" x 9'-8"	84.18 SQ. FT.
AREA-A6	8'-3" x 8'-8"	71.50 SQ. FT.
AREA-A7	4'-0" x 1'-11"	7.66 SQ. FT.
AREA-A8	31'-10 3/4" x 19'-7"	624.62 SQ. FT.
AREA-A9	17'-6 1/4" x 1'-6"	26.28 SQ. FT.
AREA-A10	17'-1" x 5'-8 1/2"	97.51 SQ. FT.
AREA-A11	13'-5 3/4" x 15'-3 1/2"	206.11 SQ. FT.
AREA-A12	6'-2" x 3'-1"	19.01 SQ. FT.
AREA-A13	11'-9" x 8'-7 1/2"	101.34 SQ. FT.
AREA-A14	11'-6 1/2" x 7'-7 1/2"	88.00 SQ. FT.
AREA-A15	5'-1" x 3'-1"	15.67 SQ. FT.
AREA-A16	20'-8 1/4" x 9'-3"	191.35 SQ. FT.
AREA-A17	13'-5 3/4" x 8'-3 1/2"	111.76 SQ. FT.
AREA-A18	24'-3 1/2" x 3'-5 1/2"	84.00 SQ. FT.
AREA-A19	3'-7 1/4" x 2'-3"	8.10 SQ. FT.
AREA-A20	3'-7 3/4" x 6'-1"	22.17 SQ. FT.
AREA-A21	13'-0 1/4" x 7'-6"	97.65 SQ. FT.
AREA-A22	4'-6" x 1'-6"	6.75 SQ. FT.
AREA-A23	31'-10 3/4" x 19'-7"	624.62 SQ. FT.
AREA-A24	4'-0" x 1'-11"	7.66 SQ. FT.
AREA-A25	8'-3" x 8'-8"	71.50 SQ. FT.
AREA-A26	8'-8 1/2" x 9'-8"	84.18 SQ. FT.
AREA-A27	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A28	3'-11" x 3'-2"	12.40 SQ. FT.
AREA-A29	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A30	21'-1" x 6"	10.54 SQ. FT.
AREA-A31	11'-6 3/4" x 1'-6"	17.34 SQ. FT.
AREA-A32	21'-1" x 2'-0"	42.16 SQ. FT.
AREA-A33	10'-9 1/2" x 2'-6"	26.97 SQ. FT.
AREA-A34	12'-4 1/2" x 1'-6"	18.50 SQ. FT.
	TOTAL FAR:	5490.38 SQ. FT.
	BUILDING 3, 4 & 5	
	THIRD FLOOR	

TOTAL AREA = 17,083 SF

3 x 17,083 SF = 51,249 SF



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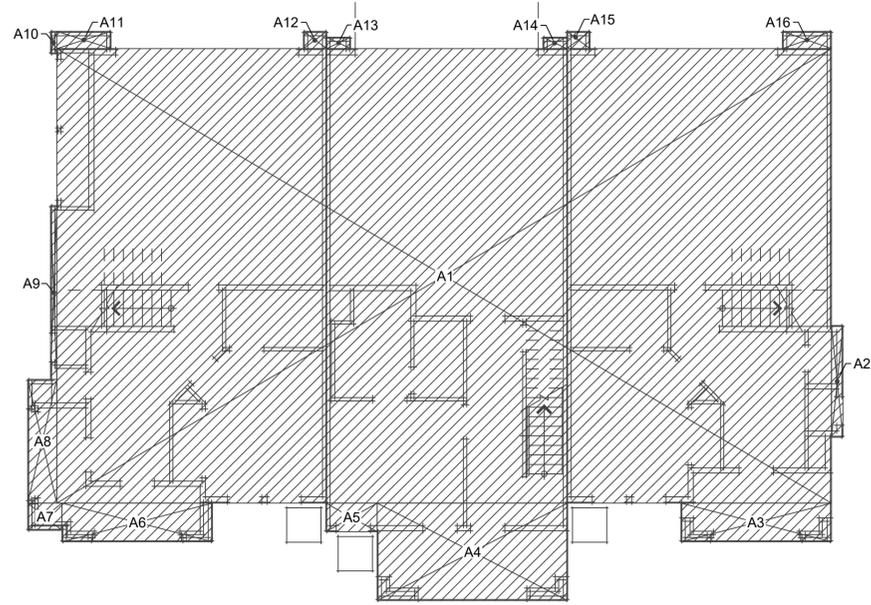
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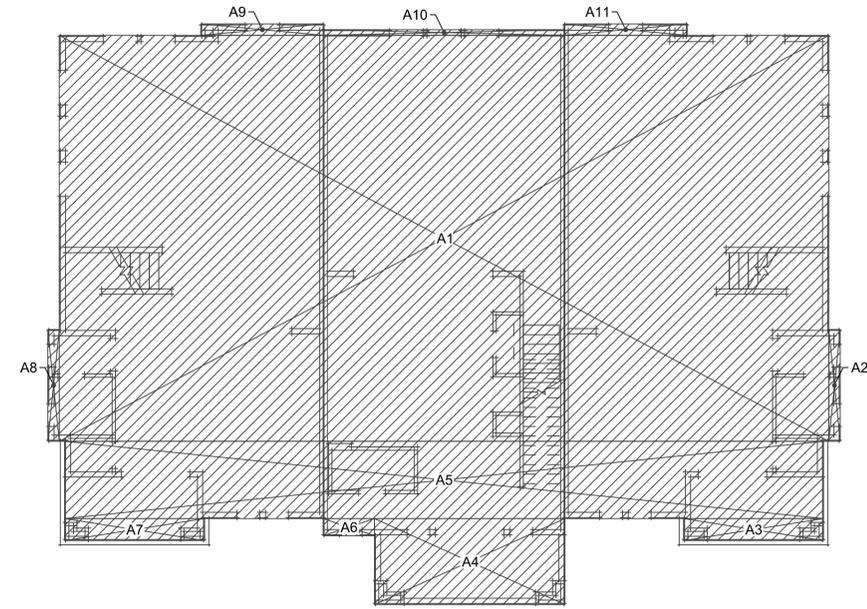


BUILDING 3, 4 & 5 THIRD FLOOR FAR DIAGRAM  
A09.6



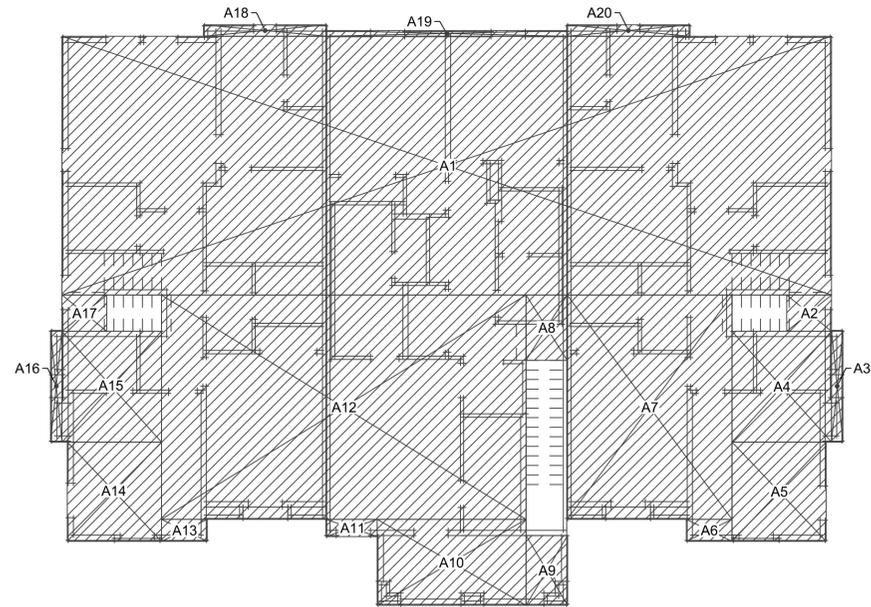
FIRST FLOOR PLAN  
3,008 SF

AREA-A1	67'-9 1/2" x 39'-8"	2689.06 SQ. FT.
AREA-A2	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A3	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A4	16'-8" x 8'-6"	141.66 SQ. FT.
AREA-A5	4'-6" x 2'-6"	11.25 SQ. FT.
AREA-A6	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A7	3'-0" x 2'-4 1/2"	7.12 SQ. FT.
AREA-A8	2'-6 1/2" x 10'-9 1/2"	27.42 SQ. FT.
AREA-A9	6 1/2" x 15'-2"	8.21 SQ. FT.
AREA-A10	6 1/2" x 1'-11 1/2"	1.06 SQ. FT.
AREA-A11	4'-9" x 1'-6"	7.12 SQ. FT.
AREA-A12	2'-0 1/2" x 1'-6"	3.06 SQ. FT.
AREA-A13	2'-1" x 1'-0"	2.08 SQ. FT.
AREA-A14	2'-1" x 1'-0"	2.08 SQ. FT.
AREA-A15	2'-0 1/2" x 1'-6"	3.06 SQ. FT.
AREA-A16	4'-3 1/2" x 1'-6"	6.43 SQ. FT.
	TOTAL FAR: BUILDING 7 FIRST FLOOR	3008.22 SQ. FT.



SECOND FLOOR PLAN  
3,063 SF

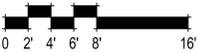
AREA-A1	67'-4" x 35'-5"	2384.72 SQ. FT.
AREA-A2	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A3	12'-3" x 1'-11"	23.47 SQ. FT.
AREA-A4	16'-8" x 7'-6"	125.00 SQ. FT.
AREA-A5	66'-5" x 6'-9"	448.31 SQ. FT.
AREA-A6	4'-6" x 1'-6"	6.75 SQ. FT.
AREA-A7	12'-3" x 1'-11"	23.47 SQ. FT.
AREA-A8	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A9	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A10	21'-0" x 6"	10.50 SQ. FT.
AREA-A11	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
	TOTAL FAR: BUILDING 7 SECOND FLOOR	3063.30 SQ. FT.



THIRD FLOOR PLAN  
2,978 SF

AREA-A1	67'-4" x 22'-7"	1520.60 SQ. FT.
AREA-A2	3'-11" x 3'-2"	12.40 SQ. FT.
AREA-A3	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A4	8'-8 1/2" x 9'-8"	84.18 SQ. FT.
AREA-A5	8'-3" x 8'-8"	71.50 SQ. FT.
AREA-A6	4'-0" x 1'-11"	7.66 SQ. FT.
AREA-A7	14'-5" x 19'-7"	282.32 SQ. FT.
AREA-A8	3'-7 1/4" x 5'-8 1/2"	20.57 SQ. FT.
AREA-A9	3'-7 3/4" x 6'-1"	22.17 SQ. FT.
AREA-A10	13'-0 1/4" x 7'-6"	97.65 SQ. FT.
AREA-A11	4'-6" x 1'-6"	6.75 SQ. FT.
AREA-A12	31'-10 3/4" x 19'-7"	624.62 SQ. FT.
AREA-A13	4'-0" x 1'-11"	7.66 SQ. FT.
AREA-A14	8'-3" x 8'-8"	71.50 SQ. FT.
AREA-A15	8'-8 1/2" x 9'-8"	84.18 SQ. FT.
AREA-A16	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A17	3'-11" x 3'-2"	12.40 SQ. FT.
AREA-A18	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A19	21'-0" x 6"	10.50 SQ. FT.
AREA-A20	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
	TOTAL FAR: BUILDING 7 THIRD FLOOR	2977.74 SQ. FT.

TOTAL AREA = 9,049 SF



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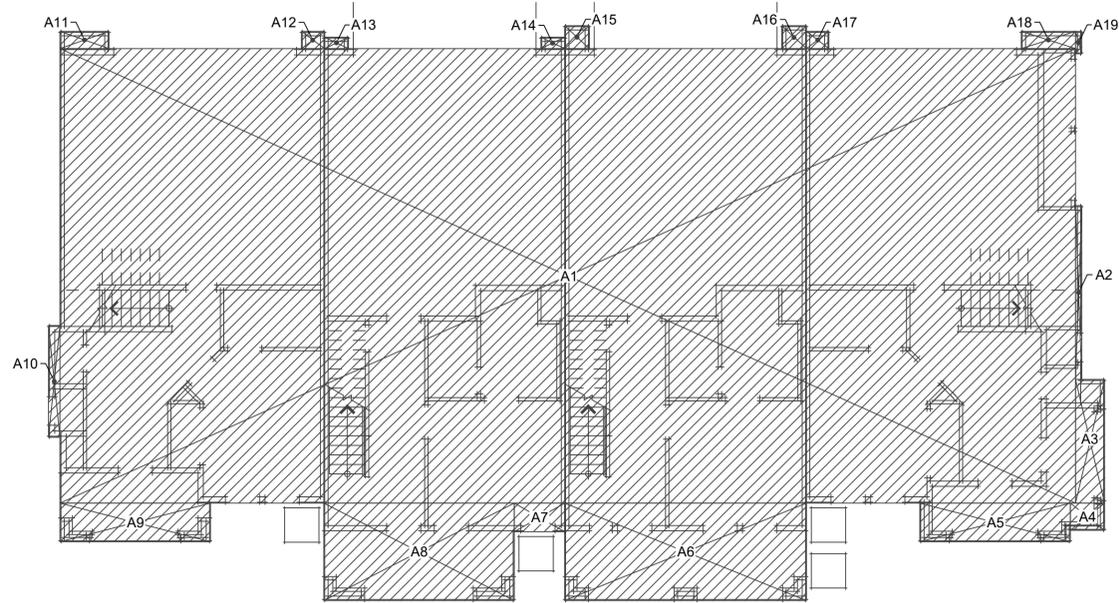
**3**  
**R** STUDIOS



**BUILDING 7 FAR DIAGRAM A09.7**

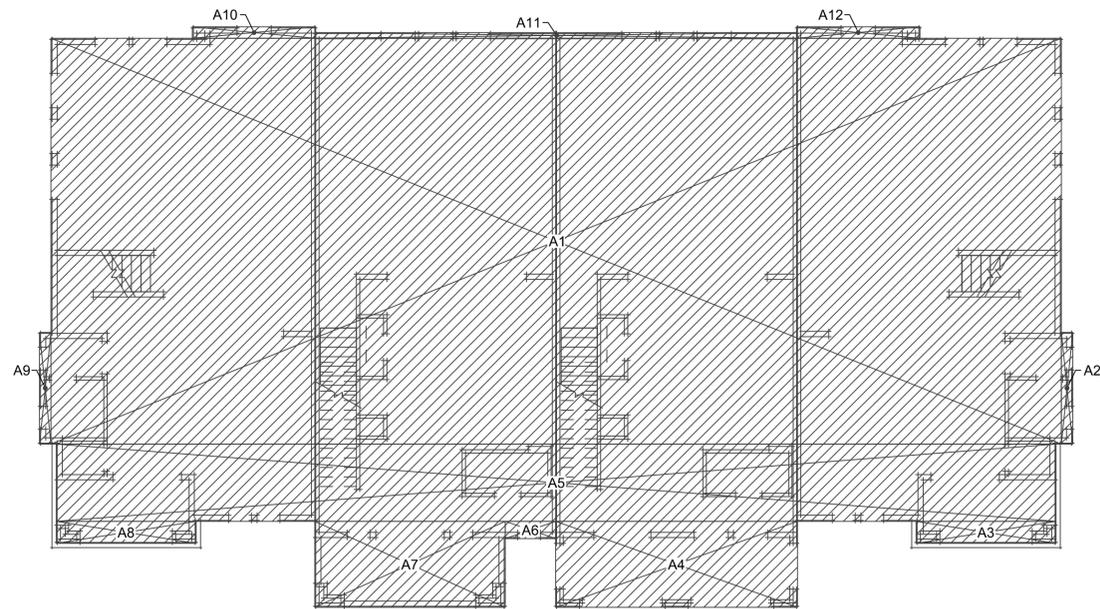
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FIRST FLOOR PLAN  
4,033 SF

AREA-A1	88'-10 1/2" x 39'-8"	3525.37 SQ. FT.
AREA-A2	6 1/2" x 15'-2"	8.21 SQ. FT.
AREA-A3	2'-6 1/2" x 10'-9 1/2"	27.42 SQ. FT.
AREA-A4	3'-0" x 2'-4 1/2"	7.12 SQ. FT.
AREA-A5	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A6	21'-2" x 8'-6"	179.91 SQ. FT.
AREA-A7	4'-5" x 2'-6"	11.04 SQ. FT.
AREA-A8	16'-8" x 8'-6"	141.66 SQ. FT.
AREA-A9	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
AREA-A10	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A11	4'-3 1/2" x 1'-6"	6.43 SQ. FT.
AREA-A12	2'-0 1/2" x 1'-6"	3.06 SQ. FT.
AREA-A13	2'-1" x 1'-0"	2.08 SQ. FT.
AREA-A14	2'-1" x 1'-0"	2.08 SQ. FT.
AREA-A15	2'-2" x 2'-0"	4.33 SQ. FT.
AREA-A16	2'-2" x 2'-0"	4.33 SQ. FT.
AREA-A17	1'-11 1/2" x 1'-6"	2.93 SQ. FT.
AREA-A18	4'-9" x 1'-6"	7.12 SQ. FT.
AREA-A19	6 1/2" x 1'-11 1/2"	1.06 SQ. FT.
	TOTAL FAR: BUILDING 8, 9 & 10 FIRST FLOOR	4032.76 SQ. FT.



SECOND FLOOR PLAN  
4,121 SF

AREA-A1	88'-5" x 35'-5"	3131.42 SQ. FT.
AREA-A2	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A3	12'-3" x 1'-11"	23.47 SQ. FT.
AREA-A4	21'-2" x 7'-6"	158.75 SQ. FT.
AREA-A5	87'-6" x 6'-9"	590.62 SQ. FT.
AREA-A6	4'-5" x 1'-6"	6.62 SQ. FT.
AREA-A7	16'-8" x 7'-6"	125.00 SQ. FT.
AREA-A8	12'-3" x 1'-11"	23.47 SQ. FT.
AREA-A9	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A10	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A11	42'-1" x 6"	21.04 SQ. FT.
AREA-A12	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
	TOTAL FAR: BUILDING 8, 9 & 10 SECOND FLOOR	4121.47 SQ. FT.



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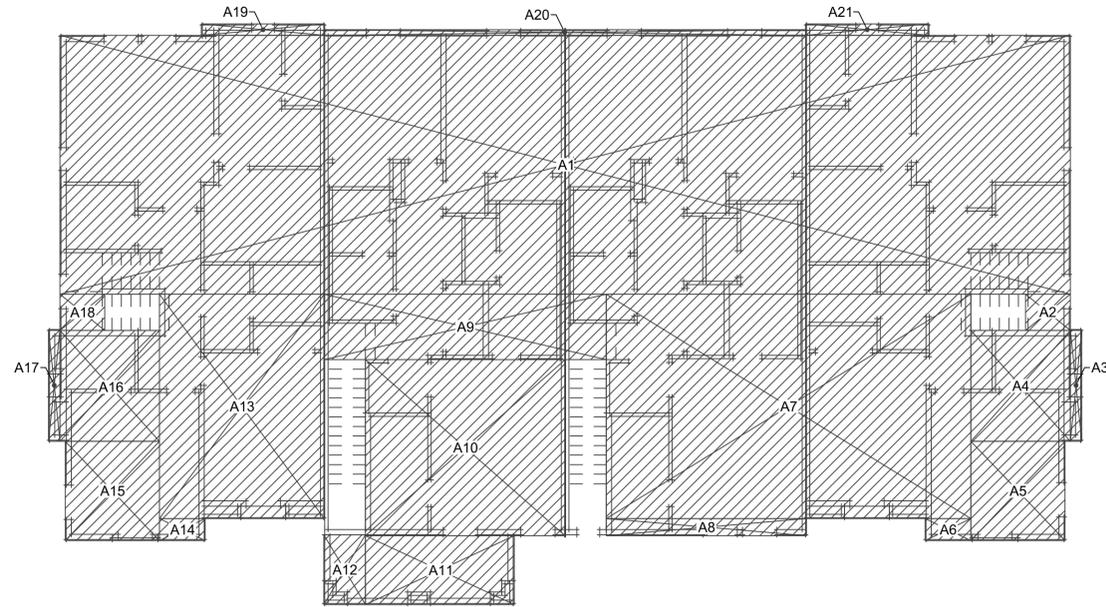
**3**  
**R** STUDIOS



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BUILDING 8, 9 & 10 FIRST & SECOND FLOOR FAR DIAGRAM  
A09.8

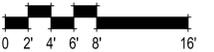


THIRD FLOOR PLAN  
3,854 SF

AREA-A1	88'-5" x 22'-7"	1996.74 SQ. FT.
AREA-A2	3'-11" x 3'-2"	12.40 SQ. FT.
AREA-A3	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A4	8'-8 1/2" x 9'-8"	84.18 SQ. FT.
AREA-A5	8'-3" x 8'-8"	71.50 SQ. FT.
AREA-A6	4'-0" x 1'-11"	7.66 SQ. FT.
AREA-A7	31'-10 3/4" x 19'-7"	624.62 SQ. FT.
AREA-A8	17'-6 1/4" x 1'-6"	26.28 SQ. FT.
AREA-A9	24'-8 1/4" x 5'-8 1/2"	140.92 SQ. FT.
AREA-A10	17'-5 3/4" x 15'-4 1/2"	268.74 SQ. FT.
AREA-A11	13'-0 1/4" x 6'-0"	78.12 SQ. FT.
AREA-A12	3'-7 3/4" x 6'-1"	22.17 SQ. FT.
AREA-A13	14'-5" x 19'-7"	282.32 SQ. FT.
AREA-A14	4'-0" x 1'-11"	7.66 SQ. FT.
AREA-A15	8'-3" x 8'-8"	71.50 SQ. FT.
AREA-A16	8'-8 1/2" x 9'-8"	84.18 SQ. FT.
AREA-A17	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-A18	3'-11" x 3'-2"	12.40 SQ. FT.
AREA-A19	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
AREA-A20	42'-1" x 6"	21.04 SQ. FT.
AREA-A21	10'-9 1/2" x 1'-0"	10.79 SQ. FT.
	TOTAL FAR: BUILDING 8, 9 & 10 THIRD FLOOR	3853.51 SQ. FT.

TOTAL AREA = 12,008 SF

3 x 12,008 SF = 36,024 SF



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BUILDING 8, 9 & 10 THIRD FLOOR FAR DIAGRAM  
A09.9



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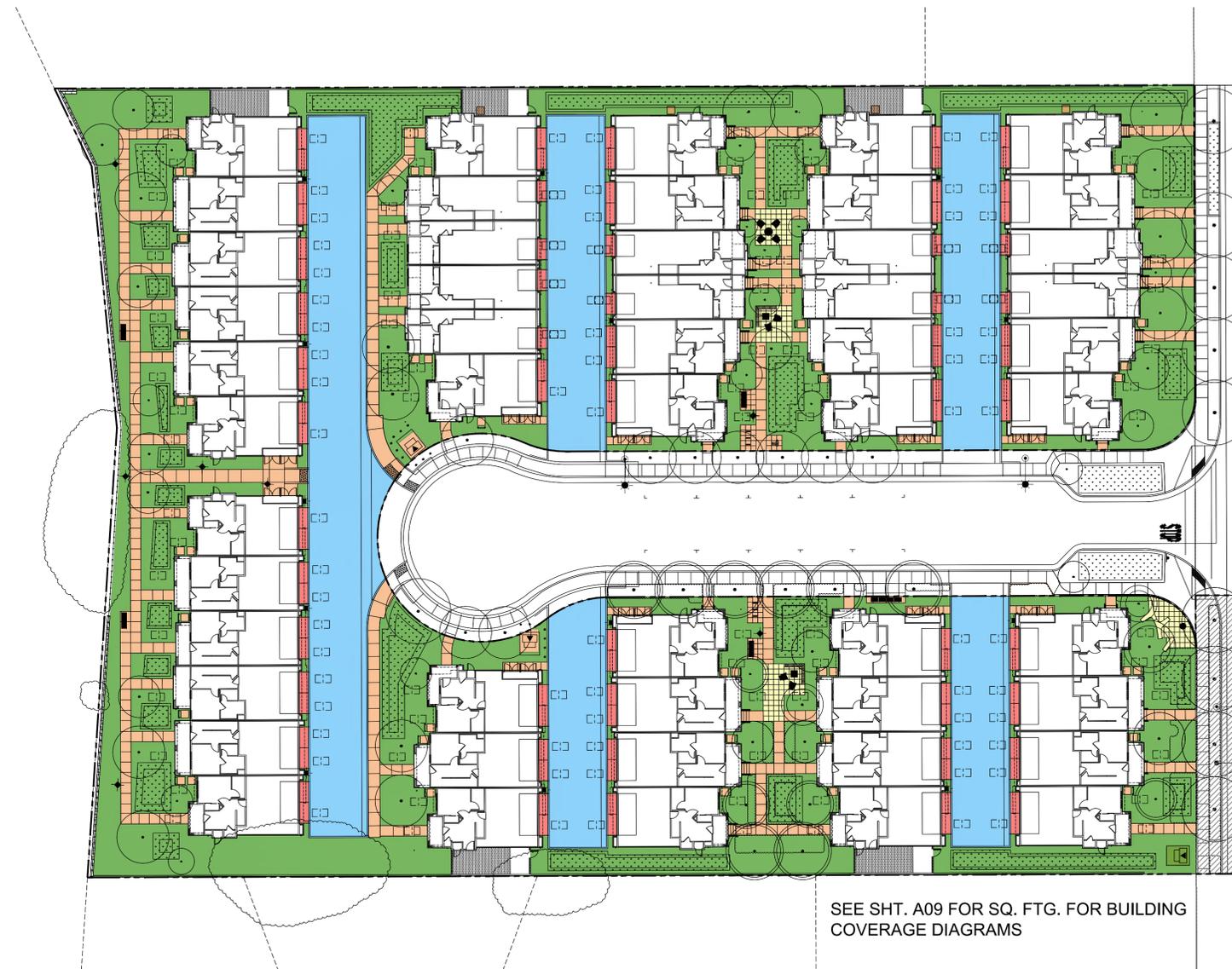
PRIVATE USABLE OPEN SPACE  
SQUARE FOOTAGE

UNIT #	PORCH	FLOOR 2 DECK	FLOOR 3 DECK	PRIVATE SIDE YARDS	UNIT TOTAL
1	0 - 43 S.F.	52 - 64 S.F.	52 - 64 S.F.	0 S.F.	104 - 171 S.F.
2	91 - 126 S.F.	91 - 126 S.F.	0 - 107 S.F.	0 S.F.	252 - 321 S.F.
3	74 S.F.	64 S.F.	0 S.F.	318 - 321 S.F.	412 - 459 S.F.
3 ALT	106 S.F.	64 S.F.	0 S.F.	0 S.F.	170 S.F.
TOTAL	4,300 S.F.	4,209 S.F.	1,669 S.F.	1,550 S.F.	
TOTAL PRIVATE USABLE OPEN SPACE					11,728 S.F.

\* SEE BUILDING PLANS FOR PRIVATE OPEN SPACE AND DIMENSIONS AT INDIVIDUAL UNITS

SITE AREAS

- COMMON LANDSCAPE:  
(GREEN AREA) = 29,231 S.F.
- COMMON HARDSCAPE (AMENITY):  
(YELLOW AREA) = 901 S.F.
- COMMON HARDSCAPE (PRIVATE SIDEWALKS,  
AC & TRANSFORMER PADS):  
(ORANGE AREA) = 7,535 S.F.
- PRIVATE DRIVEWAYS:  
(RED AREA) = 2,576 S.F.
- PRIVATE STREET ROW:  
(BLUE AREA) = 17,044 S.F.
- BUILDING FOOTPRINT AREA:  
= 49,629 S.F.
- PRIVATE SIDE YARDS (5) AREA  
= 1,550 S.F.  
(HARDSCAPE = 1,046 S.F.; LANDSCAPE = 504 S.F.)
- 20'-0" PUBLIC UTILITY EASEMENT:  
(CROSS HATCH) = 2,140 S.F.  
SEE CIVIL SHT. TM1.0 FOR MORE INFORMATION



SEE SHT. A09 FOR SQ. FTG. FOR BUILDING  
COVERAGE DIAGRAMS

NOTE:

1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to project data sheet A08 for all site summary info
3. Refer to Landscape sheets for landscape design, dimensions and detailed information

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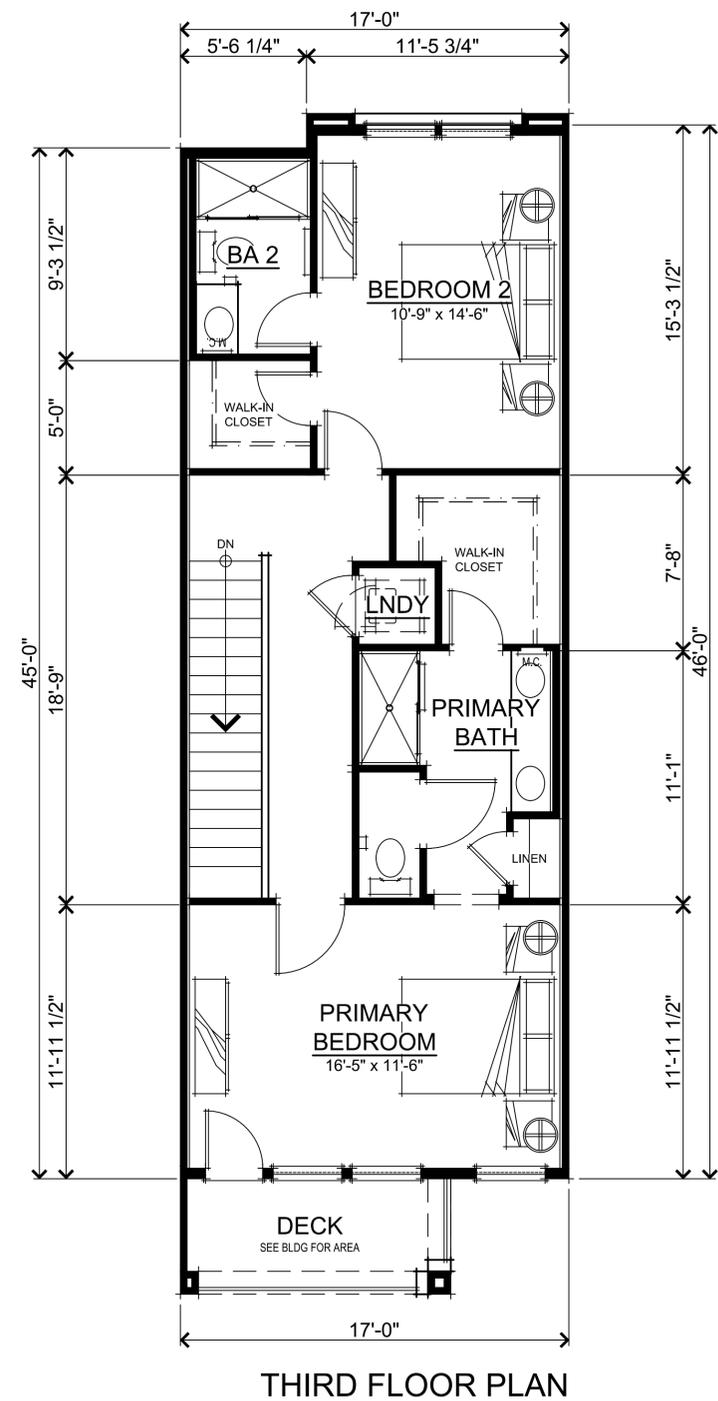
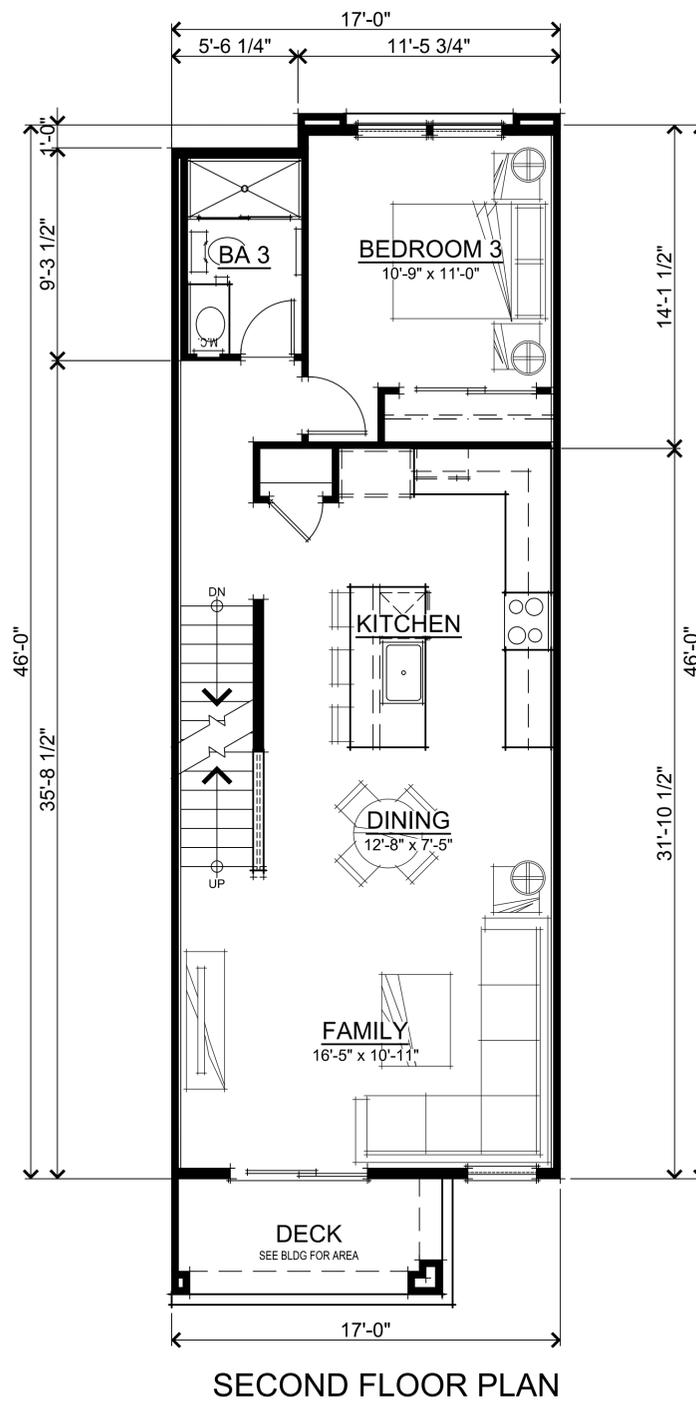
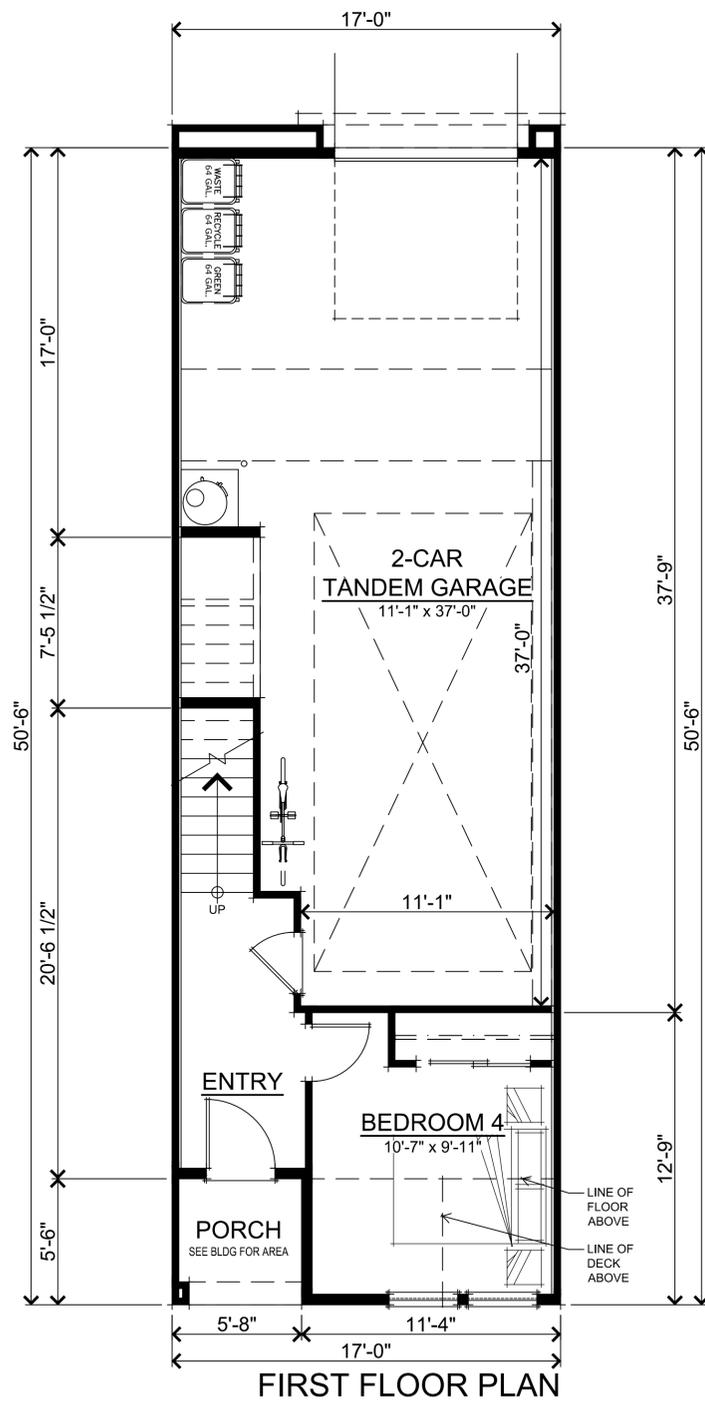
**R** 3  
STUDIOS



LOT AREAS  
A10

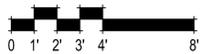
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**UNIT 1 (BELOW MARKET RATE) SQUARE FOOTAGES**

FIRST FLOOR	247 SQ. FT.
SECOND FLOOR	780 SQ. FT.
THIRD FLOOR	750 SQ. FT.
TOTAL LIVING	1777 SQ. FT.
TANDEM GARAGE	579 SQ. FT.



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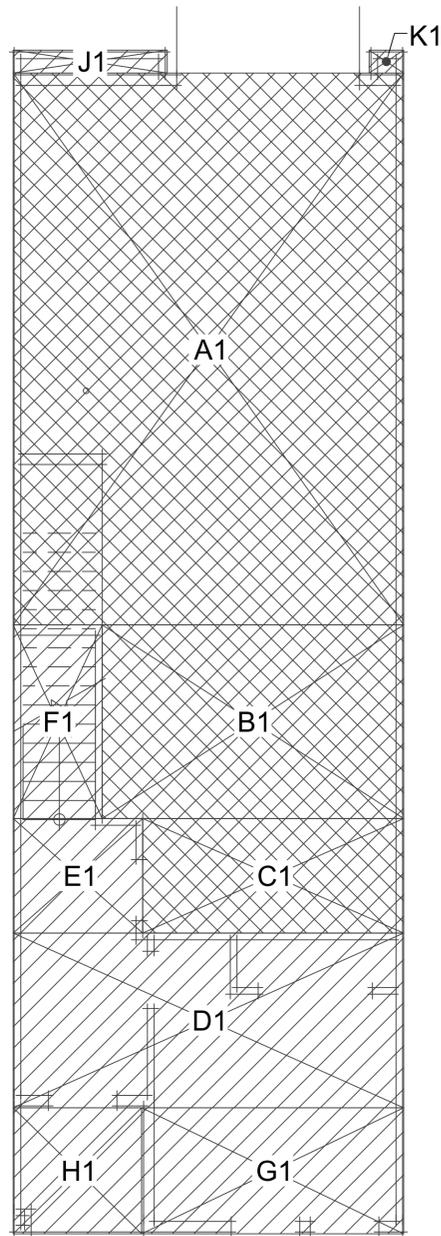
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FIRST FLOOR PLAN

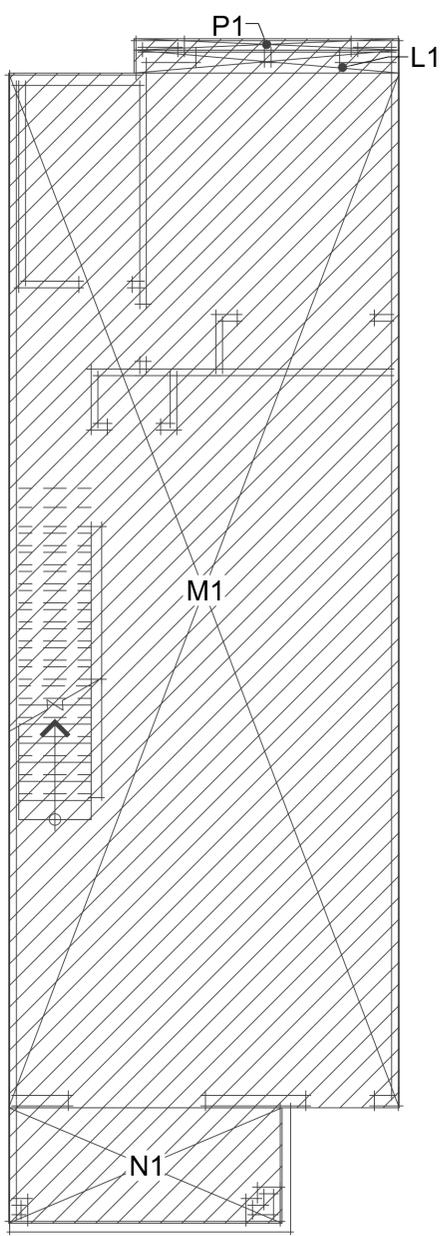
AREA-A1	17'-1" x 24'-1"	411.42 SQ. FT.
AREA-B1	13'-2 1/4" x 8'-5 1/2"	111.54 SQ. FT.
AREA-C1	11'-5" x 5'-0"	57.08 SQ. FT.
GARAGE		580.04 SQ. FT.

AREA-D1	17'-1" x 7'-7 1/2"	130.26 SQ. FT.
AREA-E1	5'-8" x 5'-0"	28.33 SQ. FT.
AREA-F1	3'-10 3/4" x 8'-5 1/2"	32.95 SQ. FT.
AREA-G1	11'-5 1/2" x 5'-6"	63.02 SQ. FT.
FIRST FLOOR		254.56 SQ. FT.

AREA-H1	5'-7 1/2" x 5'-6"	30.94 SQ. FT.
PORCH		30.94 SQ. FT.

AREA-J1	6'-8 7/8" x 1'-0"	6.74 SQ. FT.
AREA-K1	1'-6 1/8" x 1'-0"	1.51 SQ. FT.
EXTERIOR PROJECTIONS		8.25 SQ. FT.

F.A.R. TOTAL AREA (FIRST FLOOR LIVING + EXTERIOR PROJECTIONS + PORCH + GARAGE)		874 SQ. FT.
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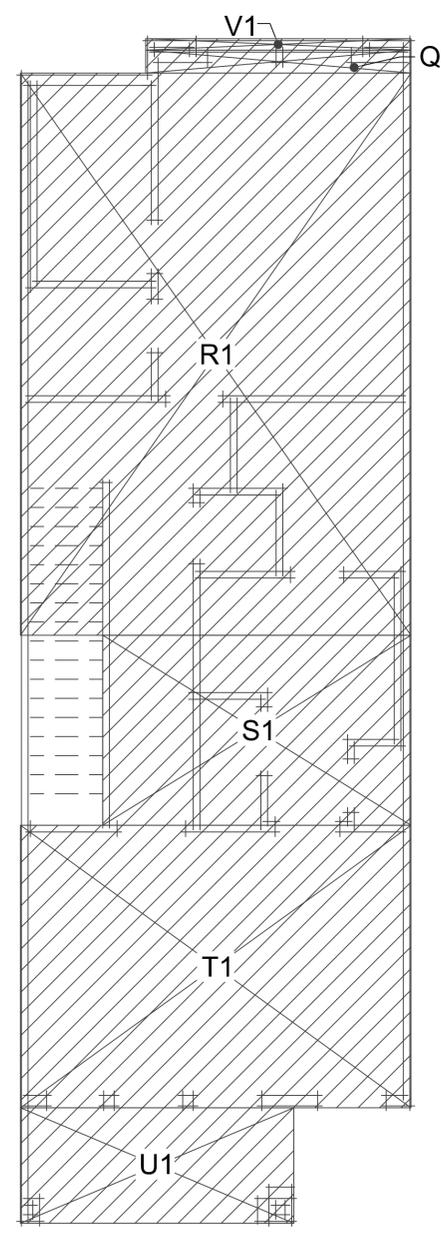
SECOND FLOOR PLAN

AREA-L1	11'-7 1/4" x 1'-0"	11.60 SQ. FT.
AREA-M1	17'-1" x 45'-2"	771.60 SQ. FT.
SECOND FLOOR		783.20 SQ. FT.

AREA-N1	11'-11 1/2" x 5'-0 1/2"	60.29 SQ. FT.
DECK		60.29 SQ. FT.

AREA-P1	11'-7 1/4" x 6"	5.80 SQ. FT.
EXTERIOR PROJECTIONS		5.80 SQ. FT.

F.A.R. TOTAL AREA (SECOND FLOOR LIVING + EXTERIOR PROJECTIONS + DECK)		849 SQ. FT.
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THIRD FLOOR PLAN

AREA-Q1	11'-7 1/4" x 1'-0"	11.60 SQ. FT.
AREA-R1	17'-1" x 24'-6 1/2"	419.25 SQ. FT.
AREA-S1	13'-5 3/4" x 8'-3 1/2"	111.76 SQ. FT.
AREA-T1	17'-1" x 12'-4"	210.69 SQ. FT.
THIRD FLOOR		753.30 SQ. FT.

AREA-U1	11'-11 1/2" x 5'-0 1/2"	60.29 SQ. FT.
DECK		60.29 SQ. FT.

AREA-V1	11'-7 1/4" x 6"	5.80 SQ. FT.
EXTERIOR PROJECTIONS		5.80 SQ. FT.

F.A.R. TOTAL AREA (THIRD FLOOR LIVING + EXTERIOR PROJECTIONS + DECK)		819 SQ. FT.
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AREAS COUNTED FOR UNIT SQUARE FOOTAGE

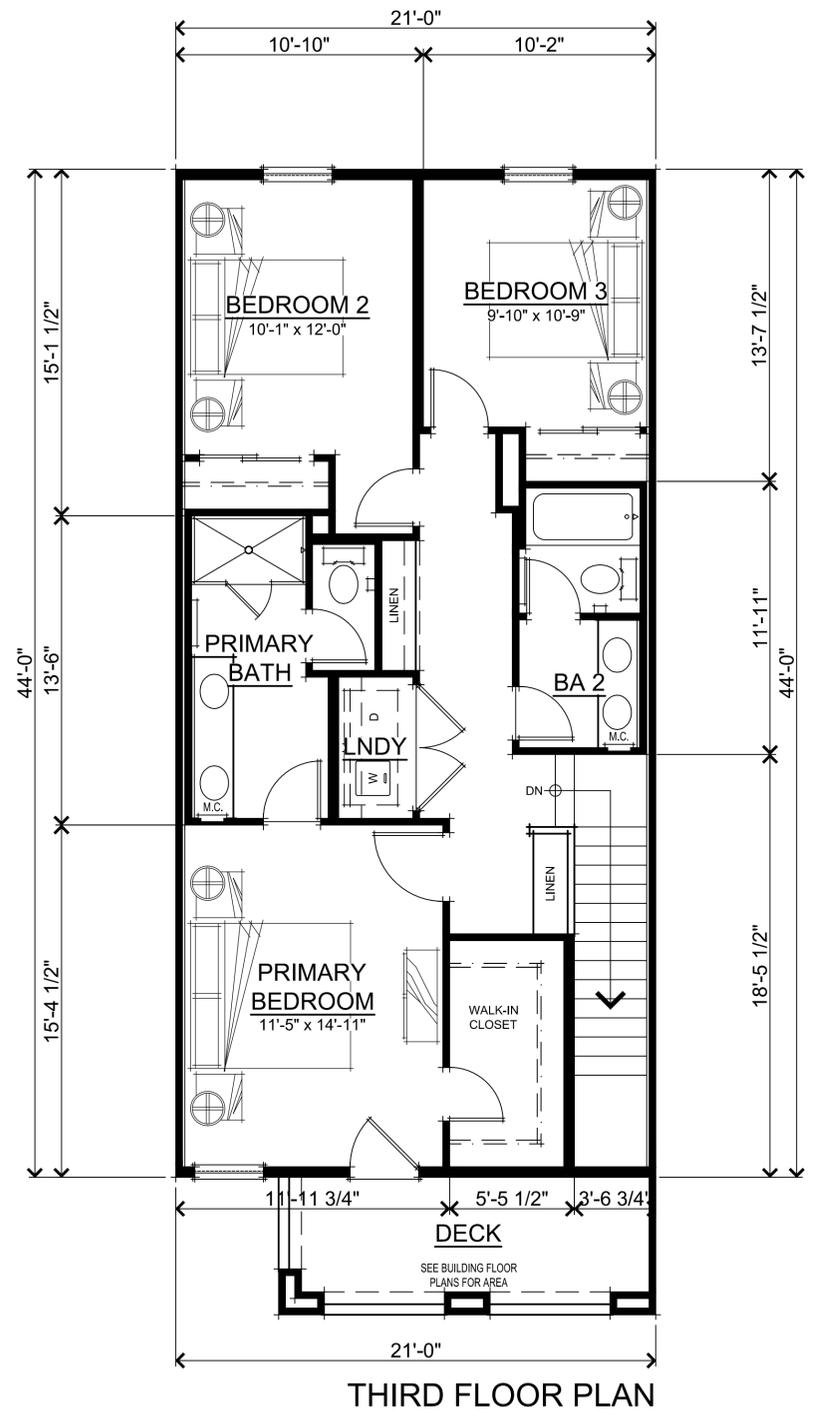
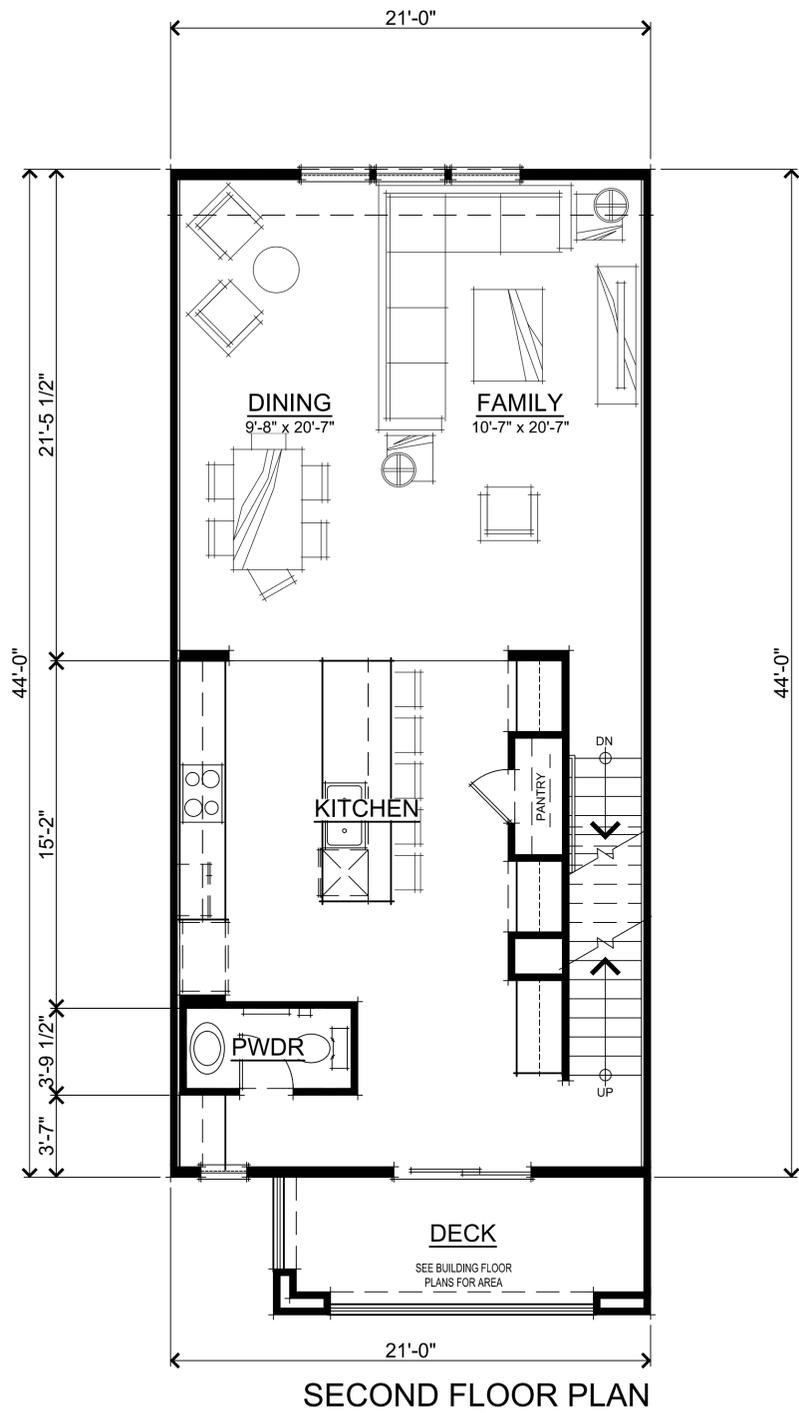
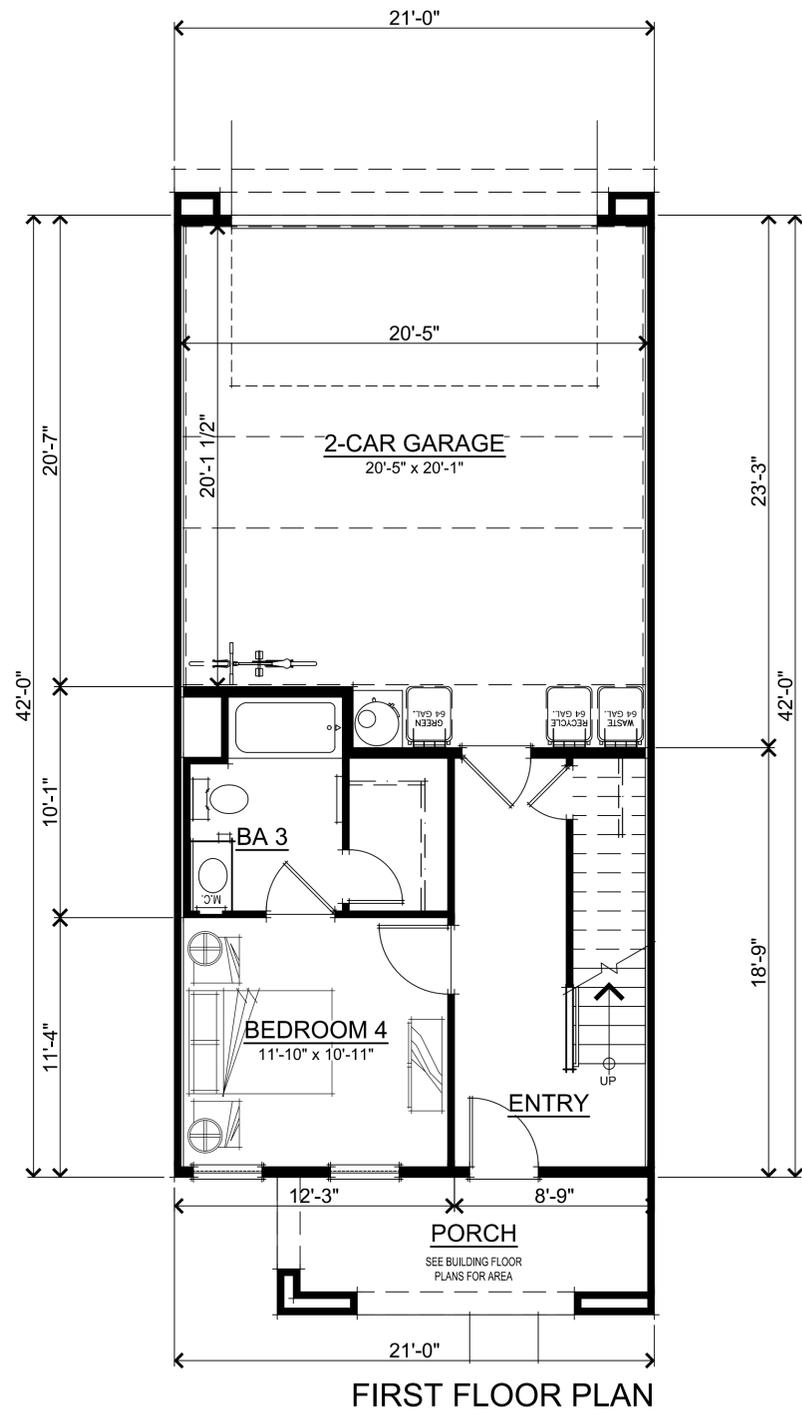
AREAS COUNTED FOR UNCONDITIONED GARAGE



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**UNIT 1: TOTAL SQ. FT. CONTRIBUTING TO F.A.R. = 2,542 SQ. FT.**

UNIT 1 (BELOW MARKET RATE) SQUARE FOOTAGE DIAGRAMS  
A11.1



UNIT 2 SQUARE FOOTAGES	
FIRST FLOOR	416 SQ. FT.
SECOND FLOOR	928 SQ. FT.
THIRD FLOOR	873 SQ. FT.
TOTAL LIVING	2217 SQ. FT.
2-CAR GARAGE	469 SQ. FT.



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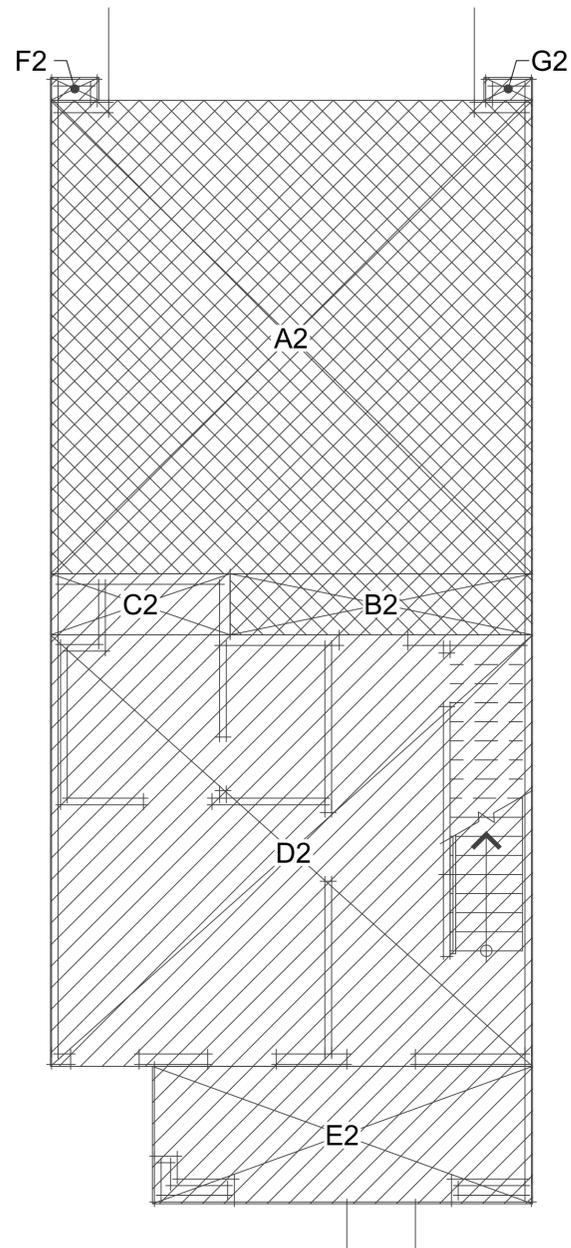
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**UNIT 2 FLOOR PLANS**  
A12

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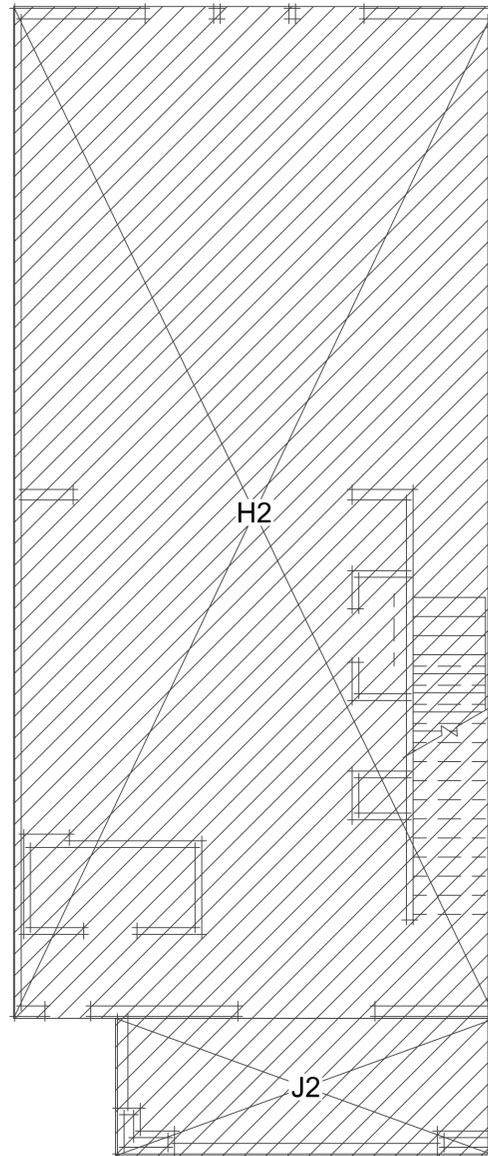
FIRST FLOOR PLAN

AREA-A2	21'-1" x 20'-8"	435.72 SQ. FT.
AREA-B2	13'-2 3/4" x 2'-8"	35.28 SQ. FT.
GARAGE		471.00 SQ. FT.
AREA-C2	7'-10 1/4" x 2'-8"	20.94 SQ. FT.
AREA-D2	21'-1" x 18'-10"	397.07 SQ. FT.
FIRST FLOOR		418.01 SQ. FT.

AREA-E2	16'-7 1/2" x 6'-0"	99.75 SQ. FT.
PORCH		99.75 SQ. FT.

AREA-F2	2'-1 1/2" x 1'-0"	2.12 SQ. FT.
AREA-G2	2'-1 1/2" x 1'-0"	2.12 SQ. FT.
EXTERIOR PROJECTIONS		4.24 SQ. FT.

F.A.R. TOTAL AREA (FIRST FLOOR LIVING + EXTERIOR PROJECTIONS + PORCH + GARAGE) **848 SQ. FT.**

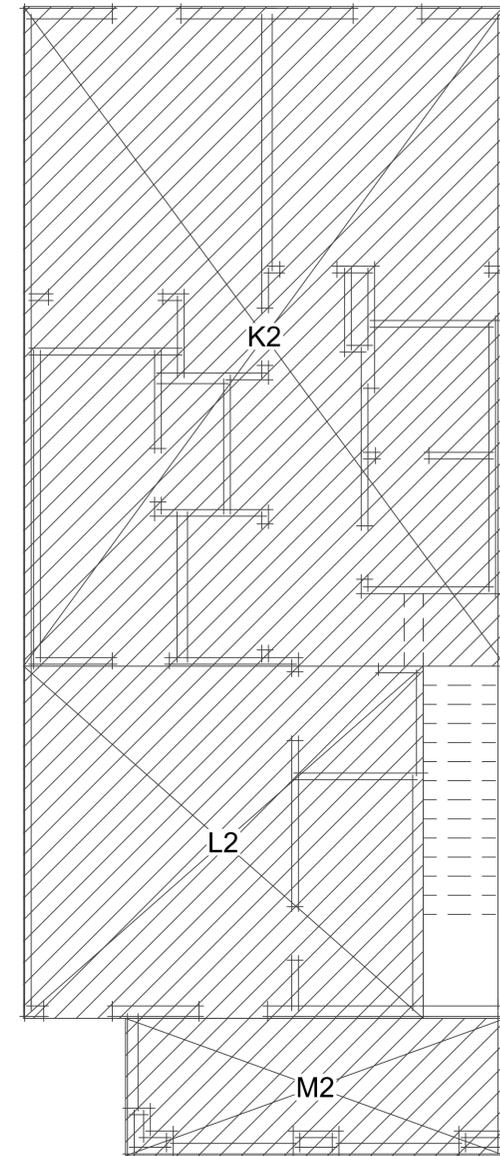


SECOND FLOOR PLAN

AREA-H2	21'-1" x 44'-2"	931.18 SQ. FT.
SECOND FLOOR		931.18 SQ. FT.

AREA-J2	16'-7 1/2" x 6'-0"	99.75 SQ. FT.
DECK		99.75 SQ. FT.

F.A.R. TOTAL AREA (SECOND FLOOR LIVING + DECK) **1,031 SQ. FT.**



THIRD FLOOR PLAN

AREA-K2	21'-1" x 28'-9 1/2"	607.02 SQ. FT.
AREA-L2	17'-5 3/4" x 15'-4 1/2"	268.74 SQ. FT.
THIRD FLOOR		875.76 SQ. FT.

AREA-M2	16'-7 1/2" x 6'-0"	99.75 SQ. FT.
DECK		99.75 SQ. FT.

F.A.R. TOTAL AREA (THIRD FLOOR LIVING + DECK) **976 SQ. FT.**

AREAS COUNTED FOR UNIT SQUARE FOOTAGE

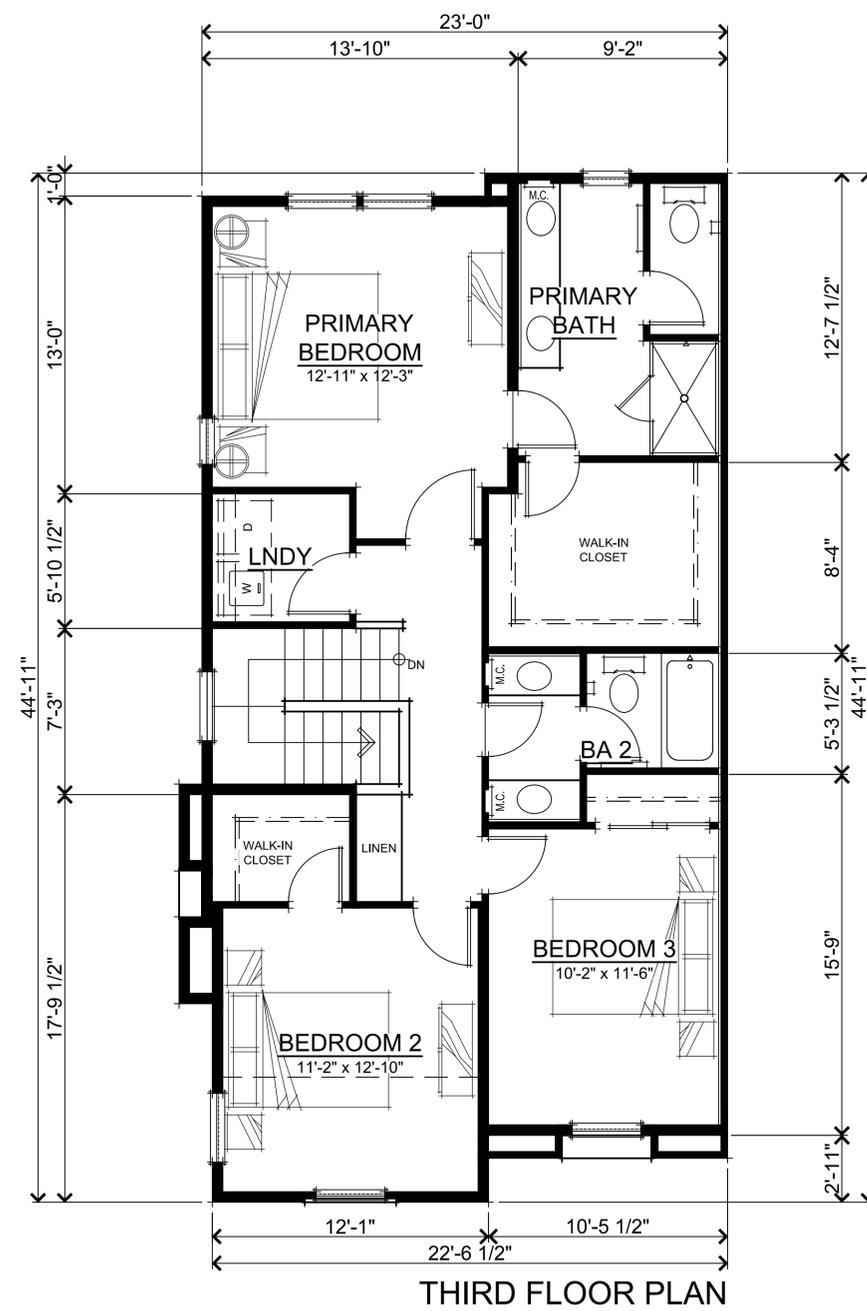
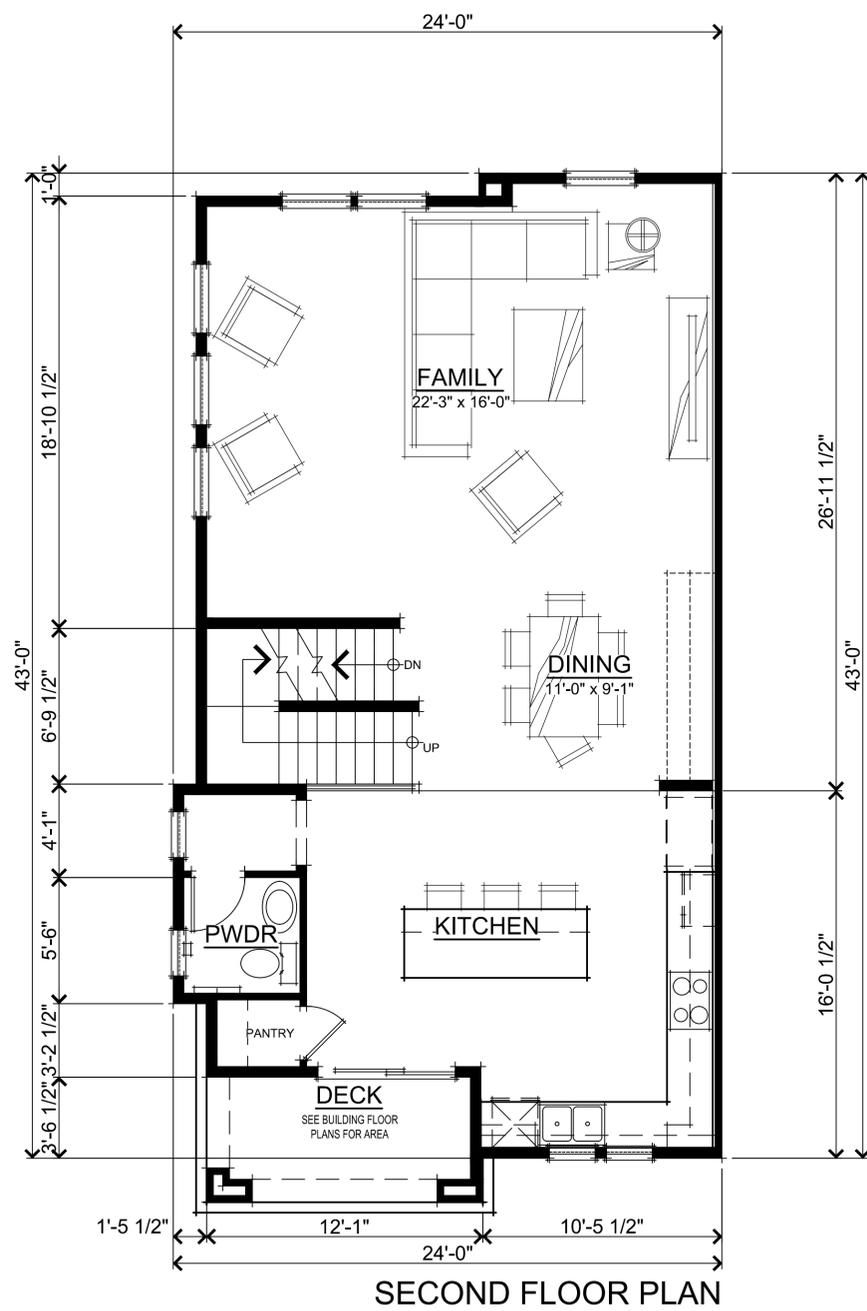
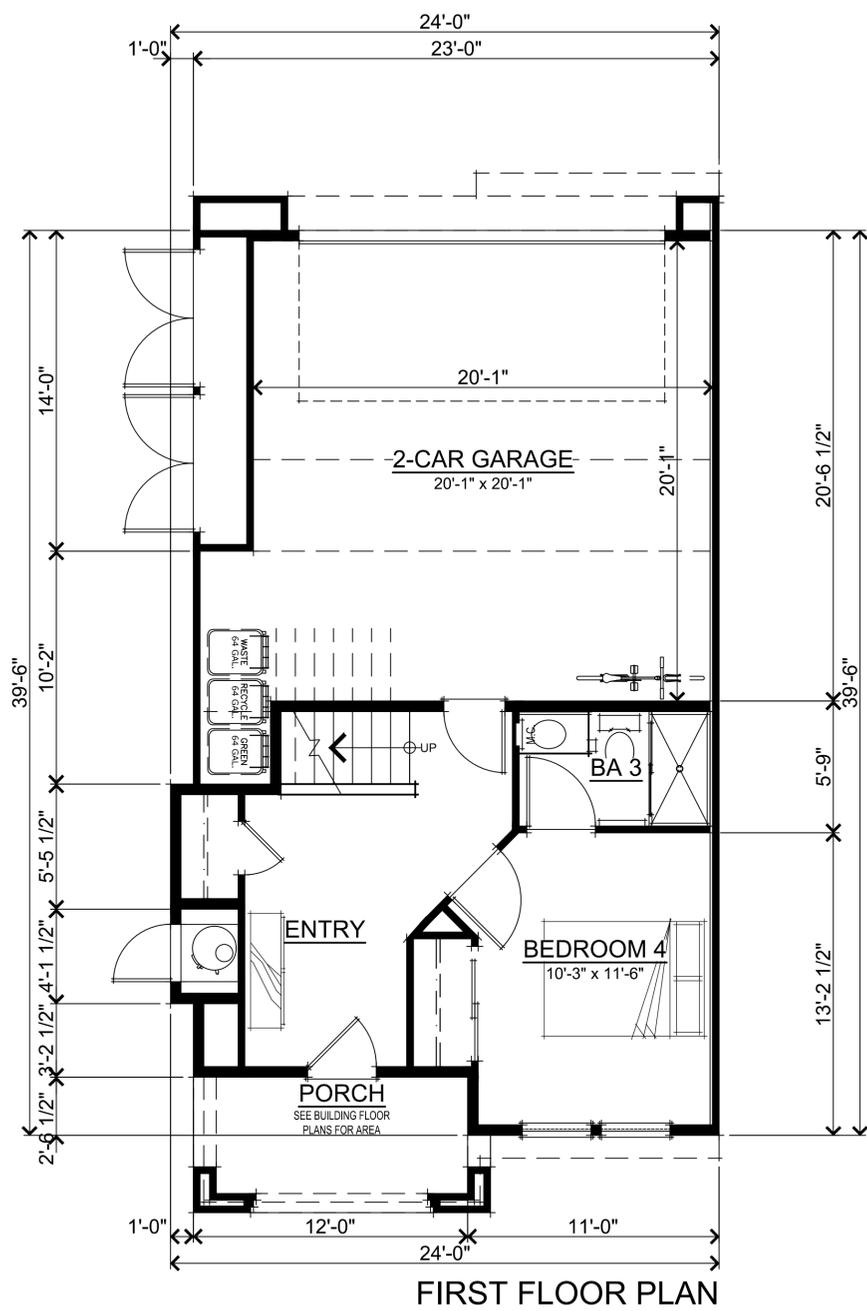
AREAS COUNTED FOR UNCONDITIONED GARAGE



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**UNIT 2: TOTAL SQ. FT. CONTRIBUTING TO F.A.R. = 2,855 SQ. FT.**

UNIT 2 SQUARE FOOTAGE DIAGRAMS  
A12.1

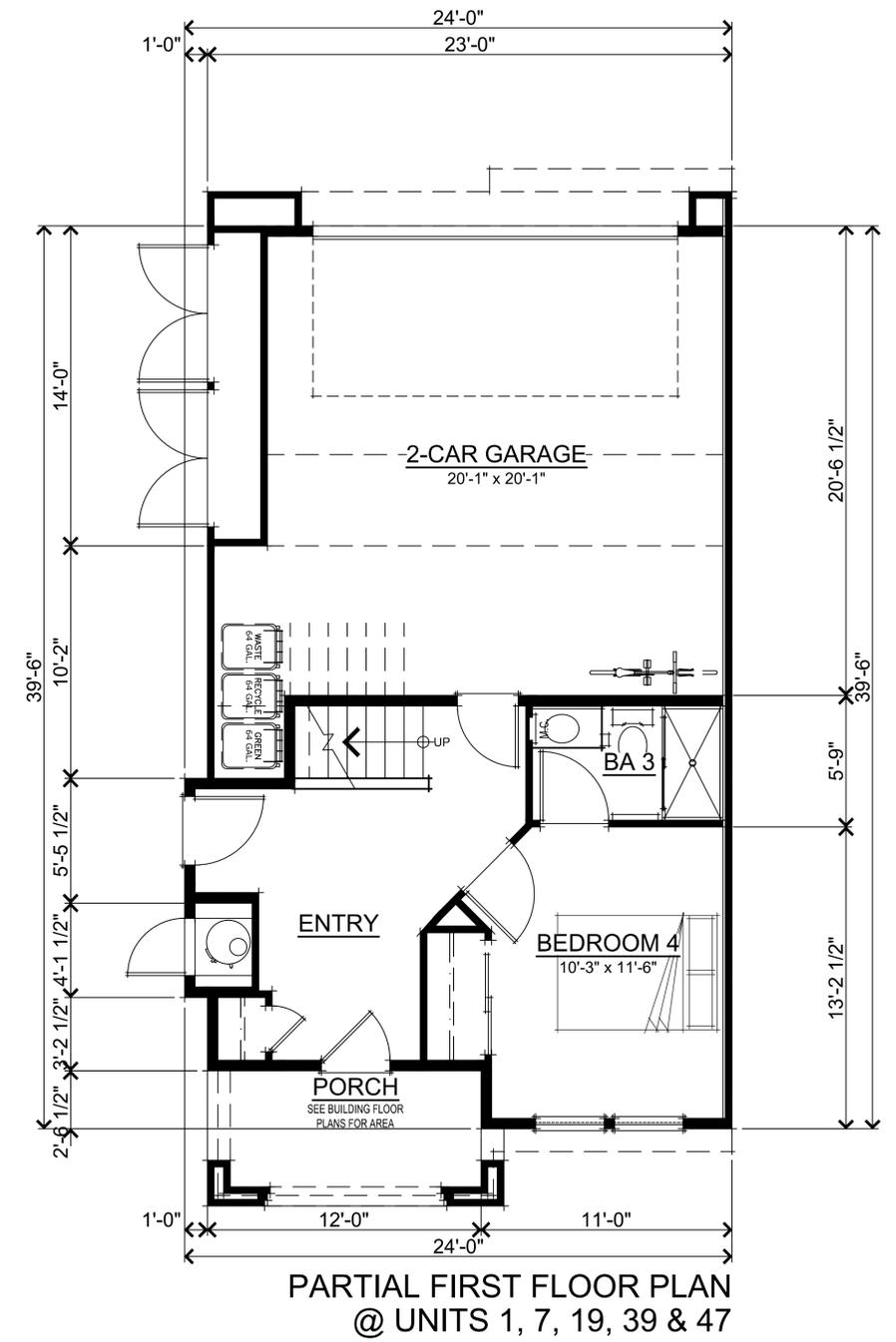


UNIT 3 SQUARE FOOTAGES	
FIRST FLOOR	404 SQ. FT.
SECOND FLOOR	943 SQ. FT.
THIRD FLOOR	970 SQ. FT.
TOTAL LIVING	2317 SQ. FT.
2-CAR GARAGE	447 SQ. FT.



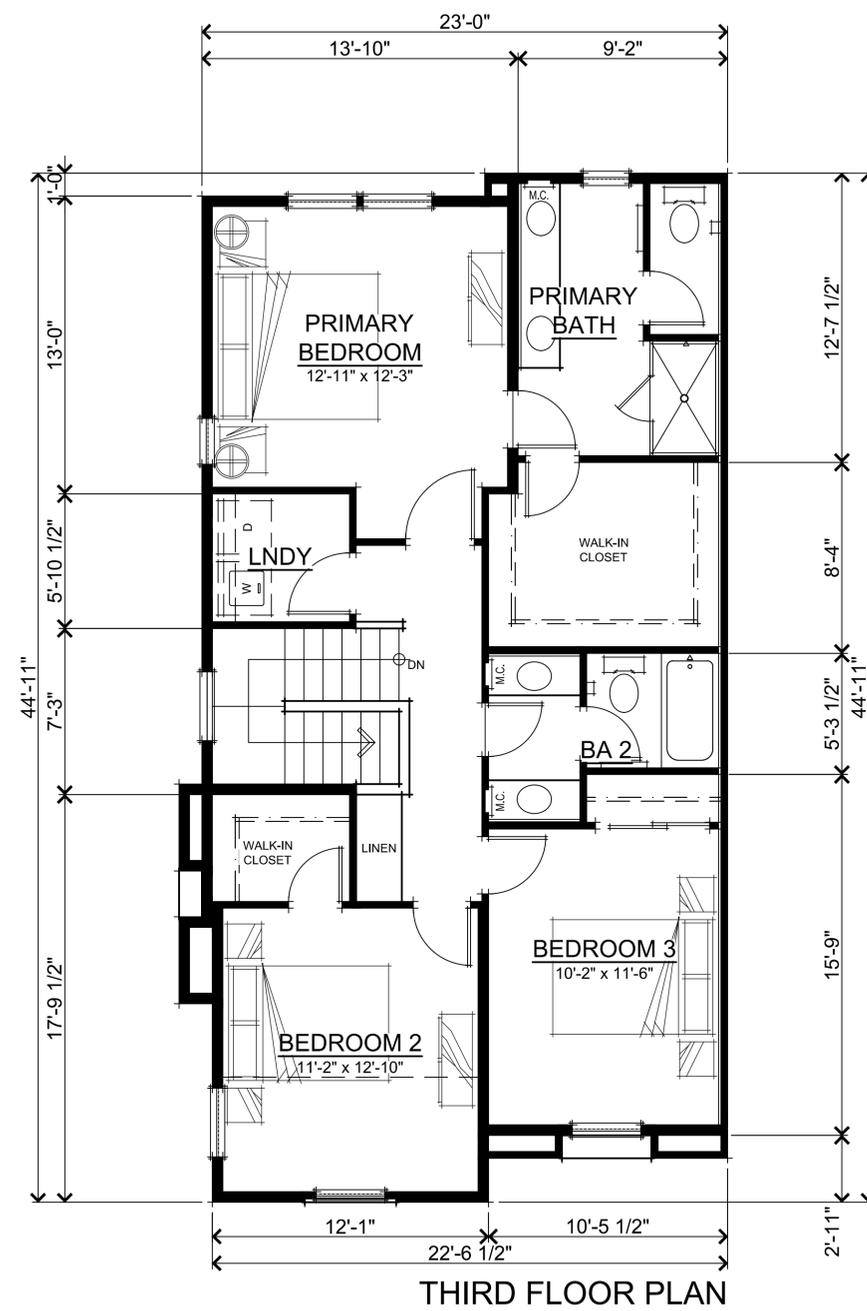
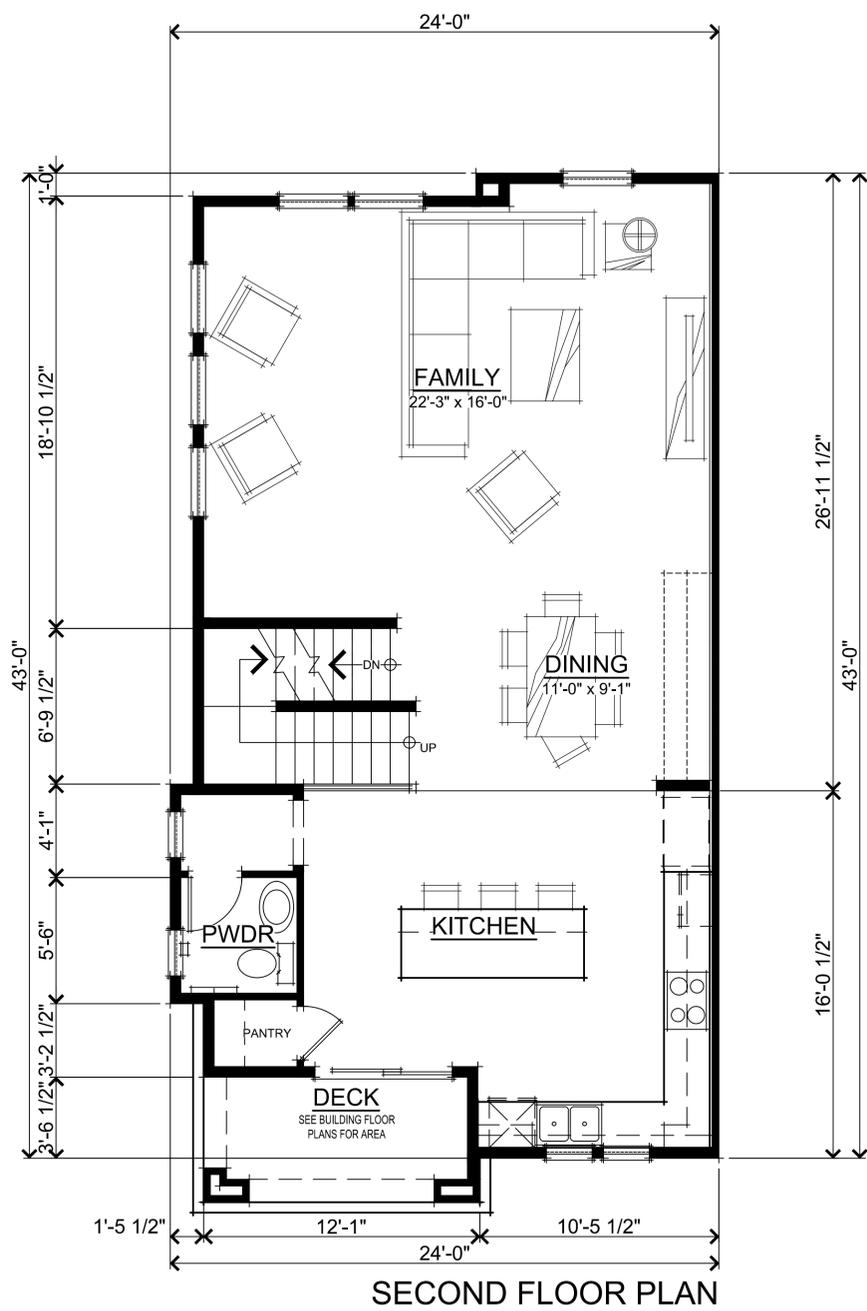
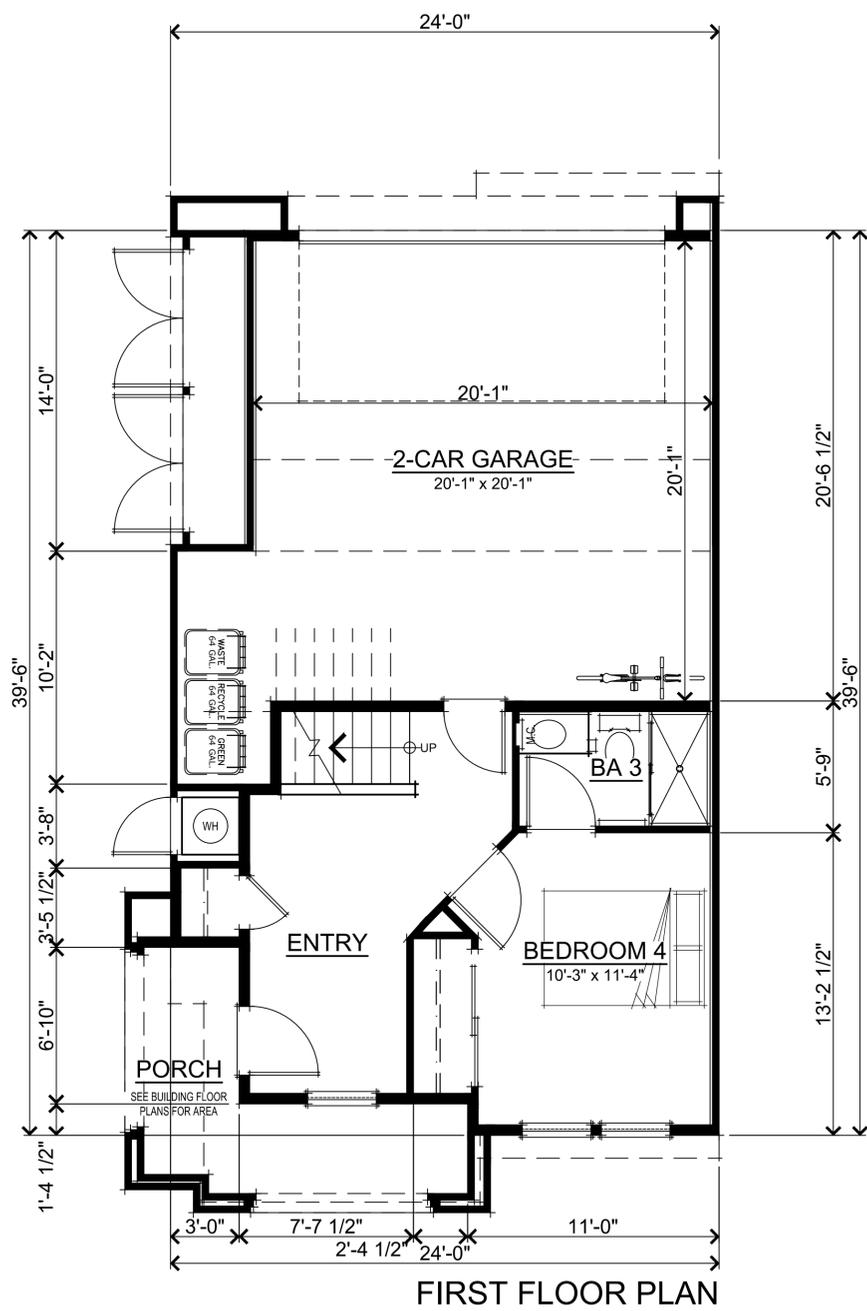
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UNIT 3 FLOOR PLANS  
A13



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UNIT 3 PARTIAL FIRST FLOOR PLAN  
A13.1



UNIT 3 ALT SQUARE FOOTAGES	
FIRST FLOOR	402 SQ. FT.
SECOND FLOOR	943 SQ. FT.
THIRD FLOOR	970 SQ. FT.
TOTAL LIVING	2315 SQ. FT.
2-CAR GARAGE	464 SQ. FT.



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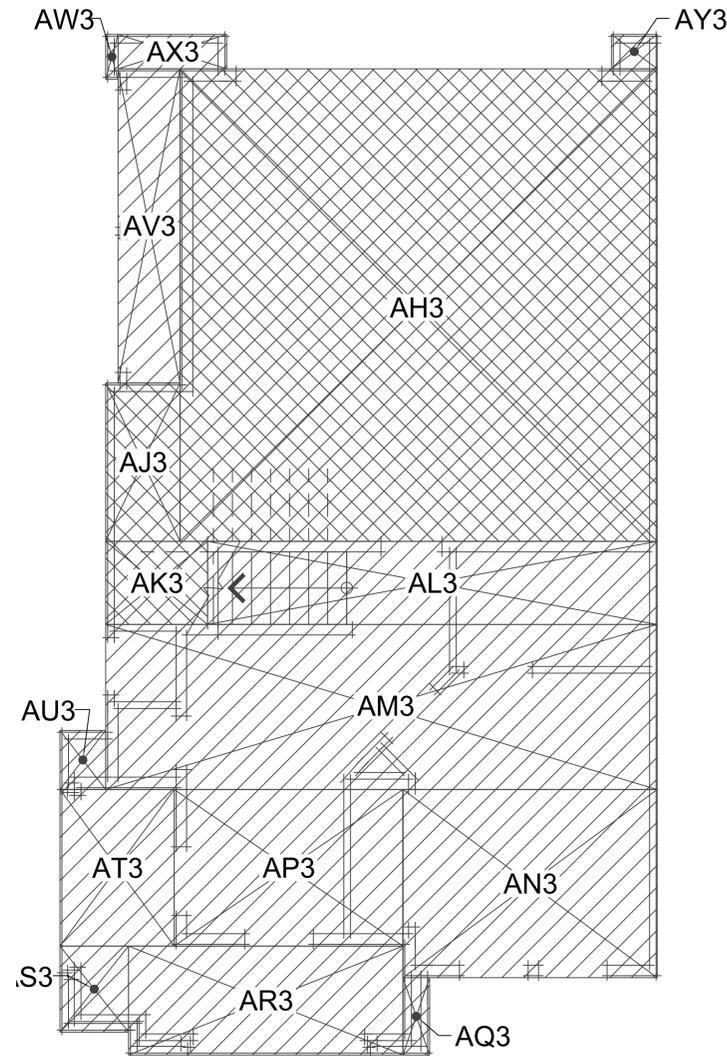
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UNIT 3 ALT FLOOR PLANS  
A13.2

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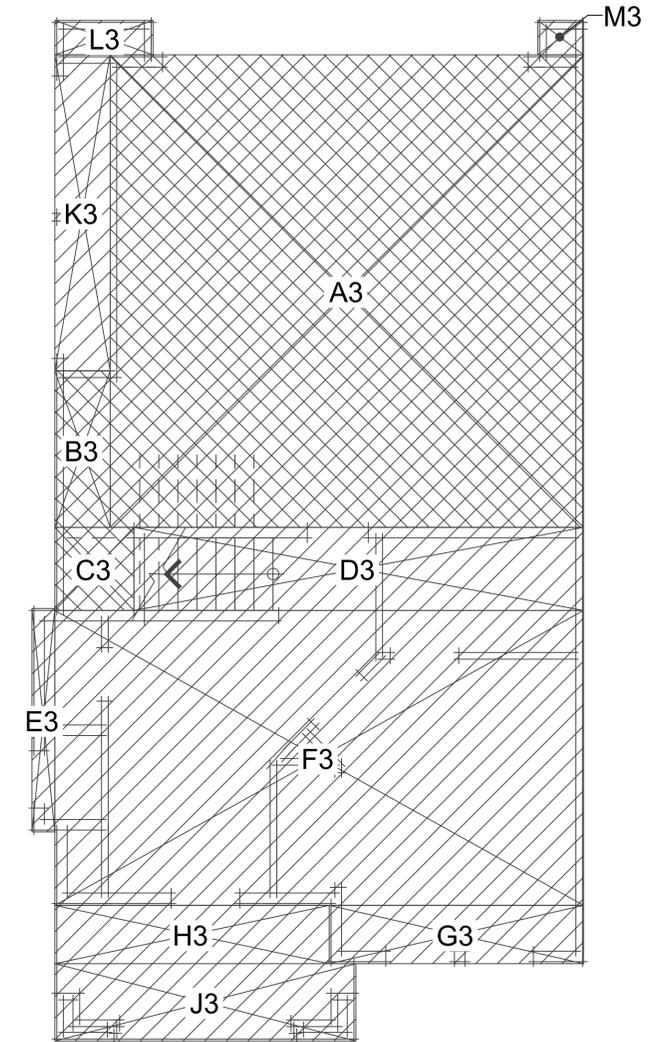


**UNIT 3 ALT  
FIRST FLOOR PLAN**

AREA-AH3	20'-10 1/2" x 20'-7 1/2"	430.54 SQ. FT.
AREA-AJ3	3'-3" x 6'-11"	22.47 SQ. FT.
AREA-AK3	4'-5 1/2" x 3'-7 1/2"	16.16 SQ. FT.
GARAGE		469.17 SQ. FT.
AREA-AL3	19'-8" x 3'-7 1/2"	71.29 SQ. FT.
AREA-AM3	24'-1 1/2" x 7'-2 1/2"	173.90 SQ. FT.
AREA-AN3	11'-1 1/2" x 8'-2 1/2"	91.31 SQ. FT.
AREA-AP3	10'-0" x 6'-10"	68.33 SQ. FT.
FIRST FLOOR		404.83 SQ. FT.

AREA-AQ3	1'-2" x 3'-4 1/2"	3.93 SQ. FT.
AREA-AR3	12'-0" x 4'-9"	57.00 SQ. FT.
AREA-AS3	3'-0" x 3'-9"	11.25 SQ. FT.
AREA-AT3	5'-0" x 6'-10"	34.16 SQ. FT.
AREA-AU3	2'-0" x 2'-7"	5.16 SQ. FT.
PORCH		111.50 SQ. FT.
AREA-AV3	2'-8 1/2" x 13'-8 1/2"	37.12 SQ. FT.
AREA-AW3	6 1/2" x 1'-11 1/2"	1.06 SQ. FT.
AREA-AX3	4'-9" x 1'-6"	7.12 SQ. FT.
AREA-AY3	2'-0" x 1'-6"	3.00 SQ. FT.
EXTERIOR PROJECTIONS		48.30 SQ. FT.

**F.A.R. TOTAL AREA (FIRST FLOOR LIVING + EXTERIOR PROJECTIONS + PORCH + GARAGE) 1,034 SQ. FT.**



**FIRST FLOOR PLAN**

AREA-A3	20'-8 1/2" x 20'-7 1/2"	427.10 SQ. FT.
AREA-B3	2'-5" x 6'-10"	16.51 SQ. FT.
AREA-C3	3'-5 1/2" x 3'-7 1/2"	12.53 SQ. FT.
GARAGE		456.14 SQ. FT.
AREA-D3	19'-8" x 3'-7 1/2"	71.29 SQ. FT.
AREA-E3	1'-0" x 9'-9"	9.75 SQ. FT.
AREA-F3	23'-1 1/2" x 12'-10 1/2"	297.73 SQ. FT.
AREA-G3	11'-1 1/2" x 2'-6 1/2"	28.27 SQ. FT.
FIRST FLOOR		407.04 SQ. FT.

AREA-H3	12'-0" x 2'-6 1/2"	30.50 SQ. FT.
AREA-J3	13'-2" x 3'-4 1/2"	44.43 SQ. FT.
PORCH		74.93 SQ. FT.
AREA-K3	2'-5" x 13'-9 1/2"	33.32 SQ. FT.
AREA-L3	4'-3 1/2" x 1'-6"	6.43 SQ. FT.
AREA-M3	2'-0" x 1'-6"	3.00 SQ. FT.
EXTERIOR PROJECTIONS		42.75 SQ. FT.

**F.A.R. TOTAL AREA (FIRST FLOOR LIVING + EXTERIOR PROJECTIONS + PORCH + GARAGE) 981 SQ. FT.**

AREAS COUNTED FOR UNIT SQUARE FOOTAGE

AREAS COUNTED FOR UNCONDITIONED GARAGE



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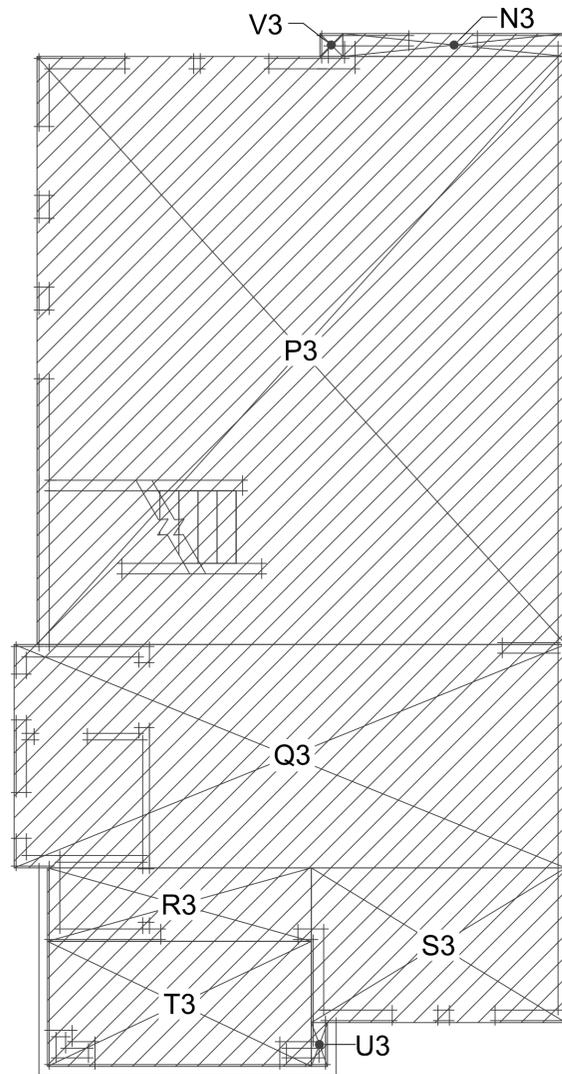
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SECOND FLOOR PLAN

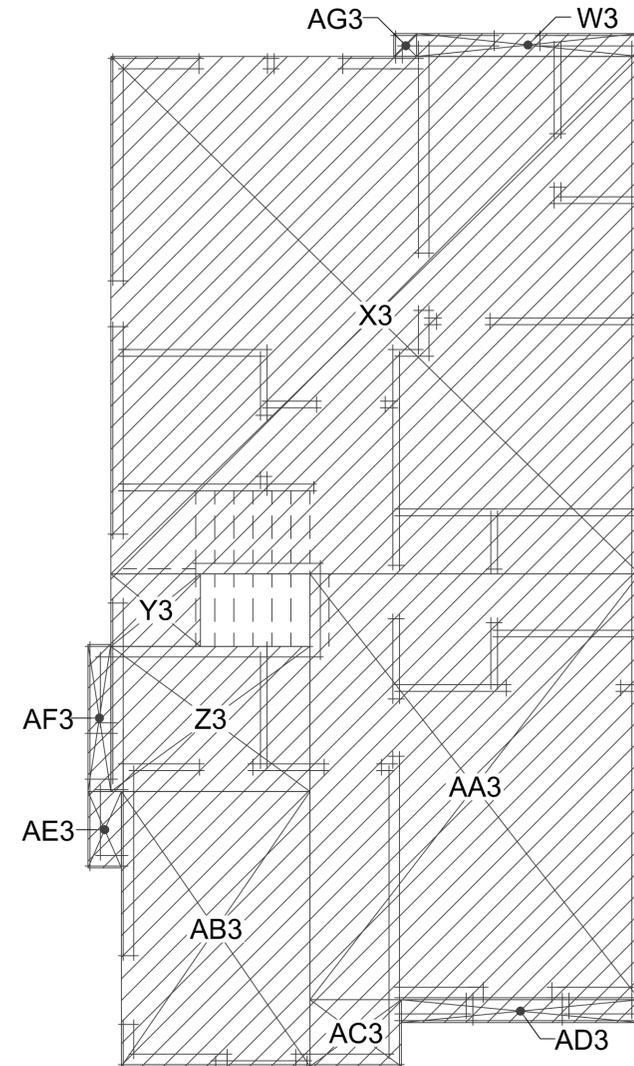
AREA-N3	9'-9" x 1'-0"	9.75 SQ. FT.
AREA-P3	23'-1 1/2" x 25'-8"	593.54 SQ. FT.
AREA-Q3	24'-1 1/2" x 9'-9"	235.21 SQ. FT.
AREA-R3	11'-6 1/2" x 3'-2 1/2"	37.02 SQ. FT.
AREA-S3	11'-1 1/2" x 6'-9"	75.09 SQ. FT.
SECOND FLOOR		950.61 SQ. FT.

AREA-T3	11'-6 1/2" x 5'-5 1/2"	62.99 SQ. FT.
AREA-U3	8 1/2" x 1'-11"	1.35 SQ. FT.
DECK		64.34 SQ. FT.

AREA-V3	1'-0" x 1'-0"	1.00 SQ. FT.
EXTERIOR PROJECTIONS		1.00 SQ. FT.

F.A.R. TOTAL AREA (SECOND FLOOR LIVING + EXTERIOR PROJECTIONS + DECK)		1,016 SQ. FT.
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**UNIT 3: TOTAL SQ. FT. CONTRIBUTING TO F.A.R. = 2,998 SQ. FT.**  
**UNIT 3 ALT: TOTAL SQ. FT. CONTRIBUTING TO F.A.R. = 3,051 SQ. FT.**



THIRD FLOOR PLAN

AREA-W3	9'-9" x 1'-0"	9.75 SQ. FT.
AREA-X3	23'-1 1/2" x 22'-7"	522.23 SQ. FT.
AREA-Y3	3'-11" x 3'-2"	12.40 SQ. FT.
AREA-Z3	8'-8 1/2" x 6'-4"	55.15 SQ. FT.
AREA-AA3	14'-5" x 18'-7"	267.90 SQ. FT.
AREA-AB3	8'-3" x 12'-0"	99.00 SQ. FT.
AREA-AC3	4'-0" x 2'-11"	11.66 SQ. FT.
THIRD FLOOR		978.09 SQ. FT.

AREA-AD3	10'-5" x 1'-0"	10.41 SQ. FT.
AREA-AE3	1'-5 1/2" x 3'-4"	4.86 SQ. FT.
AREA-AF3	1'-0" x 6'-5"	6.41 SQ. FT.
AREA-AG3	1'-0" x 1'-0"	1.00 SQ. FT.
EXTERIOR PROJECTIONS		22.68 SQ. FT.

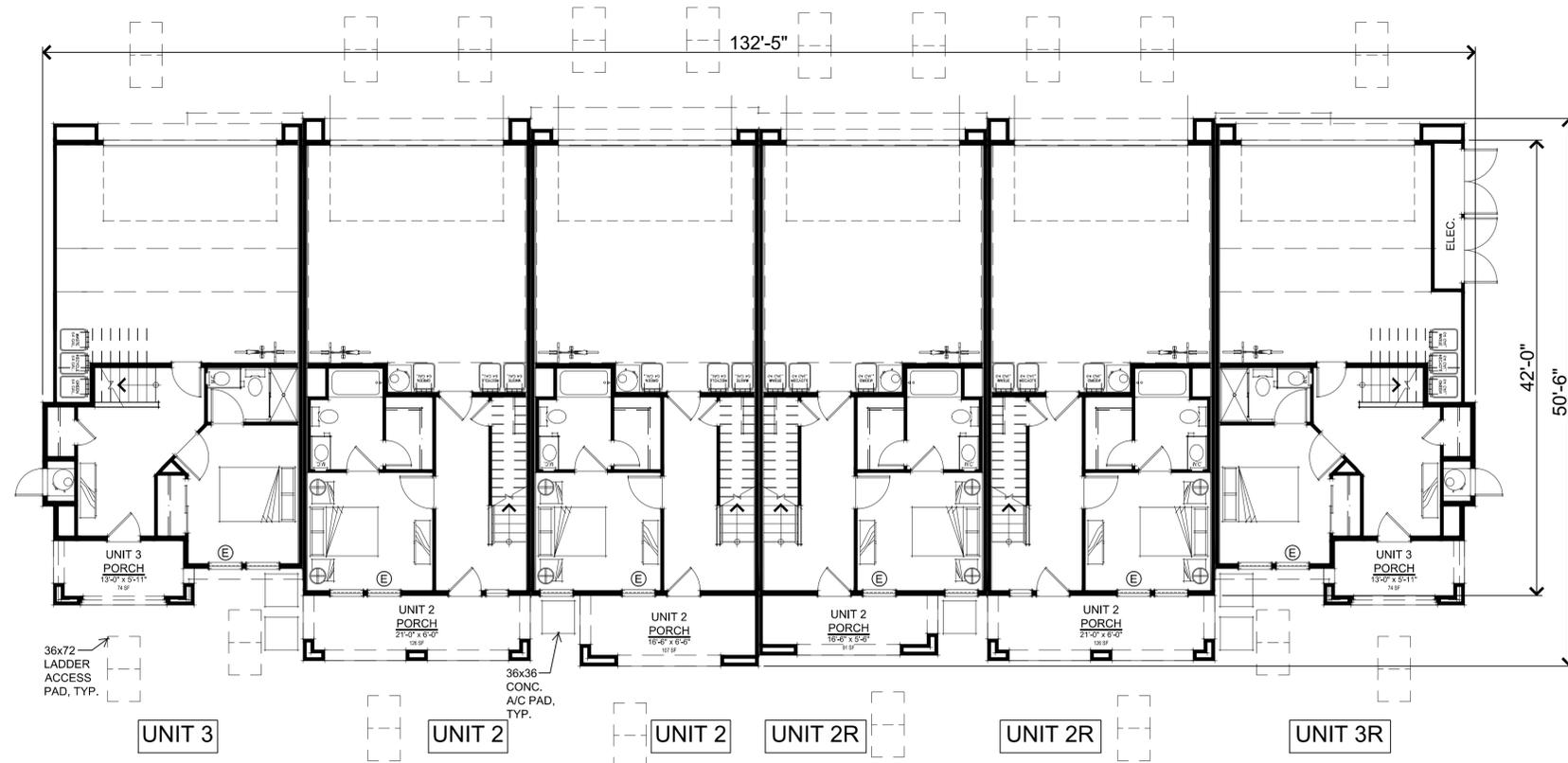
F.A.R. TOTAL AREA (THIRD FLOOR LIVING + EXTERIOR PROJECTIONS)		1,001 SQ. FT.
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AREAS COUNTED FOR UNIT SQUARE FOOTAGE

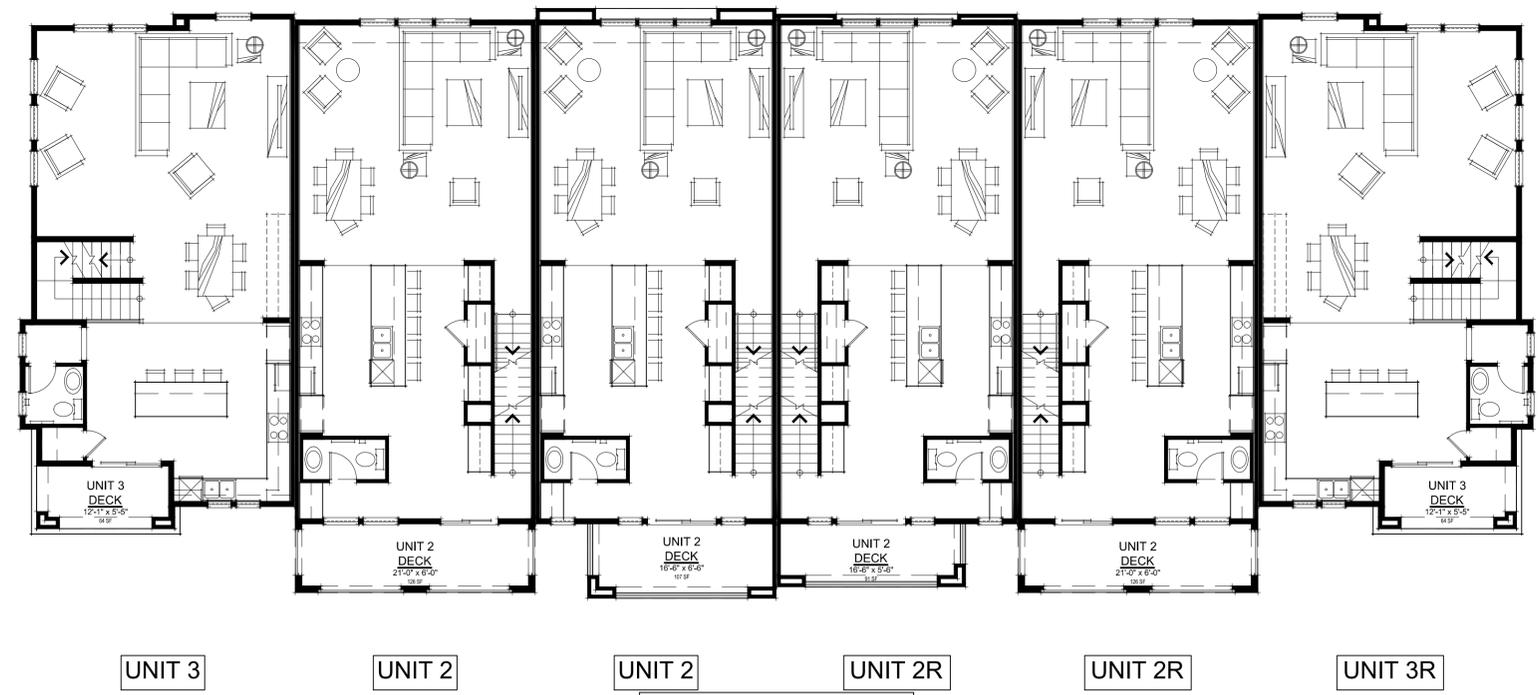
AREAS COUNTED FOR UNCONDITIONED GARAGE



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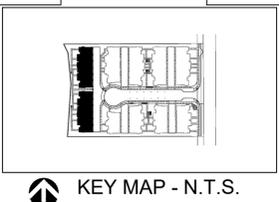
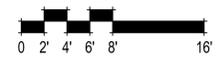


FIRST FLOOR PLAN



SECOND FLOOR PLAN

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



KEY MAP - N.T.S.

BUILDING 1	
1st FLOOR ELEVATION	396.5
2nd FLOOR ELEVATION	406.2
3rd FLOOR ELEVATION	416.5

BUILDING 6	
1st FLOOR ELEVATION	397.2
2nd FLOOR ELEVATION	406.9
3rd FLOOR ELEVATION	417.2

NOTE: THESE ELEVATIONS REFLECT THE USGS VERTICAL DATUM AND ARE ALSO SHOWN ON THE EXTERIOR ELEVATION SHEET A14.3.

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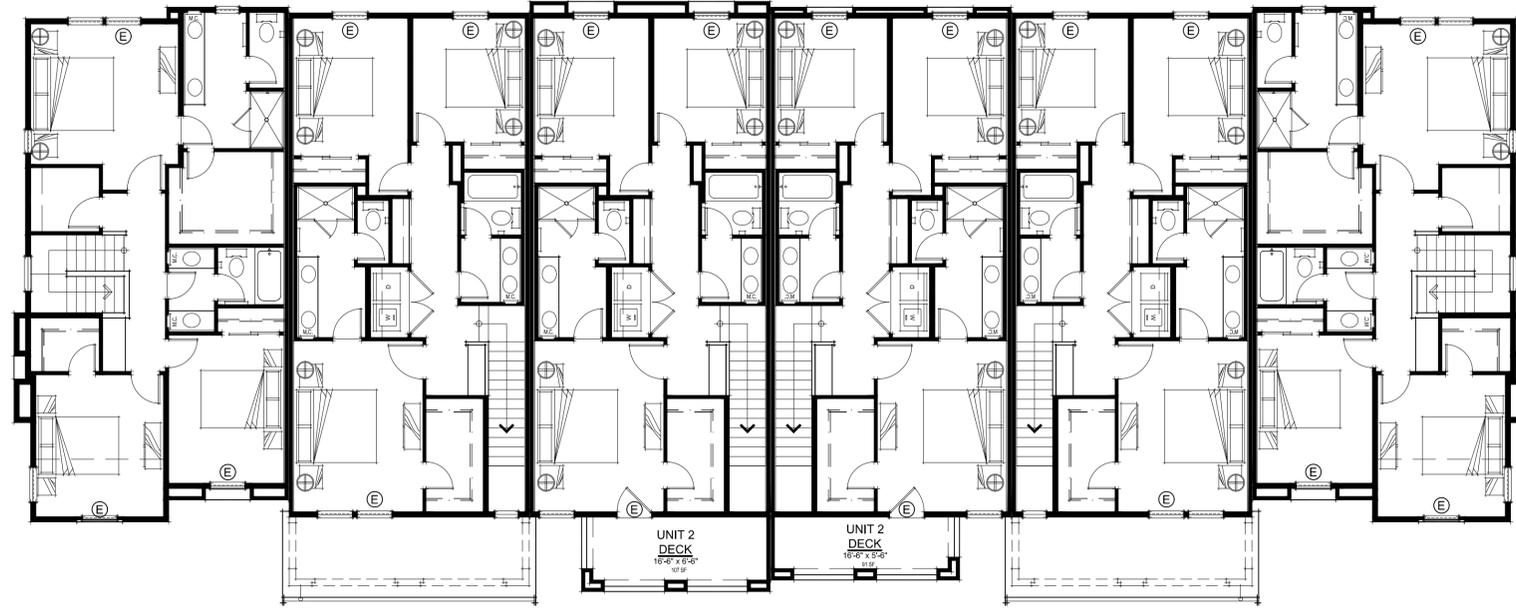
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**3**  
**R** STUDIOS



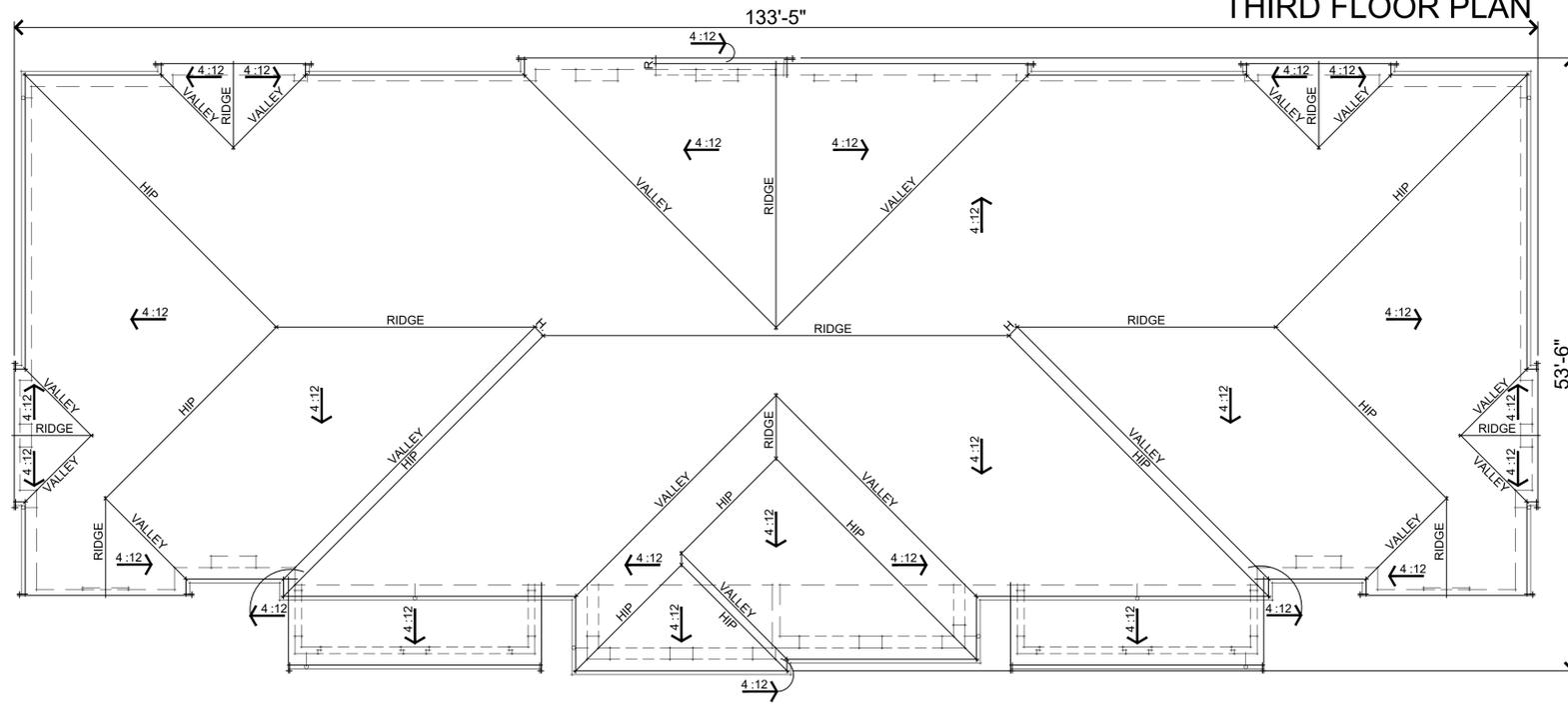
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UNIT 3      UNIT 2      UNIT 2      UNIT 2R      UNIT 2R      UNIT 3R

THIRD FLOOR PLAN

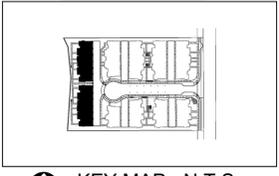
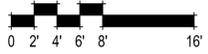


UNIT 3      UNIT 2      UNIT 2      UNIT 2R      UNIT 2R      UNIT 3R

ROOF PLAN

NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



KEY MAP - N.T.S.

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Cupertino, CA  
January 12, 2026

BUILDING 1 & 6 THIRD FLOOR & ROOF PLANS  
A14.1

BUILDING 1	
1st FLOOR ELEVATION	396.5
2nd FLOOR ELEVATION	406.2
3rd FLOOR ELEVATION	416.5

BUILDING 6	
1st FLOOR ELEVATION	397.2
2nd FLOOR ELEVATION	406.9
3rd FLOOR ELEVATION	417.2

NOTE: THESE ELEVATIONS REFLECT THE USGS VERTICAL DATUM AND ARE ALSO SHOWN ON THE EXTERIOR ELEVATION SHEET A14.3.



UNIT 3

UNIT 2

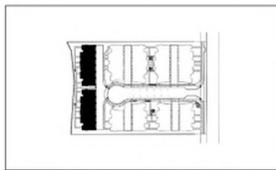
UNIT 2

UNIT 2R

UNIT 2R

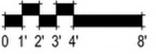
UNIT 3R

NOTE: THIS IS INTENDED TO BE A PICTORIAL ELEVATION ONLY.  
 DIMENSIONS & NOTES REQUESTED IN PLANNING COMMENTS FOR ALL  
 4 SIDES OF THIS BUILDING ARE SHOWN ON THE NEXT SHEET.



KEY MAP - N.T.S.

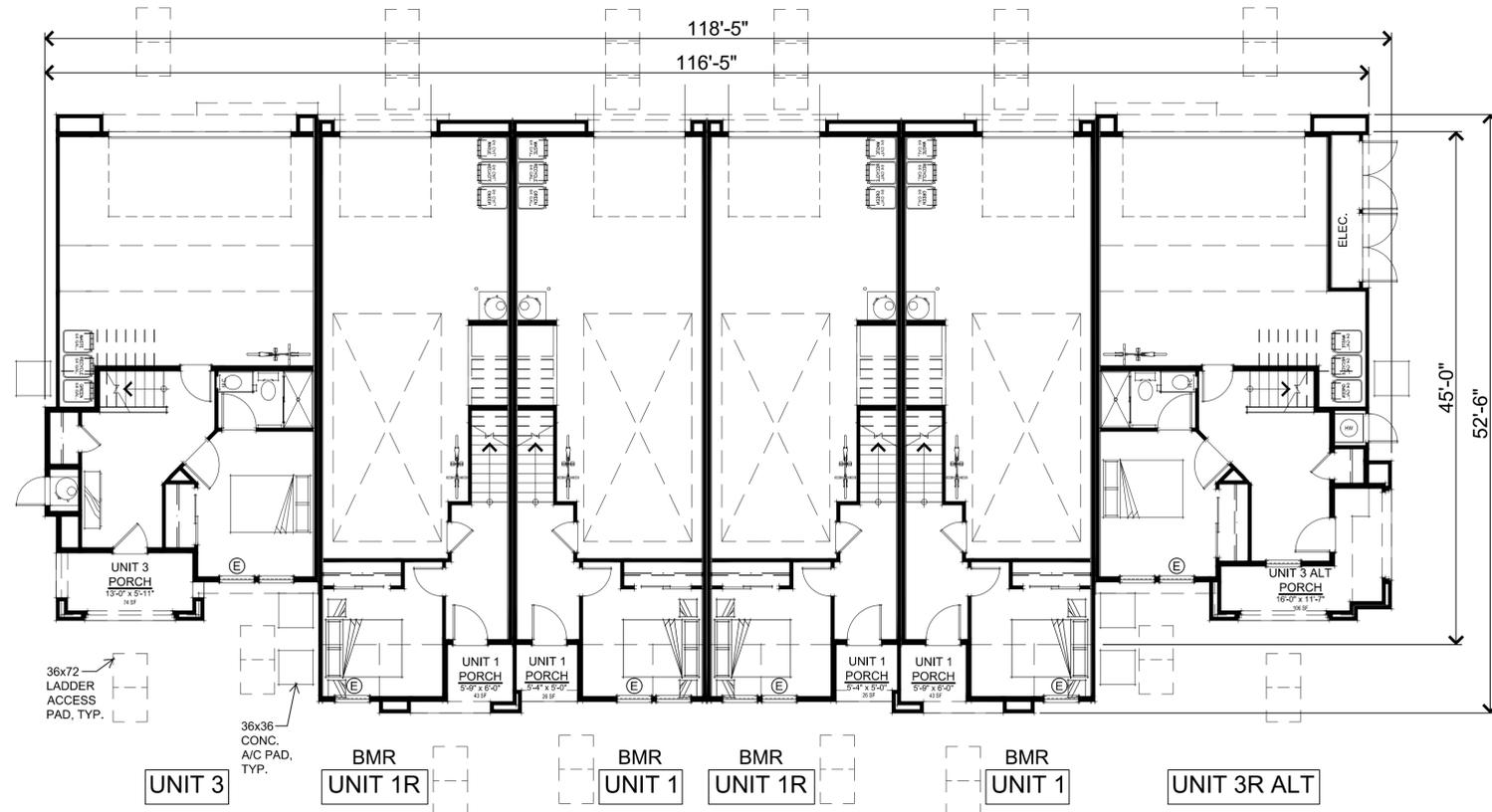
SEE ARCHITECTURAL SITE PLAN  
 FOR BUILDING SPECIFIC COLOR  
 SCHEMES



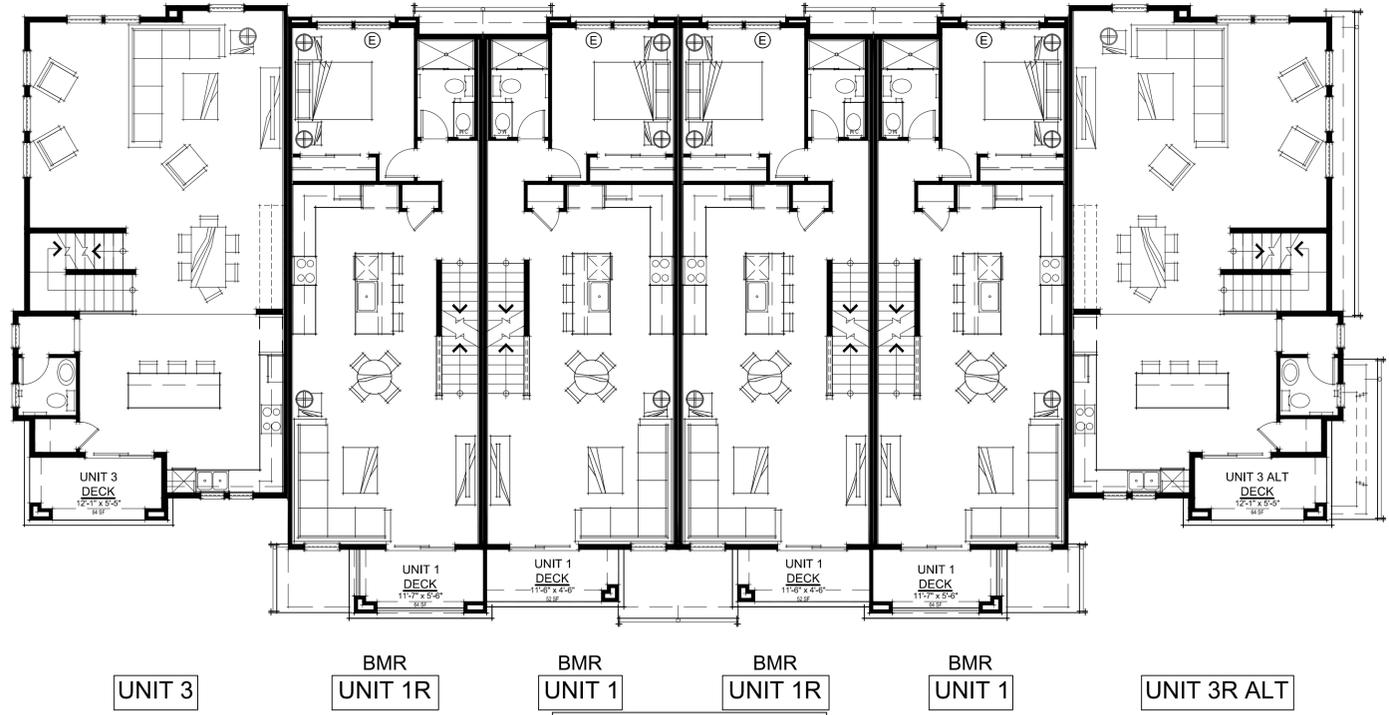
381.078 10857 Linda Vista Drive  
 Cupertino, CA  
 January 12, 2026

BUILDING 1 & 6 FRONT ELEVATION  
 A14.2





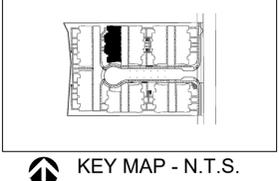
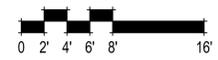
FIRST FLOOR PLAN



SECOND FLOOR PLAN

NOTE: SEE SHT. A07 FOR UNIT 1 BELOW MARKET RATE DISTRIBUTION ACROSS THE SITE.

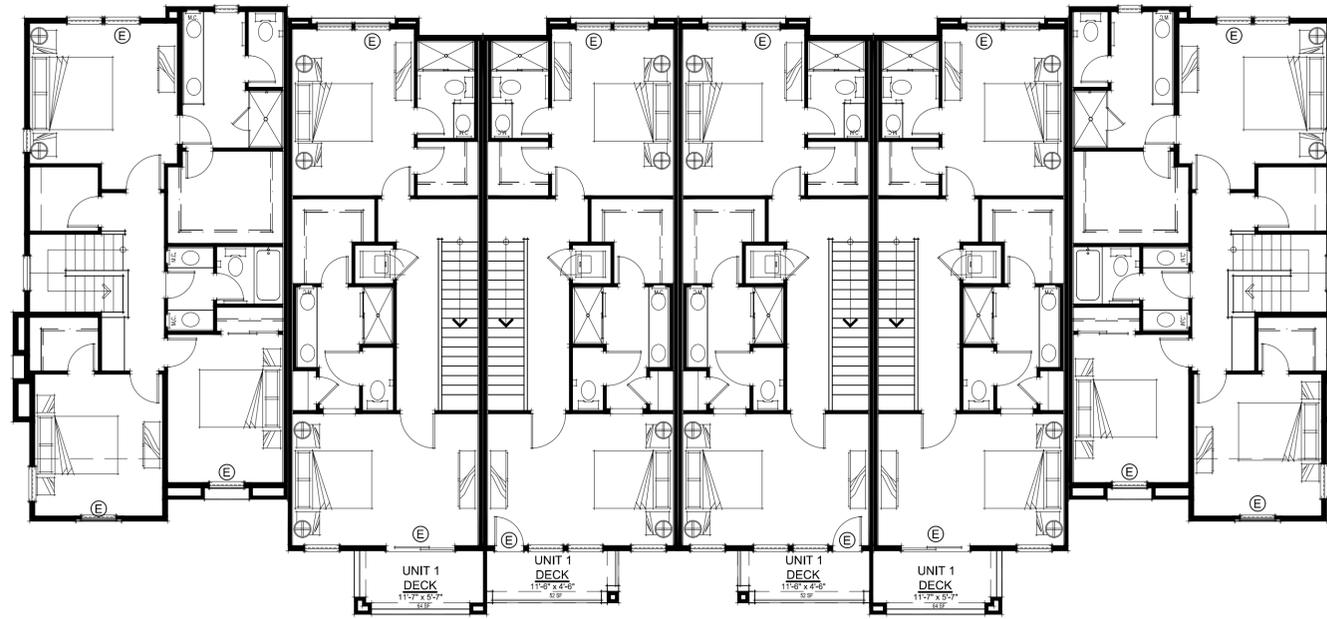
REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



BUILDING 2	
1st FLOOR ELEVATION	396.4
2nd FLOOR ELEVATION	406.1
3rd FLOOR ELEVATION	416.4

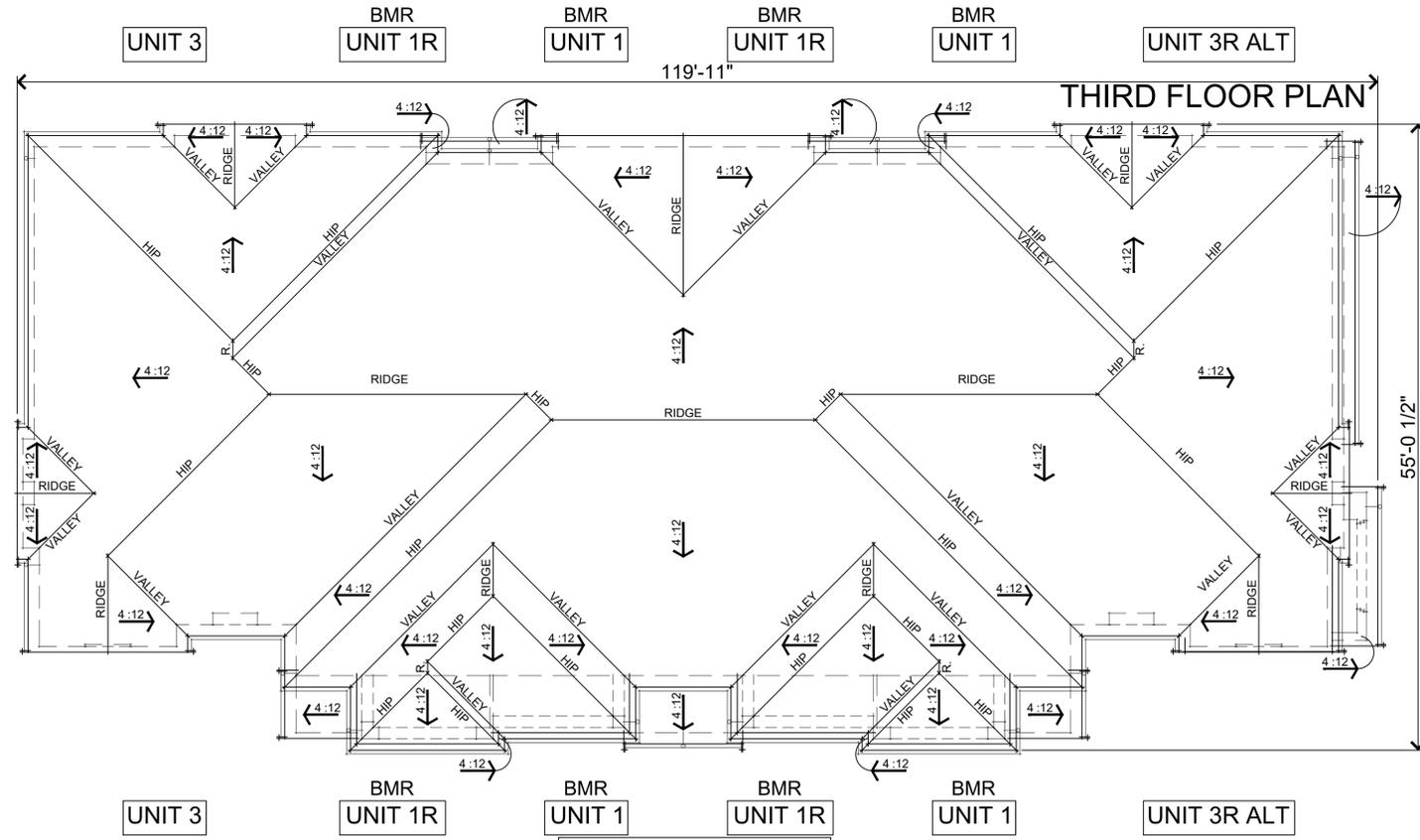
NOTE: THESE ELEVATIONS REFLECT THE USGS VERTICAL DATUM AND ARE ALSO SHOWN ON THE EXTERIOR ELEVATION SHEET A15.3.

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January 12, 2026



BUILDING 2	
1st FLOOR ELEVATION	396.4
2nd FLOOR ELEVATION	406.1
3rd FLOOR ELEVATION	416.4

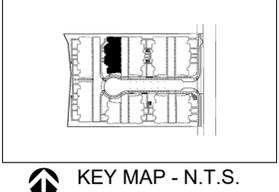
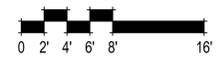
NOTE: THESE ELEVATIONS REFLECT THE USGS VERTICAL DATUM AND ARE ALSO SHOWN ON THE EXTERIOR ELEVATION SHEET A15.3.



NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.

NOTE: SEE SHT. A07 FOR UNIT 1 BELOW MARKET RATE DISTRIBUTION ACROSS THE SITE.

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



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**BUILDING 2 THIRD FLOOR & ROOF PLANS**  
**A15.1**



UNIT 3

UNIT 1R

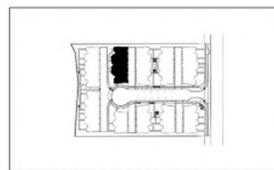
UNIT 1

UNIT 1R

UNIT 1

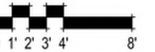
UNIT 3R ALT

NOTE: THIS IS INTENDED TO BE A PICTORIAL ELEVATION ONLY. DIMENSIONS & NOTES REQUESTED IN PLANNING COMMENTS FOR ALL 4 SIDES OF THIS BUILDING ARE SHOWN ON THE NEXT SHEET.



KEY MAP - N.T.S.

SEE ARCHITECTURAL SITE PLAN FOR BUILDING SPECIFIC COLOR SCHEMES



BUILDING 2 FRONT ELEVATION  
A15.2

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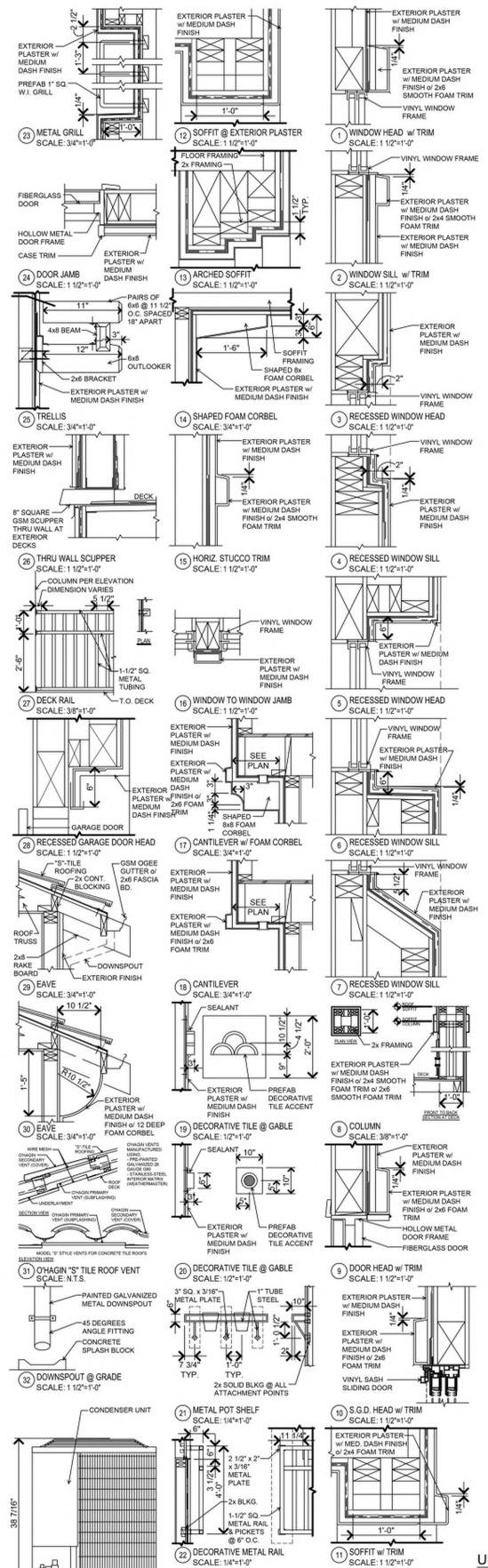


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**BUILDING WALL SECTION (A)**  
SCALE: 1/2" = 1'-0"

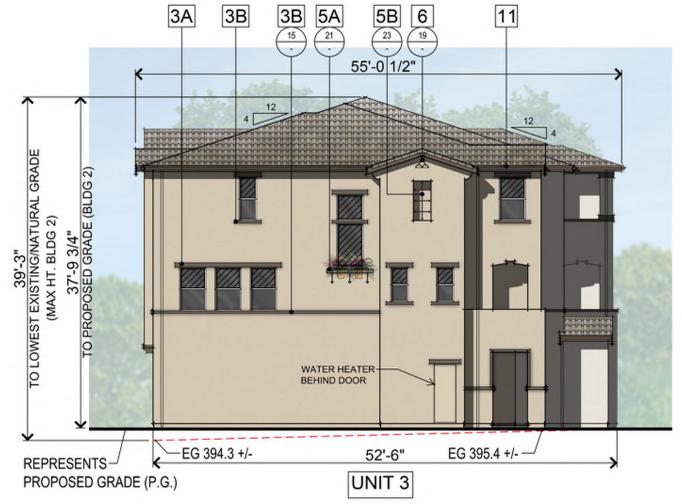


**REAR ELEVATION**

UNTREATED GLAZING CALCULATION - REAR ELEV.  
TOTAL UNTREATED GLAZING AREA - 185 S.F. = 5.4% OF GLAZING IS UNTREATED  
TOTAL FAÇADE AREA - 3434 S.F. FOR BIRD SAFE MEASURES

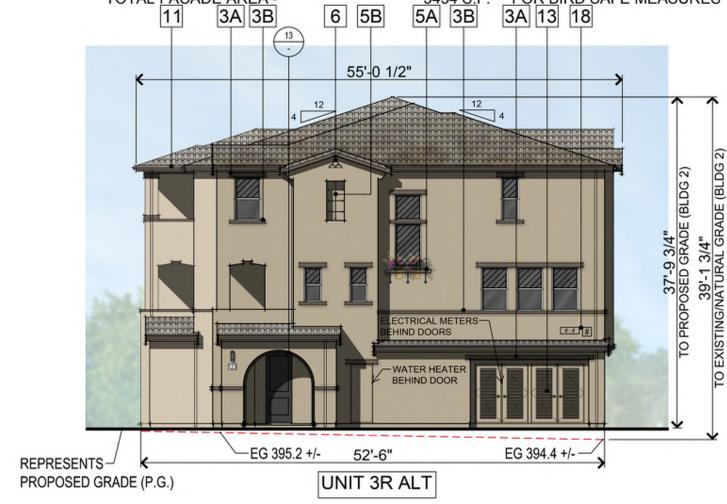
NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.

- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
  - 2 STUCCO w/ MEDIUM DASH FINISH
  - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
  - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
  - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
  - 4 METAL RAILING
  - 5A METAL POT SHELF
  - 5B WROUGHT IRON GABLE ACCENT
  - 6 CLAY TILE GABLE ACCENT
  - 7 INSULATED VINYL WINDOW
  - 8A VINYL SLIDING GLASS DOOR
  - 8B FRENCH DOOR
  - 9 FIBERGLASS FRONT DOOR
  - 10 SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
  - 11 METAL FASCIA GUTTER
  - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
  - 13 PAINTED METAL UTILITY DOOR
  - 14 WALL PACK LIGHT
  - 15 BACKLIT ADDRESS
  - 16 WALL SCONCE LIGHT
  - 17 DECORATIVE TRELIS
  - 18 BACKLIT BUILDING IDENTIFICATION NUMBER



**LEFT ELEVATION**

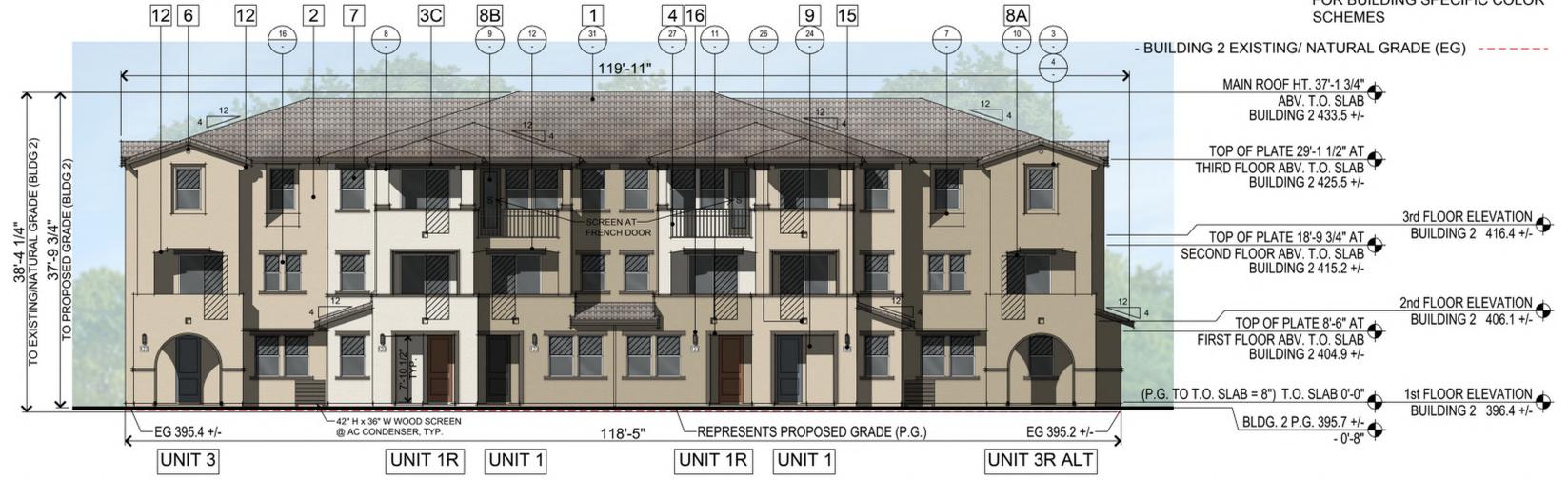
UNTREATED GLAZING CALCULATION - LEFT ELEV.  
TOTAL UNTREATED GLAZING AREA - 51 S.F. = 3.9% OF GLAZING IS UNTREATED  
TOTAL FAÇADE AREA - 1303 S.F. FOR BIRD SAFETY MEASURES



**RIGHT ELEVATION**

UNTREATED GLAZING CALCULATION - RIGHT ELEV.  
TOTAL UNTREATED GLAZING AREA - 51 S.F. = 4.1% OF GLAZING IS UNTREATED  
TOTAL FAÇADE AREA - 1241 S.F. FOR BIRD SAFETY MEASURES

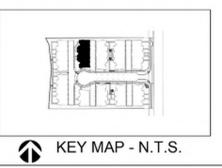
UNTREATED GLAZING AT EACH ELEVATION (TYP.)  
SEE ARCHITECTURAL SITE PLAN FOR BUILDING SPECIFIC COLOR SCHEMES



**FRONT ELEVATION**

UNTREATED GLAZING CALCULATION - FRONT ELEV.  
TOTAL UNTREATED GLAZING AREA - 332 S.F. = 9.8% OF GLAZING IS UNTREATED  
TOTAL FAÇADE AREA - 3401 S.F. FOR BIRD SAFE MEASURES

NOTE: BIRD SAFE MEASURES AT ALL OPERABLE WINDOW AND GLAZED DOOR LOCATIONS UTILIZE INSECT SCREENS AT OPERABLE HALF AND HORIZONTAL MUNTIN/SASH PER CITY OF CUPERTINO LIST OF BIRD SAFE MEASURES



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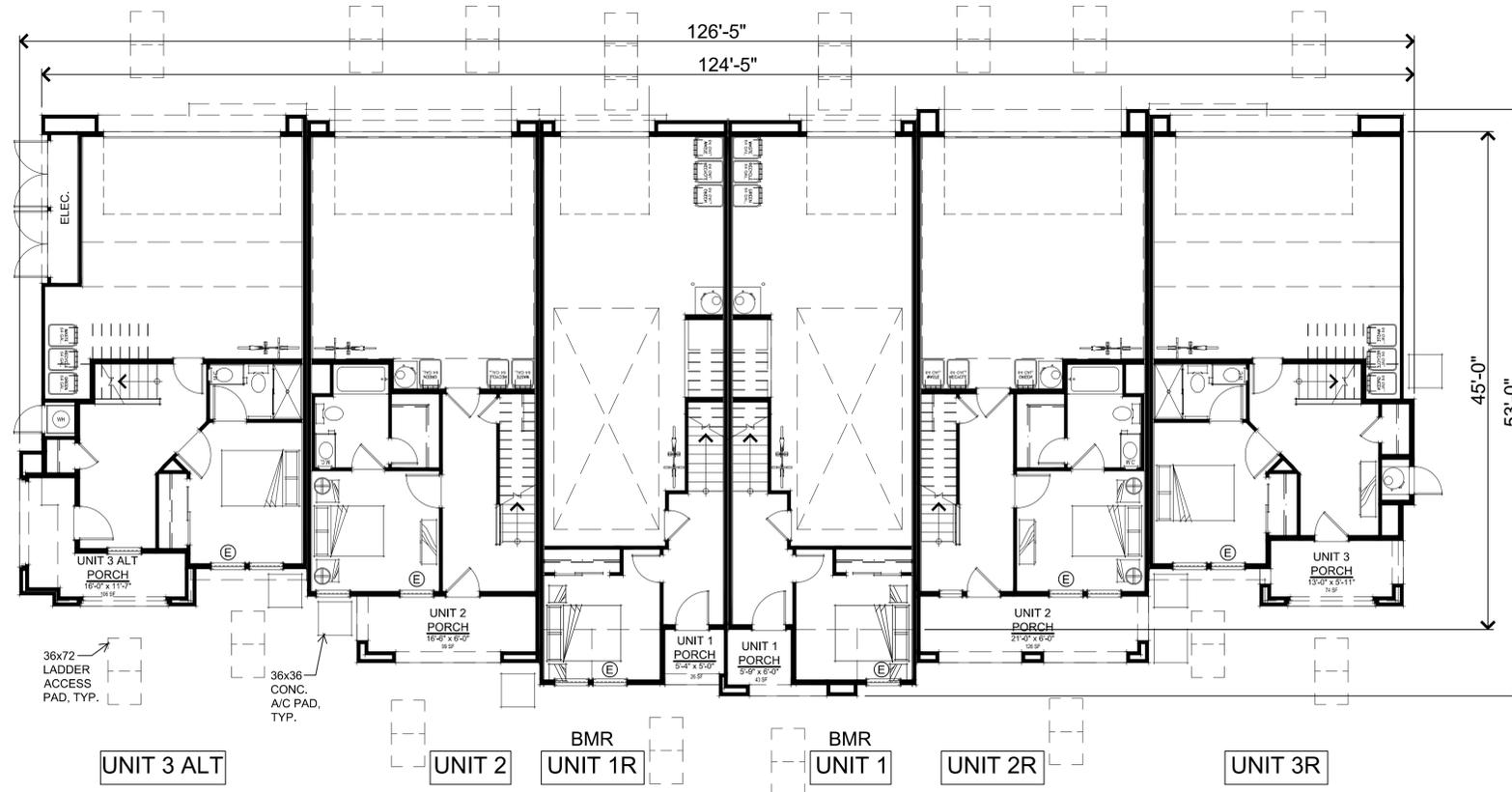
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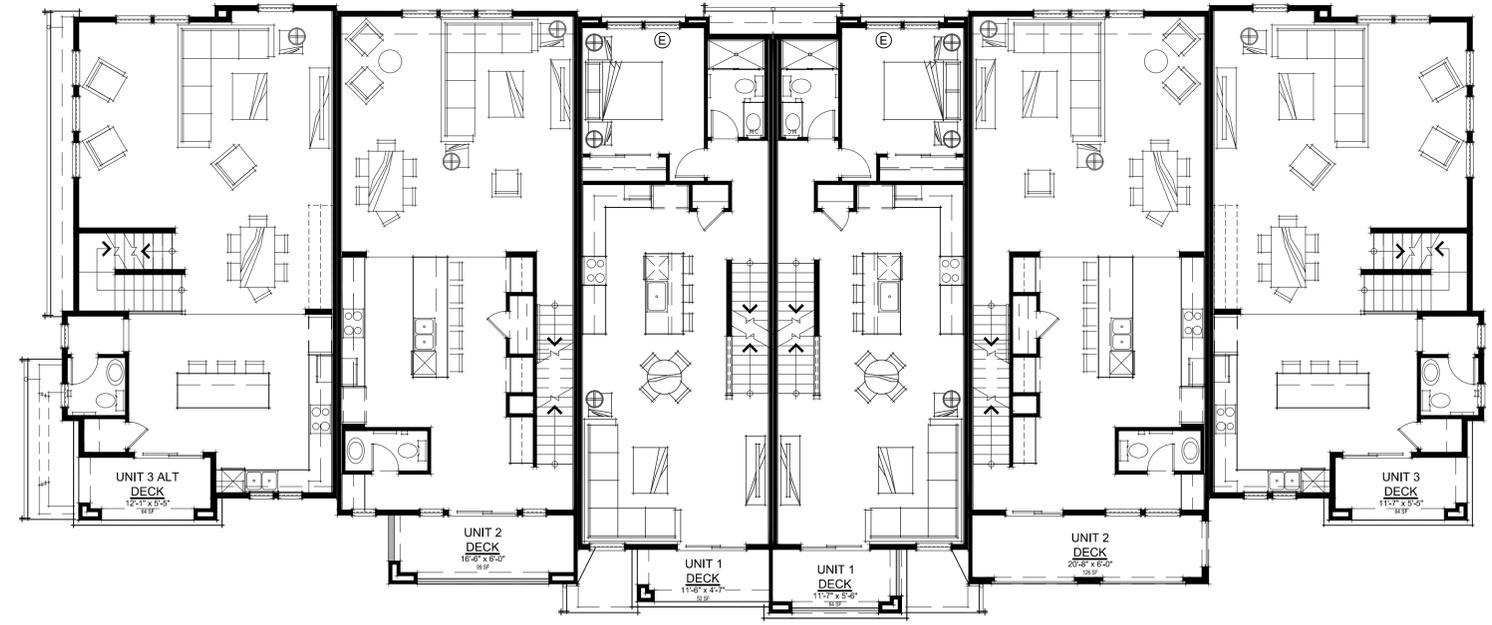
**R** STUDIOS



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FIRST FLOOR PLAN



SECOND FLOOR PLAN

BUILDING 3	
1st FLOOR ELEVATION	396.3
2nd FLOOR ELEVATION	406.0
3rd FLOOR ELEVATION	416.3

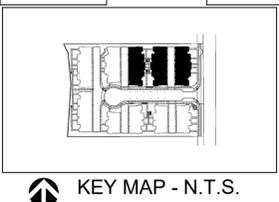
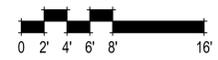
BUILDING 4	
1st FLOOR ELEVATION	393.6
2nd FLOOR ELEVATION	403.3
3rd FLOOR ELEVATION	413.6

BUILDING 5	
1st FLOOR ELEVATION	393.4
2nd FLOOR ELEVATION	403.1
3rd FLOOR ELEVATION	413.4

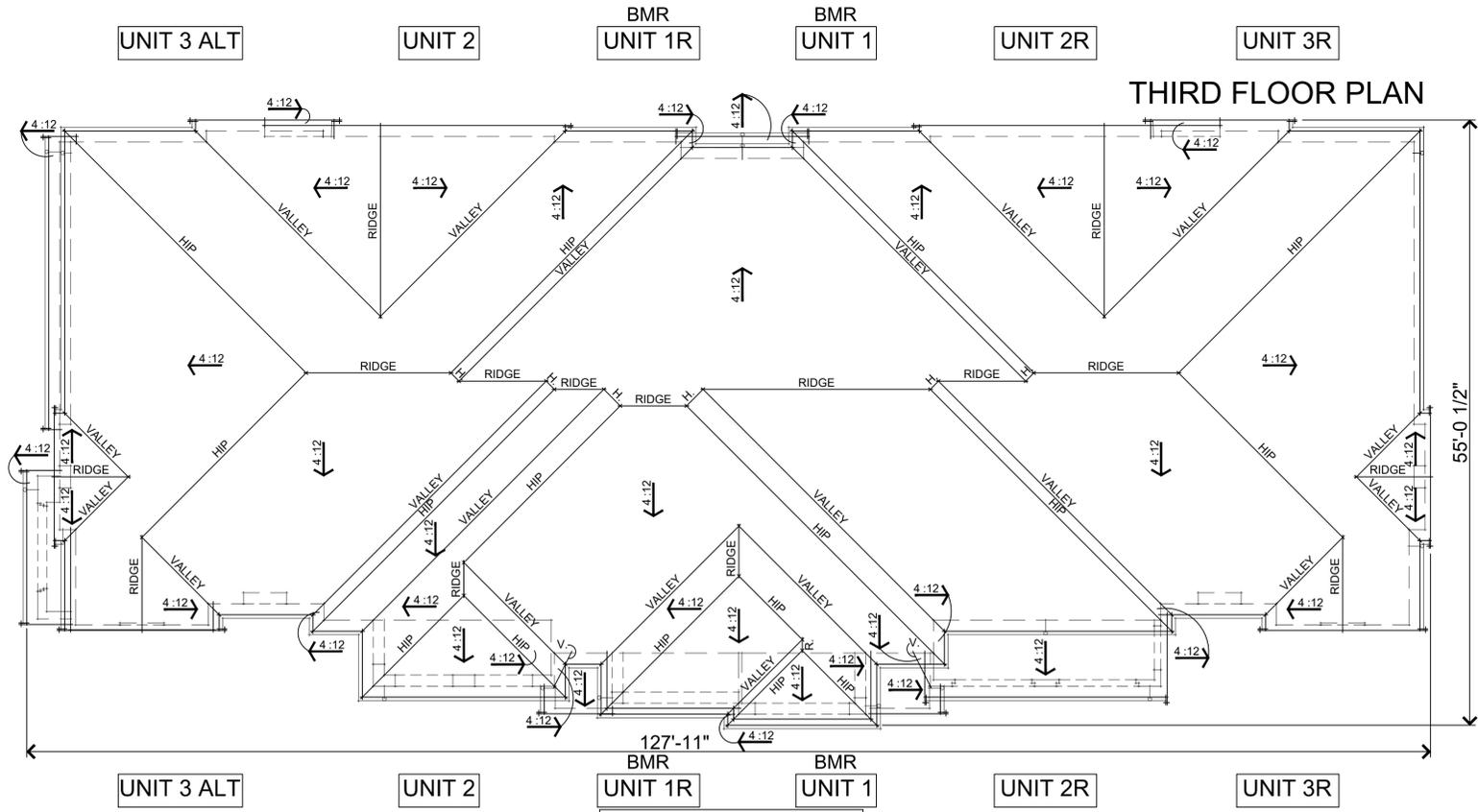
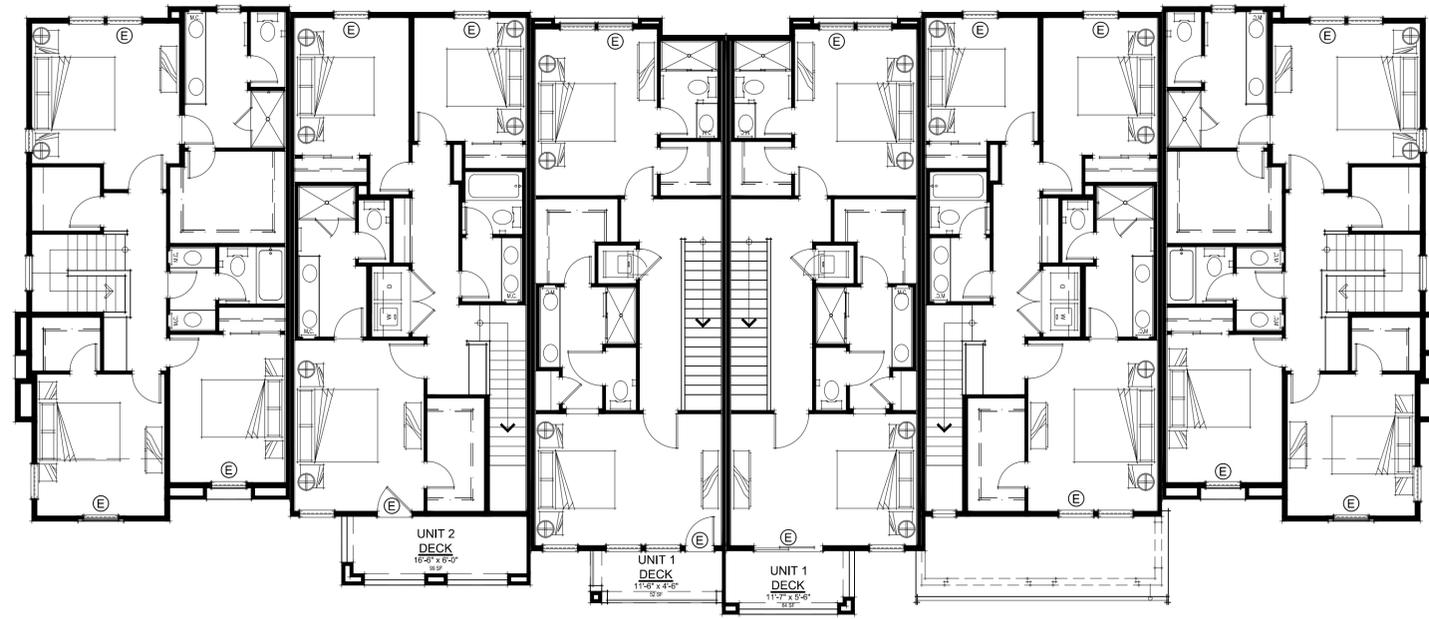
NOTE: THESE ELEVATIONS REFLECT THE USGS VERTICAL DATUM AND ARE ALSO SHOWN ON THE EXTERIOR ELEVATION SHEET A16.3.

NOTE: SEE SHT. A07 FOR UNIT 1 BELOW MARKET RATE DISTRIBUTION ACROSS THE SITE.

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



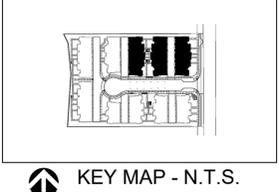
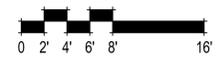
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NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.

NOTE: SEE SH. A07 FOR UNIT 1 BELOW MARKET RATE DISTRIBUTION ACROSS THE SITE.

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



BUILDING 3	
1st FLOOR ELEVATION	396.3
2nd FLOOR ELEVATION	406.0
3rd FLOOR ELEVATION	416.3

BUILDING 4	
1st FLOOR ELEVATION	393.6
2nd FLOOR ELEVATION	403.3
3rd FLOOR ELEVATION	413.6

BUILDING 5	
1st FLOOR ELEVATION	393.4
2nd FLOOR ELEVATION	403.1
3rd FLOOR ELEVATION	413.4

NOTE: THESE ELEVATIONS REFLECT THE USGS VERTICAL DATUM AND ARE ALSO SHOWN ON THE EXTERIOR ELEVATION SHEET A16.3.

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**R** STUDIOS



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**BUILDING 3, 4 & 5 THIRD FLOOR & ROOF PLANS**  
**A16.1**



UNIT 3 ALT

UNIT 2

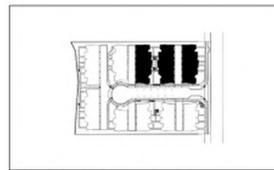
UNIT 1R

UNIT 1

UNIT 2R

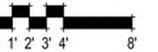
UNIT 3R

NOTE: THIS IS INTENDED TO BE A PICTORIAL ELEVATION ONLY. DIMENSIONS & NOTES REQUESTED IN PLANNING COMMENTS FOR ALL 4 SIDES OF THIS BUILDING ARE SHOWN ON THE NEXT SHEET.



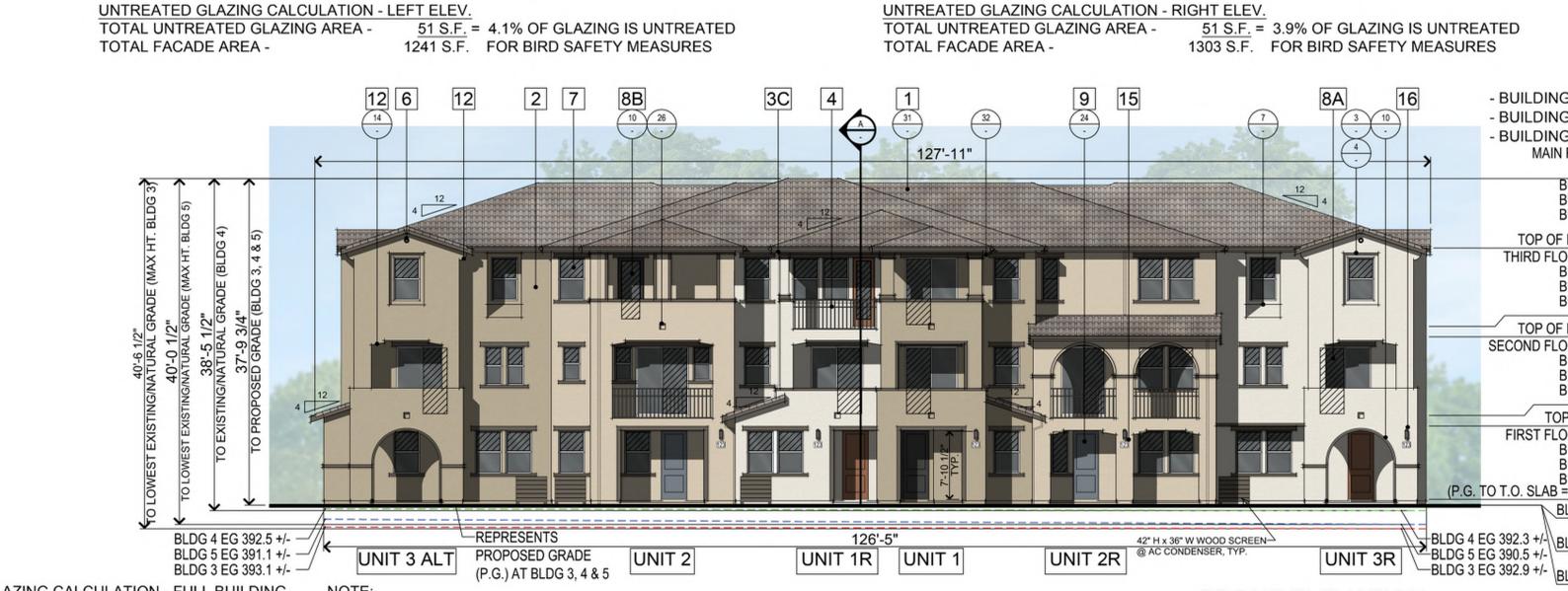
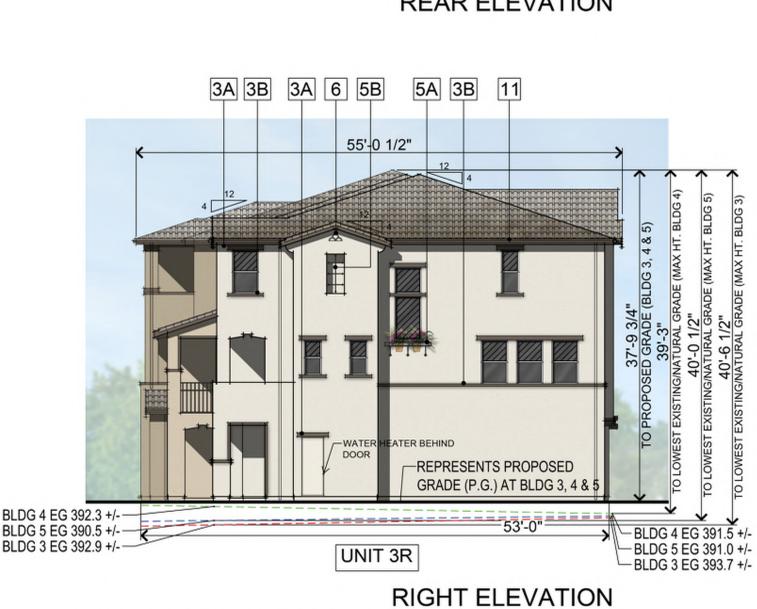
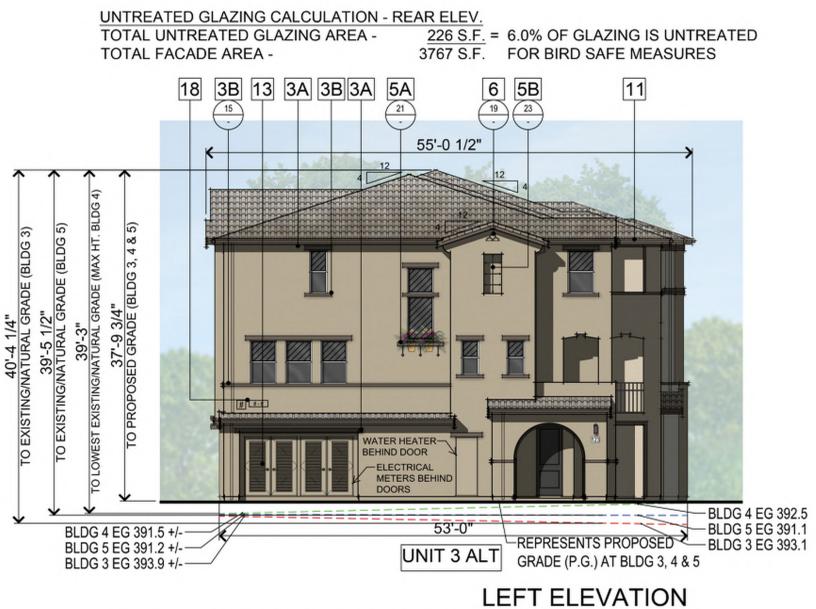
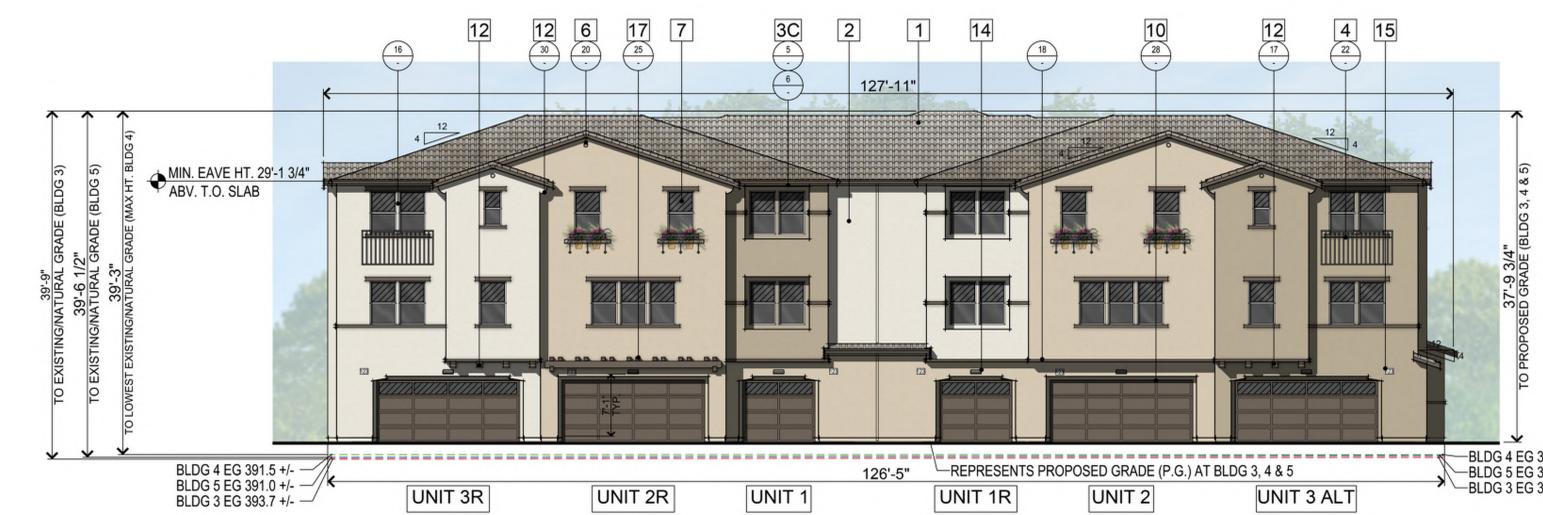
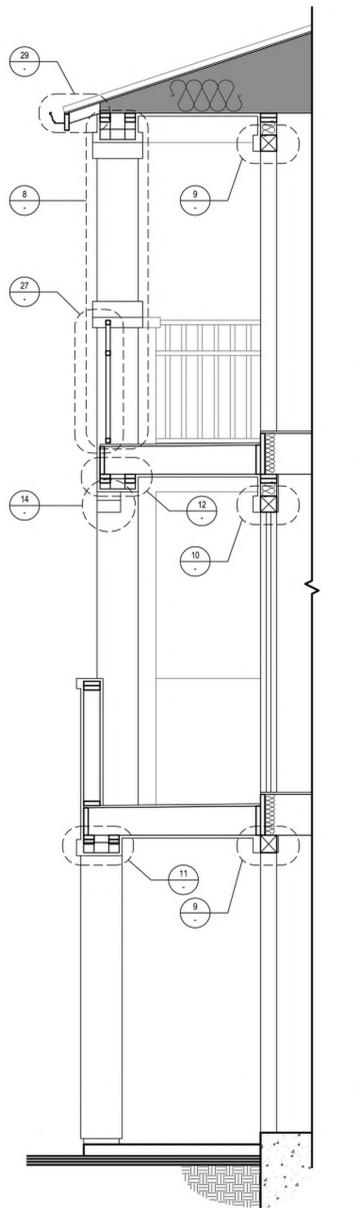
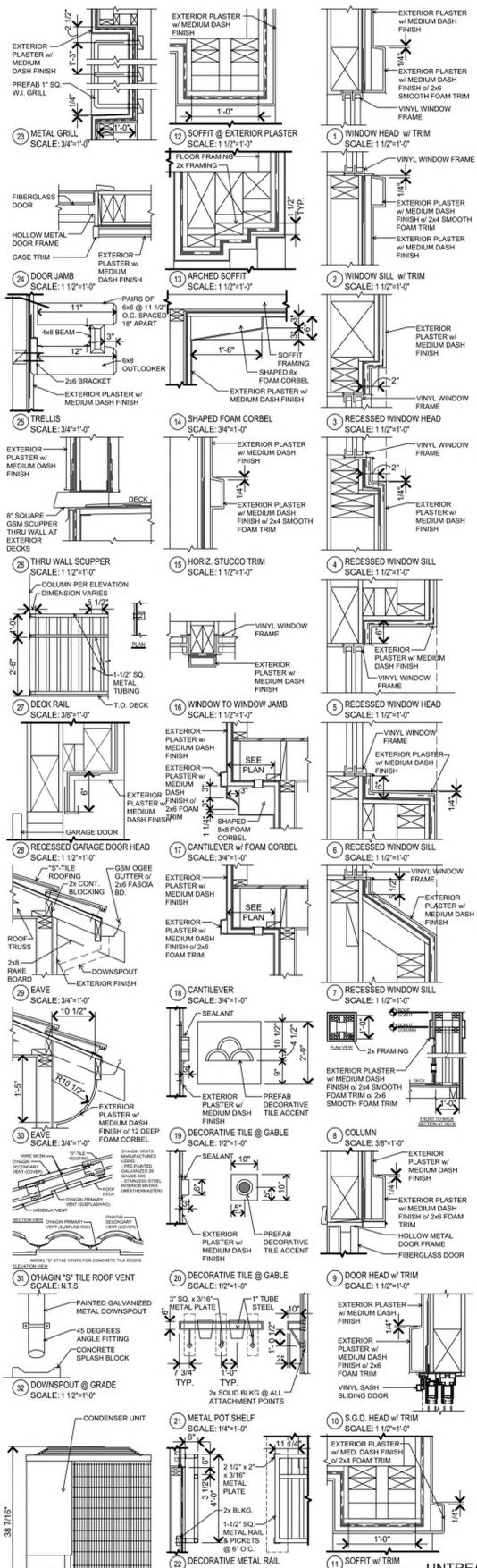
KEY MAP - N.T.S.

SEE ARCHITECTURAL SITE PLAN FOR BUILDING SPECIFIC COLOR SCHEMES



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January 12, 2026

BUILDING 3, 4 & 5 FRONT ELEVATION  
A16.2



NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.

- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
  - 2 STUCCO w/ MEDIUM DASH FINISH
  - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
  - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
  - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
  - 4 METAL RAILING
  - 5A METAL POT SHELF
  - 5B WROUGHT IRON GABLE ACCENT
  - 6 CLAY TILE GABLE ACCENT
  - 7 INSULATED VINYL WINDOW
  - 8A VINYL SLIDING GLASS DOOR
  - 8B FRENCH DOOR
  - 9 FIBERGLASS FRONT DOOR
  - 10 SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
  - 11 METAL FASCIA GUTTER
  - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
  - 13 PAINTED METAL UTILITY DOOR
  - 14 WALL PACK LIGHT
  - 15 BACKLIT ADDRESS
  - 16 WALL SCONCE LIGHT
  - 17 DECORATIVE TRELLIS
  - 18 BACKLIT BUILDING IDENTIFICATION NUMBER

UNREATED GLAZING AT EACH ELEVATION (TYP.)

SEE ARCHITECTURAL SITE PLAN FOR BUILDING SPECIFIC COLOR SCHEMES

- BUILDING 3 EXISTING/NATURAL GRADE (EG) - - - - -
  - BUILDING 4 EXISTING/NATURAL GRADE (EG) - - - - -
  - BUILDING 5 EXISTING/NATURAL GRADE (EG) - - - - -
- MAIN ROOF HT. 37'-1 3/4"
- ABV. T.O. SLAB
- BUILDING 5 430.6 +/-
  - BUILDING 4 430.8 +/-
  - BUILDING 3 433.5 +/-
- TOP OF PLATE 29'-1 1/2" AT THIRD FLOOR ABV. T.O. SLAB
- BUILDING 5 442.5 +/-
  - BUILDING 4 442.7 +/-
  - BUILDING 3 445.4 +/-
- 3rd FLOOR ELEVATION
- BUILDING 5 413.4 +/-
  - BUILDING 4 413.6 +/-
  - BUILDING 3 416.3 +/-
- TOP OF PLATE 18'-9 3/4" AT SECOND FLOOR ABV. T.O. SLAB
- BUILDING 5 412.2 +/-
  - BUILDING 4 412.4 +/-
  - BUILDING 3 415.1 +/-
- 2nd FLOOR ELEVATION
- BUILDING 5 403.1 +/-
  - BUILDING 4 403.3 +/-
  - BUILDING 3 406.0 +/-
- TOP OF PLATE 8'-6" AT FIRST FLOOR ABV. T.O. SLAB
- BUILDING 5 401.9 +/-
  - BUILDING 4 402.1 +/-
  - BUILDING 3 404.8 +/-
- 1st FLOOR ELEVATION
- BUILDING 5 393.4 +/-
  - BUILDING 4 393.6 +/-
  - BUILDING 3 396.3 +/-
- (P.G. TO T.O. SLAB = 8' T.O. SLAB 0'-0")
- BLDG 3 P.G. 395.6 +/-
  - BLDG 4 P.G. 392.9 +/-
  - BLDG 5 P.G. 392.7 +/-

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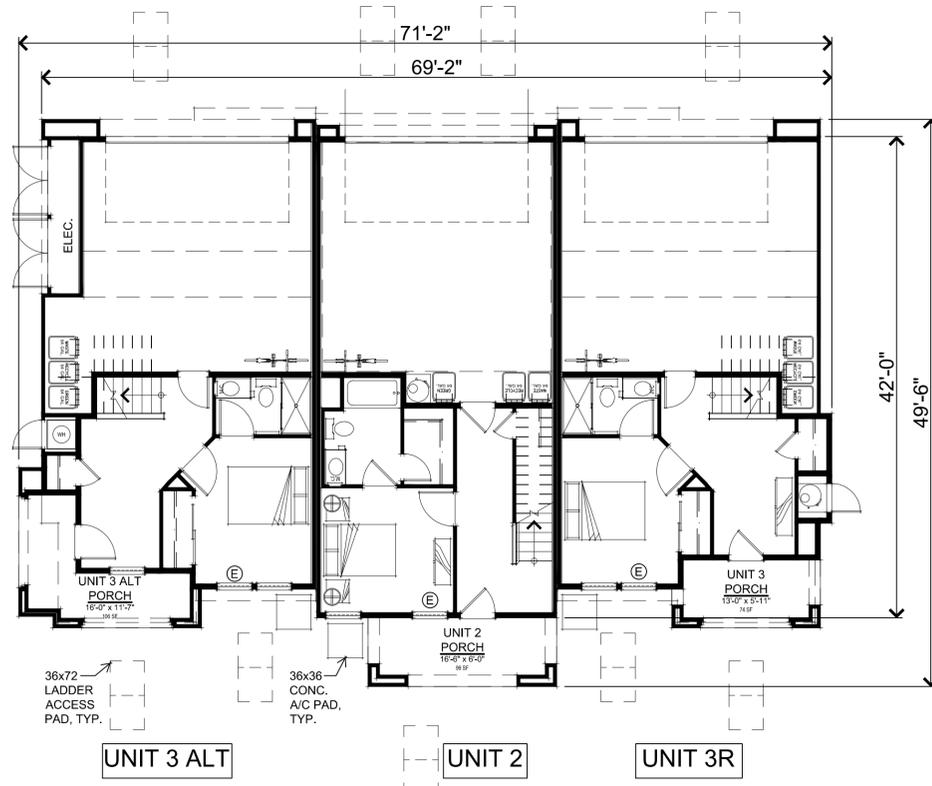
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**R** STUDIOS



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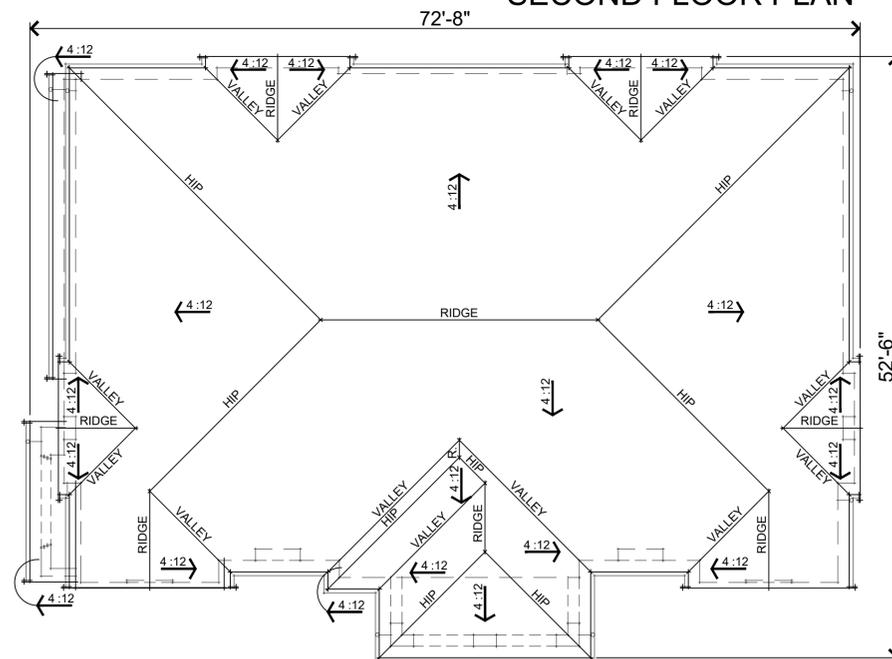
FIRST FLOOR PLAN



THIRD FLOOR PLAN



SECOND FLOOR PLAN



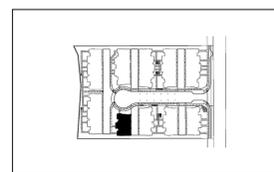
ROOF PLAN

NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS

BUILDING 7	
1st FLOOR ELEVATION	397.3
2nd FLOOR ELEVATION	407.0
3rd FLOOR ELEVATION	417.3

NOTE: THESE ELEVATIONS REFLECT THE USGS VERTICAL DATUM AND ARE ALSO SHOWN ON THE EXTERIOR ELEVATION SHEET A17.2.



KEY MAP - N.T.S.

381.078 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

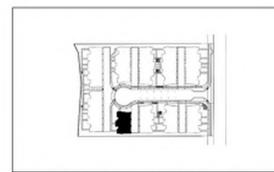


UNIT 3 ALT

UNIT 2

UNIT 3R

NOTE: THIS IS INTENDED TO BE A PICTORIAL ELEVATION ONLY.  
 DIMENSIONS & NOTES REQUESTED IN PLANNING COMMENTS FOR ALL  
 4 SIDES OF THIS BUILDING ARE SHOWN ON THE NEXT SHEET.



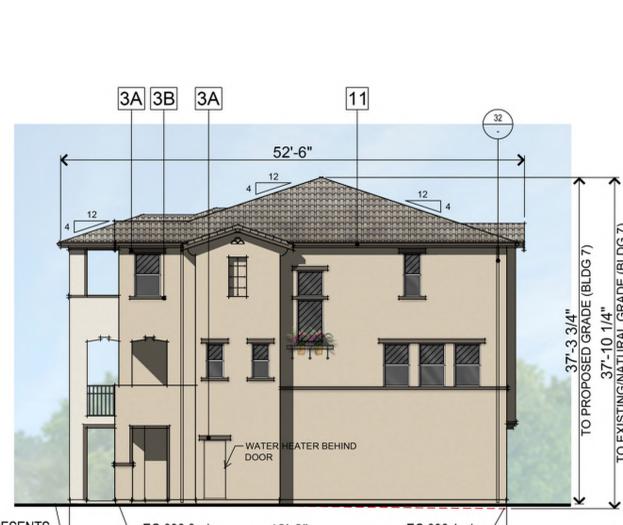
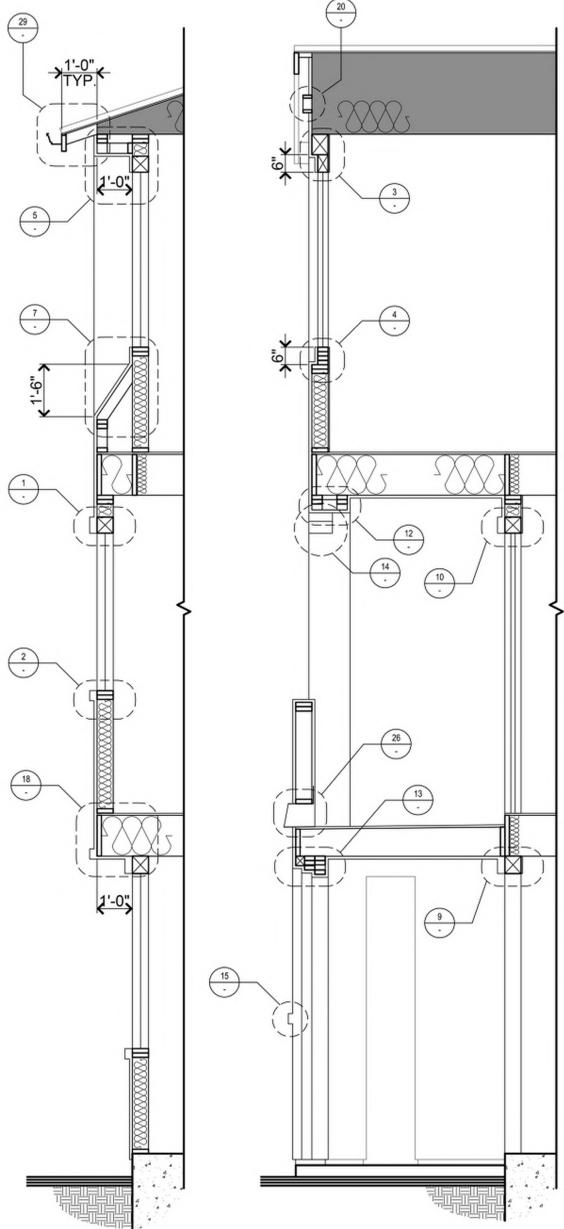
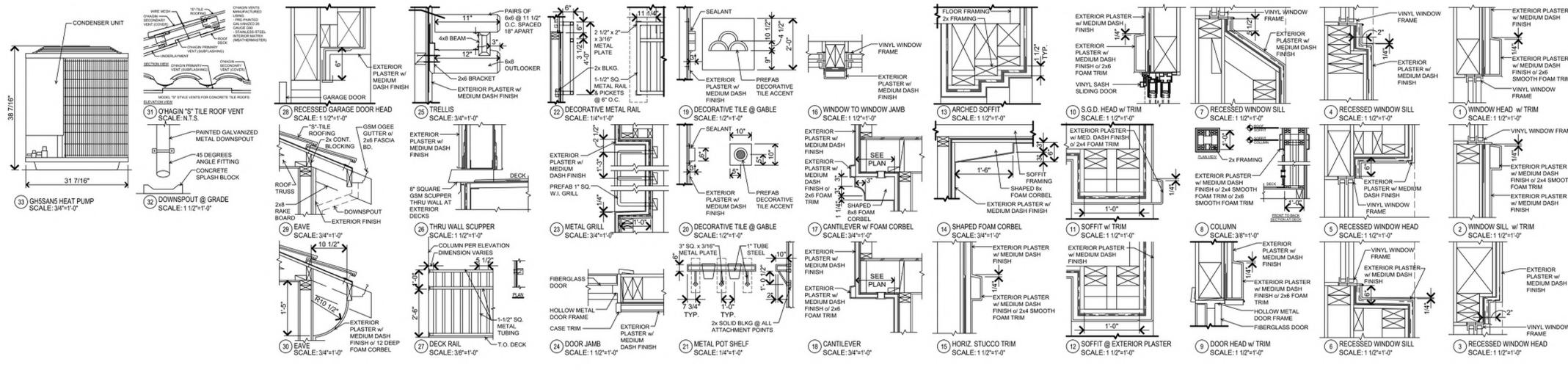
KEY MAP - N.T.S.

SEE ARCHITECTURAL SITE PLAN  
 FOR BUILDING SPECIFIC COLOR  
 SCHEMES

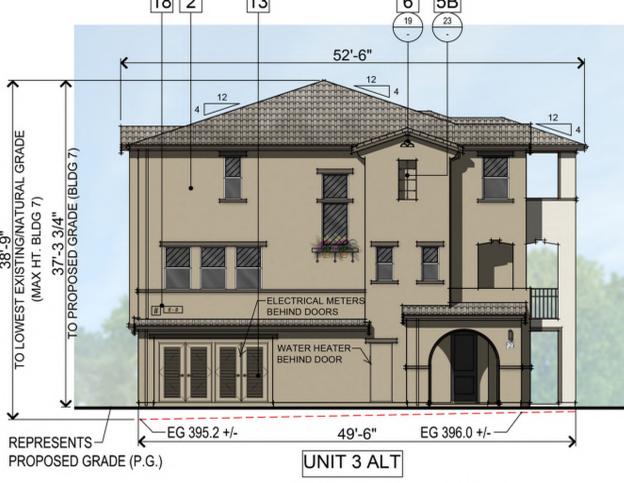


BUILDING 7 FRONT ELEVATION  
 A17.1

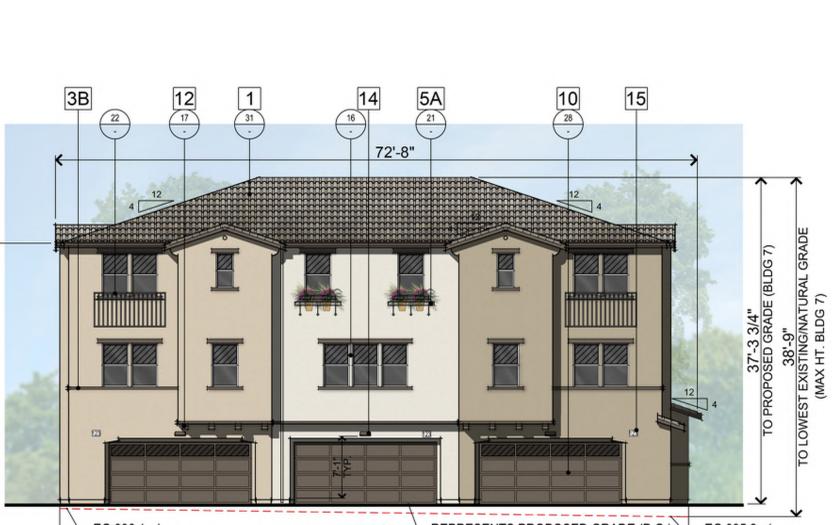
981.078 10857 Linda Vista Drive  
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 January 12, 2026



UNTREATED GLAZING CALCULATION - RIGHT ELEV.  
 TOTAL UNTREATED GLAZING AREA - 51 S.F. = 3.9% OF GLAZING IS  
 TOTAL FACADE AREA - 1303 S.F. UNTREATED FOR BIRD  
 SAFE MEASURES



UNTREATED GLAZING CALCULATION - LEFT ELEV.  
 TOTAL UNTREATED GLAZING AREA - 51 S.F. = 4.1% OF GLAZING IS  
 TOTAL FACADE AREA - 1241 S.F. UNTREATED FOR BIRD  
 SAFE MEASURES



NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.

UNTREATED GLAZING CALCULATION - REAR ELEV.  
 TOTAL UNTREATED GLAZING AREA - 132 S.F. = 6.6% OF GLAZING IS UNTREATED  
 TOTAL FACADE AREA - 2000 S.F. FOR BIRD SAFETY MEASURES

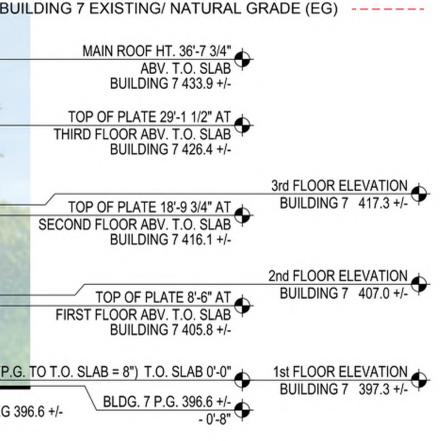


UNTREATED GLAZING CALCULATION - FRONT ELEV.  
 TOTAL UNTREATED GLAZING AREA - 166 S.F. = 8.2% OF GLAZING IS UNTREATED  
 TOTAL FACADE AREA - 2015 S.F. FOR BIRD SAFE MEASURES

- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
  - 2 STUCCO w/ MEDIUM DASH FINISH
  - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
  - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
  - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
  - 4 METAL RAILING
  - 5A METAL POT SHELF
  - 5B WROUGHT IRON GABLE ACCENT
  - 6 CLAY TILE GABLE ACCENT
  - 7 INSULATED VINYL WINDOW
  - 8A VINYL SLIDING GLASS DOOR
  - 8B FRENCH DOOR
  - 9 FIBERGLASS FRONT DOOR
  - 10 SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
  - 11 METAL FASCIA GUTTER
  - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
  - 13 PAINTED METAL UTILITY DOOR
  - 14 WALL PACK LIGHT
  - 15 BACKLIT ADDRESS
  - 16 WALL SCONCE LIGHT
  - 17 DECORATIVE TRELLIS
  - 18 BACKLIT BUILDING IDENTIFICATION NUMBER

UNTREATED GLAZING AT EACH ELEVATION (TYP.)

SEE ARCHITECTURAL SITE PLAN FOR BUILDING SPECIFIC COLOR SCHEMES



NOTE: T.O. SLAB = F.F. (FINISH FLOOR) @ 1st FLOOR

381,078 10857 Linda Vista Drive  
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SUMMERHILL HOMES  
 COMMUNITIES OF DISTINCTION

3000 Executive Parkway, Suite 450 San Ramon, Ca 94583  
 650-857-0122

NOTE: BIRD SAFE MEASURES AT ALL OPERABLE WINDOW AND GLAZED DOOR LOCATIONS UTILIZE INSECT SCREENS AT OPERABLE HALF AND HORIZONTAL MUNTIN/SASH PER CITY OF CUPERTINO LIST OF BIRD SAFE MEASURES



BUILDING 7 EXTERIOR ELEVATIONS  
 A17.2

cbg CIVIL ENGINEERS SURVEYORS PLANNERS  
 SAN RAMON - ROSEVILLE

R3 STUDIOS



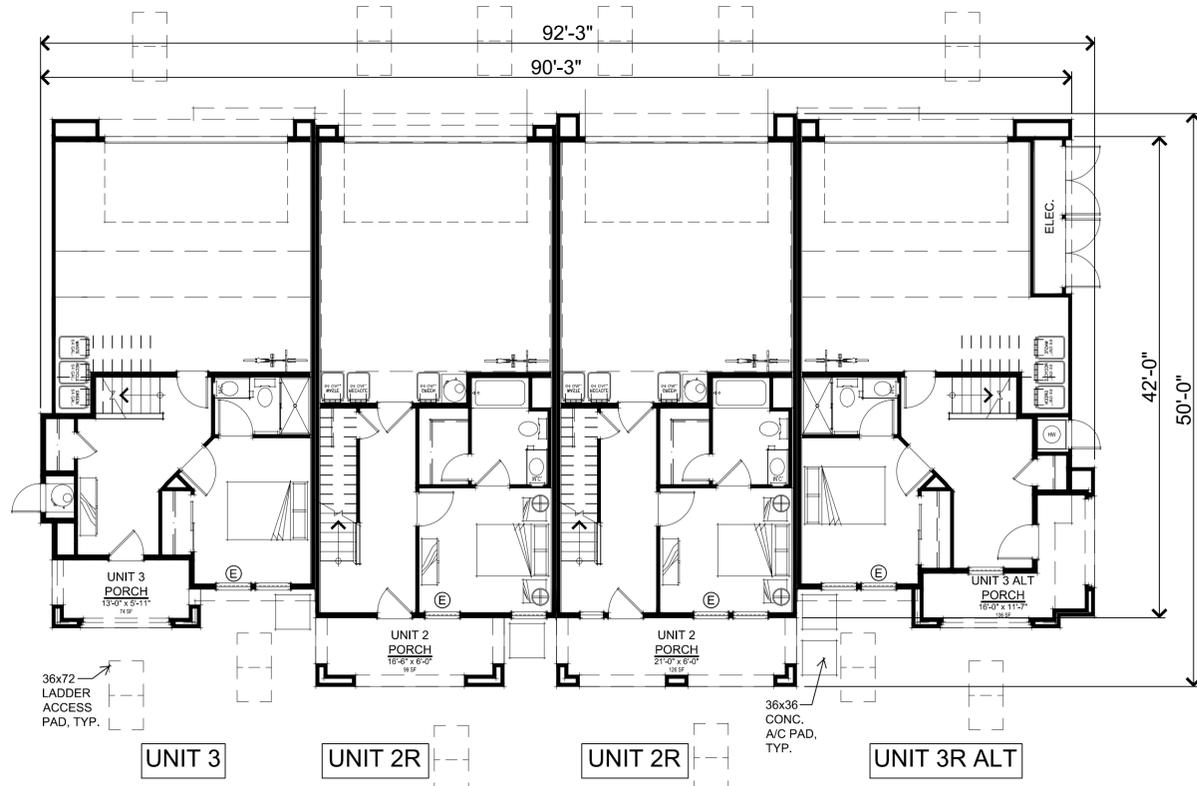
SDG Architects, Inc.  
 3361 Walnut Blvd, Suite 120  
 Brentwood, CA 94513  
 925.634.7000 | sdgarchitectsinc.com

BUILDING 8	
1st FLOOR ELEVATION	396.3
2nd FLOOR ELEVATION	406.0
3rd FLOOR ELEVATION	416.3

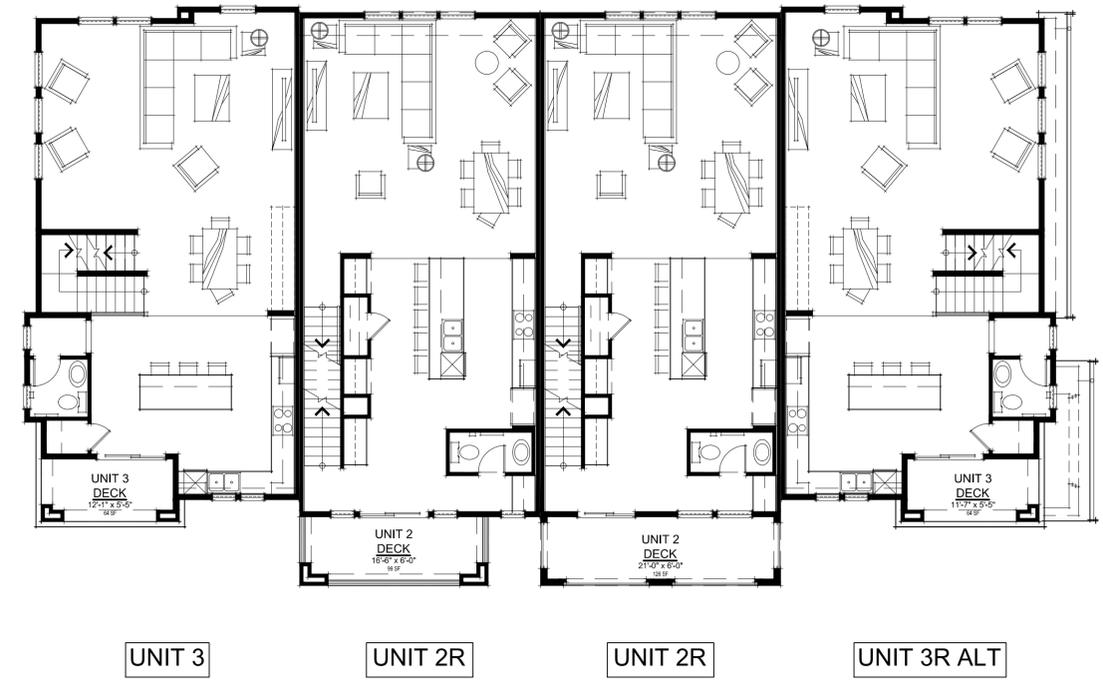
BUILDING 9	
1st FLOOR ELEVATION	393.8
2nd FLOOR ELEVATION	403.5
3rd FLOOR ELEVATION	413.8

BUILDING 10	
1st FLOOR ELEVATION	393.5
2nd FLOOR ELEVATION	403.2
3rd FLOOR ELEVATION	413.5

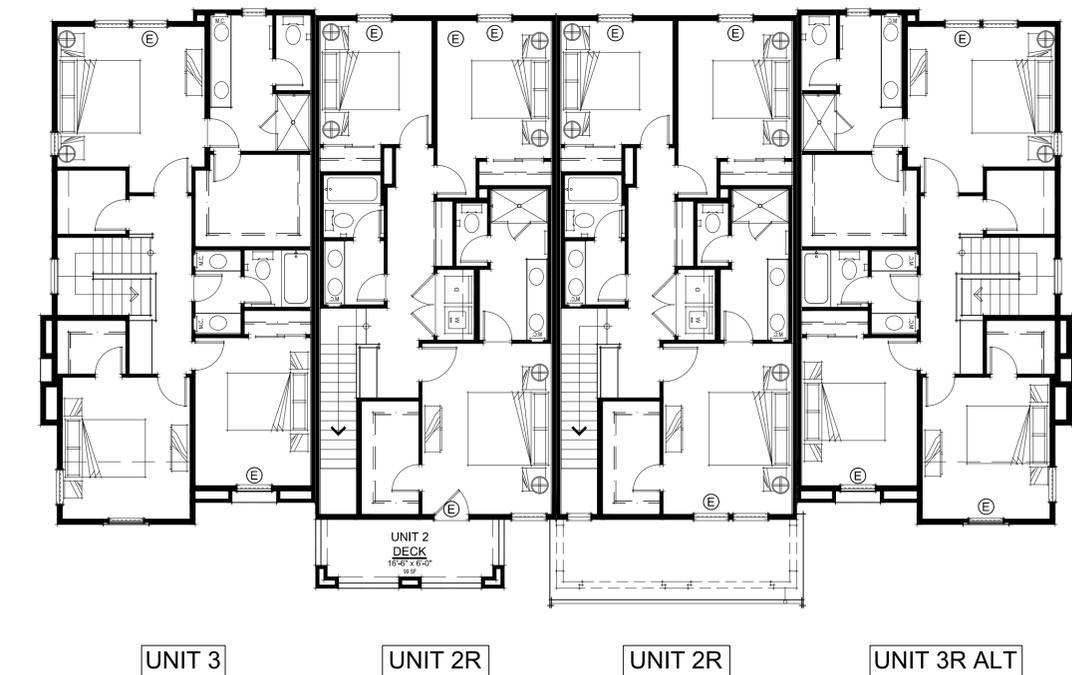
NOTE: THESE ELEVATIONS REFLECT THE USGS VERTICAL DATUM AND ARE ALSO SHOWN ON THE EXTERIOR ELEVATION SHEET A18.2.



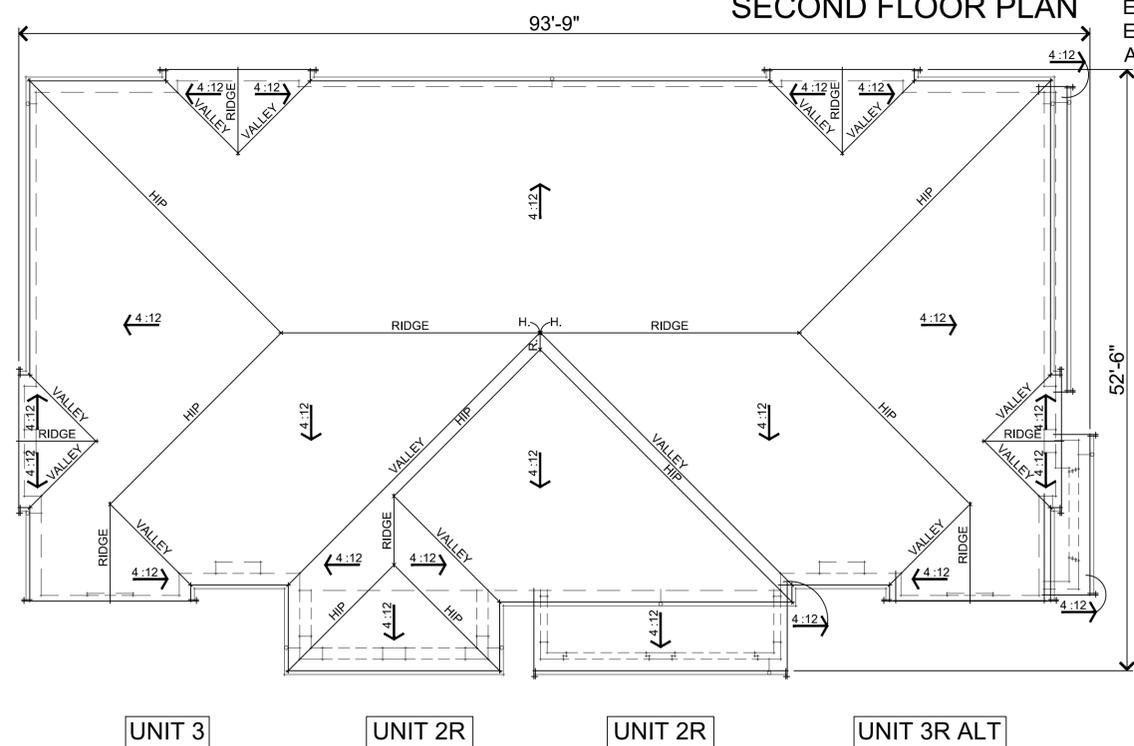
FIRST FLOOR PLAN



SECOND FLOOR PLAN



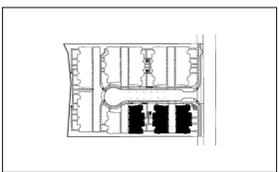
THIRD FLOOR PLAN



ROOF PLAN

NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



KEY MAP - N.T.S.

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January 12, 2026

**SUMMERHILL HOMES**  
COMMUNITIES OF DISTINCTION  
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583  
650-857-0122

**cbg** CIVIL ENGINEERS  
SURVEYORS  
PLANNERS  
SAN RAMON • ROSEVILLE

**3**  
**STUDIOS**



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3361 Walnut Blvd, Suite 120  
Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com





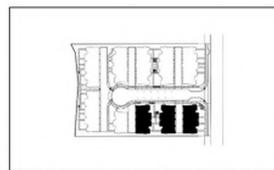
UNIT 3

UNIT 2R

UNIT 2R

UNIT 3R ALT

NOTE: THIS IS INTENDED TO BE A PICTORIAL ELEVATION ONLY.  
 DIMENSIONS & NOTES REQUESTED IN PLANNING COMMENTS FOR ALL  
 4 SIDES OF THIS BUILDING ARE SHOWN ON THE NEXT SHEET.



KEY MAP - N.T.S.

SEE ARCHITECTURAL SITE PLAN  
 FOR BUILDING SPECIFIC COLOR  
 SCHEMES



BUILDING 8, 9 & 10 FRONT ELEVATION  
 A18.1

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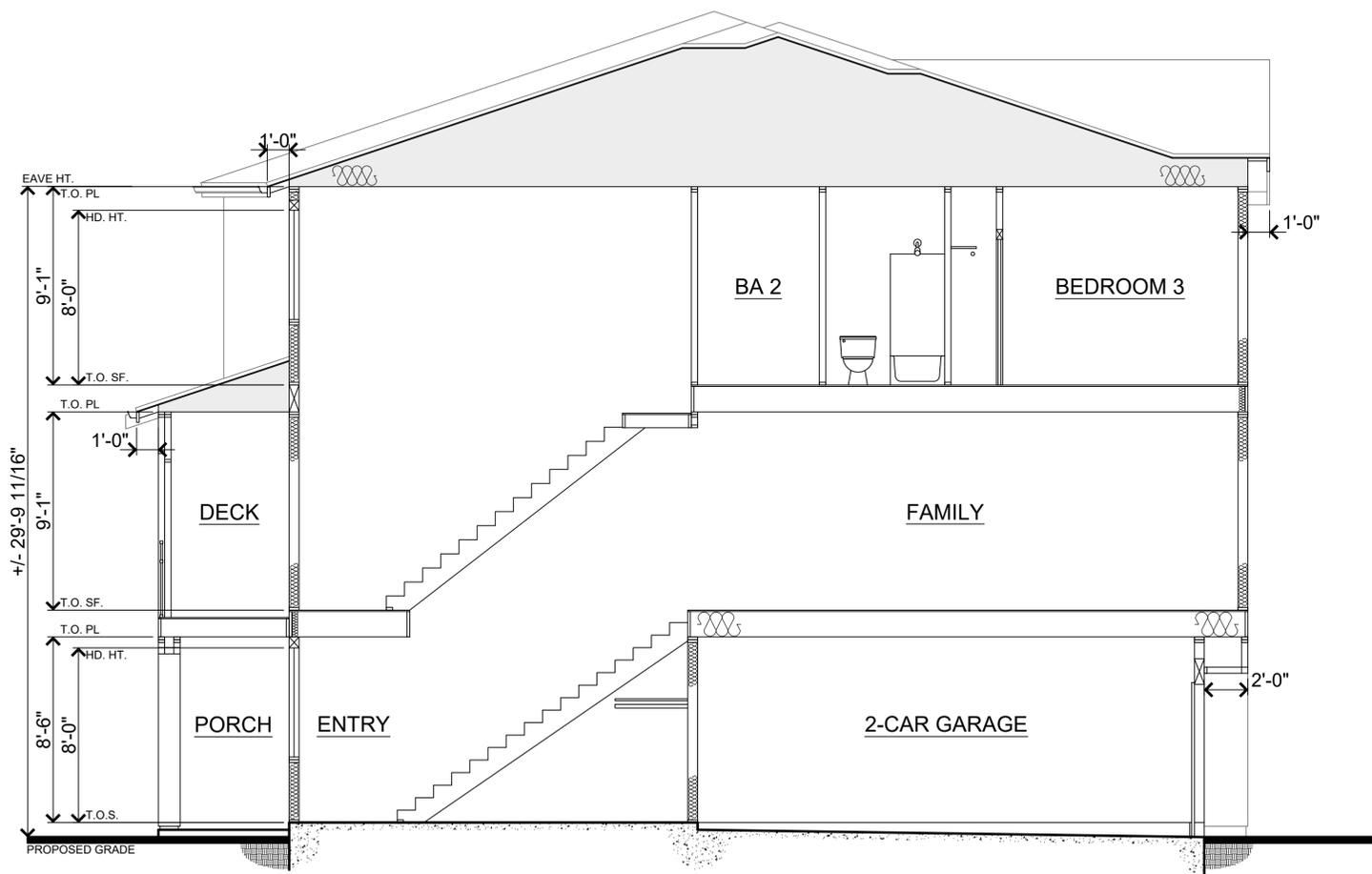
**cbg** CIVIL ENGINEERS  
 SURVEYORS  
 PLANNERS  
 SAN RAMON • ROSEVILLE



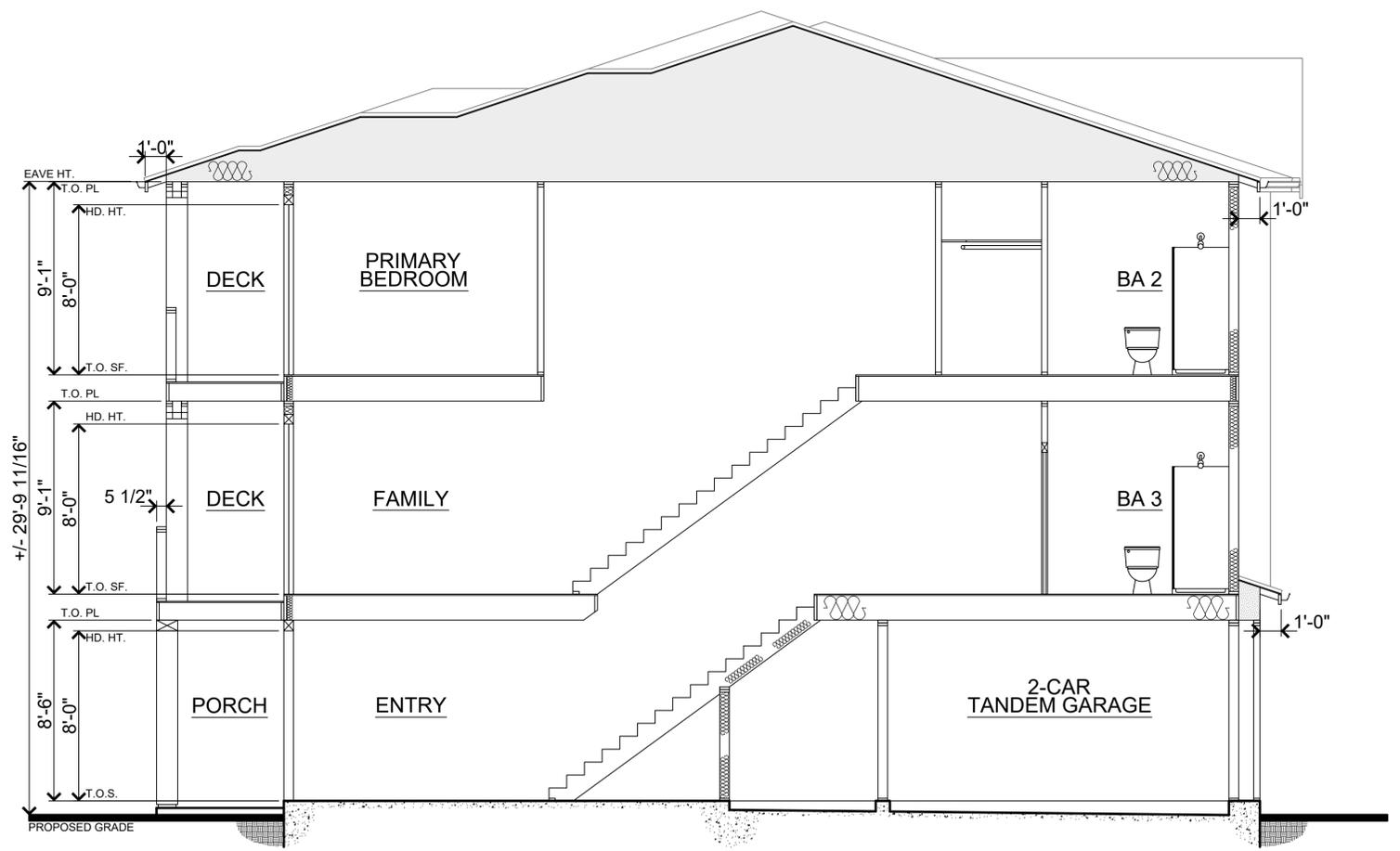
**SDG Architects, Inc.**  
 3361 Walnut Blvd, Suite 120  
 Brentwood, CA 94513  
 925.634.7000 | sdgarchitectsinc.com







UNIT 2 - SECTION



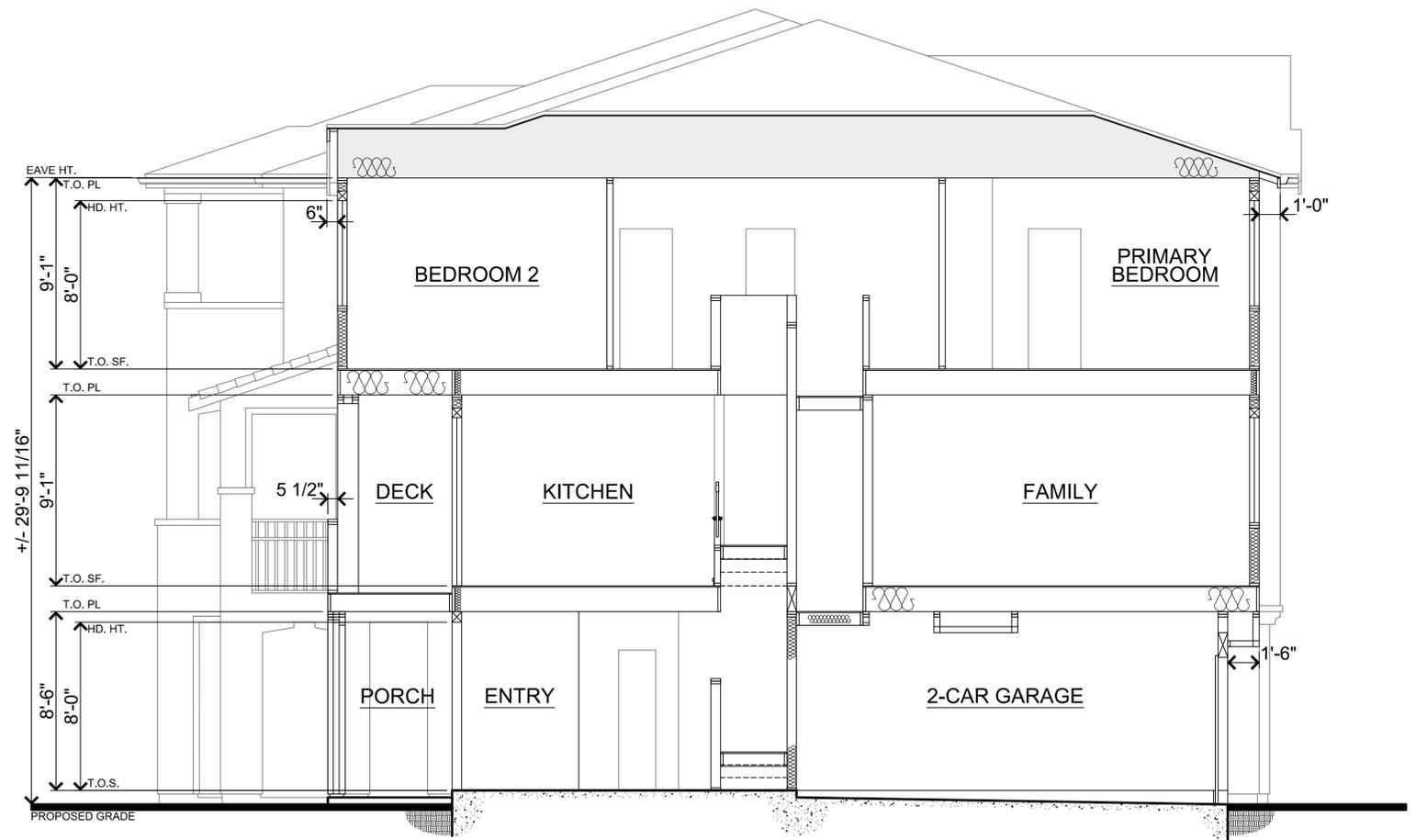
UNIT 1 - SECTION

SEE EXTERIOR ELEVATIONS  
FOR BUILDING HEIGHTS FROM  
EXISTING & PROPOSED GRADES



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January 12, 2026

UNIT 1 & 2 SECTIONS  
A19



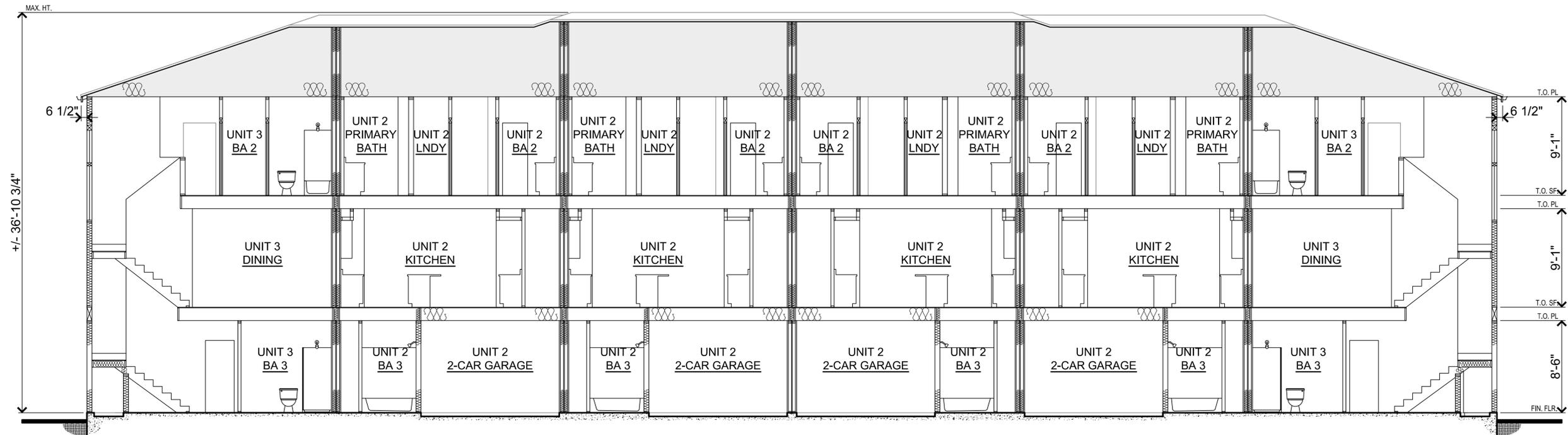
UNIT 3 - SECTION

SEE EXTERIOR ELEVATIONS  
FOR BUILDING HEIGHTS FROM  
EXISTING & PROPOSED GRADES



UNIT 3 SECTION  
A19.1

381.078 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026



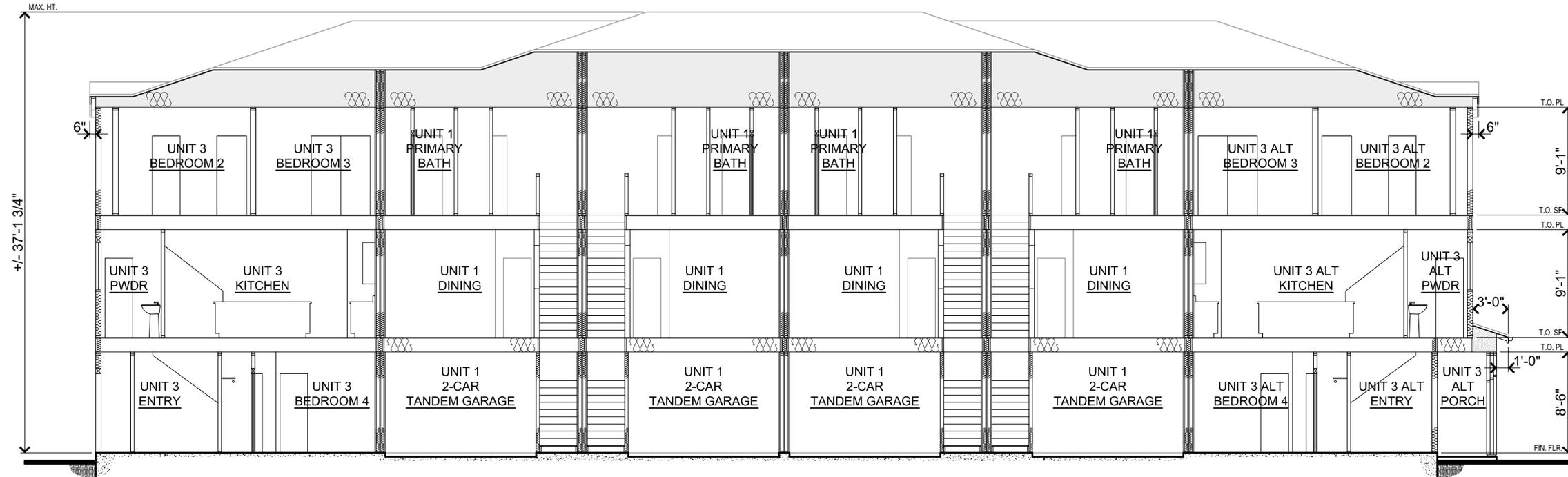
BUILDING - SECTION

SEE EXTERIOR ELEVATIONS  
FOR BUILDING HEIGHTS FROM  
EXISTING & PROPOSED GRADES



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January 12, 2026

BUILDING 1 & 6 SECTION  
A20



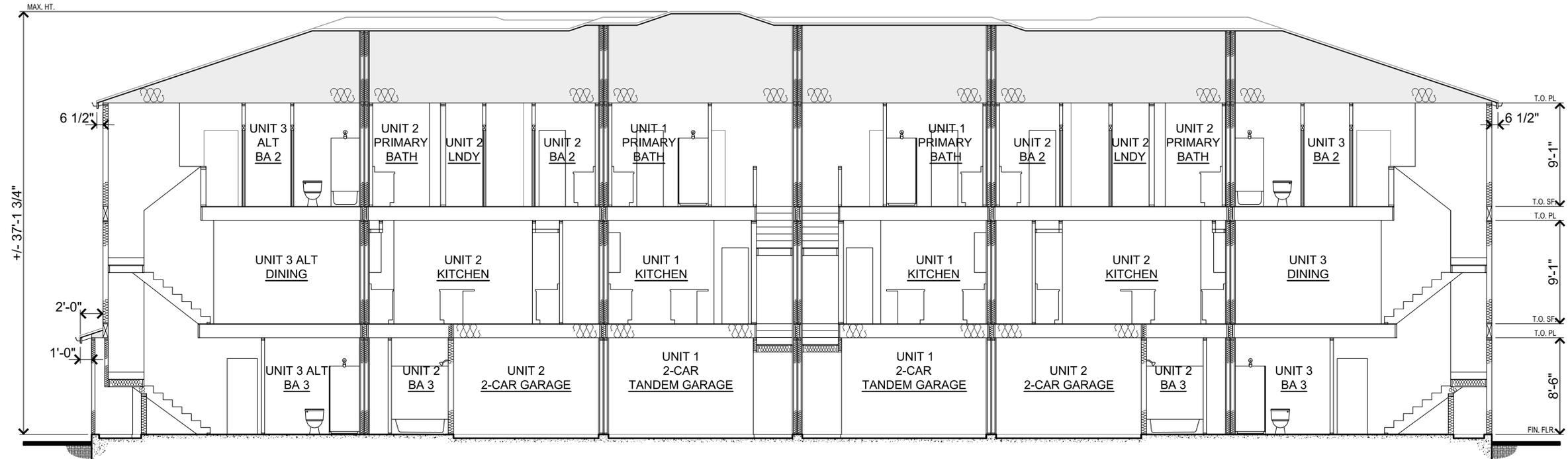
BUILDING - SECTION

SEE EXTERIOR ELEVATIONS  
FOR BUILDING HEIGHTS FROM  
EXISTING & PROPOSED GRADES



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Cupertino, CA  
January 12, 2026

BUILDING 2 SECTION  
A20.1



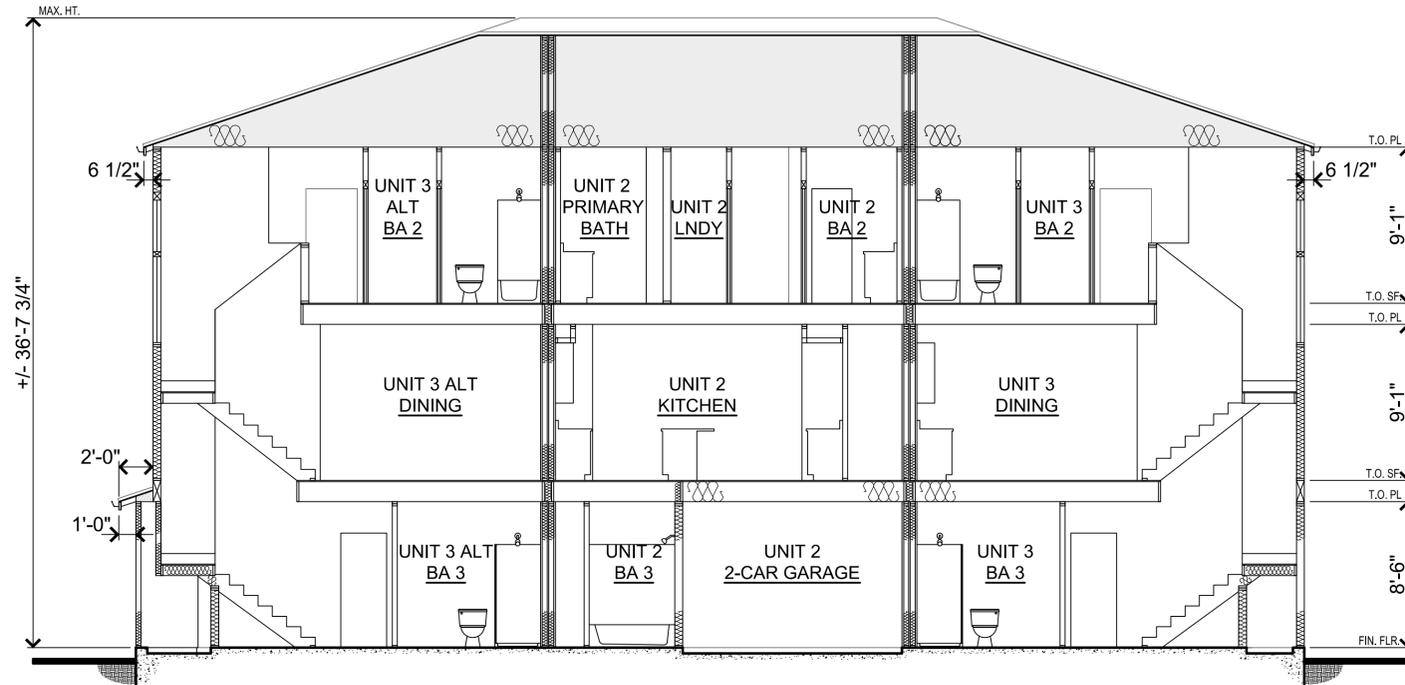
BUILDING - SECTION

SEE EXTERIOR ELEVATIONS  
FOR BUILDING HEIGHTS FROM  
EXISTING & PROPOSED GRADES



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Cupertino, CA  
January 12, 2026

BUILDING 3, 4 & 5 SECTION  
A20.2



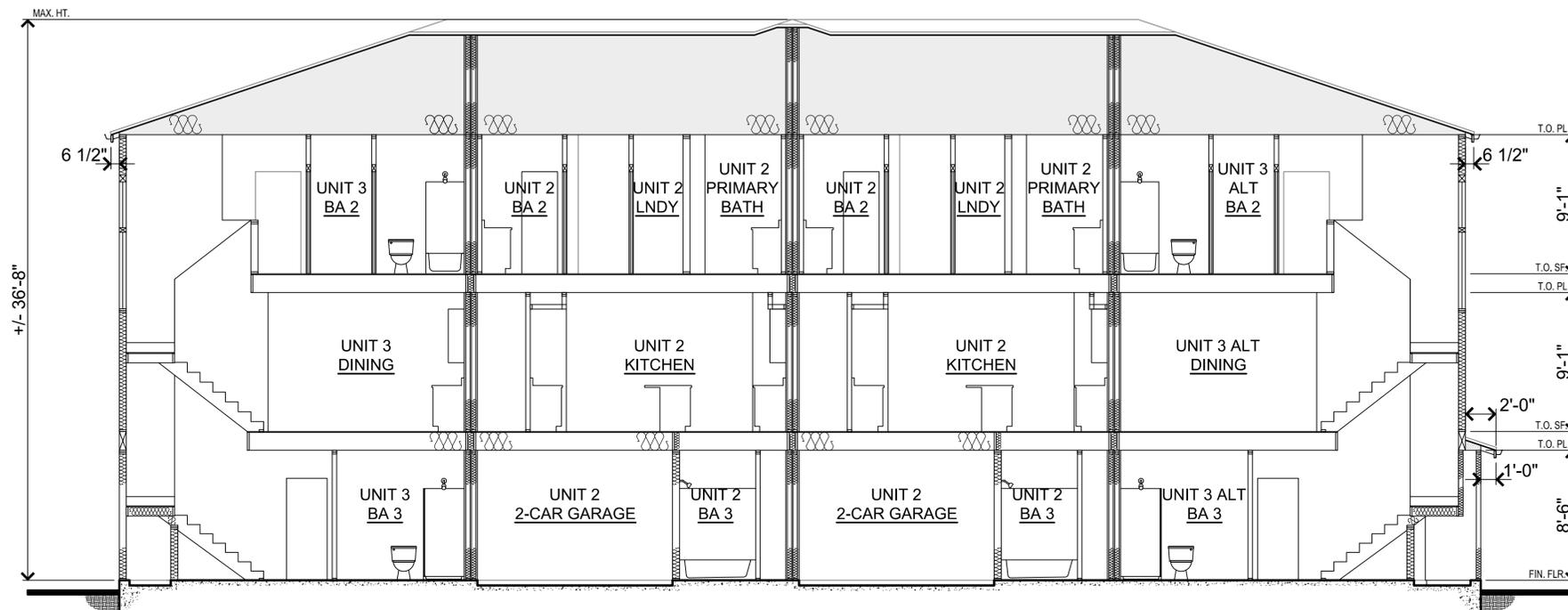
BUILDING - SECTION

SEE EXTERIOR ELEVATIONS  
FOR BUILDING HEIGHTS FROM  
EXISTING & PROPOSED GRADES



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Cupertino, CA  
January 12, 2026

BUILDING 7 SECTION  
A20.3



BUILDING - SECTION



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Cupertino, CA  
January 12, 2026

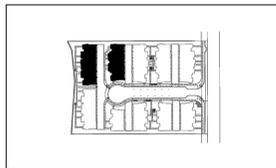
BUILDING 8, 9 & 10 SECTION  
A20.4

CITY OF CUPERTINO  
APN: 356-05-005

PROPERTY LINE, TYP.

NOTE: DIMENSIONS ARE SHOWING THE EXTENT OF THE ROOF EAVE TO THE PROPERTY LINE. TO SEE BUILDING SET BACK DIMENSIONS, SEE SHT. A07.

NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.



KEY MAP - N.T.S.

381.078 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

UNIT 3

UNIT 2

UNIT 2

UNIT 2R

UNIT 2R

UNIT 3R

BUILDING 1

UNIT 3

BMR  
UNIT 1R

BMR  
UNIT 1

BMR  
UNIT 1R

BMR  
UNIT 1

UNIT 3R ALT

BUILDING 2

BUILDING 1 & 2 ROOF PLAN TO PROPERTY LINE

A21



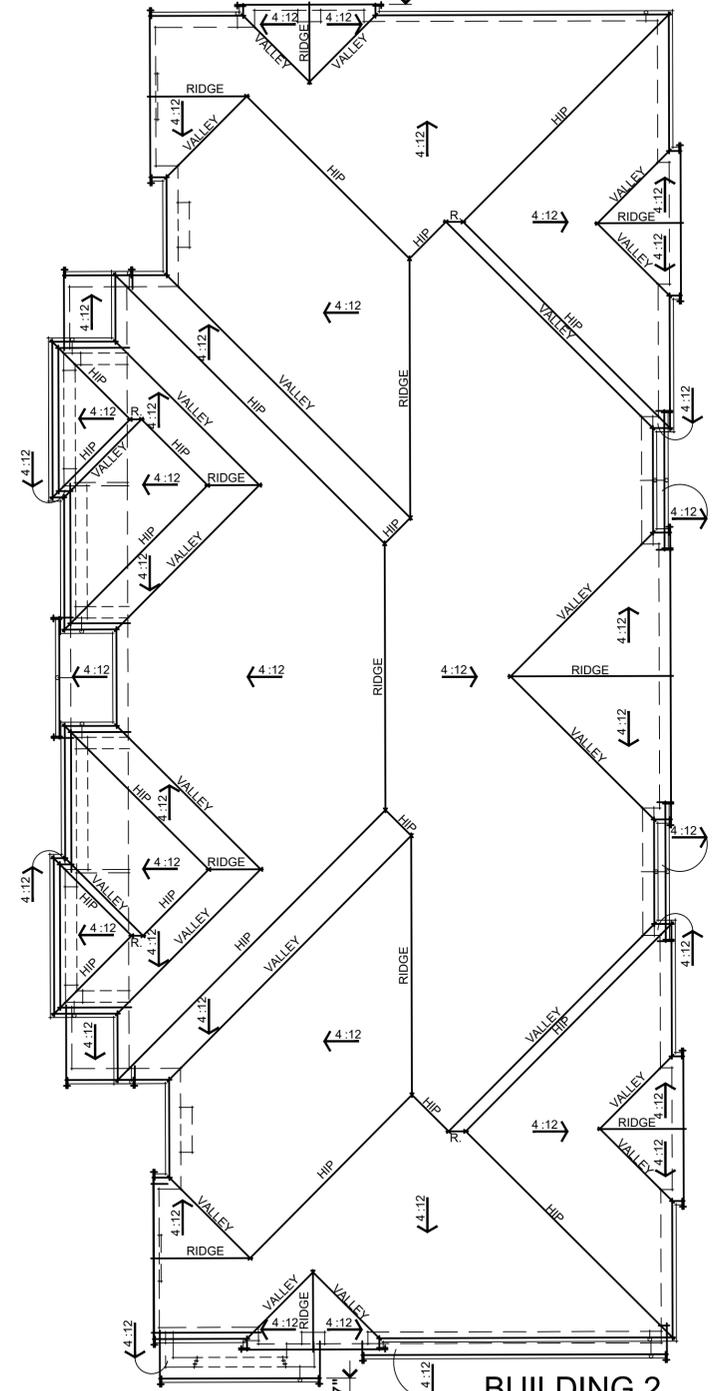
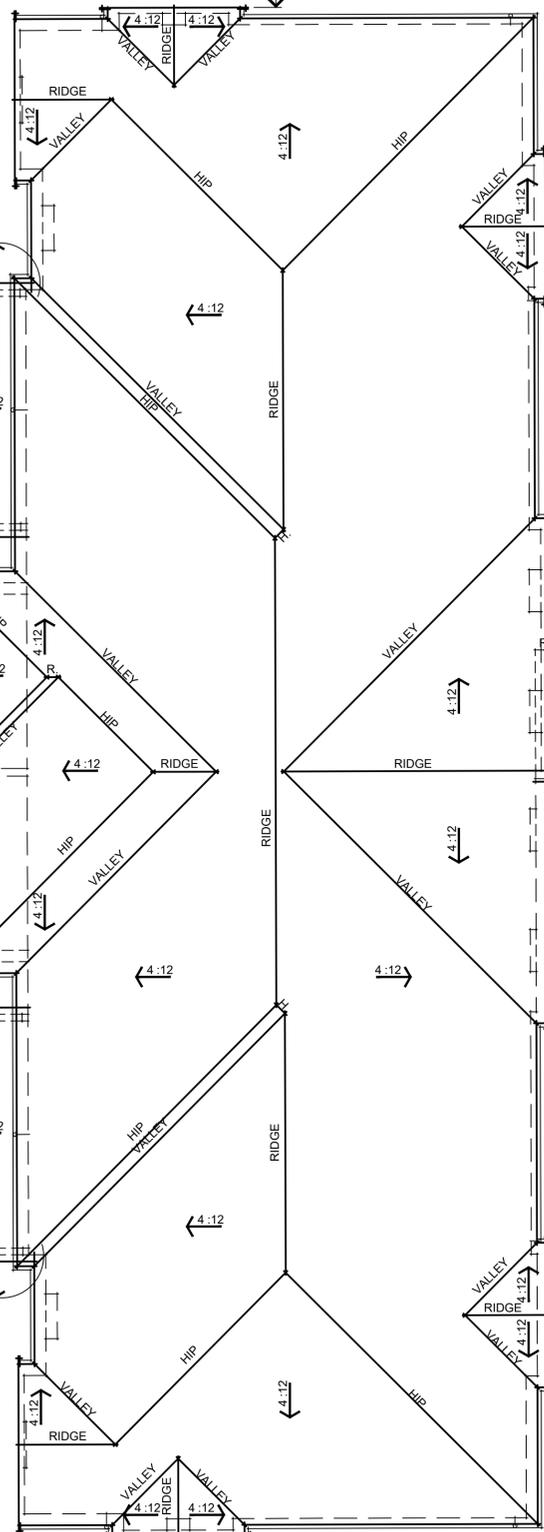
EVULICH CT.

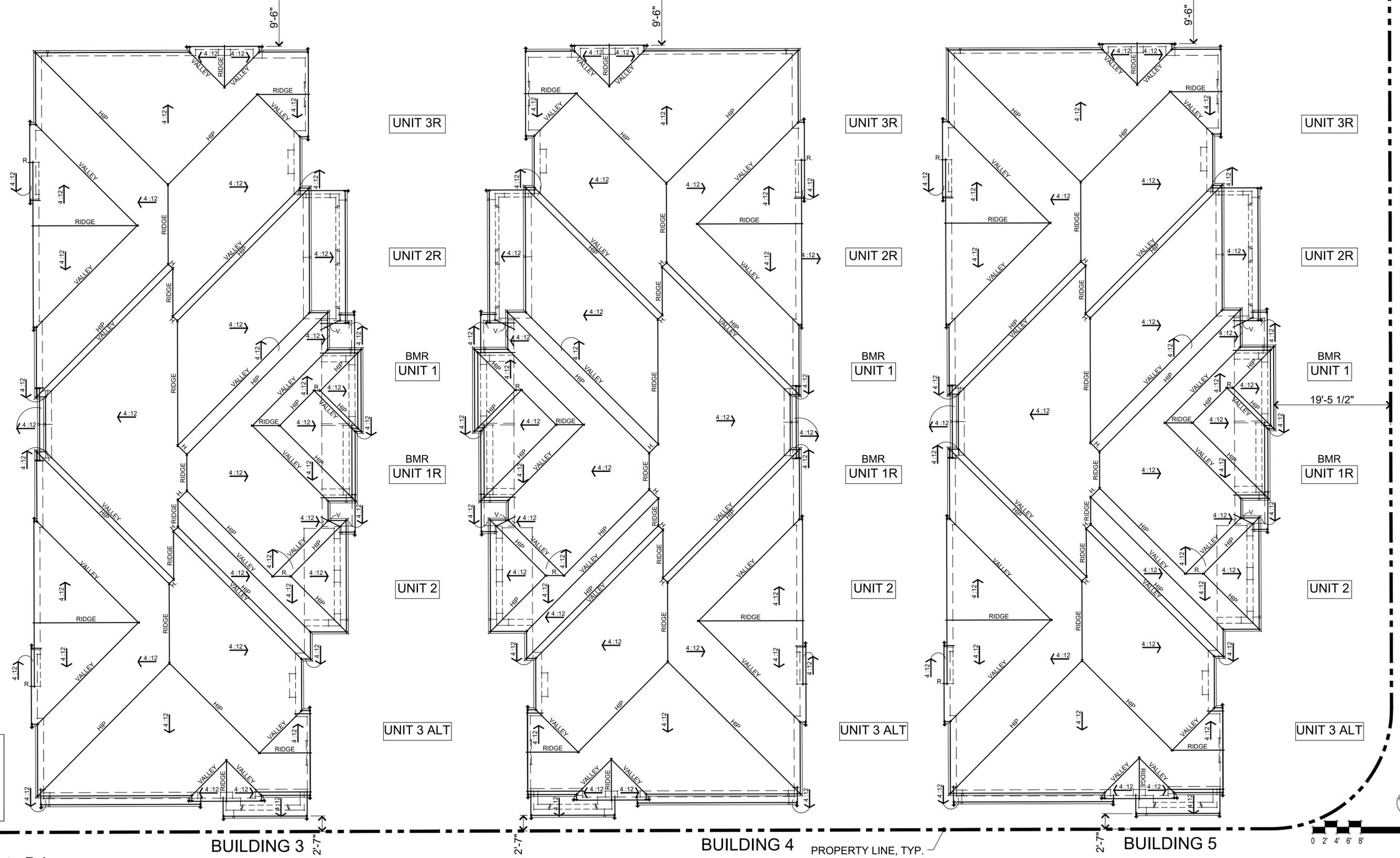
9'-6"

9'-6"

21'-10 3/4"

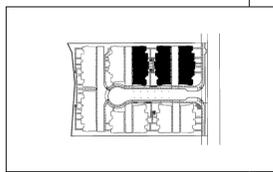
3'-7"





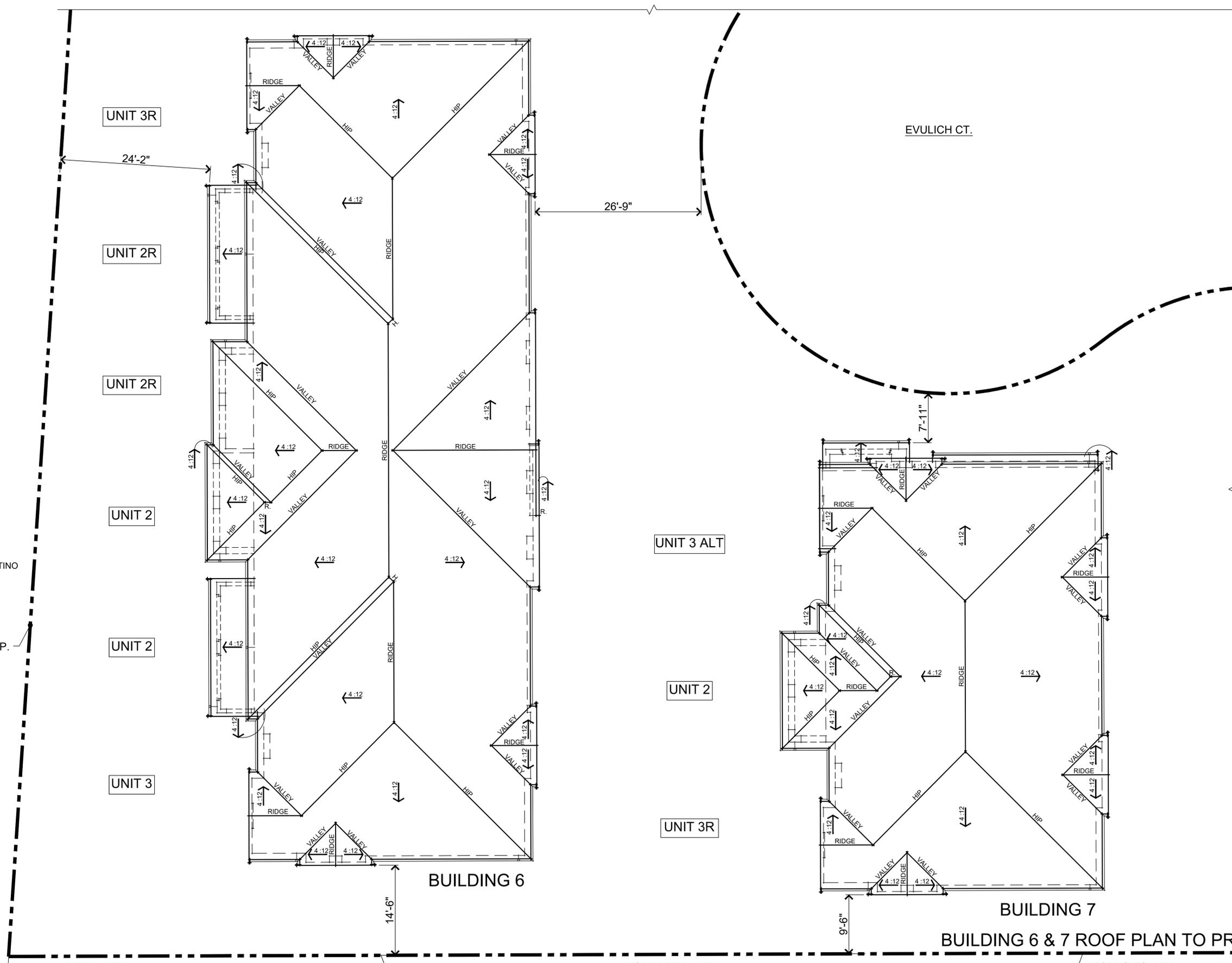
NOTE: DIMENSIONS ARE SHOWING THE EXTENT OF THE ROOF EAVE TO THE PROPERTY LINE. TO SEE BUILDING SET BACK DIMENSIONS, SEE SHT. A07.

NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.



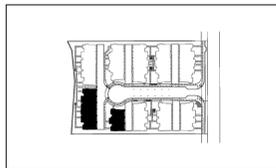
KEY MAP - N.T.S.

381.078 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026



NOTE: DIMENSIONS ARE SHOWING THE EXTENT OF THE ROOF EAVE TO THE PROPERTY LINE. TO SEE BUILDING SET BACK DIMENSIONS, SEE SHT. A07.

NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.



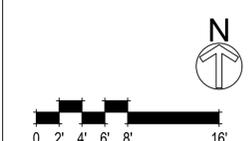
KEY MAP - N.T.S.

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January 12, 2026

BARRY - APN: 356-06-026

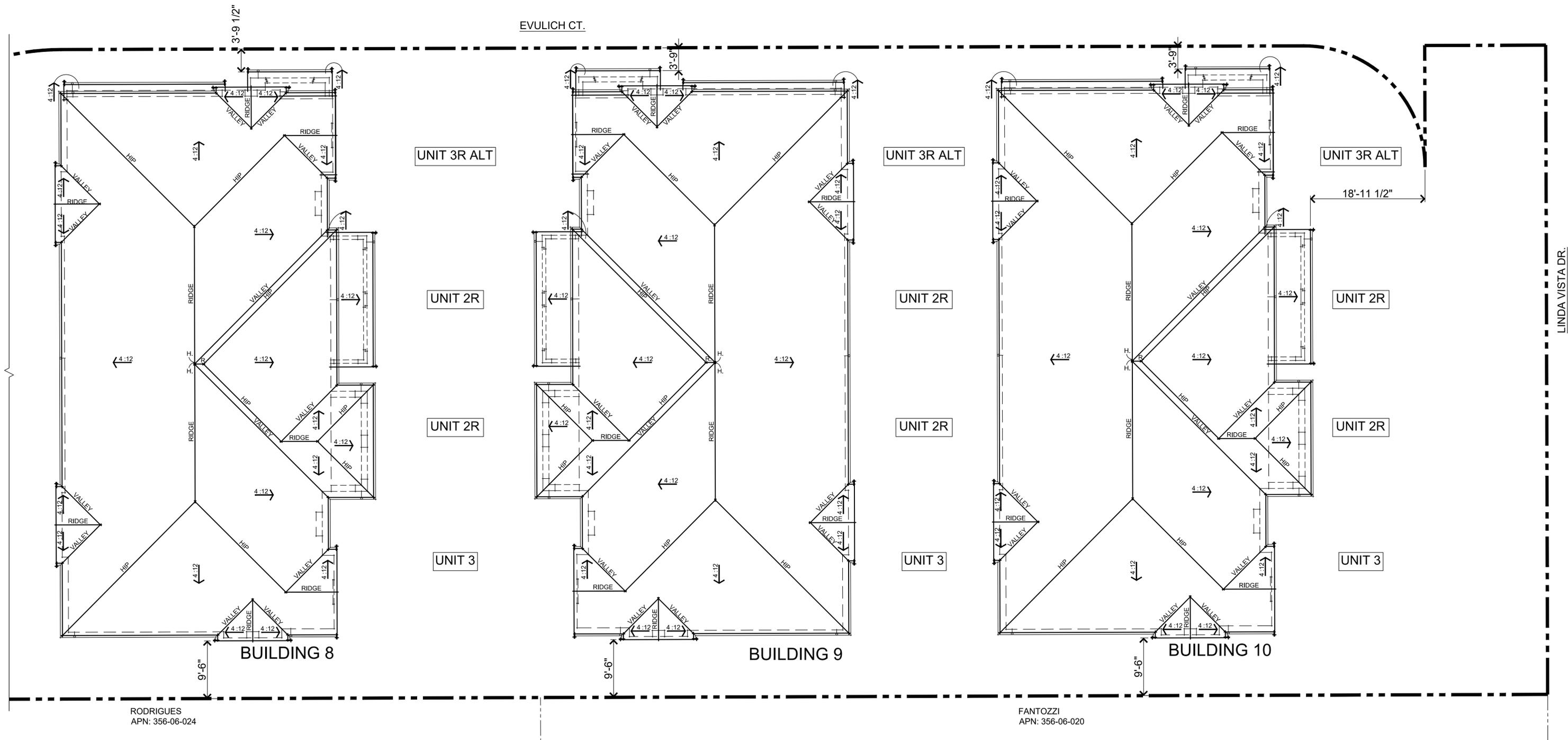
KOPARDEKAR - APN: 356-00-025

RODRIGUES - APN: 356-06-024



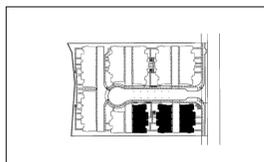
BUILDING 6 & 7 ROOF PLAN TO PROPERTY LINE

A21.2



RODRIGUES  
APN: 356-06-024

FANTOZZI  
APN: 356-06-020



KEY MAP - N.T.S.

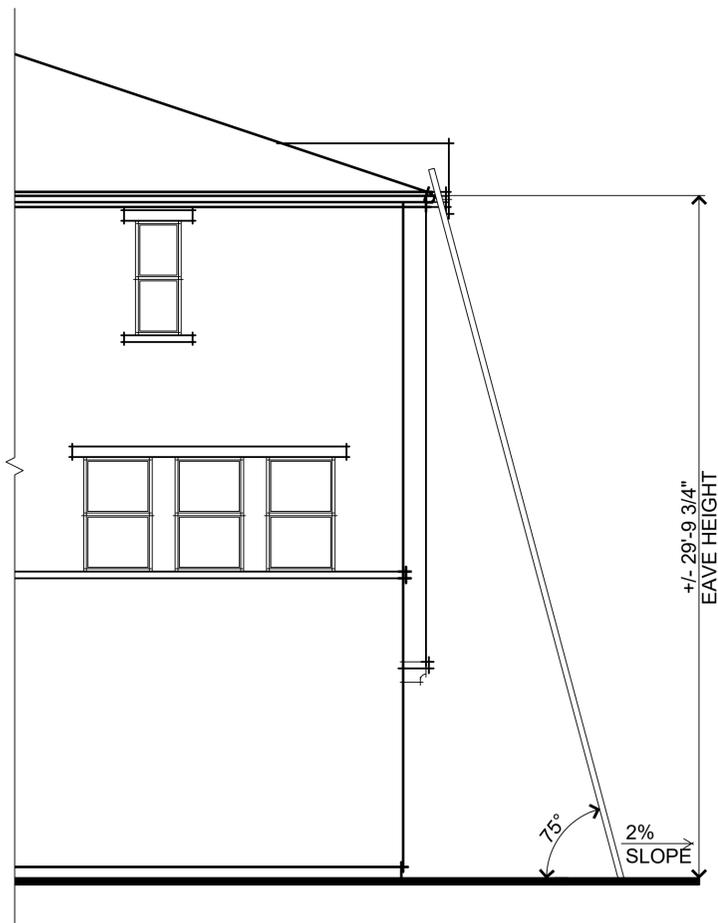
NOTE: THERE IS NO ROOFTOP MECHANICAL EQUIPMENT IN THIS PROJECT. MECHANICAL EQUIPMENT IS HOUSED IN UNIT ATTICS.

NOTE: DIMENSIONS ARE SHOWING THE EXTENT OF THE ROOF EAVE TO THE PROPERTY LINE. TO SEE BUILDING SET BACK DIMENSIONS, SEE SHT. A07.

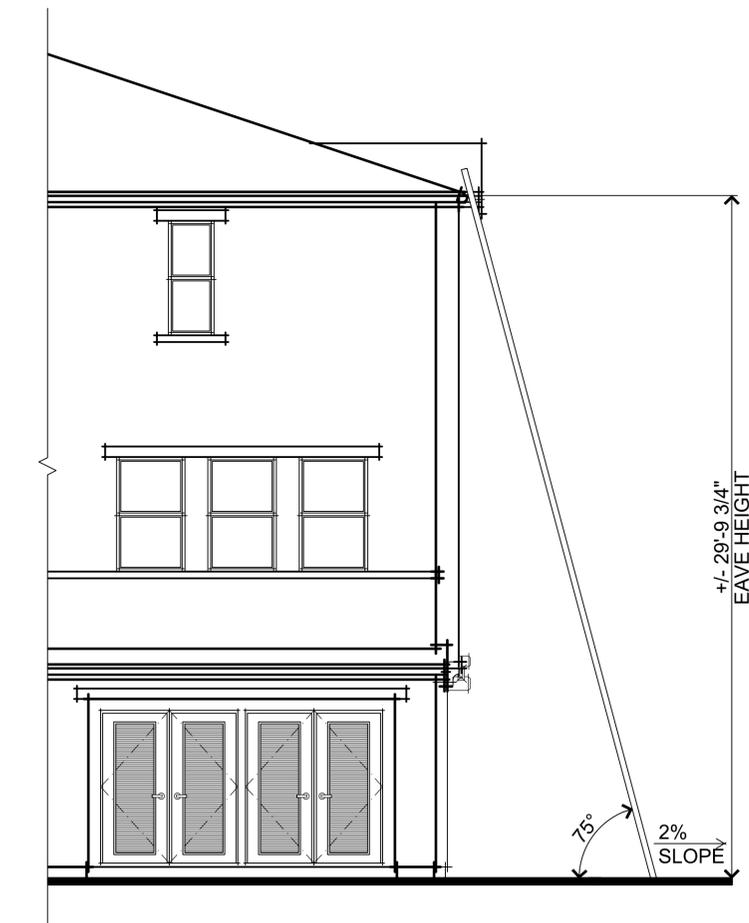


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January 12, 2026

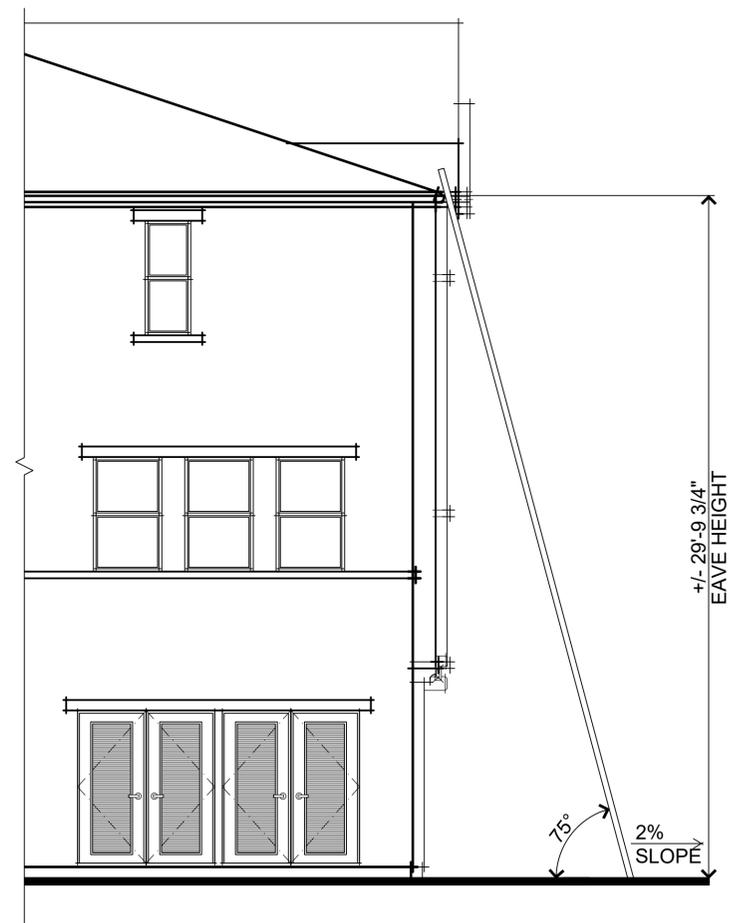
BUILDING 8, 9 & 10 ROOF PLAN TO PROPERTY LINE  
A21.3



TYP. @ BUILDINGS 3, 4, 5 & 7  
RIGHT ELEVATION



TYP. @ BUILDINGS 2, 8, 9, & 10  
RIGHT ELEVATION



BUILDING 1 & 6  
RIGHT ELEVATION

NOTE: EAVE HEIGHT IS MEASURED TO THE INTERSECTION OF THE WALL AND ROOF, PER SCCFD.

10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

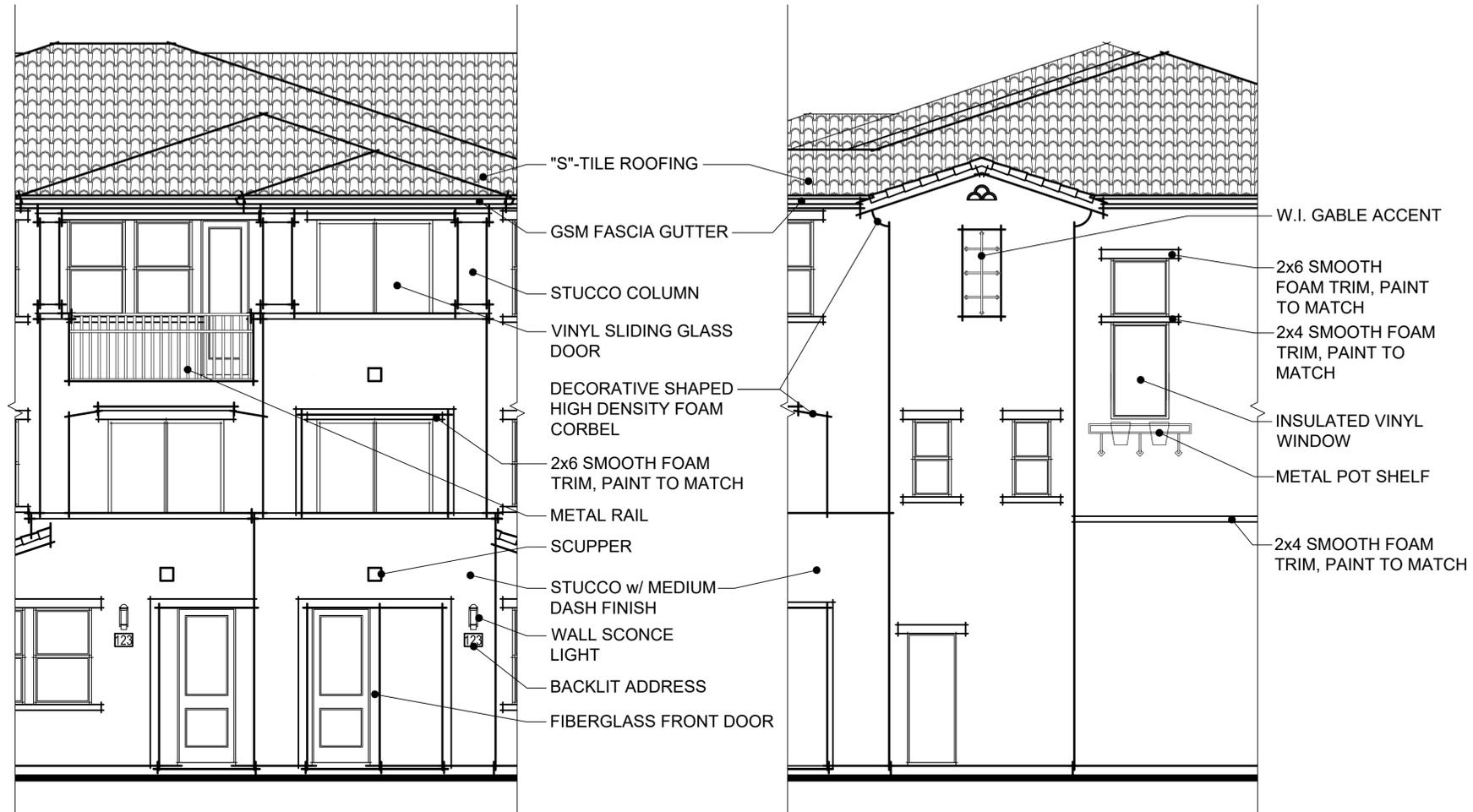


LADDER PAD EXHIBIT  
A22



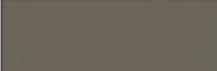
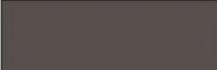
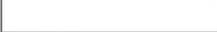


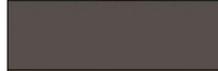
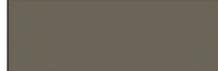
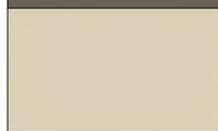
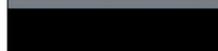
BICYCLE STORAGE HOIST ASSIST MECHANISM BY RAD CYCLE PRODUCTS (AMAZON.COM) AT UNITS 1, 2, 3 & 3 ALT.

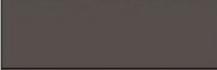
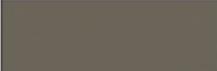
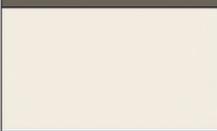


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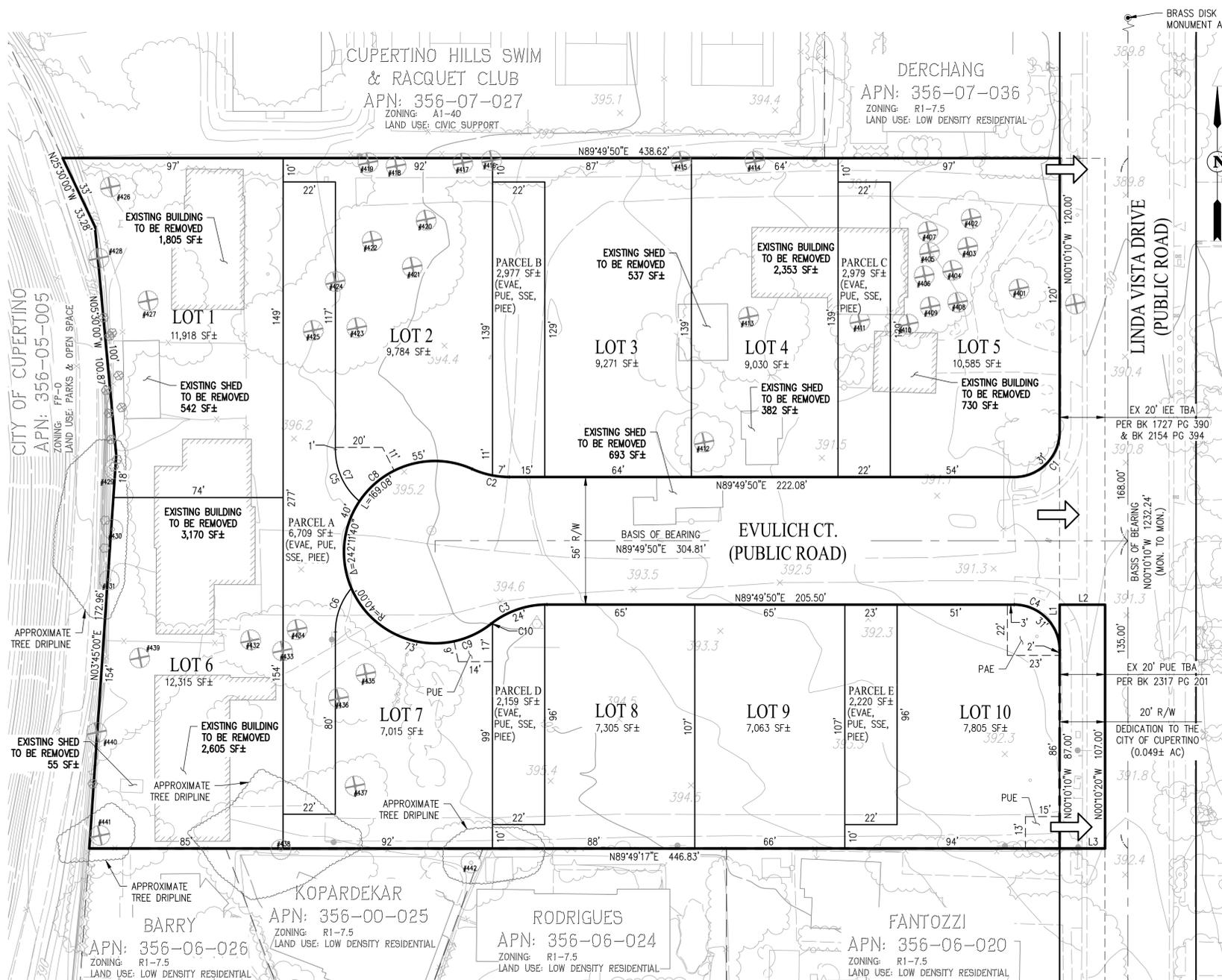
ARCHITECTURAL EXTERIOR MATERIALS & DETAILS  
 A23.1

COLOR SCHEME 1		APPLICATION	COLOR
	<u>ROOF</u> : CONCRETE LOW PROFILE	--	2697 SLATE RANGE
	<u>FASCIA</u>	FASCIA	SW 7048 URBANE BRONZE
	<u>TRIM COLOR</u>	GARAGE DOORS & TRIM	SW 7047 PORPOISE
	<u>BODY COLOR</u>	STUCCO & UTILITY DOORS	SW 7543 AVENUE TAN
	<u>ENTRY DOOR</u>	ENTRY DOOR	SW 7048 URBANE BRONZE
	<u>WROUGHT IRON</u>	--	BLACK
	<u>WINDOW MULLIONS</u>	WHITE	WHITE
	<u>DOWNSPOUTS</u>	DOWNSPOUTS	MATCH ADJACENT BODY COLOR

COLOR SCHEME 3		APPLICATION	COLOR
	<u>ROOF</u> : CONCRETE LOW PROFILE	--	2697 SLATE RANGE
	<u>FASCIA</u>	FASCIA	SW 7048 URBANE BRONZE
	<u>TRIM COLOR</u>	GARAGE DOORS & TRIM	SW 7047 PORPOISE
	<u>BODY COLOR</u>	STUCCO & UTILITY DOORS	SW 7569 STUCCO
	<u>ENTRY DOOR</u>	ENTRY DOOR	SW 2819 DOWNING SLATE
	<u>WROUGHT IRON</u>	--	BLACK
	<u>WINDOW MULLIONS</u>	WHITE	WHITE
	<u>DOWNSPOUTS</u>	DOWNSPOUTS	MATCH ADJACENT BODY COLOR

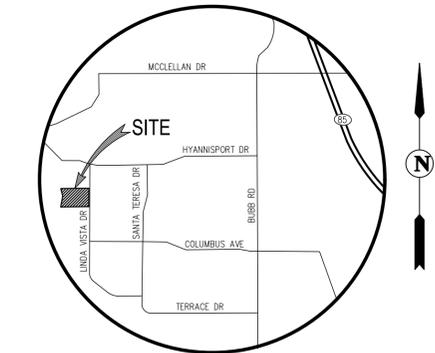
COLOR SCHEME 2		APPLICATION	COLOR
	<u>ROOF</u> : CONCRETE LOW PROFILE	--	2697 SLATE RANGE
	<u>FASCIA</u>	FASCIA	SW 7048 URBANE BRONZE
	<u>TRIM COLOR</u>	GARAGE DOORS & TRIM	SW 7047 PORPOISE
	<u>BODY COLOR</u>	STUCCO & UTILITY DOORS	SW 7551 GREEK VILLA
	<u>ENTRY DOOR</u>	ENTRY DOOR	SW 7705 WHEAT PENNY
	<u>WROUGHT IRON</u>	--	BLACK
	<u>WINDOW MULLIONS</u>	WHITE	WHITE
	<u>DOWNSPOUTS</u>	DOWNSPOUTS	MATCH ADJACENT BODY COLOR

10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026



**CONTACTS**

1. OWNER: ROY EVULICH AND ANGELA EVULICH AS TRUSTEES OF EVULICH LIVING TRUST  
BARRIS J. EVULICH AND SONDEA L. EVULICH TRUSTEES OF THE EVULICH 2000 FAMILY TRUST  
ROY A. EVULICH AND BARRIS J. EVULICH AS SUCCESSOR TRUSTEES OF THE JOSEPH EVULICH DECLARATION TRUST
2. DEVELOPER: SUMMERHILL HOMES, LLC  
JOHN HICKEY  
3000 EXECUTIVE PARKWAY, STE 450  
SAN RAMON, CA 94583  
(650) 857-0122
3. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
RYAN HANSEN P.E.  
2633 CAMINO RAMON, SUITE 350  
SAN RAMON, CA 94583  
(925) 866-0322
3. ARCHITECT: SDG ARCHITECTS, INC.  
JENNIFER MASTRO  
3361 WALNUT BLVD. SUITE 120  
BRENTWOOD, CA 94513  
(925) 634-7000
4. LANDSCAPE: R3 STUDIOS  
ROMAN DE SOTA  
201 4TH STREET 101B  
OAKLAND, CA 94607  
(510) 452-4190



**VICINITY MAP**  
NOT TO SCALE

**GENERAL NOTES**

1. AERIAL TOPOGRAPHY: BY GEOMAPS DATED NOVEMBER 14, 2024
2. CONTOUR INTERVAL: 1 FOOT
3. ACCESSORS PARCEL NO.: 356-06-001, 356-06-002, 356-06-003, & 356-06-004
4. SITE ADDRESS: 10857, 10867, 10877, & 10887 LINDA VISTA DRIVE
5. EXISTING ZONING: R3/TH - MULTIPLE FAMILY RESIDENTIAL WITH TOWNHOME COMBINING DISTRICT
6. PROPOSED ZONING: R3/TH - MULTIPLE FAMILY RESIDENTIAL WITH TOWNHOME COMBINING DISTRICT
7. EXISTING LAND USE: HIGH/MEDIUM DENSITY RESIDENTIAL
8. PROPOSED LAND USE: HIGH/MEDIUM DENSITY RESIDENTIAL
9. GENERAL PLAN: RESIDENTIAL
10. SITE AREA: 2.555 AC± (PROPERTY LIMITS)  
GROSS LOT AREA: 3.141 AC± (PER CCMC 19.08.030.G)
11. LOT AREA (NET): 2.506 AC± (PER CCMC 19.08.030.L)
12. DWELLING UNITS: 51 UNITS
13. DENSITY: 20.35 DU/AC (NET SITE AREA)
14. EXISTING STRUCTURES: EXISTING STRUCTURES ON THE SITE WILL BE DEMOLISHED PRIOR TO CONSTRUCTION.
15. STREET TREES: STREET TREES SHALL BE PROVIDED AS REQUIRED BY THE CITY.
16. TREES: ALL EXISTING TREES WITHIN THE DEVELOPMENT OF THE SITE ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
17. UTILITY PROVIDERS:  
WATER: SAN JOSE WATER COMPANY  
SANITARY SEWER: CUPERTINO SANITARY DISTRICT  
STORM DRAIN: CITY OF CUPERTINO  
GAS & ELECTRIC: PG&E  
TELEPHONE: TBD  
CABLE TV: TBD
18. UTILITY: ALL ONSITE DOMESTIC WATER MAINS WILL BE PUBLIC UP TO THE METERS. SANITARY SEWER WILL BE PUBLIC UP TO THE UNIT CLEANOUT. THE STORM DRAIN SYSTEM SERVING JUST THE RESIDENTIAL DEVELOPMENT WILL BE PRIVATE. THE STORM DRAIN SYSTEM SERVING THE UPSTREAM OFFSITE RUNOFF WILL BE PUBLIC.
19. LIGHTING: ALL LIGHTING ON PRIVATE STREETS SHALL BE PRIVATELY MAINTAINED. LIGHTING ON PUBLIC STREETS SHALL BE PUBLICLY MAINTAINED.
20. TRASH: INDIVIDUAL TRASH CAN PICKUP IS TO BE PROVIDED BY RECOLOGY SOUTH BAY.
21. STREETS: ALL ONSITE STREETS ARE TO BE PRIVATE AND PRIVATELY MAINTAINED.
22. GRADING: PROPOSED GRADING AS SHOWN IS PRELIMINARY, FINISHED GRADING IS SUBJECT TO FINAL DESIGN.
23. DIMENSIONS: ALL PARCEL AND LOT DIMENSIONS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL DESIGN.
24. EROSION CONTROL: EROSION CONTROL WILL BE PREPARED PER CITY STANDARDS AND ABAG RECOMMENDATIONS.
25. COMMON AREAS: COMMON AREAS ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
26. FLOOD ZONE: ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.  
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP. MAP NUMBER 06085C0216H  
DATED: MAY 18, 2009
27. BASIS OF BEARING: THE BEARING OF N0°10'10"W, OF THE EASTERLY LINE OF THAT CERTAIN RECORD OF SURVEY MAP FILED IN BOOK 152 OF MAPS PAGE 39, SANTA CLARA COUNTY RECORDS, CALIFORNIA, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.
28. BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS SCVND'S 6CM DIAMETER BRASS DISK (Q180); ON TOP OF SOUTHERLY CURB FOR MCCLELLAN ROAD, NEAR A CATCH BASIN; 2.5 FEET NORTH OF THE RAILROAD CROSSING LIGHTS, AND 15 FEET WEST OF THE CENTER OF THE TRACKS. STATION IS ALSO ABOUT 250 FEET EAST FROM BUBB ROAD ALONG MCCLELLAN ROAD, CITY OF CUPERTINO. HAVING A NAVD88 PUBLISHED ELEVATION OF 335.23 FEET.
29. CONDOMINIUM MAP: A CONDOMINIUM PLAN WILL BE RECORDED FOR LOTS 1 THROUGH 10. THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4285 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS SHALL BE NO MORE THAN 51 RESIDENTIAL CONDOMINIUM UNITS FOR LOTS 1 THROUGH 10.

**LEGEND**

- EXISTING SUBDIVISION BOUNDARY
- PROPOSED SUBDIVISION BOUNDARY
- LOT LINE
- RIGHT OF WAY
- MONUMENT LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- EXISTING EASEMENT LINE
- FOUND MONUMENT
- EXISTING TREE TO REMAIN. FOR TREE DBH AND SPECIES SEE TREE TABLE ON SHEET C1.1
- EXISTING TREE TO BE REMOVED. FOR TREE DBH AND SPECIES SEE TREE TABLE ON SHEET C1.1
- DIRECTION OF OVERLAND RELEASE
- ASSESSORS PARCEL NUMBER
- DBH
- EVAE
- EX
- PAE
- PR
- PIEE
- PUE
- PSDE
- PUE
- R/W
- SSE
- TR
- TBA
- TBR
- TO BE ABANDONED
- TO BE REMOVED

**CURVE TABLE**

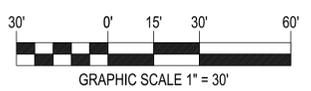
NO	RADIUS	DELTA	LENGTH
C1	20.00'	90°00'00"	31.42'
C2	40.00'	24°08'49"	16.86'
C3	40.00'	38°02'51"	26.56'
C4	20.00'	90°00'00"	31.42'
C5	29.50'	50°10'48"	25.84'
C6	29.50'	40°28'49"	20.84'
C7	29.50'	50°10'48"	25.84'
C8	40.00'	29°25'24"	20.54'
C9	40.00'	25°56'32"	18.11'
C10	39.00'	11°2'59"	0.83'

**LINE TABLE**

NO	BEARING	LENGTH
L1	N00°11'01"W	20.00'
L2	N89°49'50"E	20.00'
L3	N89°49'17"E	20.00'

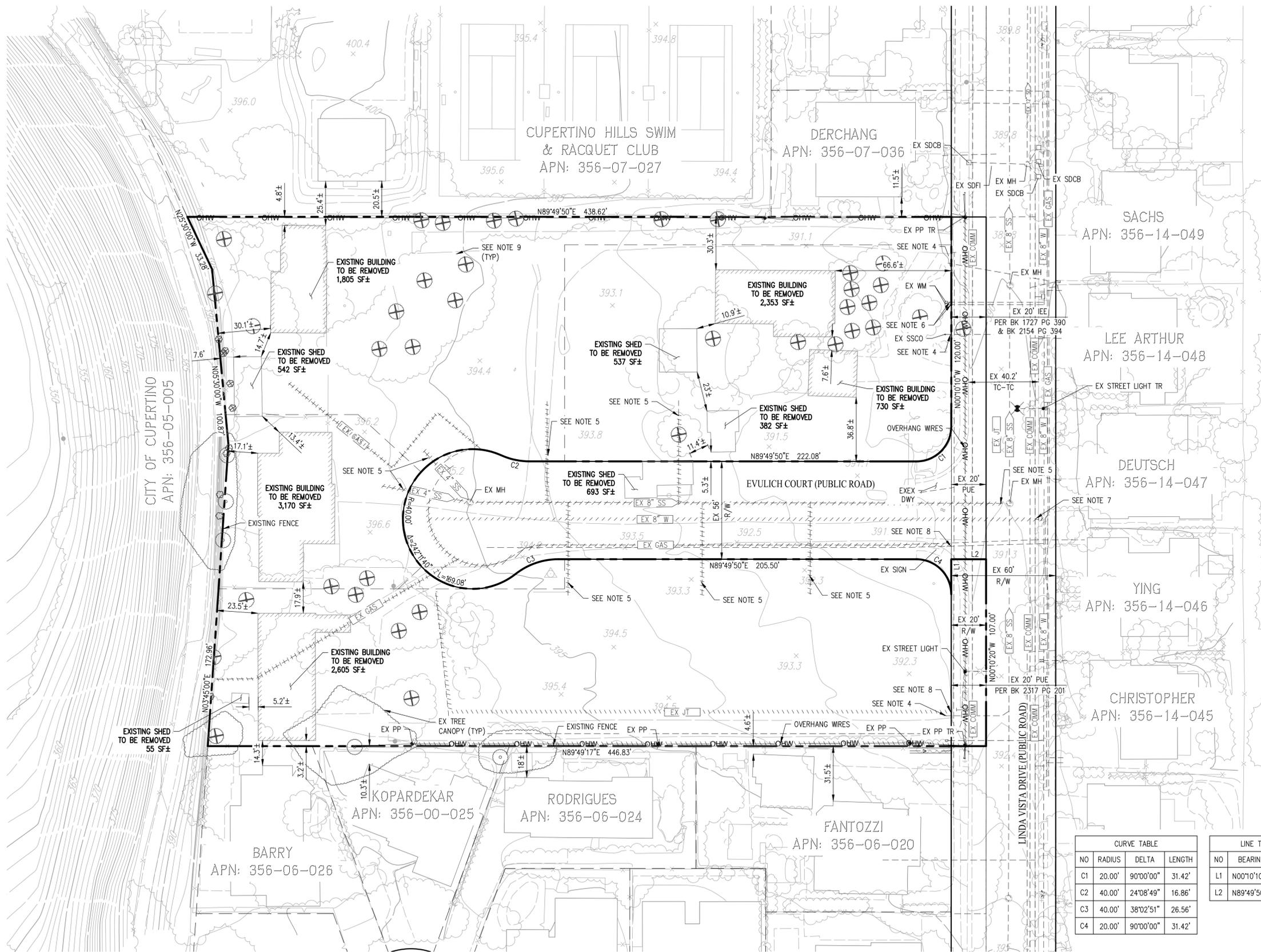
**SHEET INDEX**

SHEET NO.	DESCRIPTION
TM1.0	VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES
C1.0	EXISTING CONDITIONS
C1.1	EXISTING TREE INVENTORY PLAN
C2.0	PRELIMINARY SITE PLAN
C2.1	CONTEXTUAL PLAN
C3.0	PRELIMINARY UTILITY PLAN
C4.0	PRELIMINARY GRADING PLAN
C4.1	PRELIMINARY GRADING SECTIONS
C5.0	PRELIMINARY STORMWATER CONTROL PLAN
C5.1	PRELIMINARY STORMWATER CONTROL PLAN DETAILS
C6.0	PRELIMINARY FIRE ACCESS PLAN
C7.0	PRELIMINARY TRASH MANAGEMENT PLAN



**10857 LINDA VISTA DRIVE**  
Cupertino, CA  
January 12, 2026

TRACT NO. \_\_\_\_\_ VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES TM1.0

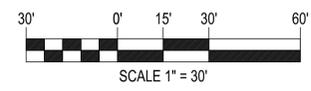


### LEGEND

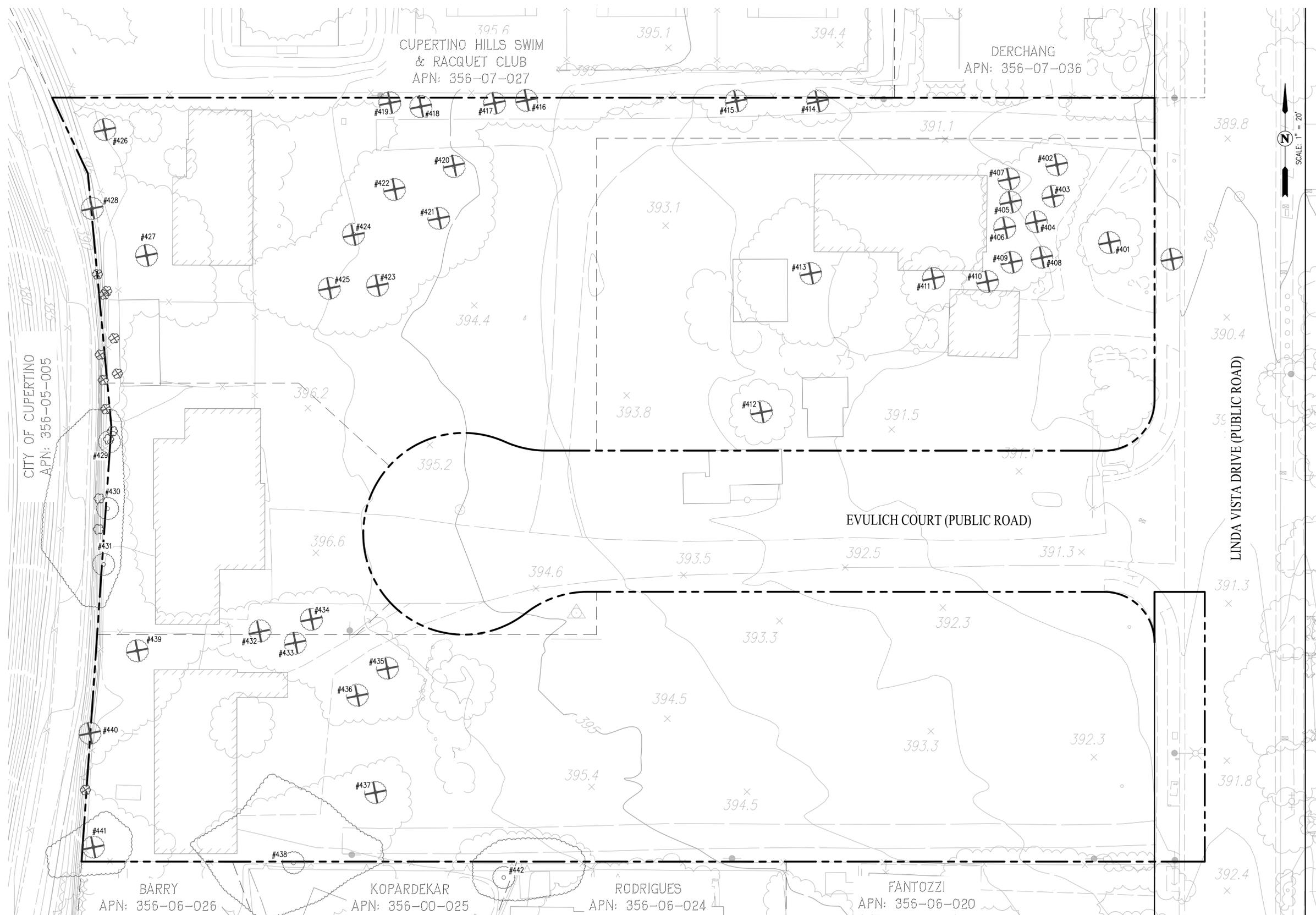
	EXISTING BOUNDARY LINE
	EXISTING LOT LINE
	EASEMENT LINE
	ADJACENT PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING STORM DRAIN MAIN
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER MAIN
	EXISTING GAS LINE
	EXISTING JOINT TRENCH
	EXISTING OVERHANG WIRE
	EXISTING PIPE/OHW TO BE REMOVED
	EXISTING MANHOLE
	EXISTING STORM DRAIN CATCH BASIN
	EXISTING POWER POLE
	EXISTING STREET LIGHT
	EXISTING WATER METER
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	BLDG
	CB
	DWY
	ELEC
	FI
	ELEC
	EX
	JT
	LAT
	MH
	OHW
	PAVE
	PL
	PP
	PUE
	R/W
	SF
	SL
	SSCO
	TC
	TBR
	TR
	UTIL
	WM

- ### NOTE:
- ALL EXISTING ONSITE UTILITIES, AND IMPROVEMENTS NOT LIMITED TO BUILDINGS, RETAINING WALLS, PAVEMENT, TREES, ETC. ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
  - LOCATION OF ALL EXISTING UTILITIES ARE APPROXIMATE BASED ON FIELD AND RECORD INFORMATION. FINAL UTILITY LOCATIONS AND DEPTHS ARE SUBJECT TO USA MARKINGS VERIFICATION AND POT HOLE INVESTIGATIONS.
  - ALL ONSITE TREES ARE TO BE REMOVED UNLESS NOTED ON THE LANDSCAPE PLANS FOR RETENTION.
  - EXISTING SANITARY SEWER LATERALS TO BE CUT & CAPPED AT THE SEWER MAIN & ABANDONED PER CUPERTINO SANITARY DISTRICT STANDARDS
  - EXISTING SANITARY SEWER MAIN ONSITE ALONG EVULICH COURT TO BE REMOVED AND REPLACED. EXISTING LATERALS CONNECTED TO MAIN TO BE REMOVED.
  - EXISTING WATER LATERALS TO BE CUT & CAPPED AT PROPERTY LINE AND ABANDONED
  - EXISTING WATER MAIN ONSITE ALONG EVULICH COURT TO BE REMOVED AND REPLACED. EXISTING LATERALS CONNECTED TO MAIN TO BE REMOVED.
  - REMOVAL OF EXISTING ONSITE GAS AND JOINT TRENCH MAIN TO BE CONFIRMED BY DRY UTILITY CONSULTANT.
  - SEE SHEET C1.1 FOR EXISTING TREE INVENTORY PLAN.

CURVE TABLE				LINE TABLE		
NO	RADIUS	DELTA	LENGTH	NO	BEARING	LENGTH
C1	20.00'	90°00'00"	31.42'	L1	N00°10'10"W	20.00'
C2	40.00'	24°08'49"	16.86'	L2	N89°49'50"E	20.00'
C3	40.00'	38°02'51"	26.56'			
C4	20.00'	90°00'00"	31.42'			



10857 LINDA VISTA DRIVE  
Cupertino, CA  
January 12, 2026



### TREE INVENTORY TABLE

TREE NO.	SPECIES	TRUNK DIAMETER (IN.)	PROTECTED	PROPOSED ACTION	BASE ELEVATION (FEET±)
401	COAST LIVE OAK	19	YES	REMOVE	390
402	ALMOND	17	NO	REMOVE	390
403	SILVER WATTLE ACACIA	9, 8, 4	NO	REMOVE	390
404	SILVER WATTLE ACACIA	10, 8, 0	NO	REMOVE	390
405	SILVER WATTLE ACACIA	7	NO	REMOVE	391
406	SILVER WATTLE ACACIA	7	NO	REMOVE	391
407	SILVER WATTLE ACACIA	10	NO	REMOVE	391
408	SILVER WATTLE ACACIA	5, 4, 0	NO	REMOVE	391
409	SILVER WATTLE ACACIA	6	NO	REMOVE	391
410	GLOSSY PRIVET	7, 6, 0	NO	REMOVE	391
411	LIME	11	NO	REMOVE	391
412	COFFEEBERRY	10	NO	REMOVE	392
413	COAST LIVE OAK	30	YES	REMOVE	392
414	COAST LIVE OAK	8	NO	REMOVE	392
415	COAST LIVE OAK	8, 8, 0	NO	REMOVE	393
416	COAST LIVE OAK	6	NO	REMOVE	394
417	COAST LIVE OAK	14	YES	REMOVE	395
418	DOUGLAS FIR	6	NO	REMOVE	395
419	DOUGLAS FIR	9	NO	REMOVE	395
420	COAST LIVE OAK	11, 11, 0	NO	REMOVE	395
421	GLOSSY PRIVET	9	NO	REMOVE	395
422	COAST LIVE OAK	20, 18, 0	YES	REMOVE	395
423	HOLLY OAK	10,8,8,7,5,4	NO	REMOVE	395
424	COAST LIVE OAK	15, 13, 0	YES	REMOVE	396
425	COAST REDWOOD	32,20,15,10,8	NO	REMOVE	396
426	SILVER WATTLE ACACIA	7, 6, 5	NO	REMOVE	396
427	COAST LIVE OAK	16,12,10,10,10,8	YES	REMOVE	396
428	COAST LIVE OAK	17	YES	REMOVE	393
429	COAST LIVE OAK	12	YES	REMAIN	393
430	COAST LIVE OAK	17	YES	REMAIN	393
431	COAST LIVE OAK	15,15,12,10,8	YES	REMAIN	393
432	HOLLY OAK	8, 8, 0	NO	REMOVE	396
433	COAST LIVE OAK	7	NO	REMOVE	396
434	COAST LIVE OAK	10	NO	REMOVE	396
435	COAST LIVE OAK	20	YES	REMOVE	396
436	COAST LIVE OAK	8, 3, 0	NO	REMOVE	396
437	COAST LIVE OAK	22	YES	REMOVE	396
438	COAST LIVE OAK	42	YES	REMAIN	402
439	MONTEREY PINE	32	NO	REMOVE	397
440	COAST LIVE OAK	16	YES	REMOVE	392
441	EVERGREEN ASH	17	NO	REMOVE	403
442	MONTEREY PINE	36	NO	REMAIN	396
443	CAROLINA LAUREL CHERRY	6	NO	REMAIN	390
444	DEODAR CEDAR	26	YES	REMAIN	390
445	VICTORIAN BOX	6	NO	REMAIN	390
446	VICTORIAN BOX	8	NO	REMAIN	390
447	VICTORIAN BOX	7	NO	REMAIN	390
448	VICTORIAN BOX	7	NO	REMAIN	390
449	VICTORIAN BOX	7	NO	REMAIN	390
450	VICTORIAN BOX	11	NO	REMAIN	390

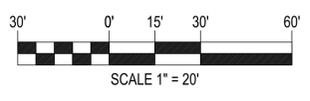
#### LEGEND

- EXISTING BOUNDARY LINE
- EXISTING LOT LINR
- ADJACENT PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING SMALL TREE TO REMAIN (2)
- EXISTING SMALL TREE TO BE REMOVED (2)

#### NOTE:

1. ALL TREES NOTED ON THE PLANS ARE PER ARBORIST REPORT PREPARED BY HORTSCIENCE BARTLETT CONSULTING DATED JULY 17, 2024.
2. SMALL TREES ARE LESS THEN 12" IN TRUNK DIAMETER AND NO TREE TAG FOUND. TREES #443 TO #450 HAVE NO TREE TAG.

**10857 LINDA VISTA DRIVE**  
Cupertino, CA  
January 12, 2026



**EXISTING TREE INVENTORY PLAN** C1.1

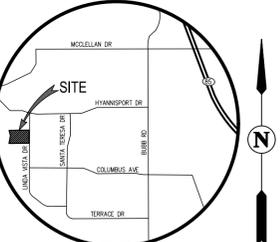
- NOTE:
- SEE LANDSCAPE PLANS BY OTHERS FOR ALL LANDSCAPE & IRRIGATION DETAILS.
  - SEE LANDSCAPE PLANS FOR ALL WALKWAY SURFACE TYPE & DETAILS.
  - ALL PEDESTRIAN STREET CROSSINGS WILL BE PROVIDED WITH AN ACCESSIBLE CURB RAMP & TRUNCATED DOMES AND WILL BE DETAILED ON THE PROJECTS CONSTRUCTION DRAWINGS.
  - PER PG&E DESIGN REQUIREMENTS 5' OF SEPARATION SHALL BE PROVIDED BETWEEN GAS MAIN AND TREE PLANTING.
  - THE BENCHMARK FOR THIS SURVEY IS SCWD'S 6CM DIAMETER BRASS DISK (#180), ON TOP OF SOUTHERLY CURB FOR MCCLELLAN ROAD, NEAR A CATCH BASIN; 2.5 FEET NORTH OF THE RAILROAD CROSSING LIGHTS, AND 15 FEET WEST OF THE CENTER OF THE TRACKS. STATION IS ALSO ABOUT 250 FEET EAST FROM BUBB ROAD ALONG MCCLELLAN ROAD, CITY OF CUPERTINO, HAVING A NAVD88 PUBLISHED ELEVATION OF 335.23 FEET.
  - ALL BUILDING HEIGHTS SHOWN ON THIS PLAN ARE MEASURED FROM THE NATURAL GRADE.
  - EXISTING NATURAL GRADE ALTERED FOR EXISTING BUILDINGS.

CUPERTINO HILLS SWIM & RACQUET CLUB  
 APN: 356-07-027  
 ZONING: A1-40  
 LAND USE: CIVIC SUPPORT

PROPOSED ZONING AND LAND USE:  
 ZONING: R3/TH - MULTIPLE FAMILY RESIDENTIAL WITH TOWNHOME COMBINING DISTRICT  
 LAND USE: HIGH/MEDIUM DENSITY RESIDENTIAL

DERCHANG  
 APN: 356-07-036  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

PARCEL	GROSS <sup>(1)</sup> SF	NET <sup>(2)</sup> SF
LOT 1	11,918	11,918
LOT 2	11,304	9,787
LOT 3	11,077	9,271
LOT 4	10,836	9,030
LOT 5	17,798	10,585
LOT 6	12,315	12,315
LOT 7	9,012	7,015
LOT 8	9,152	7,305
LOT 9	8,911	7,063
LOT 10	15,943	7,805
PARCEL A	7,592	6,709
PARCEL B	3,622	2,977
PARCEL C	3,622	2,979
PARCEL D	2,864	2,159
PARCEL E	2,864	2,220
TOTAL	126,830 <sup>(1)</sup>	109,138 <sup>(2)</sup>



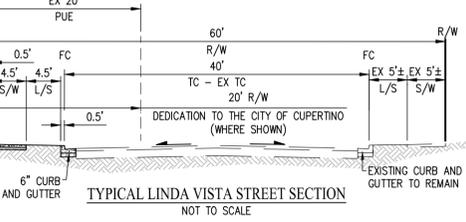
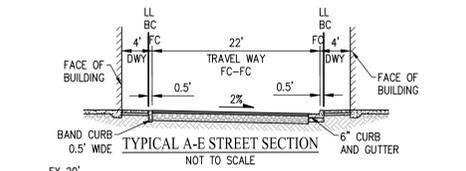
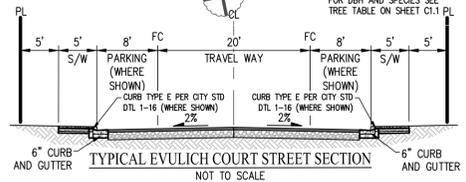
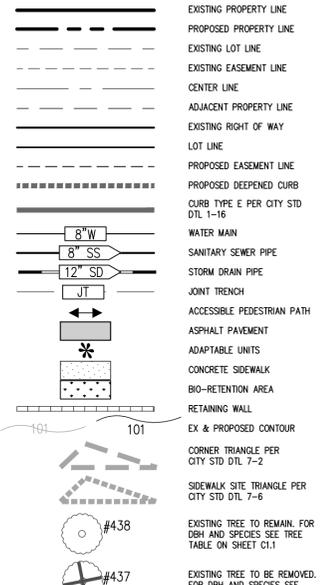
VICINITY MAP  
 NOT TO SCALE

- (1) 19.08.030.G "C" DEFINITIONS  
 "GROSS LOT AREA" MEANS THE HORIZONTAL AREA INCLUDED WITHIN THE PROPERTY LINES OF A SITE PLUS THE STREET AREA BOUNDED BY THE STREET CENTERLINE UP TO THIRTY FEET DISTANT FROM THE PROPERTY LINE, THE STREET RIGHT-OF-WAY LINE AND THE EXTENDED SIDE YARD TO THE STREET CENTERLINE.
- (2) 19.08.030.L "L" DEFINITIONS  
 "LOT AREA" MEANS THE AREA OF A LOT MEASURED HORIZONTALLY BETWEEN BOUNDARY LOT LINES, BUT EXCLUDING A PORTION OF A FLAG LOT PROVIDING ACCESS TO A STREET AND LYING BETWEEN FRONT LOT LINE AND THE STREET, AND EXCLUDING ANY PORTION OF A LOT WITHIN THE LINES OF ANY NATURAL WATERCOURSE, RIVER, STREAM, CREEK, WATERWAY, CHANNEL, OR FLOOD CONTROL, OR DRAINAGE EASEMENT AND INCLUDING ANY PORTION OF A LOT ACQUIRED FOR ACCESS AND STREET RIGHT-OF-WAY PURPOSES, IN FEE, EASEMENT OR OTHERWISE.

LINE	BEARING	LENGTH
L1	N00°10'10"W	20.00'
L2	N89°49'50"E	20.00'
L3	N89°49'17"E	20.00'

CURVE TABLE	NO	RADIUS	DELTA	LENGTH
C1	20.00'	90°00'00"	31.42'	
C2	40.00'	24°08'49"	16.86'	
C3	40.00'	38°02'51"	26.56'	
C4	20.00'	90°00'00"	31.42'	

LEGEND



CITY OF CUPERTINO  
 APN: 356-05-005  
 ZONING: FP-0  
 LAND USE: PARKS & OPEN SPACE

10857 LINDA VISTA DRIVE  
 Cupertino, CA  
 January 12, 2026

APN: 356-06-026  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

KOPARDEKAR  
 APN: 356-00-025  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

RODRIGUES  
 APN: 356-06-024  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

FANTOZZI  
 APN: 356-06-020  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

**SUMMERHILL HOMES**  
 COMMUNITIES OF DISTINCTION  
 3000 Executive Parkway, Suite 450 San Ramon, Ca 94583  
 650-857-0122

**cbg** CIVIL ENGINEERS  
 SURVEYORS  
 PLANNERS  
 SAN RAMON • ROSEVILLE

**R** STUDIOS

**SDG Architects, Inc.**  
 3361 Walnut Blvd, Suite 120  
 Brentwood, CA 94513  
 925.634.7000 | sdgarchitectsinc.com

SCALE 1" = 20'

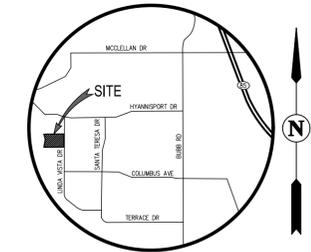
PRELIMINARY SITE PLAN C2.0

CUPERTINO HILLS SWIM & RACQUET CLUB  
 APN: 356-07-027  
 ZONING: A1-40  
 LAND USE: CIVIC SUPPORT

DERCHANG  
 APN: 356-07-036  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

ABBREVIATIONS

- BLDG BUILDING
- BIO-RET BIO-RETENTION
- BW BACK OF WALK
- CC CURB CUT
- CL CENTERLINE
- CONC CONCRETE
- DBH DIAMETER AT BREAST HEIGHT
- DWY DRIVEWAY
- EX EXISTING
- FC FACE OF CURB
- HT HEIGHT
- LS LANDSCAPE
- MIN MINIMUM
- PUE PUBLIC UTILITY EASEMENT
- PL PROPERTY LINE
- PO PORCH
- PR PROPOSED
- R/W RIGHT OF WAY
- SD STORM DRAIN
- SS SANITARY SEWER
- SW SIDEWALK
- TC TOP OF CURB
- TBA TO BE ABANDONED
- TSM TOP OF SOIL MIX
- TYP TYPICAL
- VG VALLEY GUTTER
- W WATER



VICINITY MAP  
 NOT TO SCALE

SITE AREA:  
 SITE AREA: 2.555 AC± (PROPERTY LIMITS)  
 GROSS LOT AREA: 3.141 AC± (PER CCMC 19.08.030.G)  
 LOT AREA (NET): 2.506 AC± (PER CCMC 19.08.030.L)

PROPOSED ZONING AND LAND USE:  
 ZONING: R3/TH - MULTIPLE FAMILY RESIDENTIAL WITH TOWNHOME COMBINING DISTRICT  
 LAND USE: HIGH/MEDIUM DENSITY RESIDENTIAL

LINE TABLE			CURVE TABLE			
NO	BEARING	LENGTH	NO	RADIUS	DELTA	LENGTH
L1	N00°10'10"W	20.00'	C1	20.00'	90°00'00"	31.42'
L2	N89°49'50"E	20.00'	C2	40.00'	24°08'49"	16.86'
L3	N89°49'17"E	20.00'	C3	40.00'	38°02'51"	26.56'
			C4	20.00'	90°00'00"	31.42'

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- CENTER LINE
- ADJACENT PROPERTY LINE
- EXISTING RIGHT OF WAY
- LOT LINE
- PROPOSED EASEMENT LINE
- PROPOSED DEEPEINED CURB
- CURB TYPE E PER CITY STD DTL 1-16
- WATER MAIN
- SANITARY SEWER PIPE
- STORM DRAIN PIPE
- JOINT TRENCH
- ACCESSIBLE PEDESTRIAN PATH
- ASPHALT PAVEMENT
- CURB CUT
- CONCRETE SIDEWALK
- BIO-RETENTION AREA
- RETAINING WALL
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

- NOTE:
- SEE LANDSCAPE PLANS BY OTHERS FOR ALL LANDSCAPE & IRRIGATION DETAILS.
  - SEE LANDSCAPE PLANS FOR ALL WALKWAY SURFACE TYPE M DETAILS.
  - ALL PEDESTRIAN STREET CROSSINGS WILL BE PROVIDED WITH AN ACCESSIBLE CURB RAMP & TRUNCATED DOMES AND WILL BE DETAILED ON THE PROJECTS CONSTRUCTION DRAWINGS.
  - PER PG&E DESIGN REQUIREMENTS 5' OF SEPARATION SHALL BE PROVIDED BETWEEN GAS MAIN AND TREE PLANTING.
  - THE BENCHMARK FOR THIS SURVEY IS SCWD'S 6CM DIAMETER BRASS DISK (0180); ON TOP OF SOUTHERLY CURB FOR MCCLELLAN ROAD, NEAR A CATCH BASIN; 2.5 FEET NORTH OF THE RAILROAD CROSSING LIGHTS, AND 15 FEET WEST OF THE CENTER OF THE TRACKS. STATION IS ALSO ABOUT 250 FEET EAST FROM BUBB ROAD ALONG MCCLELLAN ROAD, CITY OF CUPERTINO, HAVING A NAVD88 PUBLISHED ELEVATION OF 335.23 FEET.
  - ALL BUILDING HEIGHTS SHOWN ON THIS PLAN ARE MEASURED FROM THE NATURAL GRADE.

CONTEXTUAL PLAN C2.1

CITY OF CUPERTINO  
 APN: 356-05-005  
 ZONING: FP-0  
 LAND USE: PARKS & OPEN SPACE

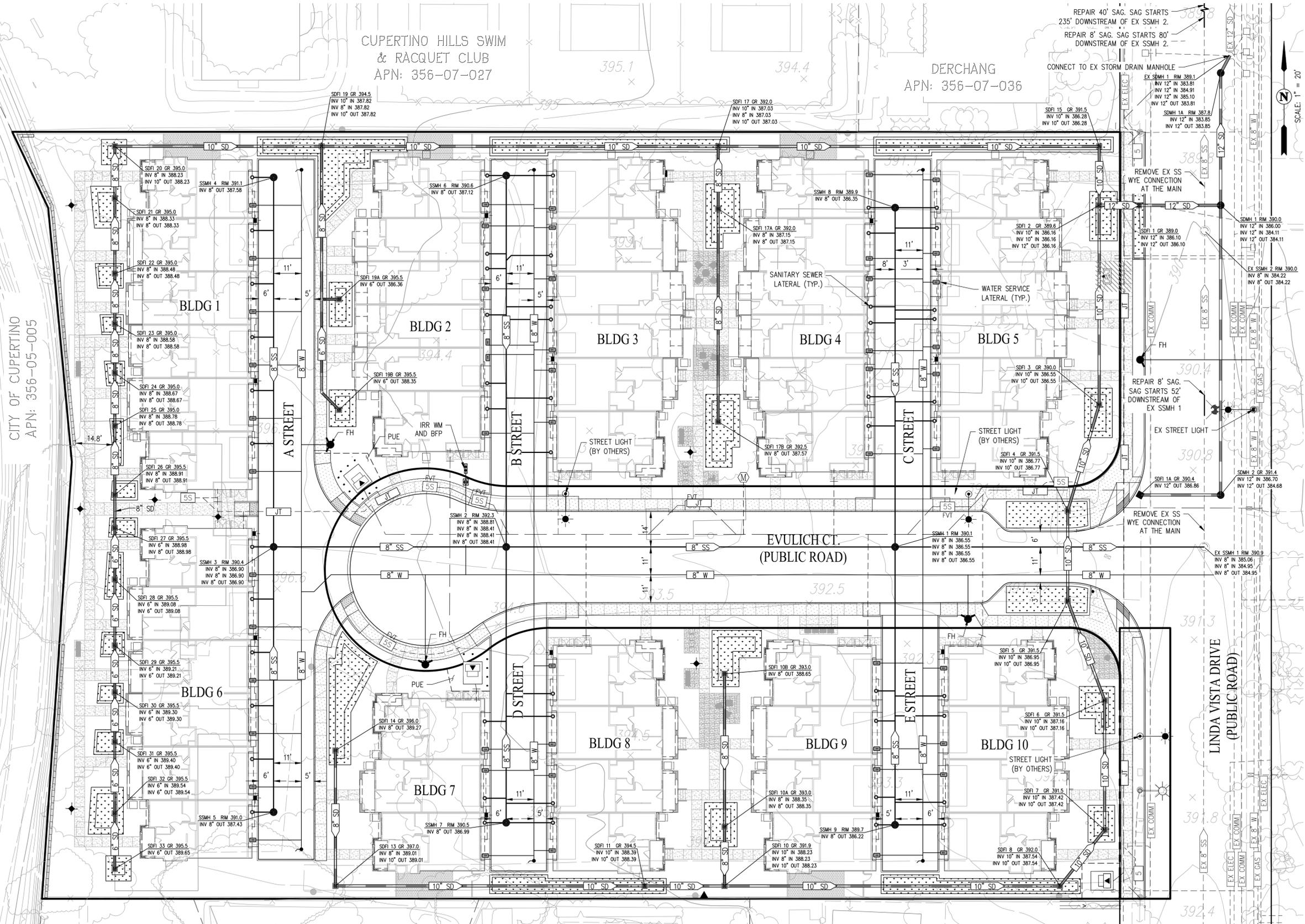
10857 LINDA VISTA DRIVE  
 Cupertino, CA  
 January 12, 2026

BARRY APN: 356-06-026  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

KOPARDEKAR APN: 356-00-025  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

RODRIGUES APN: 356-06-024  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

FANTOZZI APN: 356-06-020  
 ZONING: R1-7.5  
 LAND USE: LOW DENSITY RESIDENTIAL

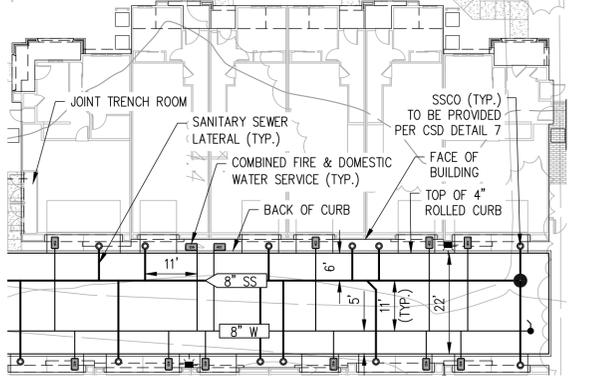


**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT OF WAY
---	---	GAS MAIN
---	---	WATER MAIN
---	---	SANITARY SEWER PIPE
---	---	STORM DRAIN PIPE (UNTREATED)
---	---	JOINT TRENCH
---	---	STORM DRAIN INLET
---	---	MANHOLE
---	---	FIRE HYDRANT
---	---	BIO-RETENTION AREA
---	---	PG&E PAD MOUNT TRANSFORMER (BY OTHERS)
---	---	STREET LIGHT (BY OTHERS)

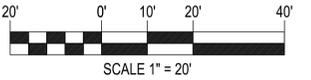
**ABBREVIATIONS**

BFP	BACK FLOW PREVENTER	JT	JOINT TRENCH
BLDG	BUILDING	LAT	LATERAL
B/O	BLOW OFF VALVE	LS	LANDSCAPE
CB	CATCH BASIN	PIV	POST INDICATOR VALVE
CSD	CUPERTINO SANITARY DISTRICT	PP	POWER POLE
DI	DRAIN INLET	SL	STREET LIGHT
ELEC	ELECTRICAL	SS	SANITARY SEWER
FDC	FIRE DEPARTMENT CONNECTION	SSCO	SANITARY SEWER CLEAN OUT
FH	FIRE HYDRANT	UTIL	UTILITY
FS	FIRE SERVICE	EX	EXISTING
		VLT	VAULT
		WM	WATER METER
		WS	WATER SERVICE
		WV	WATER VALVE



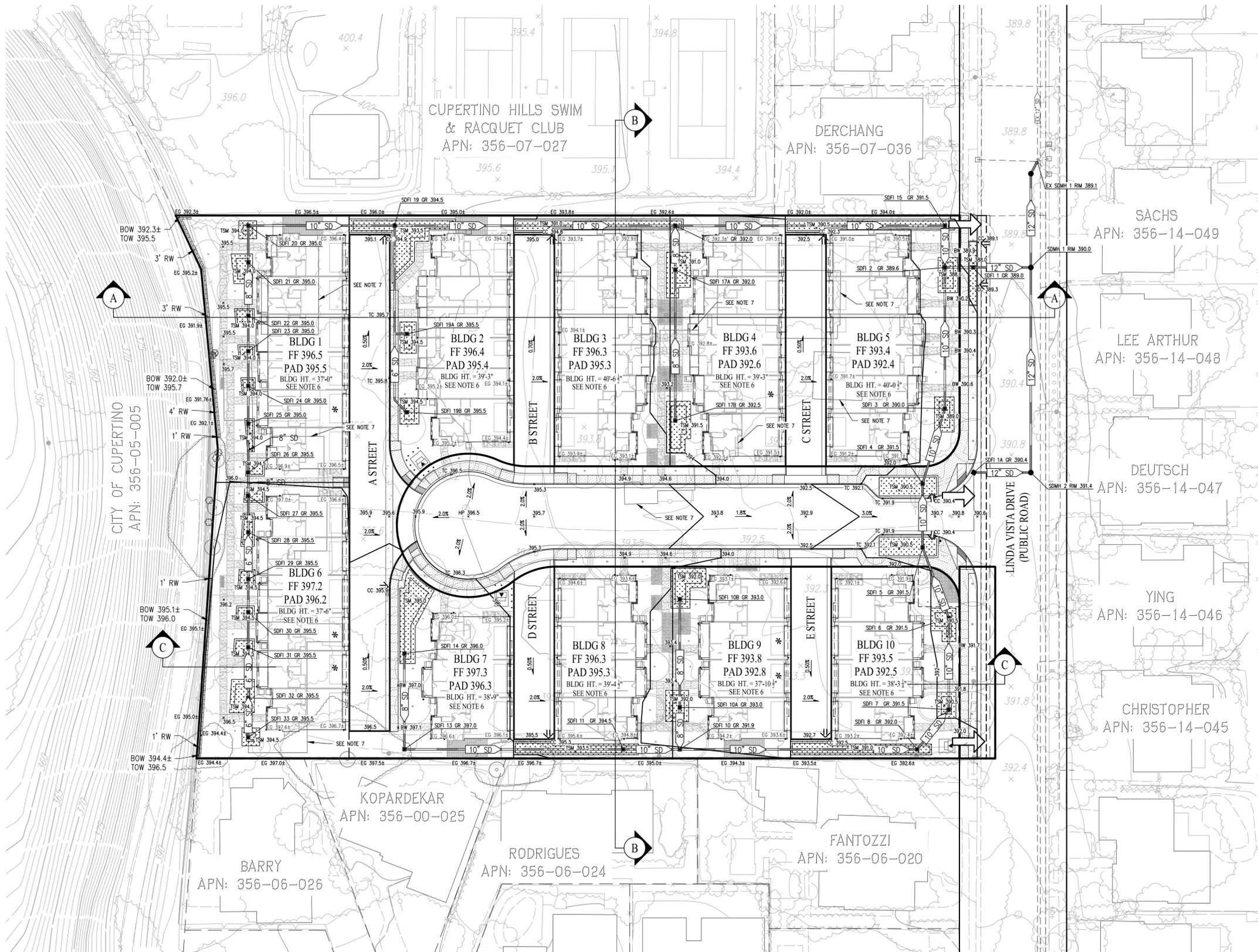
**TYPICAL TOWNHOME SERVICE DETAIL**  
BLDGs 1-10  
SCALE 1" = 20"

- UTILITY NOTES:**
- UTILITY LAYOUT AS SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN. EXISTING UTILITY LOCATIONS ARE APPROXIMATE BASED ON RECORD INFORMATION AND FIELD SURVEY DATA. UTILITY POINT OF CONNECTIONS SHALL BE VERIFIED WITH USA MARKINGS AND POTHOLE INFORMATION.
  - PRELIMINARY DOMESTIC AND FIRE SERVICE SIZES ARE SUBJECT TO FINAL PLUMBING ENGINEERS DESIGN.
  - ALL BUILDING STORM DRAIN, WATER, AND SEWER POINT OF CONNECTIONS ARE SUBJECT TO FINAL BUILDING PLUMBING ENGINEERS DESIGN.
  - ALL JOINT TRENCH MAINS AND TRANSFORMER LOCATIONS HAVE BEEN SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO THE FINAL JOINT TRENCH CONSULTANTS DESIGN. WHEN FINALIZING THE DESIGN, THE JOINT TRENCH ALIGNMENT SHALL BE LOCATED WITHIN THE PAVED ROADWAY TO THE MAXIMUM EXTENT POSSIBLE.



**10857 LINDA VISTA DRIVE**  
Cupertino, CA  
January 12, 2026

**PRELIMINARY UTILITY PLAN C3.0**



**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT OF WAY
---	---	STORM DRAIN
---	---	TRENCH DRAIN
---	---	RETAINING WALL
---	---	DEEPEDED SIDEWALK CURB
---	---	DEEPEDED FOOTING
☒	☒	STORM DRAIN FIELD INLET
○	○	MANHOLE
---	---	CONTOUR
---	---	BIO-RETENTION AREA
←	←	CURB CUT/SLOT DRAIN
→	→	DIRECTION OF OVERLAND RELEASE
*	*	ADAPTABLE UNITS

**ABBREVIATIONS**

BLDG	BUILDING	PAD	PAD ELEVATION
BLDG HT.	BUILDING HEIGHT	PR	PROPOSED
BD	BOUNDARY	R/W	RIGHT OF WAY
BR	BIORETENTION	RET	RETAINING
BOW	BOTTOM OF WALL	RD	RETAINING WALL
EG	EXISTING GRADE	SD	STORM DRAIN
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
FC	FACE OF CURB	SW	SIDEWALK
FF	FINISHED FLOOR	TC	TOP OF CURB
GB	GRADE BREAK	TOW	TOP OF WALL
HP	HIGH POINT	TSM	TOP OF SOIL MIX
LP	LOW POINT	TYP	TYPICAL
LS	LANDSCAPE		

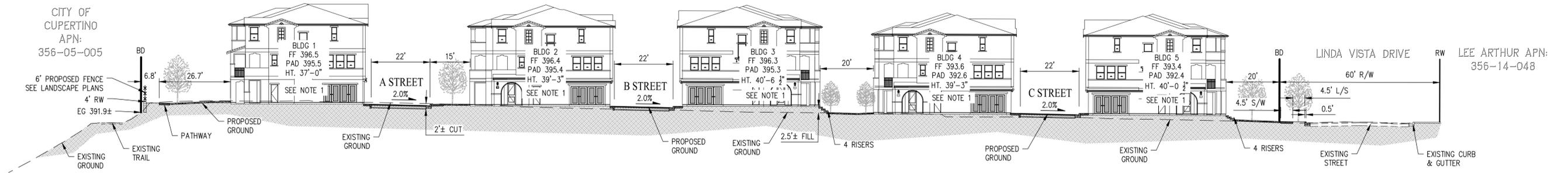
**EARTHWORK SUMMARY**

DESCRIPTION	CUT	FILL	NET
ROUGH GRADE (SUBGRADE TO EXISTING FINISHED GRADE)	1,800	2,300	500 (F)
SPOILS			
UTILITY SPOILS	1,100		
BIO-RETENTION	900		
TOTAL (ROUGH GRADE + SPOILS)	3,800	2,300	1,500 (C)

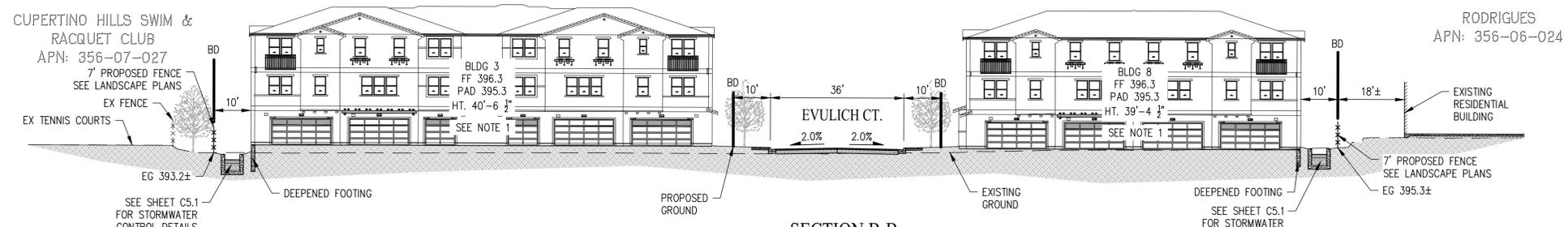
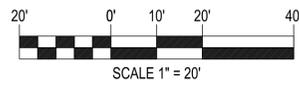
- NOTE:**
- ROUGH GRADING AND EARTHWORK QUANTITIES, ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN.
  - ROUGH GRADING REFLECTS STREET SUBGRADE COMPARED TO EXISTING SUBGRADE. PROPOSED STREET SECTION ASSUME TO BE 14" OFF HAUL OF EXISTING PAVEMENT AND BUILDING FOUNDATION NOT INCLUDED.
  - ASSUMED FOUNDATION THICKNESS OF 12".
  - ALL REQUIRED ADAPTABLE UNITS FOR THE PROPOSED TOWNHOMES WILL BE DESIGNED PER CBC REQUIREMENTS. SEE SHEET C2.0 FOR PRELIMINARY SITE ACCESSIBLE UNITS.
  - AERIAL TOPOGRAPHY BY GEOMAPS DATED NOVEMBER 14, 2024
  - ALL BUILDING HEIGHTS SHOWN ON THE THIS PLAN ARE MEASURED FROM THE NATURAL GRADE.
  - EXISTING NATURAL GRADE ALTERED FOR EXISTING BUILDINGS.



**10857 LINDA VISTA DRIVE**  
Cupertino, CA  
January 12, 2026

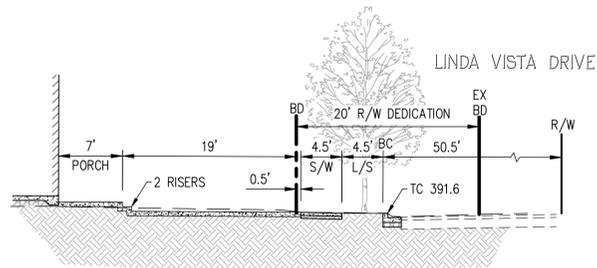


SECTION A-A  
SCALE 1" = 20'

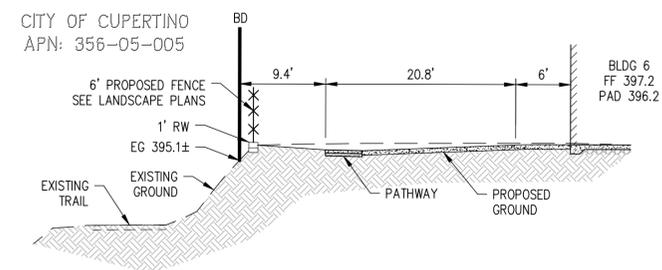
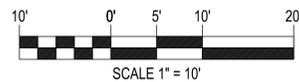


SECTION B-B  
SCALE 1" = 20'

NOTE:  
1. ALL BUILDING HEIGHTS SHOWN ON THIS PLAN ARE MEASURED FROM THE NATURAL GRADE.



SECTION C  
SCALE 1" = 10'

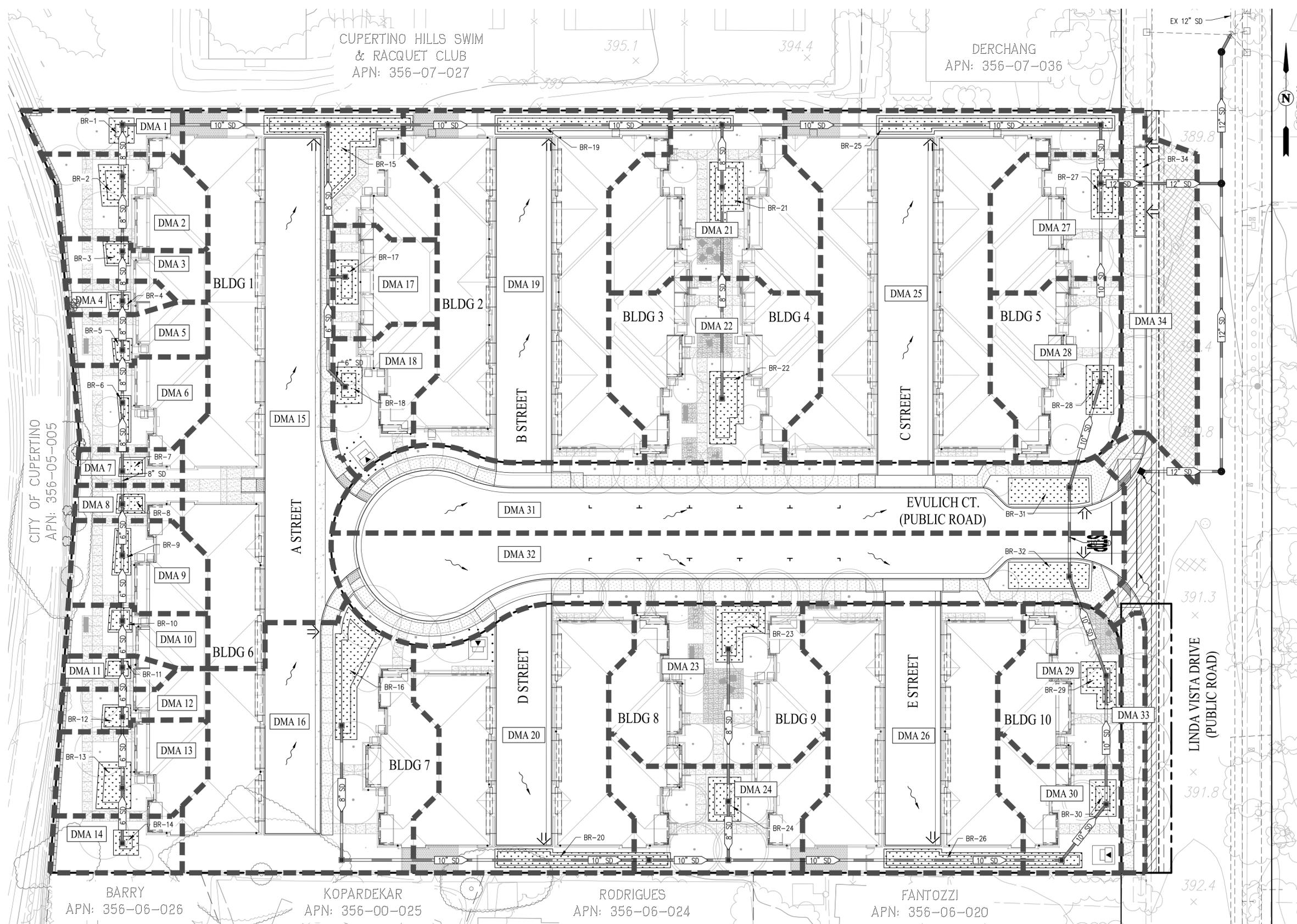


SECTION D  
SCALE 1" = 10'

10857 LINDA VISTA DRIVE  
Cupertino, CA  
January 12, 2026

PRELIMINARY GRADING SECTIONS

C4.1



**LEGEND**

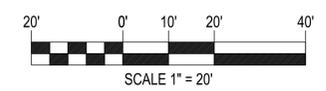
- DMA BOUNDARY
- BIORETENTION AREA
- DRAINAGE MANAGEMENT AREA LABEL
- EXISTING TREE LOCATION
- EXISTING TREE DRIPLINE
- RUNOFF DIRECTION
- CURB CUT/SLOT DRAIN
- STORM DRAIN MANHOLE
- STORM DRAIN FIELD INLET
- REQUIRED OFFSITE TREATMENT AREA (SEE SHEET C5.1)
- PROVIDED EQUIVALENT OFFSITE TREATMENT AREA (SEE SHEET C5.1)

**ABBREVIATIONS**

- BR BIORETENTION
- DMA DRAINAGE MANAGEMENT AREA
- EX EXISTING
- FC FACE OF CURB
- LAT LATERAL
- PR PROPOSED
- SD STORM DRAIN
- TC TOP OF CURB

**NOTE**

1. ALL STORM WATER STRUCTURES SHALL HAVE FULL TRASH CAPTURE SYSTEMS WILL BE DETAILED ON THE FINAL CONSTRUCTION DRAWINGS AND ARE SUBJECT TO THE FINAL DESIGN. TRASH CAPTURE SYSTEMS AND DEVICES SHALL BE APPROVED BY THE CALIFORNIA STATE REGIONAL WATER QUALITY CONTROL BOARD AND ON THE APPROVED LIST OF THE SAN FRANCISCO BAY (RWQCB).
2. ALL STORM DRAIN INLETS ARE TO BE MARKED WITH "NO DUMPING FLOWS TO BAY" AND WILL BE DETAILED ON THE PROJECTS CONSTRUCTION DRAWINGS.



CITY OF CUPERTINO  
APN: 356-05-005

CUPERTINO HILLS SWIM  
& RACQUET CLUB  
APN: 356-07-027

DERCHANG  
APN: 356-07-036

BARRY  
APN: 356-06-026

KOPARDEKAR  
APN: 356-00-025

RODRIGUES  
APN: 356-06-024

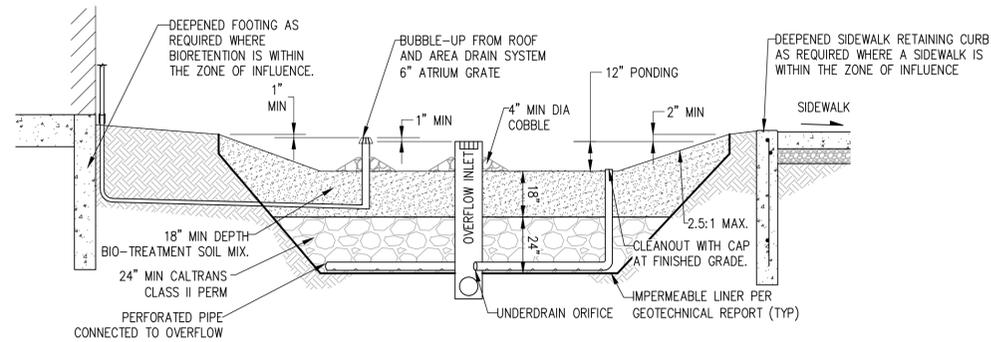
FANTOZZI  
APN: 356-06-020

**10857 LINDA VISTA DRIVE**  
Cupertino, CA  
January 12, 2026

**PRELIMINARY STORMWATER CONTROL PLAN C5.0**

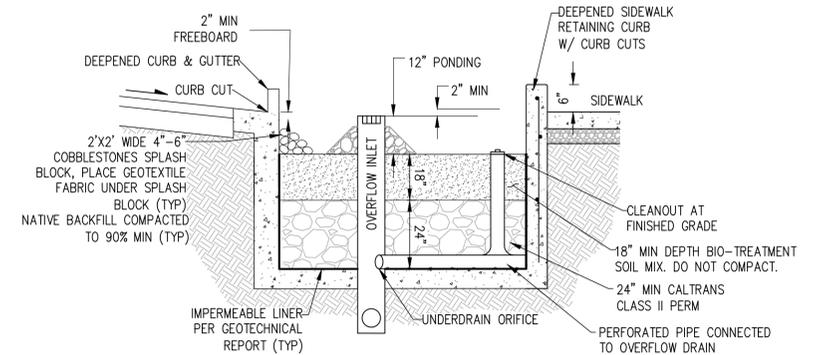


PRELIMINARY STORMWATER TREATMENT SUMMARY TABLE									
DMA	TREATMENT TYPE	DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF) (IMPERVIOUS + PERVIOUS X 0.1)	SIZING METHOD	REQUIRED BIORETENTION (SF)	PROVIDED BIORETENTION (SF)	DETAIL REFERENCE
1	BIORETENTION	1061	182	879	270	4%	11	25	BRD 1
2	BIORETENTION	2090	1236	854	1321	4%	53	72	BRD 1
3	BIORETENTION	965	568	397	608	4%	24	67	BRD 1
4	BIORETENTION	512	265	247	290	4%	12	40	BRD 1
5	BIORETENTION	1110	711	399	751	4%	30	43	BRD 1
6	BIORETENTION	1748	1125	623	1187	4%	47	47	BRD 1
7	BIORETENTION	600	286	314	317	4%	13	46	BRD 1
8	BIORETENTION	608	288	320	320	4%	13	51	BRD 1
9	BIORETENTION	1826	1191	635	1255	4%	50	82	BRD 1
10	BIORETENTION	1142	719	423	761	4%	30	56	BRD 1
11	BIORETENTION	523	268	255	294	4%	12	48	BRD 1
12	BIORETENTION	981	568	413	609	4%	24	73	BRD 1
13	BIORETENTION	2058	1234	824	1316	4%	53	113	BRD 1
14	BIORETENTION	1182	192	990	291	4%	12	25	BRD 1
15	BIORETENTION	13181	11644	1537	11798	4%	472	509	BRD 2
16	BIORETENTION	8372	5677	2695	5947	4%	238	265	BRD 1
17	BIORETENTION	1627	1329	298	1359	4%	54	55	BRD 1
18	BIORETENTION	1848	1008	840	1092	4%	44	54	BRD 1
19	BIORETENTION	10839	9347	1492	9496	4%	380	402	BRD 2 & 4
20	BIORETENTION	7934	6440	1494	6589	4%	264	302	BRD 2 & 4
21	BIORETENTION	5003	3494	1509	3645	4%	146	146	BRD 1
22	BIORETENTION	5349	4180	1169	4297	4%	172	178	BRD 1
23	BIORETENTION	4956	3609	1347	3744	4%	150	150	BRD 1
24	BIORETENTION	3380	1946	1434	2089	4%	84	99	BRD 1
25	BIORETENTION	11349	9523	1826	9706	4%	388	402	BRD 2 & 4
26	BIORETENTION	8260	6977	1283	7105	4%	284	338	BRD 2 & 4
27	BIORETENTION	2595	1662	933	1755	4%	70	88	BRD 1
28	BIORETENTION	3383	1964	1419	2106	4%	84	88	BRD 1
29	BIORETENTION	2749	1540	1209	1661	4%	66	86	BRD 1
30	BIORETENTION	1923	973	950	1068	4%	43	54	BRD 1
31	BIORETENTION	8762	7477	1285	7606	4%	304	335	BRD 3
32	BIORETENTION	9472	8207	1265	8334	4%	333	335	BRD 3
33	SELF-RETAINING	935	473	462	519	2:1	N/A	N/A	N/A
34	BIORETENTION	3830	3130	700	3200	4%	128	217	BRD 3
TOTAL	-	132,153	99,433	32,720			-	-	



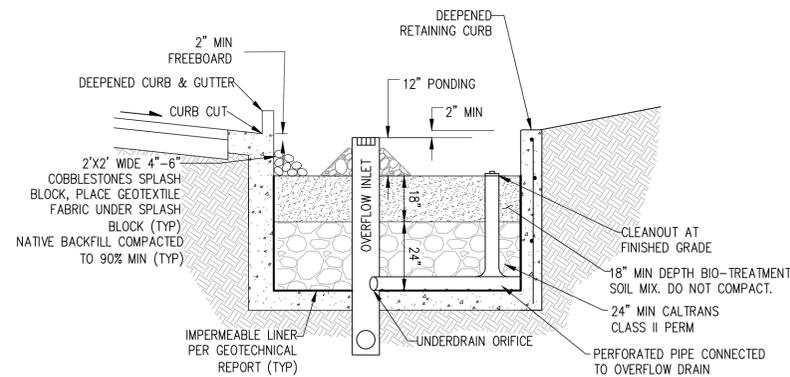
TYPICAL BIO-RETENTION DETAIL 1 (BRD 1)

NOT TO SCALE



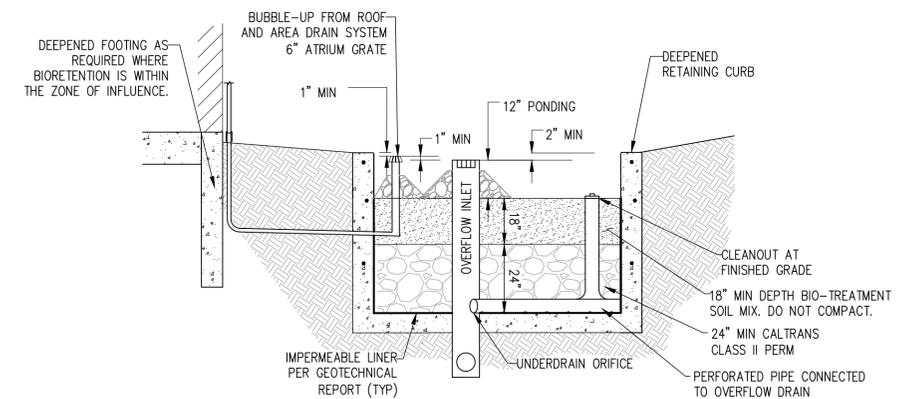
TYPICAL BIO-RETENTION DETAIL 3 (BRD 3)

NOT TO SCALE



TYPICAL BIO-RETENTION DETAIL 2 (BRD 2)

NOT TO SCALE



TYPICAL BIO-RETENTION DETAIL 4 (BRD 4)

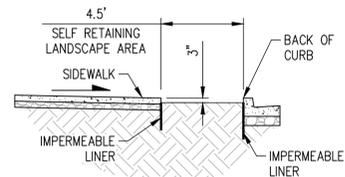
NOT TO SCALE

EQUIVALENT OFFSITE TREATMENT AREA SUMMARY	
CRITERIA	AREA (SF)
REQUIRED EQUIVALENT OFFSITE TREATMENT AREA (NEW AND/OR REPLACED IMPERVIOUS SURFACE)	1648
PROVIDED EQUIVALENT OFFSITE TREATMENT AREA	1908



NOTE

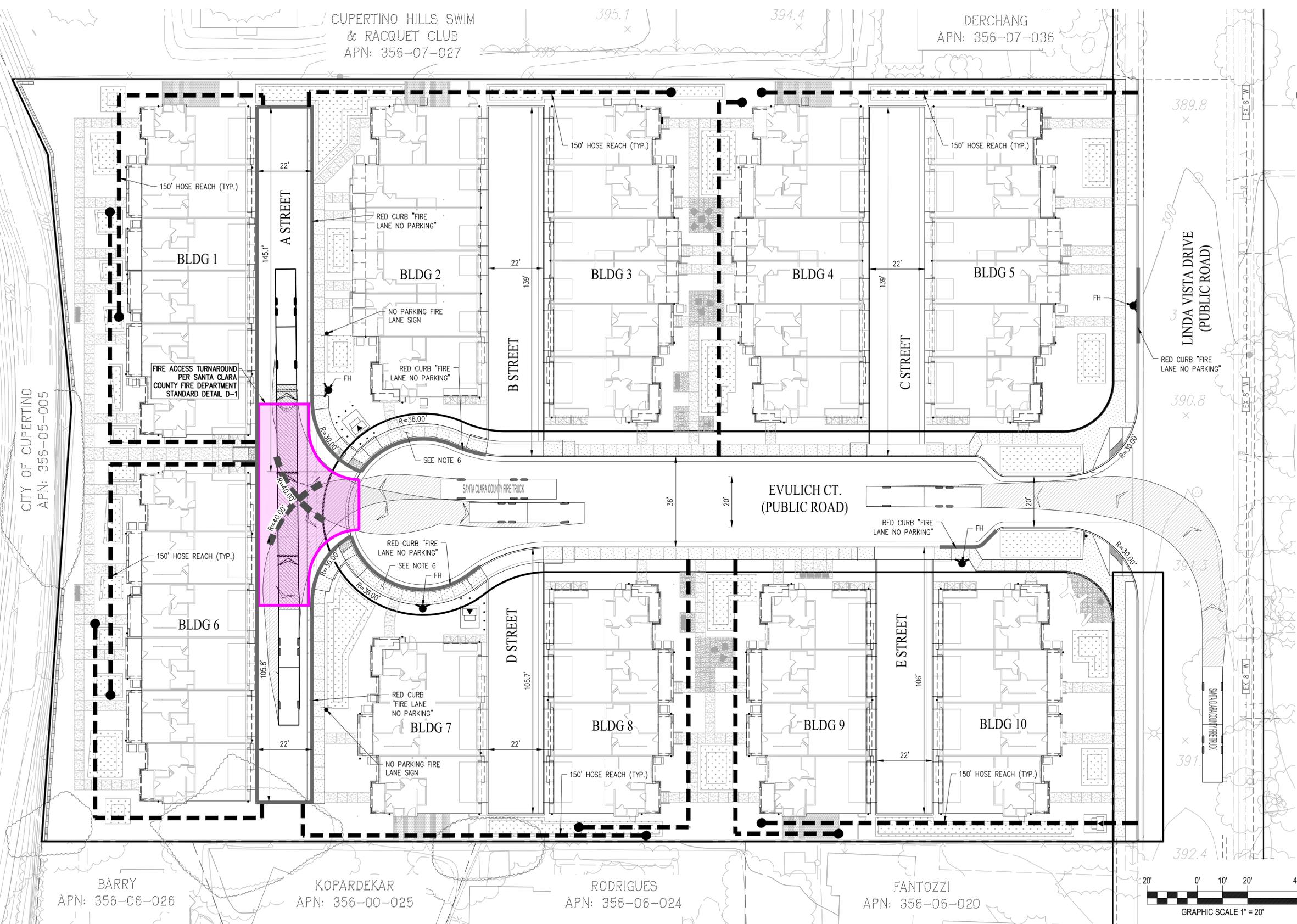
1. THE FINAL SITE DEEPENED FOOTINGS, DEEPENED CURBS, AND DEEPENED RETAINING CURB DETAILS WILL BE PROVIDED WITH THE FINAL CONSTRUCTION DRAWINGS WHICH WILL INCLUDE THE FINAL REINFORCING AND FOOTING DESIGNS.



SELF RETAINING AREA DETAIL

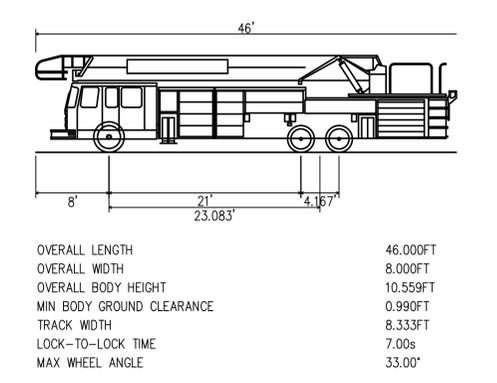
DMA 33  
NOT TO SCALE

10857 LINDA VISTA DRIVE  
Cupertino, CA  
January 12, 2026



**LEGEND:**

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPOSED RIGHT OF WAY
- FIRE DEPARTMENT HOSE REACH (150')
- RED CURB "FIRE LANE NO PARKING"
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- AERIAL APPARATUS FIRE TRUCK
- FIRE ACCESS TURNAROUND PER SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAIL D-1.



**SANTA CLARA COUNTY FIRE TRUCK**  
NOT TO SCALE

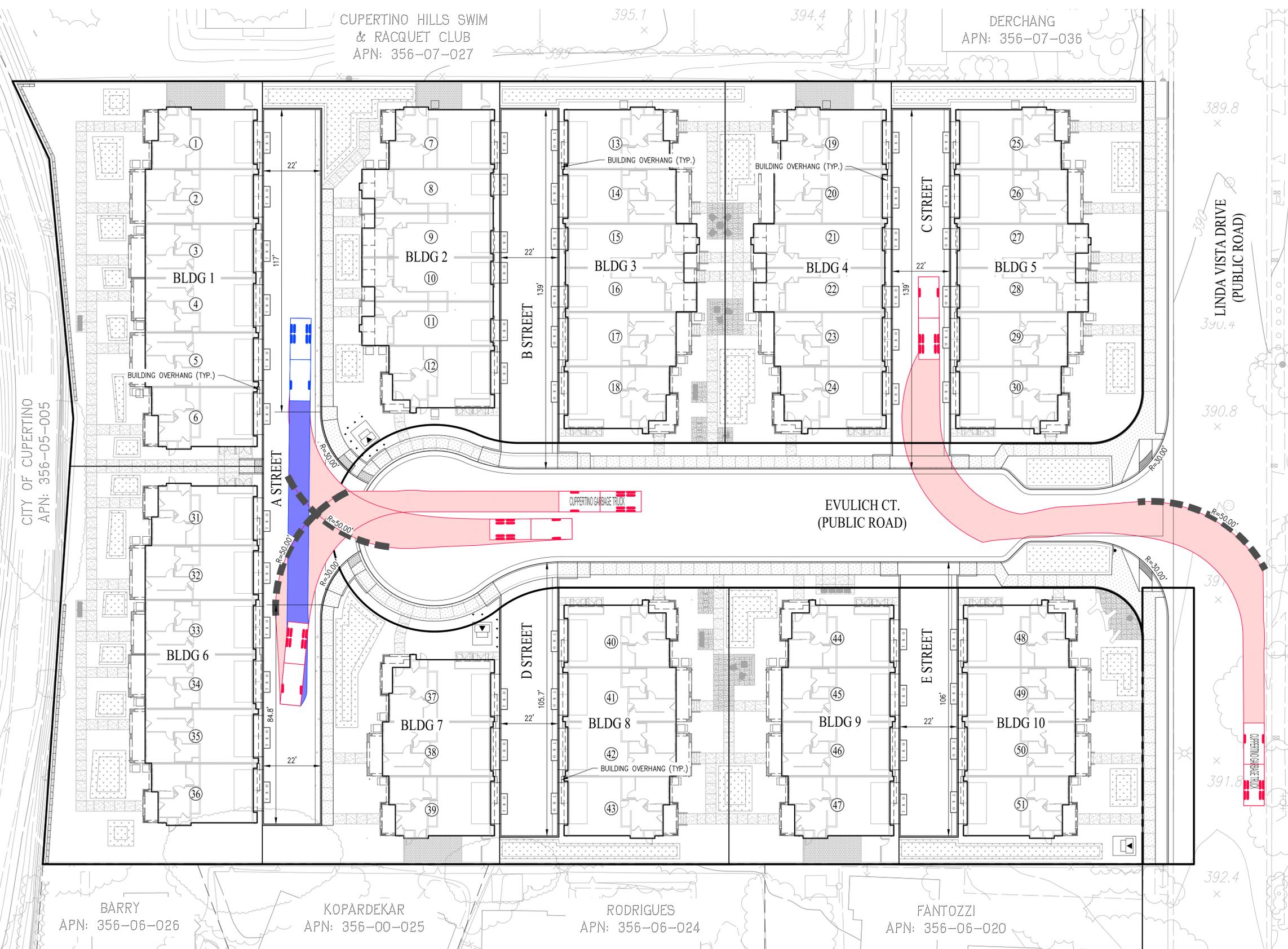
**BUILDING FIRE FLOW:**

1. LARGEST BUILDING TYPE / AREA:  
6-PLEX TOWNHOME (BLDG 1 & 6) = 19,640 SF (TYPE V-B)
2. FIRE FLOW CALCULATION PER CONSTRUCTION TYPE (PER CFC TABLE B105.1(2))  
TYPE V-B CONSTRUCTION TYPE = 3,750 GPM
3. REQUIRED FIRE FLOW  
3,750 GPM WITH 50% REDUCTION = 1,875 GPM  
REQUIRED FIRE FLOW CALCULATIONS PER CALIFORNIA FIRE CODE APPENDIX B FOR FULLY SPRINKLERED BUILDINGS WHICH ALLOWS FOR A 50% REDUCTION IN FLOW.
4. FIRE HYDRANT REQUIREMENT AND SPACING (PER TABLE C102.1 - CFC)
  - FIRE FLOW REQUIREMENT - 3,750 GPM (50% REDUCTION NOT INCLUDED)
  - MINIMUM NUMBER OF HYDRANTS - 4
  - AVERAGE SPACING (FEET) - 350'

- NOTE**
1. RED CURB FIRE LANE MARKINGS WILL BE PROVIDED ON ALL FIRE ACCESS DRIVE AISLES AND WILL BE DETAILED ON THE PROJECTS CONSTRUCTION DRAWINGS.
  2. ALL FIRE ACCESS DRIVE AISLES SHALL BE DESIGNED TO SUPPORT THE LOADING CAPACITY OF A 75,000 POUND FIRE TRUCK.
  3. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.
  4. ALL BUILDINGS ARE TO HAVE EAVES THAT ARE LESS THAN 30' IN HEIGHT. SEE ARCHITECTURAL PLANS FOR DETAILS.
  5. NFPA 13D FIRE SPRINKLER PLANS WILL BE SUBMITTED AS A DEFERRED SUBMITTAL AND PROVIDED DURING THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT.
  6. CUL-DE-SAC IS TO BE PROVIDED WITH A BEVELED CURB TO ALLOW THE SIDEWALK AREA AS AN ALTERNATIVE TURN AROUND FOR A FIRE TRUCK AND HAS BEEN PROVIDED WITH A TURNING RADIUS OF 36'. THE SIDEWALK WILL BE DESIGNED SUPPORT THE LOAD OF A 75,000 LB FIRE TRUCK.

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Cupertino, CA  
January 12, 2026

PRELIMINARY FIRE ACCESS PLAN C6.0

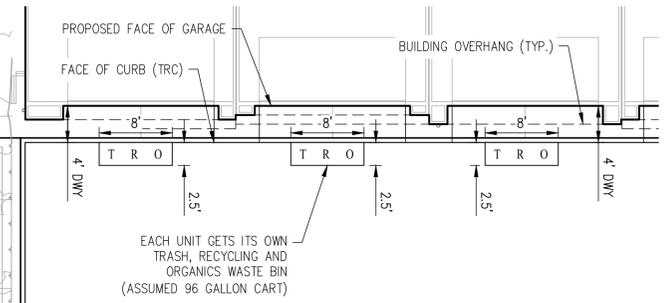


**LEGEND**

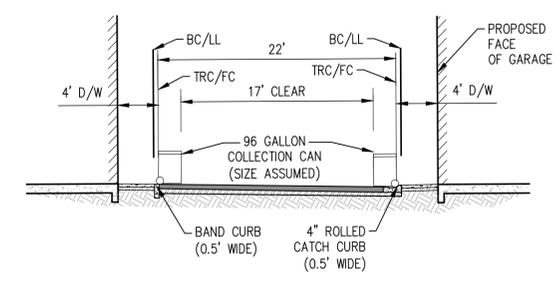
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- T R O** GARBAGE BIN AREA (8' X 2.5')
- T** TRASH
- R** RECYCLE
- O** ORGANICS
- BC** BACK OF CURB
- FC** FACE OF CURB
- LL** LOT LINE
- TRC** TOP OF ROLLED CURB
- GARBAGE TRUCK (FORWARD MOTION)
- GARBAGE TRUCK (REVERSE MOTION)

**NOTE**

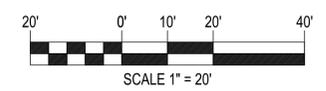
- ALL STREETS SURFACES THROUGHOUT THE DEVELOPMENT ARE TO BE ASPHALT.
- THE PROPOSED DEVELOPMENT WILL HAVE 51 UNITS.



**TYPICAL GARBAGE BIN CONFIGURATION DETAIL**  
NOT TO SCALE



**TYPICAL GARBAGE BIN CONFIGURATION DETAIL**  
NOT TO SCALE



CITY OF CUPERTINO  
APN: 356-05-005

BARRY  
APN: 356-06-026

KOPARDEKAR  
APN: 356-00-025

RODRIGUES  
APN: 356-06-024

FANTOZZI  
APN: 356-06-020

DERCHANG  
APN: 356-07-036

CUPERTINO HILLS SWIM  
& RACQUET CLUB  
APN: 356-07-027

**10857 LINDA VISTA DRIVE**  
Cupertino, CA  
January 12, 2026



PLAN VIEW  
 Scale: 1"=20'-0"  
 0' 10' 20' 40'

400-150 10857 Linda Vista Drive  
 Cupertino, CA  
 January 12, 2026

Illustrative Overall Plan  
 L.1.1



400-150 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

Preliminary Landscape Plan  
L.1.2



EVULICH COURT

**BICYCLE RACKS:**  
3 CLASS II BICYCLE RACKS WITH PARKING FOR 6 STANDARD AND/OR ELECTRIC BICYCLES, REFER TO IMAGE SHEET L.8.1

**BENCH:**  
REFER TO IMAGE SHEET L.8.1

**CONCRETE DRIVEWAY:**  
REFER TO PLANS PREPARED BY CBG CIVIL ENGINEERS

**PLANTING AREA:**  
REFER TO PASEO 'A' PLANTING PLAN SHEET L.3.1 AND PROPOSED PLANT PALETTE SHEET L.4.1

**AIR CONDENSOR SCREEN:**  
REFER TO DETAIL/IMAGE 4 SHEET L.6.2

**4'-0" WIDE CONCRETE WALKWAY (TYPICAL)**

**7'-0" HIGH WOOD FENCE WITH LATTICE:**  
REFER TO DETAIL/IMAGE 1 SHEET L.6.2

**EVULICH COURT STREET TREE:**  
REFER TO PASEO 'A' PLANTING PLAN SHEET L.3.1 AND PROPOSED PLANT PALETTE SHEET L.4.1

**MAILBOX STATION:**  
REFER TO DETAIL/IMAGE 3 SHEET L.6.2

**TYPICAL WATER TREATMENT PLANTING AREA:**  
REFER TO PASEO 'A' PLANTING PLAN SHEET L.3.1 AND PROPOSED PLANT PALETTE SHEET L.4.1

**FLOWERING DECIDUOUS TREE:**  
REFER TO PASEO 'A' PLANTING PLAN SHEET L.3.1 AND PROPOSED PLANT PALETTE SHEET L.4.1

**GATHERING AREA:**

- ACID-ETCHED CONCRETE: REFER TO IMAGE SHEET L.8.1
- LOUNGE CHAIR 'A': REFER TO IMAGE SHEET L.8.1
- SQUARE OUTDOOR CONCRETE TABLE: REFER TO IMAGE SHEET L.8.1
- CONCRETE SEATWALL WITH RECYCLED PLASTIC SLATS: REFER TO IMAGE SHEET L.8.1

**NARROW CANOPY EVERGREEN TREE:**  
REFER TO PASEO 'A' PLANTING PLAN SHEET L.3.1 AND PROPOSED PLANT PALETTE SHEET L.4.1

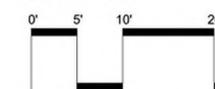
**DESIGNATED LADDER PAD AREA:**  
(TYPICAL SYMBOL)  
REFER TO PLANS PREPARED BY SDG ARCHITECTS

BUILDING 8

BUILDING 9

PLAN VIEW

Scale: 1"=10'-0"



KEY MAP NTS



LINDA VISTA DRIVE

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

400-150 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

Paseo 'A' Enlargement  
L.2.1

SUMMERHILL HOMES™

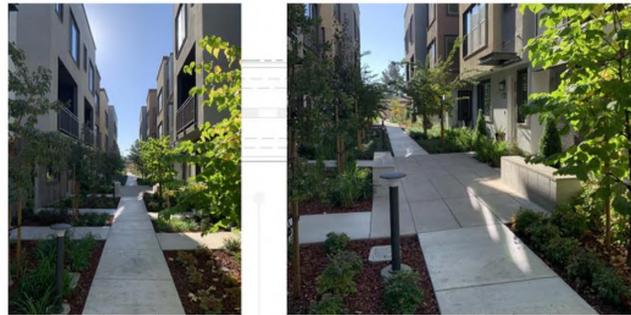
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583  
650-857-0122

cbg CIVIL ENGINEERS  
SURVEYORS  
PLANNERS  
SAN RAMON • ROSEVILLE

3  
R STUDIOS

SDG Architects, Inc.  
3361 Walnut Blvd, Suite 120  
Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com

SDG architects



7'-0" HIGH WOOD FENCE WITH LATTICE:  
REFER TO DETAIL/IMAGE 1 SHEET L.6.2

AIR CONDENSOR SCREEN:  
REFER TO DETAIL/IMAGE 4 SHEET L.6.2

CONCRETE DRIVEWAY:  
REFER TO PLANS PREPARED BY CBG CIVIL ENGINEERS

NARROW CANOPY EVERGREEN TREE:  
REFER TO PROPOSED PLANT PALETTE SHEET L.4.1

SMALL EVERGREEN TREE:  
REFER TO PROPOSED PLANT PALETTE SHEET L.4.1

PLANTING AREA:  
REFER TO PROPOSED PLANT PALETTE SHEET L.4.1

FLOWERING DECIDUOUS TREE:  
REFER TO PROPOSED PLANT PALETTE SHEET L.4.1

4'-0" WIDE CONCRETE WALKWAY  
(TYPICAL)

BENCH:  
REFER TO IMAGE SHEET L.8.1

BICYCLE RACKS:  
3 CLASS II BICYCLE RACKS WITH PARKING FOR 6  
STANDARD AND/OR ELECTRIC BICYCLES, REFER TO  
IMAGE SHEET L.8.1

BICYCLE REPAIR STATION:  
REFER TO IMAGE SHEET L.8.1

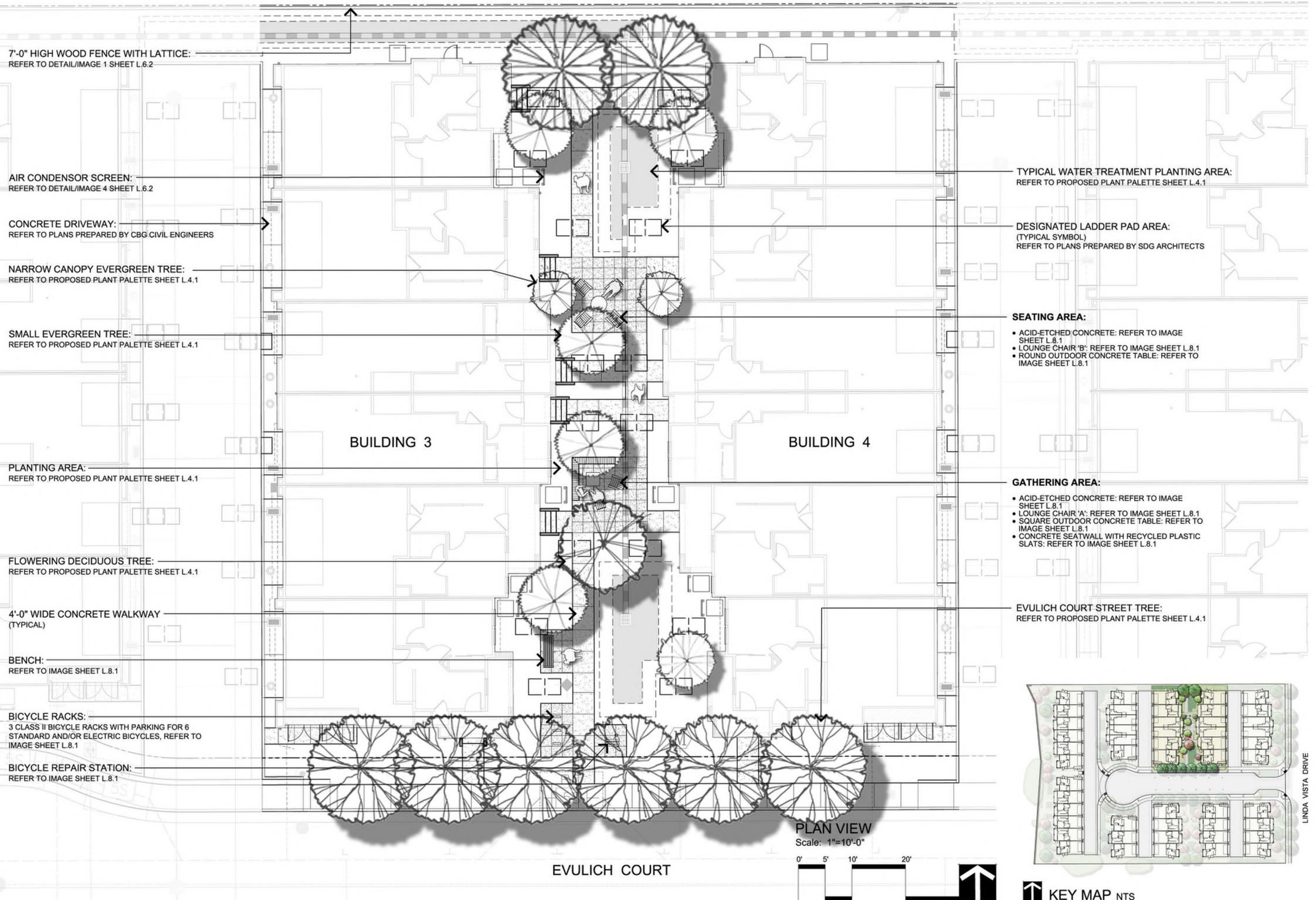
TYPICAL WATER TREATMENT PLANTING AREA:  
REFER TO PROPOSED PLANT PALETTE SHEET L.4.1

DESIGNATED LADDER PAD AREA:  
(TYPICAL SYMBOL)  
REFER TO PLANS PREPARED BY SDG ARCHITECTS

SEATING AREA:  
• ACID-ETCHED CONCRETE: REFER TO IMAGE SHEET L.8.1  
• LOUNGE CHAIR 'B': REFER TO IMAGE SHEET L.8.1  
• ROUND OUTDOOR CONCRETE TABLE: REFER TO IMAGE SHEET L.8.1

GATHERING AREA:  
• ACID-ETCHED CONCRETE: REFER TO IMAGE SHEET L.8.1  
• LOUNGE CHAIR 'A': REFER TO IMAGE SHEET L.8.1  
• SQUARE OUTDOOR CONCRETE TABLE: REFER TO IMAGE SHEET L.8.1  
• CONCRETE SEATWALL WITH RECYCLED PLASTIC SLATS: REFER TO IMAGE SHEET L.8.1

EVULICH COURT STREET TREE:  
REFER TO PROPOSED PLANT PALETTE SHEET L.4.1



KEY MAP NTS

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

400-150 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

Paseo 'B' Enlargement  
L.2.2



EVERGREEN TREE:  
REFER PLANTING PLAN SHEET L.3.2 AND PROPOSED PLANT PALETTE SHEET L.4.1

CONCRETE DRIVEWAY:  
REFER TO PLANS PREPARED BY CBG CIVIL ENGINEERS

7'-0" HIGH WOOD FENCE WITH LATTICE:  
REFER TO DETAIL/IMAGE 1 SHEET L.6.2

EVULICH COURT

BUILDING 10

LINDA VISTA DRIVE

ENHANCED CORNER AT PROJECT ENTRY:  
• ACID-ETCHED CONCRETE: REFER TO IMAGE SHEET L-7.1  
• TWIG BENCH: REFER TO IMAGE SHEET L-7.1  
• POTENTIAL LOCATION FOR PUBLIC ART SCULPTURE: REFER TO PUBLIC ART CONCEPTS THIS SHEET

WATER TREATMENT SLOPE PLANTING:  
REFER PLANTING PLAN SHEET L.3.2 AND PROPOSED PLANT PALETTE SHEET L.4.1

WATER TREATMENT BASIN PLANTING:  
REFER PLANTING PLAN SHEET L.3.2 AND PROPOSED PLANT PALETTE SHEET L.4.1

4'-6" WIDE PARK STRIP WITH CEANOTHUS GLORIOSUS 'HEART'S DESIRE'

PLANTING AREA:  
REFER PLANTING PLAN SHEET L.3.2 AND PROPOSED PLANT PALETTE SHEET L.4.1

5'-0" WIDE PUBLIC SIDEWALK

DESIGNATED LADDER PAD AREA:  
(TYPICAL SYMBOL)  
REFER TO PLANS PREPARED BY SDG ARCHITECTS

4'-0" WIDE CONCRETE WALKWAY  
(TYPICAL)

LINDA VISTA DRIVE STREET TREE:  
REFER PLANTING PLAN SHEET L.3.2 AND PROPOSED PLANT PALETTE SHEET L.4.1

END PROPOSED FENCE AT CURRENT FENCE LOCATION

PLAN VIEW

Scale: 1"=10'-0"

0' 5' 10' 20'



KEY MAP NTS



PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

400-150 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

**SUMMERHILL HOMES™**  
COMMUNITIES OF DISTINCTION  
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583  
650-857-0122

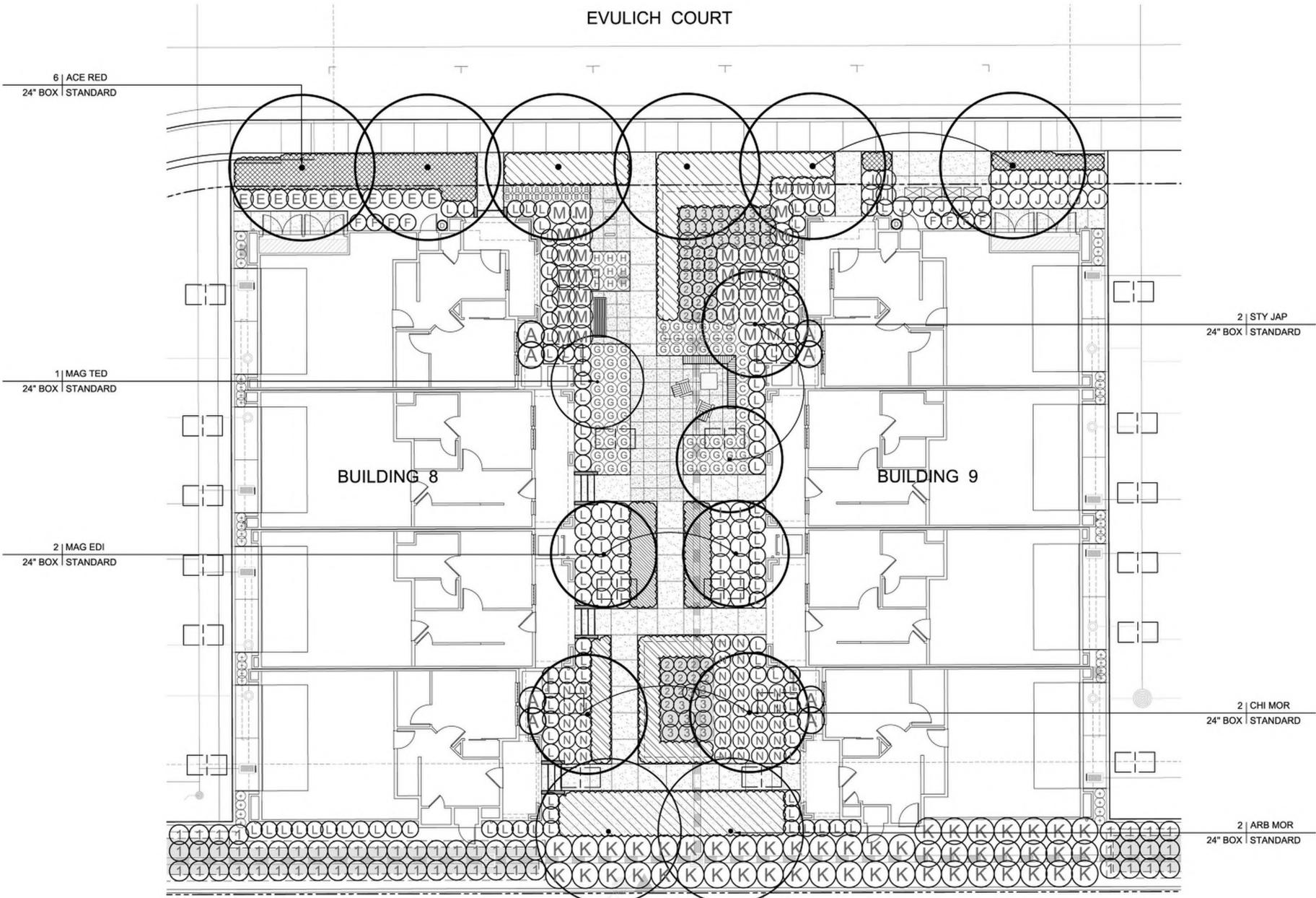
**cbg** CIVIL ENGINEERS  
SURVEYORS  
PLANNERS  
SAN RAMON • ROSEVILLE



**SDG Architects, Inc.**  
3361 Walnut Blvd, Suite 120  
Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com



Linda Vista Drive Frontage & Public Art Area Enlargement  
L.2.3



**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	COMMENTS	WUCOLS
<b>TREES:</b>					
ACE RED	ACER RUBRUM 'RED POINTE'	RED MAPLE	24" BOX	STANDARD	M
ARB MAR	ARBUTUS 'MARINA'	NCN	36" BOX	STANDARD	L
CHI MOR	CHITALPA X TASHKENTENSIS 'MORNING LIGHT'	NCN	24" BOX	STANDARD	M
MAG EDI	MAGNOLIA GRANDIFLORA 'EDITH BOQUE'	MAGNOLIA	24" BOX	STANDARD	M
MAG TED	MAGNOLIA 'TEDDY BEAR'	MAGNOLIA	24" BOX	STANDARD	M
STY JAP	STYRAX JAPONICUS	JAPANESE SNOWBELL	24" BOX	STANDARD	M

<b>SHRUBS:</b>					
(A)	ABUTILON 'MOON CHIMES'	NCN	5 GALLON		M
(B)	ANIGOZANTHOS 'BUSH GOLD'	KANGAROO PAW	1 GALLON		L
(C)	ANIGOZANTHOS 'GOLD VELVET'	KANGAROO PAW	5 GALLON		L
(D)	BUXUS 'GREEN TOWER'	BOXWOOD	15 GALLON		M
(+)	DIANELLA 'CASSA BLUE'	FLAX LILY	1 GALLON		M
(E)	DIETES BICOLOR	FORTNIGHT LILY	5 GALLON		L
(F)	DODONEA VISCOSA 'PURPURPEA'	HOPSEED BUSH	15 GALLON		L
(G)	HEMEROCALLIS 'NILE CRANE'	EVERGREEN DAYLILY	1 GALLON		M
(H)	LAVANDULA INTERMEDIA 'ALBA'	LAVENDER	1 GALLON		L
(I)	LAVANDULA PROVENCE	LAVENDER	5 GALLON		L
(J)	LOMANDRA 'PLATINUM BEAUTY'	MAT RUSH	5 GALLON		L
(K)	MAHONIA AQUIFOLIUM 'SOFT CARESS'	NCN	1 GALLON		M
(L)	RHAPHIOLEPIS UMBELLATA 'MINOR'	YEDDO HAWTHORNE	5 GALLON		L
(M)	SALVIA GREGGII 'CRANBERRY CRUSH'	AUTUMN SAGE	5 GALLON		L
(N)	SALVIA GREGGII 'ICING SUGAR'	AUTUMN SAGE	5 GALLON		L

<b>WATER TREATMENT SHRUBS AND GRASSES:</b>					
(1)	CHONDROPETALUM TECTORUM 'EL CAMPO'	CAPE REED	1 GALLON		L
(2)	JUNCUS PATENS	GREY RUSH	1 GALLON		L
(3)	MIMULUS AURANTIACUS	MONKEY FLOWER	1 GALLON		L

<b>GROUNDCOVERS:</b>					
(Pattern)	BULBINE FRUTESCENS	STALKED BULBINE	1 GALLON @ 2'-0" O.C.		L
(Pattern)	CISTUS HYBRIDS 'MICKIE'	ROCKROSE	1 GALLON @ 3'-0" O.C.		L
(Pattern)	CISTUS 'LITTLE MISS SUNSHINE'	ROCKROSE	1 GALLON @ 1'-6" O.C.		L
(Pattern)	GREVILLEA LANIGERA 'COASTAL GEM'	GREVILLEA	1 GALLON @ 3'-0" O.C.		L
(Pattern)	LOMANDRA LONGIFOLIA 'GREAT WHITE'	MAT RUSH	1 GALLON @ 2'-6" O.C.		L

**IRRIGATION NOTE**

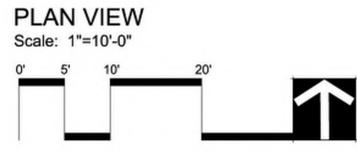
THE PROPOSED IRRIGATION SYSTEM FOR THIS SITE WILL BE DESIGNED WITH THE LATEST TECHNOLOGY IN WATER CONSERVATION AND EFFICIENCY. THE SYSTEM WILL CONSIST OF THE FOLLOWING TYPES OF IRRIGATION METHODS AND EQUIPMENT COMPLYING WITH THE STATE WATER ORDINANCE. ALL SMALL PLANTING BEDS WILL BE IRRIGATED WITH HIGHLY EFFICIENT, WATER CONSERVING INLINE DRIP. ALL BIOSWALES AREAS WILL BE IRRIGATED WITH HIGH EFFICIENCY POP-UP SPRAY PRESSURE COMPENSATING SPRAY SPRINKLERS. THESE SPRINKLERS APPLY THE WATER AT A LOWER APPLICATION RATE TO REDUCE RUNOFF AND PONDING. ALL SPRINKLERS WILL INCLUDE BUILT IN CHECK VALVES AND PRESSURE REGULATORS TO PREVENT MISTING AND LOW HEAD DRAINAGE ON SLOPED AREAS. THE CONTROLLER THAT WILL MANAGE THIS SYSTEM UTILIZES AN ONSITE WEATHER BASED SENSOR TO ADJUST THE RUN TIMES OF THE VALVES BASED ON DAILY WEATHER CONDITIONS. UTILIZING THIS TYPE OF WEATHER BASED SYSTEM WILL HELP THE LANDSCAPE MANAGER SAVE 25% MORE WATER THAN WITH A CONVENTIONAL CONTROLLER.

- IRRIGATION ZONES**
1. LOW WATER USE/CALIFORNIA NATIVE SHRUBS/GROUNDCOVER/GRASSES/ANNUALS AREA WILL BE IRRIGATED WITH AN INLINE DRIP EMITTERS SYSTEM.
  2. LARGE SHRUBS/TREES/ AREAS WILL USE POINT SOURCE BUBBLERS.

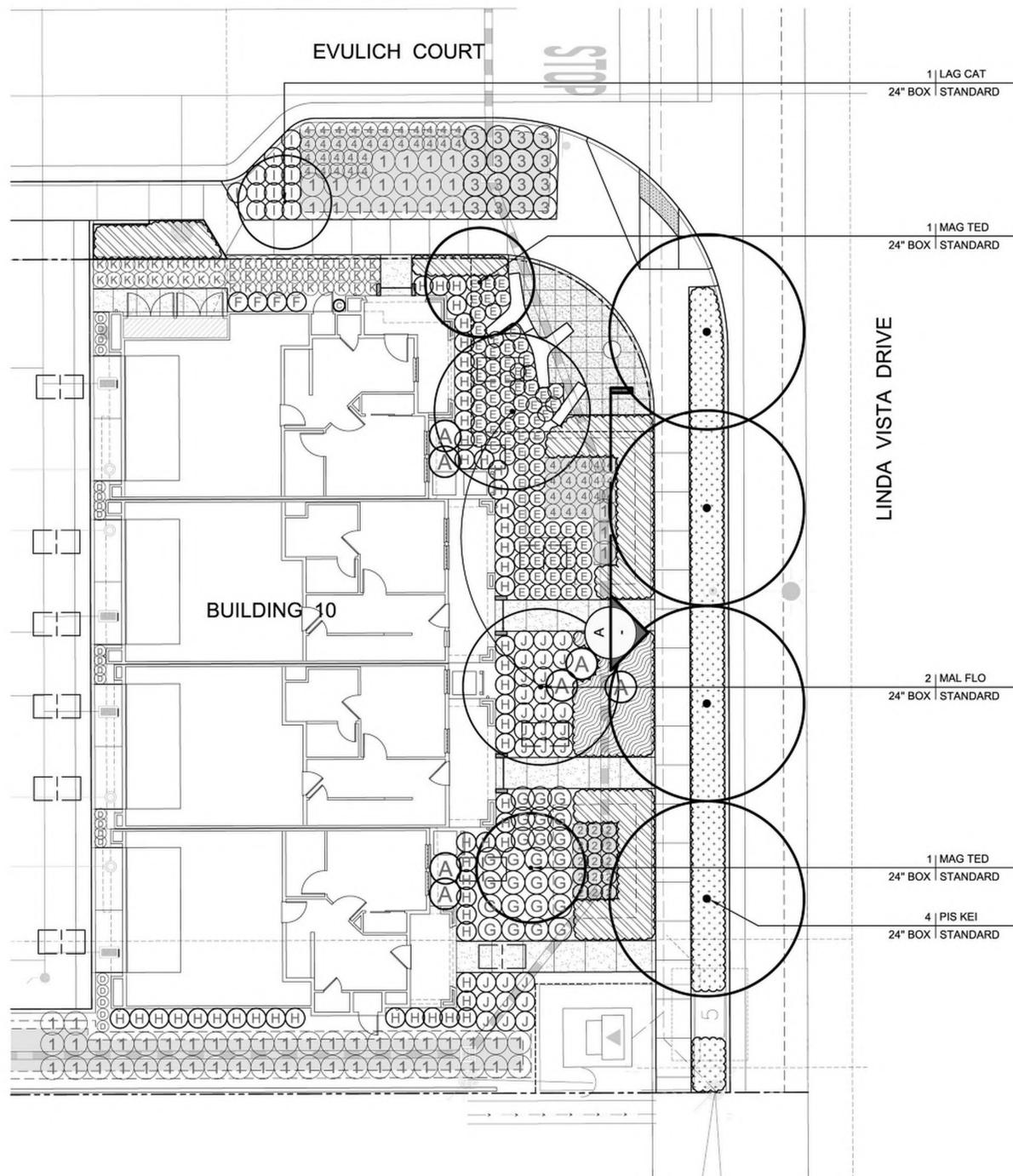
- IRRIGATION EQUIPMENT**
1. THE IRRIGATION SYSTEM WILL BE AUTOMATED USING AN 'ET' WEATHER BASED CONTROLLER. THE CONTROLLER RECEIVES ET/WEATHER UPDATES FROM A LOCAL WEATHER STATION OR SENSING DEVICE AND WILL AUTOMATICALLY ADJUSTS THE IRRIGATION SYSTEM RUN TIMES ACCORDINGLY.
  2. PRESSURIZED MAINLINE 2" AND SMALLER SHALL BE SOLVENT WELD SCHEDULE 40 PVC WITH SCHEDULE 40 FITTINGS.
  3. LATERAL LINE PIPING SHALL BE SOLVENT WELD SCHEDULE 40 PVC WITH SCHEDULE 40 FITTINGS.
  4. BUBBLERS, POP-UP SPRAY AND ROTOR HEADS WILL BE TORO, HUNTER, OR RAIN BIRD.
  5. SUBSURFACE INLINE DRIP EMITTERS WILL BE PROVIDED BY NETAFIM, RAIN BIRD, HUNTER OR TORO AND BURIED APPROXIMATELY 4" BELOW GRADE.



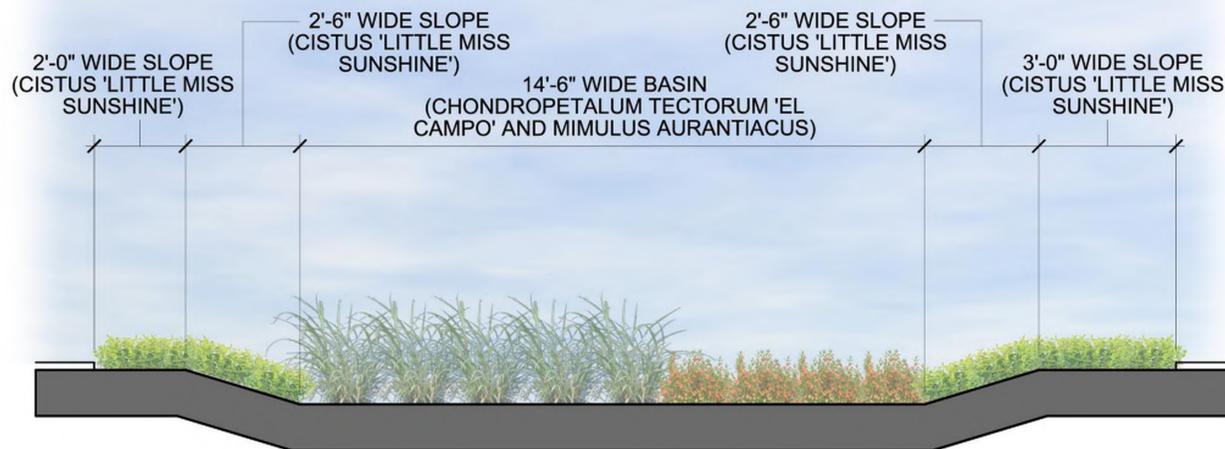
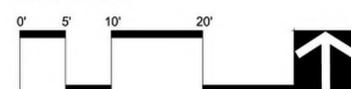
**KEY MAP** NTS



400-150 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026



PLAN VIEW  
Scale: 1"=10'-0"



### SECTION A - WATER TREATMENT FACILITY PLANTING CONCEPT

SCALE: 1/2" - 1'-0"

#### PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	COMMENTS	WUCOLS
<b>TREES:</b>					
LAG CAT	LAGERSTROEMIA CATAWBA	CRAPE MYRTLE	24" BOX	STANDARD	L
MAG TED	MAGNOLIA 'TEDDY BEAR'	MAGNOLIA	24" BOX	STANDARD	M
MAL FLO	MALUS FLORIBUNDAS	CRABAPPLE	24" BOX	STANDARD	M
PIS KEI	PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX	STANDARD	L
<b>SHRUBS:</b>					
(A)	ABUTILON 'MOON CHIMES'	NCN	5 GALLON		M
(B)	AGAVE ATTENUATA 'BLUE FLAME'	AGAVE	5 GALLON		L
(C)	BUXUS 'GREEN TOWER'	BOXWOOD	15 GALLON		M
(D)	DIANELLA 'CASSA BLUE'	FLAX LILY	1 GALLON		M
(E)	DIETES VEGETA 'VARIEGATA'	FORTNIGHT LILY	5 GALLON		L
(F)	DODONEA VISCOSA 'PURPURPEA'	HOPSEED BUSH	15 GALLON		L
(G)	LAVANDULA PROVENCE	LAVENDER	5 GALLON		L
(H)	RHAPHIOLEPIS UMBELLATA 'MINOR'	YEDDO HAWTHORNE	5 GALLON		L
(I)	ROSA 'PINK DRIFT'	ROSE	2 GALLON		M
(J)	SALVIA GREGGII 'ICING SUGAR'	AUTUMN SAGE	5 GALLON		L
(K)	SALVIA GREGGII 'SMOKIN LAVENDER'	AUTUMN SAGE	5 GALLON		L
<b>WATER TREATMENT SHRUBS AND GRASSES:</b>					
(1)	CHONDROPETALUM TECTORUM 'EL CAMPO'	CAPE REED	1 GALLON		L
(2)	JUNCUS PATENS	GREY RUSH	1 GALLON		L
(3)	MIMULUS AURANTIACUS	MONKEY FLOWER	1 GALLON		L
(4)	STIPA PULCHRA	PURPLE NEEDLEGRASS	1 GALLON		L
<b>GROUNDCOVERS:</b>					
(Pattern)	CEANOTHUS GLORIOSUS 'HEART'S DESIRE'	HEART'S DESIRE CEANOTHUS	1 GALLON @ 3'-0" O.C.		L
(Pattern)	CISTUS 'LITTLE MISS SUNSHINE'	ROCKROSE	1 GALLON @ 1'-6" O.C.		L
(Pattern)	ROSA 'SWEET DRIFT'	GROUNDCOVER ROSE	2 GALLON @ 2'-6" O.C.		M

#### IRRIGATION NOTE

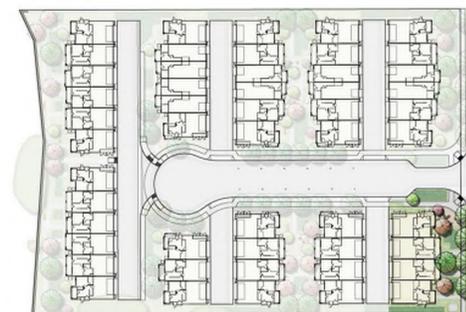
THE PROPOSED IRRIGATION SYSTEM FOR THIS SITE WILL BE DESIGNED WITH THE LATEST TECHNOLOGY IN WATER CONSERVATION AND EFFICIENCY. THE SYSTEM WILL CONSIST OF THE FOLLOWING TYPES OF IRRIGATION METHODS AND EQUIPMENT COMPLYING WITH THE STATE WATER ORDINANCE. ALL SMALL PLANTING BEDS WILL BE IRRIGATED WITH HIGHLY EFFICIENT, WATER CONSERVING INLINE DRIP. ALL BIOSWALES AREAS WILL BE IRRIGATED WITH HIGH EFFICIENCY POP-UP SPRAY PRESSURE COMPENSATING SPRAY SPRINKLERS. THESE SPRINKLERS APPLY THE WATER AT A LOWER APPLICATION RATE TO REDUCE RUNOFF AND PONDING. ALL SPRINKLERS WILL INCLUDE BUILT IN CHECK VALVES AND PRESSURE REGULATORS TO PREVENT MISTING AND LOW HEAD DRAINAGE ON SLOPED AREAS. THE CONTROLLER THAT WILL MANAGE THIS SYSTEM UTILIZES AN ONSITE WEATHER BASED SENSOR TO ADJUST THE RUN TIMES OF THE VALVES BASED ON DAILY WEATHER CONDITIONS. UTILIZING THIS TYPE OF WEATHER BASED SYSTEM WILL HELP THE LANDSCAPE MANAGER SAVE 25% MORE WATER THAN WITH A CONVENTIONAL CONTROLLER.

#### IRRIGATION ZONES

1. LOW WATER USE/CALIFORNIA NATIVE SHRUBS/GROUNDCOVER/GRASSES/ANNUALS AREA WILL BE IRRIGATED WITH AN INLINE DRIP EMITTERS SYSTEM.
2. LARGE SHRUBS/TREES/ AREAS WILL USE POINT SOURCE BUBBLERS.

#### IRRIGATION EQUIPMENT

1. THE IRRIGATION SYSTEM WILL BE AUTOMATED USING AN 'ET' WEATHER BASED CONTROLLER. THE CONTROLLER RECEIVES ET/WEATHER UPDATES FROM A LOCAL WEATHER STATION OR SENSING DEVICE AND WILL AUTOMATICALLY ADJUSTS THE IRRIGATION SYSTEM RUN TIMES ACCORDINGLY.
2. PRESSURIZED MAINLINE 2" AND SMALLER SHALL BE SOLVENT WELD SCHEDULE 40 PVC WITH SCHEDULE 40 FITTINGS.
3. LATERAL LINE PIPING SHALL BE SOLVENT WELD SCHEDULE 40 PVC WITH SCHEDULE 40 FITTINGS.
4. BUBBLERS, POP-UP SPRAY AND ROTOR HEADS WILL BE TORO, HUNTER, OR RAIN BIRD.
5. SUBSURFACE INLINE DRIP EMITTERS WILL BE PROVIDED BY NETAFIM, RAIN BIRD, HUNTER OR TORO AND BURIED APPROXIMATELY 4" BELOW GRADE.



KEY MAP NTS

400-150 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

### Linda Vista Drive Frontage & Water Treatment Area Planting Plan & Section L.3.2

PROPOSED PLANT PALETTE

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>MINIMUM CONTAINER SIZE</u>	<u>SPACING</u>	<u>MATURE WIDTH X HEIGHT</u>	<u>TREE SIZE</u>	<u>WULCOLS</u>
<b>EVULICH COURT STREET TREE:</b>						
ACER RUBRUM 'RED POINTE'	RED POINTE RED MAPLE	24" BOX	N/A	20'-0" X 40'-0"	MEDIUM	M
<b>LINDA VISTA DRIVE STREET TREE:</b>						
PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX	N/A	25'-0" X 30'-0"	MEDIUM	L
<b>DECIDUOUS TREES:</b>						
ACER PALMATUM VARIETIES	NCN	24" BOX	N/A	15'-0" X 30'-0"	SMALL	L
* CERCIIS SPECIES	REDBUD	24" BOX	N/A	20'-0" X 25'-0"	SMALL	M
CHIONANTHUS RETUSUS	FRINGE TREE	24" BOX	N/A	35'-0" X 20'-0"	MEDIUM	M
CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	24" BOX	N/A	25'-0" X 25'-0"	SMALL	M
LAGERSTROEMIA SPECIES	CRAPE MYRTLE	24" BOX	N/A	15'-0" X 25'-0"	SMALL	M
MALUS SPECIES	CRABAPPLE	24" BOX	N/A	20'-0" X 30'-0"	MEDIUM	M
STYRAX JAPONICUS	JAPANESE SNOWBELL	24" BOX	N/A	20'-0" X 35'-0"	SMALL	M
ZELKOVA SERRATA	SAW LEAF SELKOVA	24" BOX	N/A	40'-0" X 60'-0"	MEDIUM	M
<b>EVERGREEN TREES:</b>						
LAURUS NOBILIS 'SARATOGA'	SWEET BAY	36" BOX	N/A	25'-0" X 25'-0"	SMALL	L
MAGNOLIA 'LITTLE GEM'	FLOWERING MAGNOLIA	24" BOX	N/A	20'-0" X 25'-0"	SMALL	L
PODOCARPUS MACROPHYLLA	YEW PINE	24" BOX	N/A	10'-0" X 20'-0"	SMALL	M
PRUNUS CAROLINIANA	NCN	24" BOX	N/A	20'-0" X 25'-0"	MEDIUM	L
RHAPHIOLEPIS 'MAGNIFICENT'	INDIAN HAWTHORNE	24" BOX	N/A	10'-0" X 20'-0"	SMALL	L
<b>BACKGROUND/FOUNDATION SHRUBS:</b>						
MYRSINE AFRICANA	AFRICAN BOXWOOD	5 GALLON	3'-0" O.C.	3'-0" X 4'-0"		L
MYRTUS COMMUNIS COMPACTA	MYRTLE	5 GALLON	2'-6" O.C.	2'-6" X 3'-0"		L
PITTIPORIUM SPECIES	TOBIRA	5 GALLON	3'-0" O.C.	3'-0" X 2'-0"		L
PRUNUS CAROLINIANA 'BRIGHT N TIGHT'	CAROLINA LAUREL	15 GALLON	2'-0" O.C.	2'-0" X 6'-0"		M
RHAPHIOLEPIS SPECIES	NCN	5 GALLON	3'-0" O.C.	3'-0" X 3'-0"		L
<b>INTERMEDIATE SHRUBS:</b>						
CALANDRINIA SPECTABILIS	ROCK PURSLANE	1 GALLON	3'-0" O.C.	3'-0" X 1'-0"		L
* CARPENTERIA CALIFORNICA	BUSH ANEMONE	1 GALLON	4'-0" O.C.	4'-0" X 6'-0"		L
DIETES SPECIES	FORTNIGHT LILY	5 GALLON	3'-0" O.C.	3'-0" X 4'-0"		L
EUPHORBIA CHARACIAS WULFENII	SPURGE	5 GALLON	2'-6" O.C.	2'-6" X 3'-0"		L
* GALVEZIA SPECIOSA 'FIRE CRACKER'	ISLAND SNAP DRAGON	1 GALLON	4'-0" O.C.	4'-0" X 4'-0"		M
* SALVIA SPECIES	SAGE	5 GALLON	3'-0" O.C.	3'-0" X 4'-0"		L
* ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUCHSIA	1 GALLON	VARIES	3'-0" X 2'-0"		L
<b>FOREGROUND SHRUBS:</b>						
ANIGOZANTHUS SPECIES	KANGAROO PAWS	1 GALLON	1'-6" O.C.	1'-6" X 2'-0"		L
BULBINE FRUTESCENS	NCN	1 GALLON	2'-6" O.C.	2'-6" X 1'-6"		L
CISTUS 'LITTLE MISS SUNSHINE'	ROCKROSE	1 GALLON	2'-6" O.C.	2'-6" X 1'-6"		L
DIANELLA SPECIES	FLAX LILY	1 GALLON	2'-6" O.C.	2'-6" X 2'-0"		L
HEMEROCALLIS SPECIES	EVERGREEN DAYLILY	1 GALLON	2'-0" O.C.	2'-0" X 2'-0"		M
* HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GALLON	VARIES	3'-0" X 2'-0"		L
LIROPE SPECIES	BIG BLUE LILY TURF	1 GALLON	1'-6" O.C.	1'-6" X 1'-6"		M
NANDINA SPECIES	HEAVENLY BAMBOO	5 GALLON	3'-0" O.C.	3'-0" X 4'-0"		L
* POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GALLON	VARIES	3'-0" X 4'-0"		L
TEUCRIUM SPECIES	GERMANDER	1 GALLON	1'-6" O.C.	1'-6" X 3'-0"		L
* ZAUSCHNERIA SPECIES	FUCHSIA	1 GALLON	VARIES	3'-0" X 2'-0"		L

NOTES

**LANDSCAPE NOTES:**

PLANT PALETTE IS FOR REFERENCE ONLY, NOT ALL TREES, SHRUBS, GRASSES, AND GROUND COVER LISTED WILL BE UTILIZED IN THE PREPARATION OF CONSTRUCTION DOCUMENTS. ADDITIONAL PLANTS MAY BE SUBSTITUTED DUE TO AVAILABILITY AND CONTAINER SIZE. PLANT MATERIAL SHALL BE SELECTED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.

SMALL NARROW UPRIGHT CANOPY TREES HAVE BEEN PROPOSED AS LOW-COMBUSTIBLE AND TO MEET CAL FIRE REQUIREMENTS FOR 10'-0" SETBACK OF CANOPY FROM PROPOSED BUILDINGS AND ADJACENT TREES.

HOA SHALL MONITOR THE CANOPY OF ALL TREES AND SELECTIVELY PRUNE CANOPIES AS NEEDED TO MEET CAL FIRE REQUIREMENTS.

ALL ABOVE GROUND TRANSFORMERS AND UTILITIES TO BE SCREENED WITH EVERGREEN SHRUBS, REFER TO LIST BELOW LEFT.

LANDSCAPE PLAN IS IN COMPLIANCE WITH ALL CITY STANDARDS.

**WATER CONSERVATION STATEMENT:**

ALL PLANTING AND IRRIGATION WILL CONFORM TO THE COUNTY'S WATER EFFICIENT LANDSCAPE ORDINANCE (PER LOT). POINT-SOURCE DRIP EMITTERS WILL BE USED TO IRRIGATE SHRUBS AND GROUND COVER. IRRIGATION CONTROLLERS WILL BE SELF-ADJUSTING (SMART). ALL OTHER REQUIREMENTS OF THE ORDINANCE WILL BE FOLLOWED, INCLUDING A MINIMUM OF 3" DEEP LAYER OF BARK MULCH IN ALL NON-TURF PLANTER AREAS. PLANT MATERIAL HAS BEEN CHOSEN FOR WATER CONSERVING AND REDUCED MAINTENANCE CHARACTERISTICS. A MAXIMUM OF 25% OF NON-TURF PLANS WILL HAVE A MODERATE IRRIGATION WATER REQUIREMENT AND A MINIMUM OF 50% OF NON-TURF PLANTS WILL HAVE A LOW TO VERY LOW IRRIGATION WATER REQUIREMENT.

**IRRIGATION NOTE:**

THE PROPOSED IRRIGATION SYSTEM FOR THIS SITE WILL BE DESIGNED WITH THE LATEST TECHNOLOGY IN WATER CONSERVATION AND EFFICIENCY. THE SYSTEM WILL CONSIST OF THE FOLLOWING TYPES OF IRRIGATION METHODS AND EQUIPMENT COMPLYING WITH THE STATE WATER ORDINANCE. ALL SMALL PLANTING BEDS WILL BE IRRIGATED WITH HIGHLY EFFICIENT, WATER CONSERVING INLINE DRIP. ALL BIOSWALES AREAS WILL BE IRRIGATED WITH HIGH EFFICIENCY POP-UP SPRAY PRESSURE COMPENSATING SPRAY SPRINKLERS. THESE SPRINKLERS APPLY THE WATER AT A LOWER APPLICATION RATE TO REDUCE RUNOFF AND PONDING. ALL SPRINKLERS WILL INCLUDE BUILT IN CHECK VALVES AND PRESSURE REGULATORS TO PREVENT MISTING AND LOW HEAD DRAINAGE ON SLOPED AREAS. THE CONTROLLER THAT WILL MANAGE THIS SYSTEM UTILIZES AN ONSITE WEATHER BASED SENSOR TO ADJUST THE RUN TIMES OF THE VALVES BASED ON DAILY WEATHER CONDITIONS. UTILIZING THIS TYPE OF WEATHER BASED SYSTEM WILL HELP THE LANDSCAPE MANAGER SAVE 25% MORE WATER THAN WITH A CONVENTIONAL CONTROLLER.

**IRRIGATION ZONES**

- LOW WATER USE/CALIFORNIA NATIVE SHRUBS/GROUND COVER/GRASSES/ANNUALS AREA WILL BE IRRIGATED WITH AN INLINE DRIP EMITTERS SYSTEM.
- LARGE SHRUBS/TREES/ AREAS WILL USE POINT SOURCE BUBBLERS.

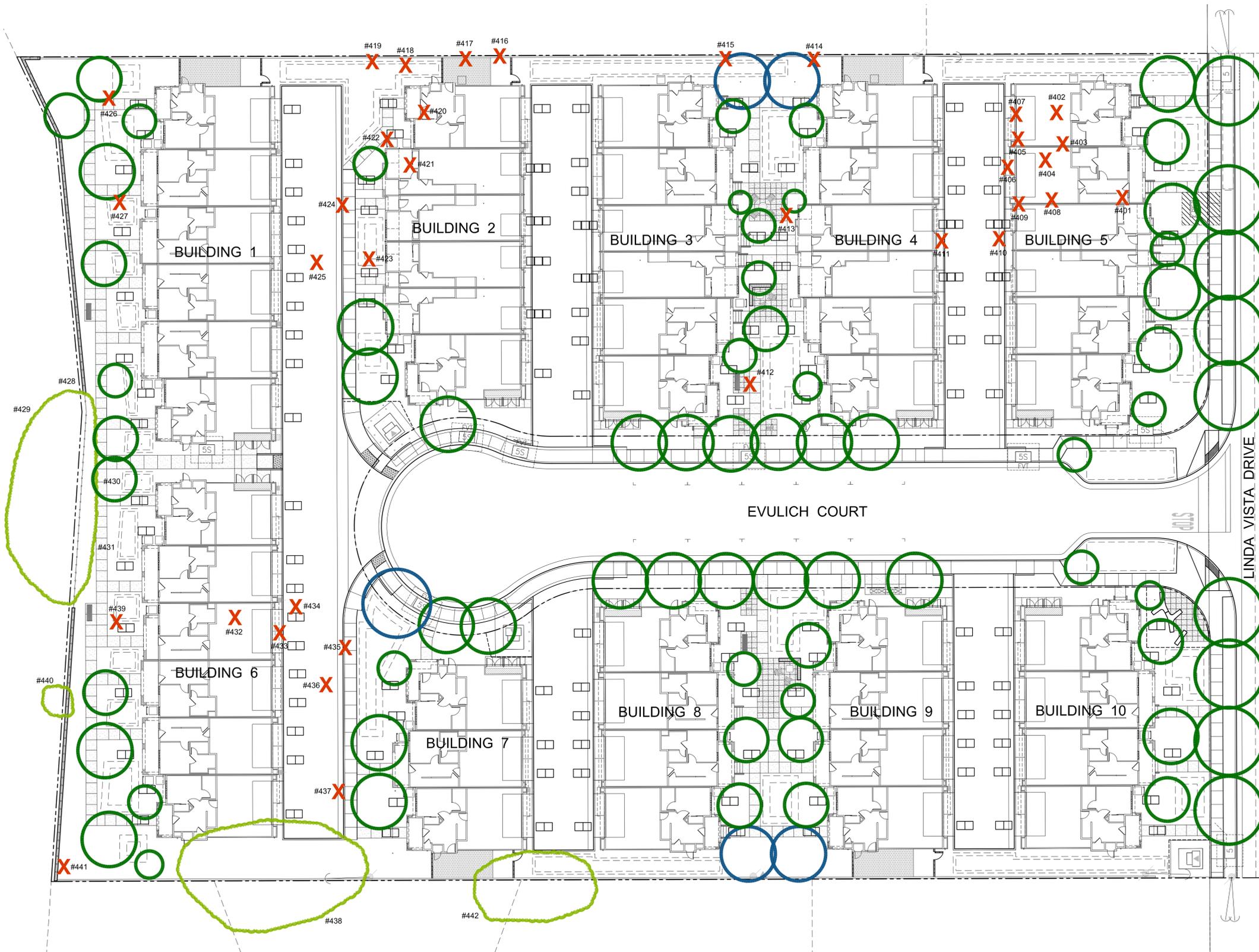
**IRRIGATION EQUIPMENT**

- THE IRRIGATION SYSTEM WILL BE AUTOMATED USING AN "ET" WEATHER BASED CONTROLLER. THE CONTROLLER RECEIVES ET/WEATHER UPDATES FROM A LOCAL WEATHER STATION OR SENSING DEVICE AND WILL AUTOMATICALLY ADJUSTS THE IRRIGATION SYSTEM RUN TIMES ACCORDINGLY.
- PRESSURIZED MAINLINE 2" AND SMALLER SHALL BE SOLVENT WELD SCHEDULE 40 PVC WITH SCHEDULE 40 FITTINGS.
- LATERAL LINE PIPING SHALL BE SOLVENT WELD SCHEDULE 40 PVC WITH SCHEDULE 40 FITTINGS.
- BUBBLERS, POP-UP SPRAY AND ROTOR HEADS WILL BE TORO, HUNTER, OR RAIN BIRD.
- SUBSURFACE INLINE DRIP EMITTERS WILL BE PROVIDED BY NETAFIM, RAIN BIRD, HUNTER OR TORO AND BURIED APPROXIMATELY 4" BELOW GRADE.

**MINIMUM TREE CLEARANCE NOTE:**

- SMALL TREES (15' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 6' FROM BUILDINGS AND A MINIMUM OF 2'-0" FROM EDGES OF PAVING, CURBS OR WALLS.
- MEDIUM TREES (25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 10' FROM BUILDINGS AND A MINIMUM OF 3'-0" FROM PAVING, CURBS OR WALLS.
- LARGE TREES (ABOVE 25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 15' FROM BUILDINGS AND A MINIMUM OF 3'-0" FROM PAVING, CURBS OR WALLS.
- 3'-0" MINIMUM FROM JOINT TRENCH, 6" FROM WATER LINES, WATER METERS AND FIRE HYDRANTS.
- 8' MINIMUM FROM SANITARY SEWER AND STORM DRAINS.
- ALL TREES PLANTED WITHIN 5'-0" OF FUTURE CURBS, SIDEWALK, WALLS AND ALL UTILITIES, SHALL INCLUDE A ROOT BARRIER PER SECTION 4-32.
- STREET TREES TO BE LOCATED A MINIMUM OF 20' FROM STREET LIGHTS.

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>MINIMUM CONTAINER SIZE</u>	<u>SPACING</u>	<u>MATURE WIDTH X HEIGHT</u>	<u>WULCOLS</u>
<b>GROUND COVER:</b>					
* ARCTOSTAPHYLOS SPECIES	BEARBERRY	1 GALLON	3'-0" O.C.	3'-0" X 3'-0"	L
EREMOPHILA GLABRA	GRAY EMU	1 GALLON	3'-0" O.C.	3'-0" X 1'-0"	L
* ERIOGONUM SPECIES	BUCKWHEAT	1 GALLON	VARIES	2'-0" X 2'-0"	L
* GREVILLEA LANIGERA 'COASTAL GEM'	NCN	1 GALLON	3'-0" O.C.	3'-0" X 1'-0"	L
PORTULACARIA AFRA MINIMA	NCN	1 GALLON	2'-6" O.C.	2'-6" X 6"	L
ROSA SPECIES	ROSE	2 GALLON	2'-6" O.C.	1'-6" X 2'-6"	M
TEUCRIUM SPECIES	GERMANDER	1 GALLON	2'-0" O.C.	2'-0" X 2'-0"	L
* ZAUSCHNERIA SPECIES	FUCHSIA	1 GALLON	VARIES	3'-0" X 2'-0"	L
<b>GRASSES:</b>					
FESTUCA MAIREI	FESCUE	1 GALLON	3'-0" O.C.	3'-0" X 2'-0"	L
LOMANDRA SPECIES	NCN	1 GALLON	VARIES	3'-0" X 3'-0"	L
* MUHLENBERGIA SPECIES	DEER GRASS	1 GALLON	4'-0" O.C.	4'-0" X 4'-0"	L
* PENNISETUM SPECIES	FOUNTAIN GRASS	1 GALLON	3'-0" O.C.	3'-0" X 4'-0"	L
<b>AGAVE, ALOE, &amp; SUCCULENTS:</b>					
AGAVE ATTENUATA	AGAVE	15 GALLON	VARIES	6'-0" X 4'-0"	L
ALOE SPECIES	ALOE	1 GALLON	VARIES	3'-0" X 2'-0"	L
HESPERALOE PARVIFLORA 'BRAKELIGHTS'	RED YUCCA	1 GALLON	2'-6" O.C.	6'-0" X 4'-0"	L
SENECIO MANDRALISCAE	BLUE CHALKSTICKS	1 GALLON	2'-0" O.C.	2'-0" X 1'-6"	L
YUCCA 'BRIGHT STAR'	BRIGHT STAR YUCCA	5 GALLON	4'-0" O.C.	4'-0" X 3'-0"	L
<b>WATER TREATMENT SHRUBS AND GRASSES:</b>					
* ARISTIDA PURPUREA	PURPLE THREE-AWN	1 GALLON	MIX EVENLY	2'-0" X 3'-0"	L
* CHONDROPETALUM TECTORUM	CAPE RUSH	1 GALLON	MIX EVENLY	3'-0" X 2'-0"	L
* JUNCUS PATENS	RUSH	1 GALLON	MIX EVENLY	2'-0" X 3'-0"	L
* MIMULUS ARANTIACUS	MONKEY FLOWER	1 GALLON	MIX EVENLY	3'-0" X 3'-0"	L
* STIPA PULCHRA	NCN	1 GALLON	MIX EVENLY	2'-0" X 2'-6"	L
PROPOSED PLANT SPECIES FOR BIO-RETENTION AREAS ARE CONSISTENT WITH PLANT LIST IN THE SANTA CLARA VALLEY URBAN RUN-OFF POLLUTION PREVENTION PROGRAM C.3 STORMWATER HANDBOOK APPENDIX D.					
<b>UTILITY SCREENING SHRUBS:</b>					
LIGUSTRUM TEXANUM	PRIVET	5 GALLON	2'-0" O.C.	2'-0" X 4'-0"	L
PRUNUS CAROLINIANA 'BRIGHT N TIGHT'	CAROLINA LAUREL (COLUMN FORM)	5 GALLON	1'-6" O.C.	1'-6" X 6'-0"	L
RHAPHIOLEPIS UMBELLATA MINOR	YEDDO HAWTHORNE	5 GALLON	2'-6" O.C.	2'-6" X 3'-0"	L
* DENOTES CALIFORNIA NATIVE SPECIES					



TREE NO.	SPECIES	PROTECTED	PROPOSED ACTION	TREE DIAMETER	REPLACEMENT TREE SIZE	REPLACEMENT QUANTITY	
						24" BOX	36" BOX
401	COAST LIVE OAK	YES	REMOVE	19"	24" BOX	2	
402	ALMOND	NO	REMOVE	17"	24" BOX	2	
403	SILVER WATTLE ACACIA	NO	REMOVE	9',8",4"	24" BOX	2	
404	SILVER WATTLE ACACIA	NO	REMOVE	10',8",0"	24" BOX	2	
405	SILVER WATTLE ACACIA	NO	REMOVE	7"	24" BOX	1	
406	SILVER WATTLE ACACIA	NO	REMOVE	7"	24" BOX	1	
407	SILVER WATTLE ACACIA	NO	REMOVE	10"	24" BOX	1	
408	SILVER WATTLE ACACIA	NO	REMOVE	5',4",0"	24" BOX	1	
409	SILVER WATTLE ACACIA	NO	REMOVE	6"	24" BOX	1	
410	GLOSSY PRIVET	NO	REMOVE	7',6",0"	24" BOX	2	
411	LIME	NO	REMOVE	11"	24" BOX	1	
412	COFFEEBERRY	NO	REMOVE	10"	24" BOX	1	
413	COAST LIVE OAK	YES	REMOVE	30"	24" BOX	2	
414	COAST LIVE OAK	NO	REMOVE	8"	24" BOX	1	
415	COAST LIVE OAK	NO	REMOVE	8',8",0"	24" BOX	2	
416	COAST LIVE OAK	NO	REMOVE	6"	24" BOX	1	
417	COAST LIVE OAK	YES	REMOVE	14"	24" BOX	2	
418	DOUGLAS FIR	NO	REMOVE	6"	24" BOX	1	
419	DOUGLAS FIR	NO	REMOVE	9"	24" BOX	1	
420	COAST LIVE OAK	NO	REMOVE	11",11",0"	24" BOX	2	
421	GLOSSY PRIVET	NO	REMOVE	9"	24" BOX	1	
422	COAST LIVE OAK	YES	REMOVE	20",18",0"	24" BOX		1
423	HOLLY OAK	NO	REMOVE	10",8",8",7",7",5",4"	24" BOX		1
424	COAST LIVE OAK	YES	REMOVE	15",13",0"	24" BOX	2	
425	COAST REDWOOD	NO	REMOVE	32",20",15",10",8"	24" BOX		1
426	SILVER WATTLE ACACIA	NO	REMOVE	7',6",5"	24" BOX	2	
427	COAST LIVE OAK	YES	REMOVE	16",12",10",10",10",8"	24" BOX		1
* 428	COAST LIVE OAK	YES	PRESERVE	17"			
* 429	COAST LIVE OAK	YES	PRESERVE	12"			
* 430	COAST LIVE OAK	YES	PRESERVE	17"			
* 431	COAST LIVE OAK	YES	PRESERVE	15",15",12",10",8"			
432	HOLLY OAK	NO	REMOVE	8',8",0"	24" BOX	2	
433	COAST LIVE OAK	NO	REMOVE	7"	24" BOX	1	
434	COAST LIVE OAK	NO	REMOVE	10"	24" BOX	1	
435	COAST LIVE OAK	YES	REMOVE	20"	24" BOX	2	
436	COAST LIVE OAK	NO	REMOVE	8',3",0"	24" BOX	2	
437	COAST LIVE OAK	YES	REMOVE	22"	24" BOX	2	
438	COAST LIVE OAK	YES	PRESERVE	42"			
439	MONTEREY PINE	NO	REMOVE	32"	24" BOX	2	
* 440	COAST LIVE OAK	YES	PRESERVE	16"			
441	EVERGREEN ASH	NO	REMOVE	17"	24" BOX	2	
* 442	MONTEREY PINE	NO	PRESERVE	36"			
REPLACEMENT TREE TOTALS						48	4

\* DENOTES OFFSITE TREE

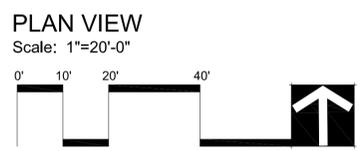
TREE TO BE REMOVED	REPLACEMENT TREE(S)
0" - 12" DIAMETER	ONE 24" BOX TREE
12" - 18" DIAMETER	ONE 36" BOX TREE OR TWO 24" BOX TREES
18" - 36" DIAMETER	ONE 36" BOX TREE OR TWO 24" BOX TREES
OVER 36" DIAMETER	ONE 36" BOX TREE

**KEY**

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- PROPOSED 24" BOX TREE
- PROPOSED 36" BOX TREE

**TREE COUNTS**

TOTAL ONSITE TREES TO BE REMOVED: 35  
 TOTAL ONSITE TREES TO BE PRESERVED: 1  
 24" BOX TREES REQUIRED: 68  
 36" BOX TREES REQUIRED: 4  
 TOTAL PROPOSED ONSITE 24" BOX TREES: 72  
 TOTAL PROPOSED ONSITE 36" BOX TREES: 5



**TREE REMOVAL STATEMENT**

WITH THE EXCEPTION OF TREE #348, ALL EXISTING TREES ON SITE WILL BE REMOVED DUE TO PROPOSED BUILDINGS, STREETS, SIDEWALKS, PUBLIC AND PRIVATE IMPROVEMENTS. REFER TO SHEET L.5.1.

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

Existing Tree, Proposed Tree, and Tree Mitigation Plan  
 L.5.1

400-150 10857 Linda Vista Drive  
 Cupertino, CA  
 January 12, 2026

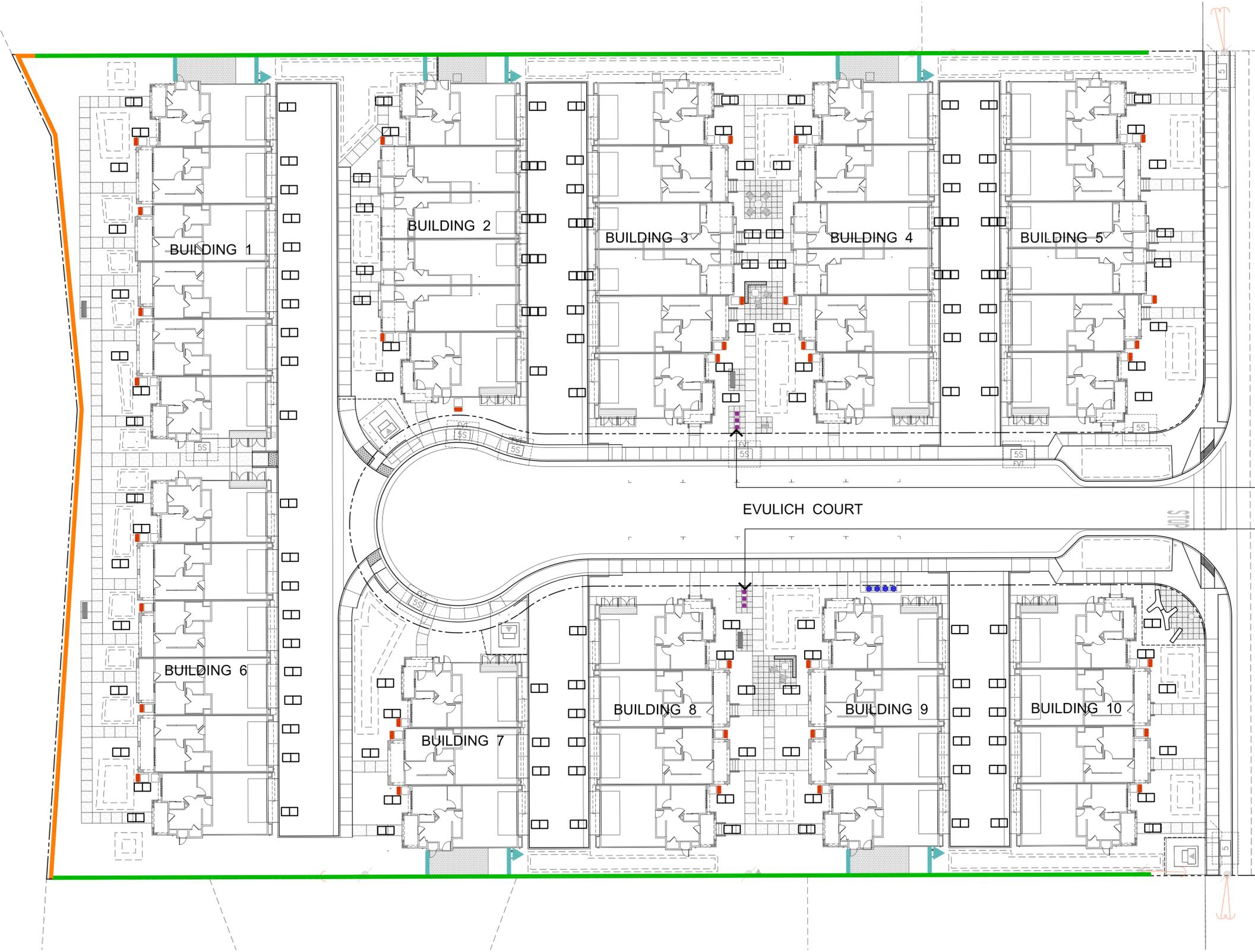
# WALL, FENCE, AC SCREEN, AND MAILBOX SCHEDULE

-  PROPOSED 7'-0" HIGH WOOD FENCE WITH LATTICE: REFER TO DETAIL/IMAGE 1 SHEET L.6.2
-  PROPOSED 6'-0" HIGH TUBULAR STEEL FENCE OVER RETAINING WALL: REFER TO DETAIL/IMAGE 2 SHEET L.6.2
-  PROPOSED 4'-0" HIGH NON-COMBUSTIBLE METAL PICKET FENCE
-  PROPOSED 4'-0" HIGH NON-COMBUSTIBLE METAL PICKET GATE
-  MAILBOX STATION: REFER TO DETAIL/IMAGE 3 SHEET L.6.2
-  AC SCREEN: REFER TO DETAIL/IMAGE 4 SHEET L.6.2
-  BICYCLE RACK (CLASS II): REFER TO IMAGE SHEET L.7.1 AND CHART BELOW
-  DESIGNATED LADDER PAD AREA: REFER TO PLANS PREPARED BY SDG ARCHITECTS (PLANTING SHALL NOT IMPEDE LADDER PADS)

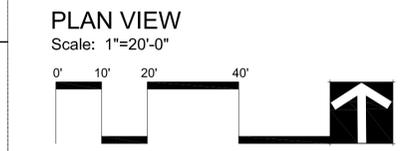
BICYCLE RACK QUANTITIES	
TOTAL RESIDENTIAL UNITS	51
TOTAL REQUIRED BICYCLE PARKING SPACES (1 FOR EVERY 10 UNITS)	6
TOTAL PROPOSED BICYCLE RACKS	6
TOTAL PROPOSED BICYCLE PARKING SPACES (2 AT EACH BICYCLE RACK)	12

**BICYCLE RACKS:**  
3 CLASS II BICYCLE RACKS WITH PARKING FOR 6 STANDARD AND/OR ELECTRIC BICYCLES, REFER TO IMAGE SHEET L.7.1

**BICYCLE RACKS:**  
3 CLASS II BICYCLE RACKS WITH PARKING FOR 6 STANDARD AND/OR ELECTRIC BICYCLES, REFER TO IMAGE SHEET L.7.1



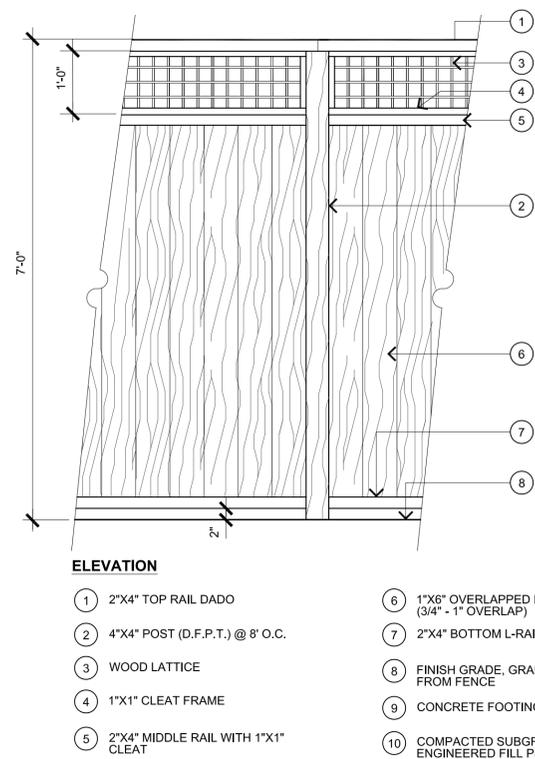
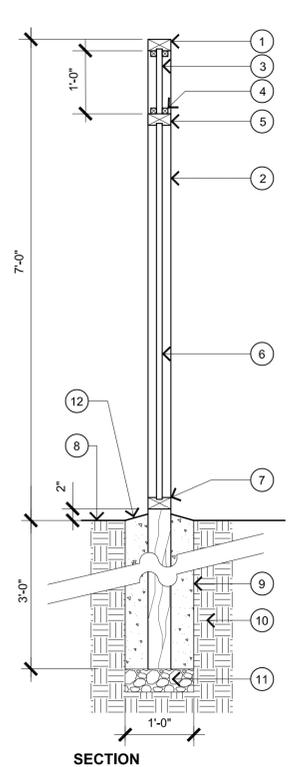
LINDA VISTA DRIVE



PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

Wall, Fencing, AC Screen, Ladder Pad, and Mailbox Location Plan L.6.1

400-150 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

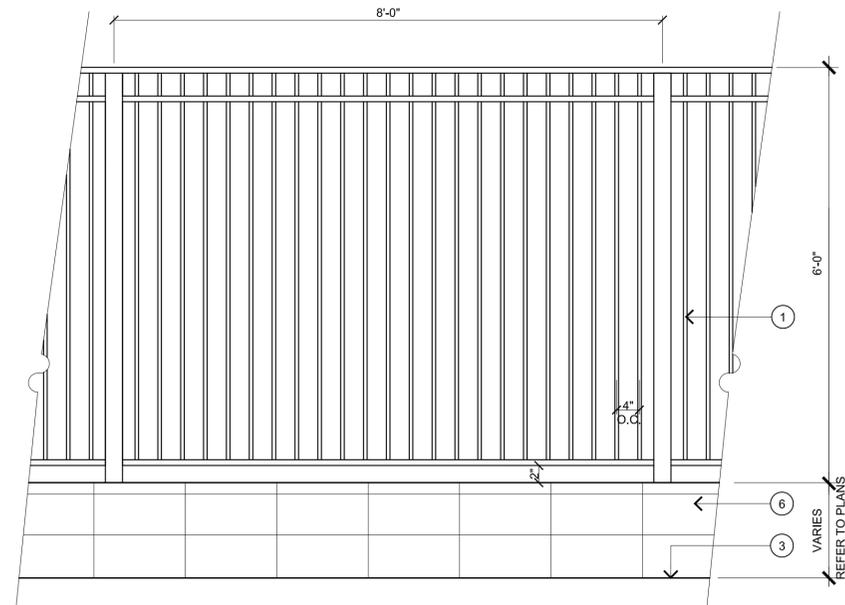
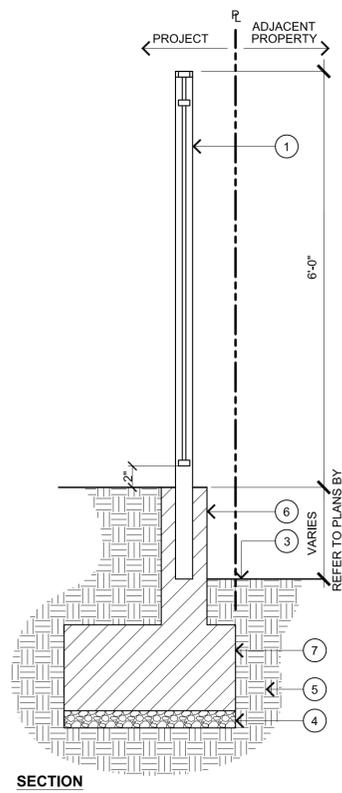


**ELEVATION**

- 1 2"x4" TOP RAIL DADO
- 2 4"x4" POST (D.F.P.T.) @ 8' O.C.
- 3 WOOD LATTICE
- 4 1"x1" CLEAT FRAME
- 5 2"x4" MIDDLE RAIL WITH 1"x1" CLEAT
- 6 1"x6" OVERLAPPED FENCE BOARDS (3/4" - 1" OVERLAP)
- 7 2"x4" BOTTOM L-RAIL WITH 1"x1" CLEAT
- 8 FINISH GRADE, GRADE TO SLOPE AWAY FROM FENCE
- 9 CONCRETE FOOTING
- 10 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT

- 11 CLASS II AGGREGATE SUB BASE, THICKNESS PER SOILS REPORT
- 12 SLOPE TOP OF FOOTING AT GRADE

NOTE:  
 - ALL SCREWS SHALL BE HOT DIPPED GALVANIZED  
 - ALL WOOD TO BE CONSTRUCTION HEART REDWOOD UNLESS OTHERWISE NOTED



**ELEVATION**

- 1 TUBULAR STEEL FENCE
- 2 FENCE POST CONCRETE FOOTING - PER MANUFACTURER
- 3 FINISH GRADE
- 4 CLASS II PERMEABLE MATERIAL, THICKNESS PER SOILS REPORT
- 5 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 6 SPLIT FACE BLOCK RETAINING WALL WITH CAP IN EARTH TONE - REFER TO PLANS PREPARED BY CBG CIVIL ENGINEERS FOR DETAIL AND WALL HEIGHT
- 7 CONCRETE FOOTING - REFER TO PLANS PREPARED BY CBG CIVIL ENGINEERS

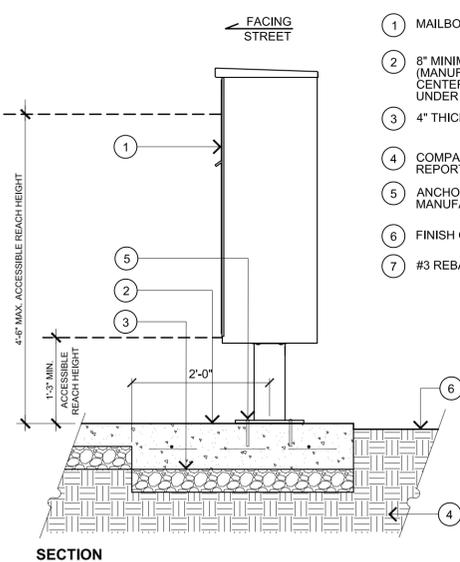


**1 7'-0" HIGH WOOD FENCE WITH LATTICE**

SCALE : 3/4"=1'-0"

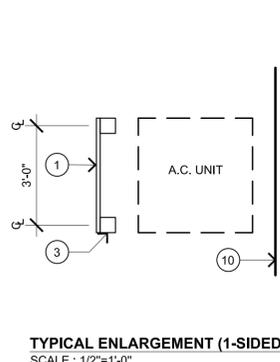
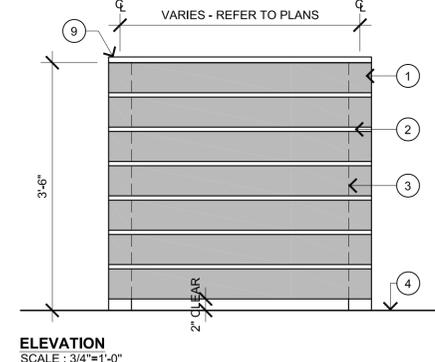
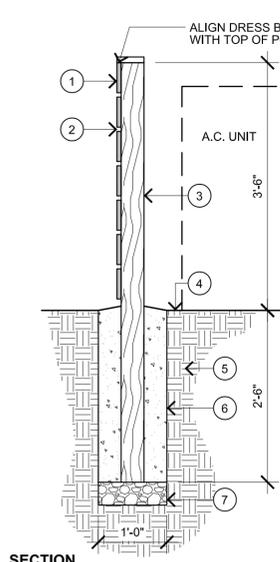
**2 6'-0" HIGH TUBULAR STEEL FENCE OVER RETAINING WALL**

SCALE : 3/4"=1'-0"

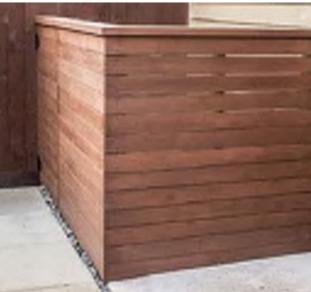


- 1 MAILBOX STATION
- 2 8" MINIMUM THICK CONCRETE PAVING (MANUFACTURER'S RECOMMENDATION, 24" MIN. FROM CENTER OF MAILBOX STATION IN ALL DIRECTIONS) UNDER MAILBOX STATIONS ONLY
- 3 4" THICK CLASS II AGGREGATE SUB BASE
- 4 COMPACTED SUB GRADE PER SOILS REPORT
- 5 ANCHOR BOLTS (TYP.) - INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 6 FINISH GRADE
- 7 #3 REBAR @ 24" O.C. BOTH WAYS

NOTES:  
 - MAILBOX TO COMPLY WITH CBC 11B-228.2  
 - CONTRACTOR TO CONFIRM REQUIRED QUANTITIES OF DOORS AND PARCEL LOCKERS PER REQUIREMENTS OF LOCAL POSTAL SERVICES



- 1 5-1/4"x3/4" DRESS BOARD
- 2 1/2" SPACER
- 3 4"x4" PTDF POST
- 4 FINISH GRADE
- 5 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 6 CONCRETE FOOTING
- 7 4" LAYER OF AGGREGATE DRAIN ROCK
- 8 MITER CORNERS
- 9 1X6 CAP
- 10 BUILDING



NOTES:  
 - ALL SCREWS SHALL BE HOT DIPPED GALVANIZED  
 - WOOD TO BE PAINTED TO MATCH BUILDING FIELD COLOR

**3 MAILBOX STATION**

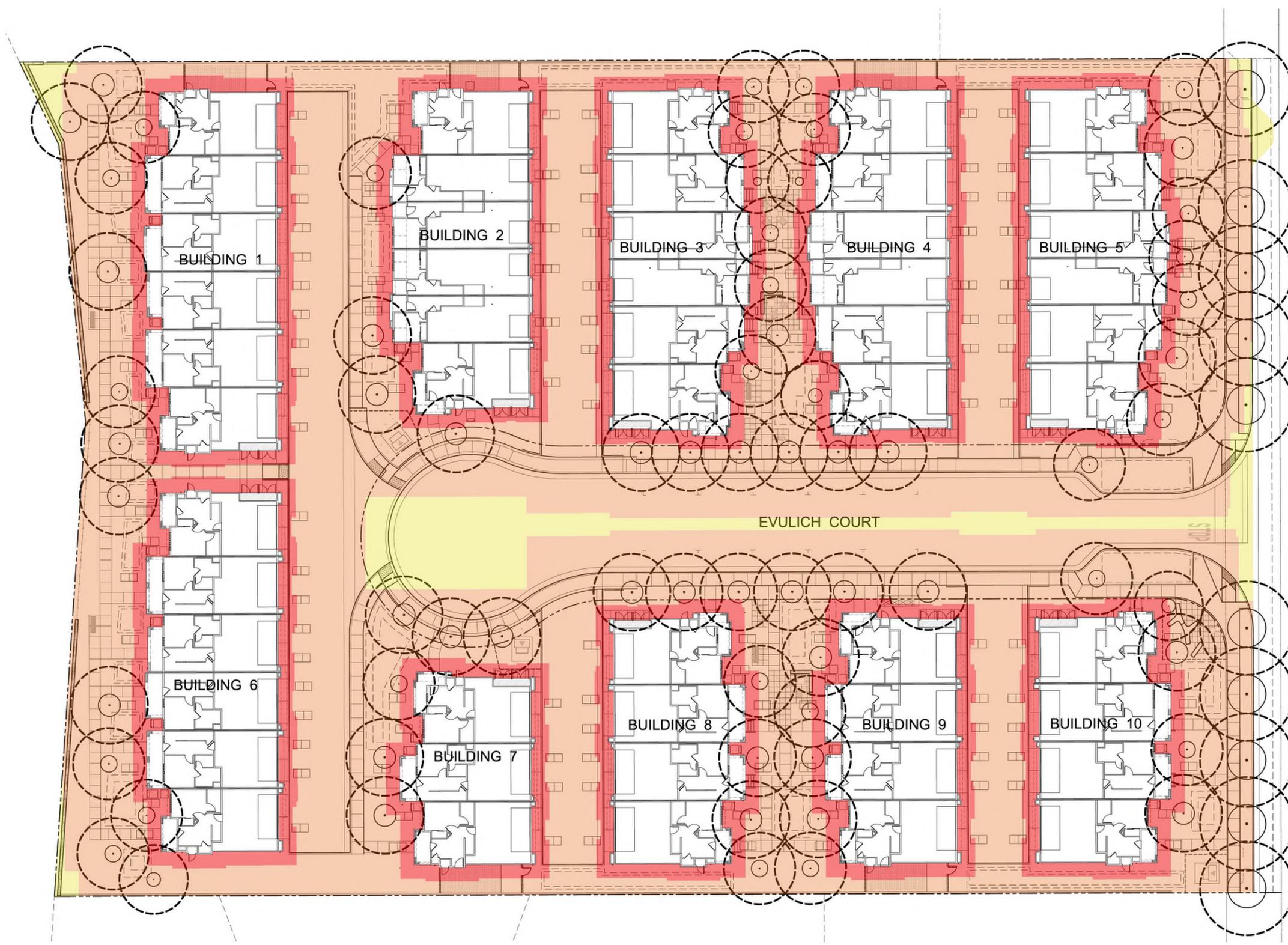
SCALE : 3/4"=1'-0"

**4 AIR CONDENSER SCREEN**

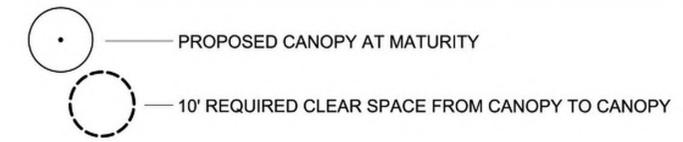
PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

400-150 10857 Linda Vista Drive  
 Cupertino, CA  
 January 12, 2026

Wall, Fencing, AC Screen, Ladder Pad, and Mailbox Details  
 L.6.2



**TREE KEY**



**ZONE 0**

- EMBER RESISTANT ZONE, 0-5 FEET FROM STRUCTURE
- REFER TO ADDITIONAL INFORMATION AND IMAGES SHEET L.7.2

**ZONE 1**

- 0-30 FEET FROM STRUCTURE
- REFER TO ADDITIONAL INFORMATION AND IMAGES SHEET L.7.2

**ZONE 2**

- 30-100 FEET FROM STRUCTURE OR TO PROPERTY LINE
- REFER TO ADDITIONAL INFORMATION AND IMAGES SHEET L.7.2

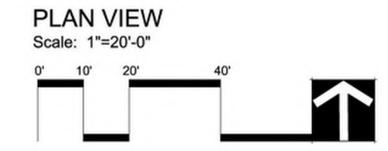
**NOTE:**  
 ALL OF THE INFORMATION INCLUDED IN THE FOLLOWING EXHIBIT IS BASED ON CAL FIRE DEFENSIBLE SPACE GUIDELINES AND RECOMMENDATIONS (WWW.FIRE.CA.GOV).

SMALL NARROW UPRIGHT CANOPY TREES HAVE BEEN PROPOSED AS LOW-COMBUSTIBLE AND TO MEET CAL FIRE REQUIREMENTS FOR 10'-0" SETBACK OF CANOPY FROM PROPOSED BUILDINGS AND ADJACENT TREES.

HOA SHALL MONITOR THE CANOPY OF ALL TREES AND SELECTIVELY PRUNE CANOPIES AS NEEDED TO MEET CAL FIRE REQUIREMENTS.

REFER TO PROPOSED PLANT PALETTE SHEET L.4.1 FOR TREE SPECIES.

LINDA VISTA DRIVE



400-150 10857 Linda Vista Drive  
 Cupertino, CA  
 January 12, 2026

**Defensible Space Fire Zone Plan**  
 L.7.1



PEBBLE MULCH



LARGE STONES IN PEBBLE MULCH



EXAMPLE OF PLANTING CONCEPT FOR ZONE 2



LARGE STONES IN PEBBLE MULCH



PEBBLE MULCH



LARGE STONES IN PEBBLE MULCH



**ZONE 0** (EMBER RESISTANT ZONE, 0-5 FEET FROM STRUCTURE)

- 5' FROM BUILDING EDGE
- NO REQUIRED CHANGE TO TYPICAL SHRUB AND GROUND COVER PLANTING PLAN. PLANTS ARE HIGH-MOISTURE AND LOW-SAP OR RESIN.
- WOOD MULCH PROHIBITED. ACCEPTABLE MULCH TO BE PEBBLES AND LARGE STONES
- 10' REQUIRED MINIMUM DISTANCE BETWEEN TREE BRANCHES
- NO FENCING OR GATES PROPOSED WITHIN THIS AREA



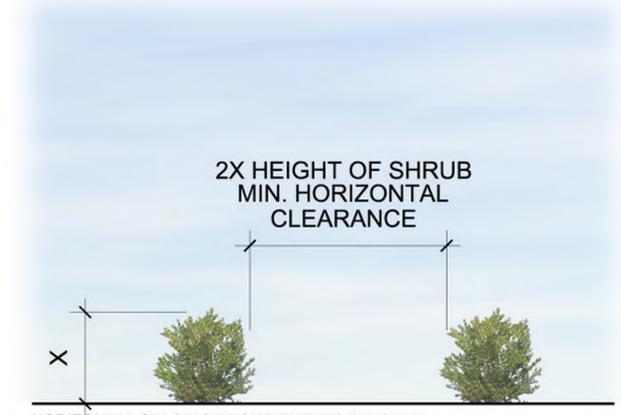
**ZONE 1** (0-30 FEET FROM STRUCTURE)

- 30' FROM BUILDING EDGE
- NO REQUIRED CHANGE TO TYPICAL SHRUB AND GROUND COVER PLANTING PLAN. PLANTS ARE HIGH-MOISTURE AND LOW-SAP OR RESIN.
- WOOD MULCH PROHIBITED. ACCEPTABLE MULCH TO BE PEBBLES AND LARGE STONES
- SHRUBS AND GROUND COVER SHOULD BE PLACED TO MINIMIZE THE FUEL SPREAD INTO THE TREES OR TO OTHER GROUPS OF PLANTS
- 10' REQUIRED MINIMUM DISTANCE BETWEEN TREE BRANCHES

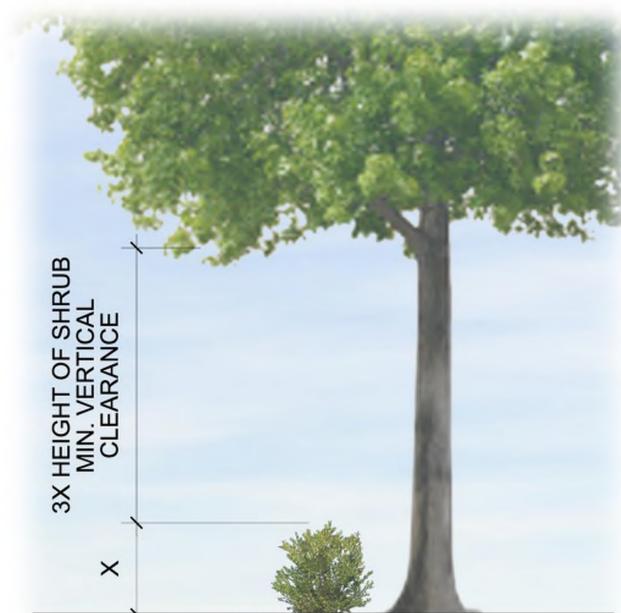


**ZONE 2** (30-100 FEET FROM STRUCTURE OR TO PROPERTY LINE)

- 100' FROM BUILDING EDGE
- SHRUBS AND GROUND COVER ACCEPTABLE IF MAINTAINING REQUIRED HORIZONTAL AND VERTICAL SPACING
- FUEL SEPARATION MEASURES SHOULD BE IMPLEMENTED BASED ON THE GENERAL GUIDELINES FOR CREATING DEFENSIBLE SPACE PREPARED BY THE STATE BOARD OF FORESTRY AND FIRE PROTECTION.
- WOOD MULCH PROHIBITED. ACCEPTABLE MULCH TO BE PEBBLES AND LARGE STONES
- 10' REQUIRED MINIMUM DISTANCE BETWEEN TREE BRANCHES
- TREES CAN BE GROUPED PROVIDED THAT LOWER LIMBS ARE TRIMMED TO A MINIMUM HEIGHT OF 6' AND SURFACE FUELS (SHRUBS AND GRASSES) ARE REMOVED
- SITE HAS LESS THAN 20% SLOPE



HORIZONTAL SPACING REQUIREMENTS IN ZONE 2



VERTICAL SPACING REQUIREMENTS IN ZONE 2



**ACID-ETCHED CONCRETE**



**BENCH**

SURFACE MOUNTED, FRAME FINISH TO BE DARK GRAY WITH GRAY RECYCLED PLASTIC SLATS



**BICYCLE RACKS**

SURFACE MOUNTED, FRAME FINISH TO BE DARK GRAY



**LOUNGE CHAIR 'A'**

SURFACE MOUNTED, FRAME FINISH TO BE RED, RECYCLED PLASTIC SLATS TO BE DARK GRAY, LOCATED IN PASEO 'A' AND 'B'



**LOUNGE CHAIR 'B'**

SURFACE MOUNTED, FRAME FINISH TO BE FOREST GREEN, LOCATED IN PASEO 'B'



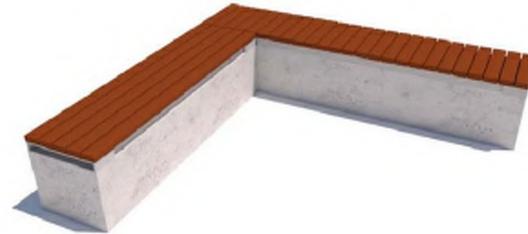
**SQUARE OUTDOOR CONCRETE TABLE**

LOCATED IN PASEO 'A' AND 'B'



**ROUND OUTDOOR CONCRETE TABLE**

LOCATED IN PASEO 'B'



**CONCRETE SEATWALL WITH RECYCLED PLASTIC SLATS**

LOCATED IN PASEO 'A' AND 'B'



**TWIG BENCH**

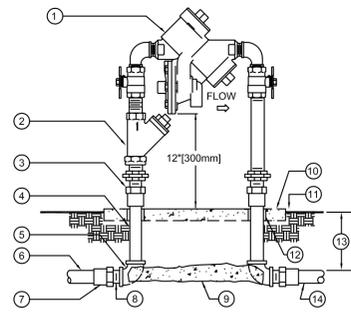
FINISH TO BE SANDBLAST, LOCATED AT PROJECT ENTRY



**BICYCLE REPAIR STATION**

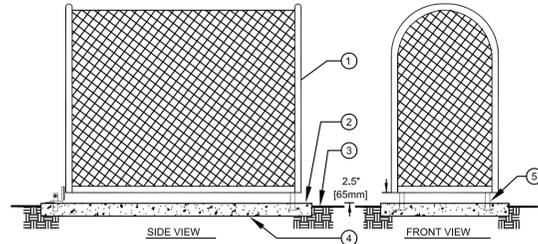
FINISH TO BE RED

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

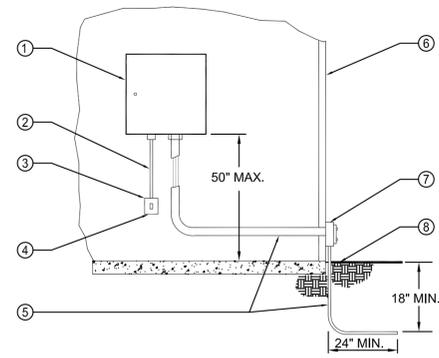


- 1 REDUCED PRESSURE BACKFLOW ASSEMBLY.
- 2 YB "Y" STRAINER SYSTEM (AS REQUIRED).
- 3 WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER x THREAD CONNECTION).
- 4 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
- 5 WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
- 6 PVC MAIN LINE TO POINT OF CONNECTION.
- 7 BUSH AS NECESSARY FOR SIZE TRANSITION.
- 8 SCHEDULE 40 PVC MALE ADAPTER- 2 TOTAL.
- 9 CONCRETE SUPPORT BLOCK.
- 10 CONCRETE PAD-SEE ENCLOSURE DETAIL.
- 11 FINISH GRADE.
- 12 PVC SLEEVE BOTH SIDES.
- 13 REFER TO IRRIGATION LEGEND.
- 14 PVC MAIN LINE TO IRRIGATION SYSTEM.

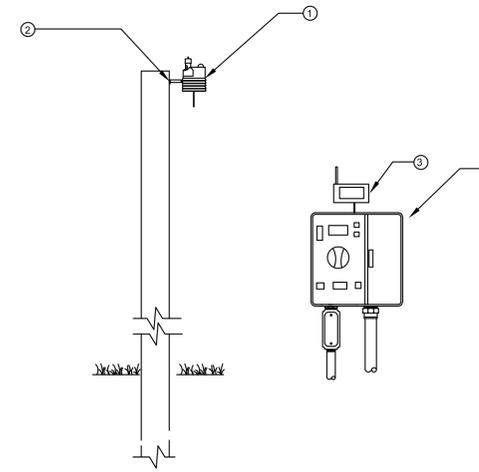
NOTES:  
 1. INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.  
 2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.  
 3. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.  
 4. PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.



- 1 STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE
- 2 SET PAD 1/2" [13mm] ABOVE FINISH GRADE
- 3 FINISH GRADE
- 4 6" [150mm] THICK CONCRETE PAD FOR ENCLOSURE SUPPORT TO EXTEND 6" [150mm] BEYOND ENCLOSURE ON ALL SIDES. CONCRETE TO HAVE MEDIUM BROOM FINISH.
- 5 MOUNTING BRACKETS (STANDARD WITH ENCLOSURE) TO BE SET INTO CONCRETE PAD, PROVIDE LOCKING TAB TO ACCEPT PADLOCK PER MANUFACTURER'S INSTRUCTION.

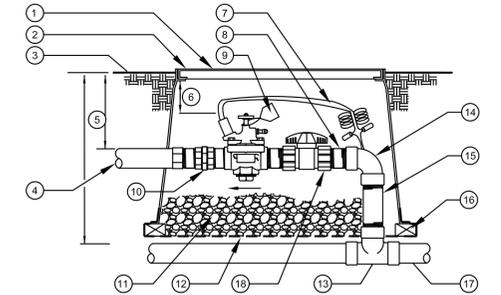


- 1 IRRIGATION CONTROLLER
- 2 120 VOLT SERVICE IN RIGID STEEL CONDUIT
- 3 120 VOLT LOCKABLE ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT
- 4 120 VOLT SERVICE TO CONTROLLER LOCATION PROVIDED BY ELECTRICAL CONTRACTOR
- 5 SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT FOR LOW VOLTAGE WIRE
- 6 EXTERIOR WALL
- 7 ELECTRICAL PULL BOX PER ELECTRICAL CODE
- 8 FINISH GRADE



NOTE: MAXIMUM LINE OF SIGHT FROM SENSOR TO RECEIVER IS 1000 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY.

- 1 WIRELESS CLIMATE SENSOR TRANSMITTER
- 2 SUITABLE POST, POLE, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN, IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN
- 3 SENSOR RECEIVER
- 4 CONTROLLER



- 1 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS).
- 2 USE A 14" X 19" RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID FOR 1" VALVES. FOR 1.5" AND LARGER VALVES INSTALL BALL VALVE WITHIN A SEPARATE 10" ROUND BOX OR ONE BALL VALVE PER MANIFOLD OF VALVES. GATE VALVE SIZE SHALL BE SAME AS LARGEST VALVE WITHIN MANIFOLD. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 FINISH GRADE.
- 4 PVC LATERAL LINE.
- 5 REFER TO IRRIGATION SPECS.
- 6 3" [75mm] MIN, 6" [150mm] MAX.
- 7 VALVE CONTROL WIRE- PROVIDE SEAL PACKS AT ALL SPLICES AND 3" [1m] OF EXCESS UP WIRE IN A 1" [25mm] DIAMETER COIL.
- 8 SCHEDULE 80 PVC NIPPLE (4 TOTAL).
- 9 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- 10 SCHEDULE 80 PVC THREADED UNION.
- 11 PEA GRAVEL OR 3/4" DRAIN ROCK-4" [100mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 12 19 GAUGE 1/2" [12mm] SQUARE WIRE MESH.
- 13 UPC APPROVED SCHEDULE 40 PVC TEE.
- 14 SCHEDULE 80 PVC 90° ELBOW (1x1).
- 15 SCHEDULE 80 PVC NIPPLE- LENGTH AS REQUIRED.
- 16 BRICK-1 EACH CORNER.
- 17 PVC MAIN LINE.
- 18 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).

## 1 REDUCED PRESSURE BACKFLOW ASSEMBLY

SCALE: NONE

## 2 BACKFLOW ASSEMBLY ENCLOSURE

SCALE: NONE

## 3 INTERIOR MOUNTED CONTROLLER

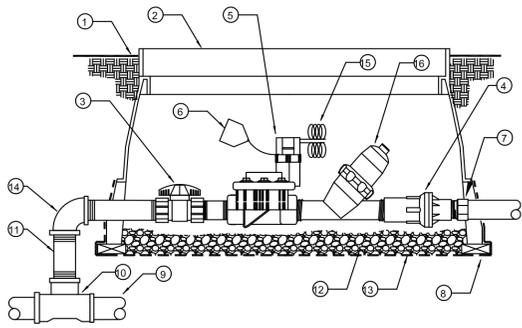
SCALE: NONE

## 4 WIRELESS WEATHER SENSOR

SCALE: NONE

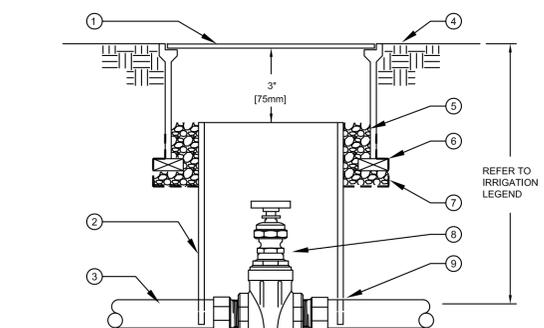
## 5 REMOTE CONTROL VALVE

SCALE: NONE

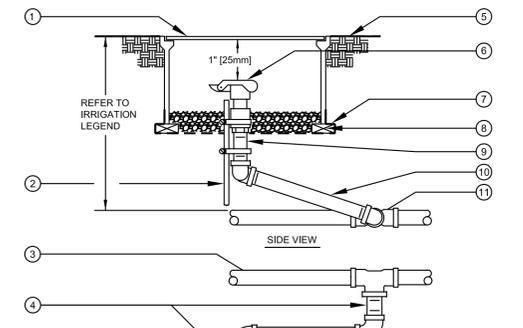


- 1 FINISH GRADE
- 2 JUMBO RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE)
- 4 PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT)
- 5 REMOTE CONTROL VALVE DRIP ZONE KIT. (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE)
- 6 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- 7 SCHEDULE 40 MALE ADAPTER
- 8 BRICK-1 EACH CORNER.
- 9 PVC MAIN LINE.
- 10 UPC APPROVED SCHEDULE 40 PVC TEE.
- 11 SCHEDULE 80 PVC NIPPLE-(4-TOTAL) LENGTH AS REQUIRED.
- 12 PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [102mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 13 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- 14 SCHEDULE 80 PVC 90° ELBOW (1x1).
- 15 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3" [1m] OF EXCESS UP WIRE IN A 1" [25mm] DIAMETER COIL.
- 16 Y-FILTER (INCLUDED IN DRIP ZONE KIT)

INSTRUCTIONS:  
 1. STRIP WIRES APPROXIMATELY 1/2" (13 mm) TO EXPOSE WIRE.  
 2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.  
 3. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.  
 4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.  
 5. INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

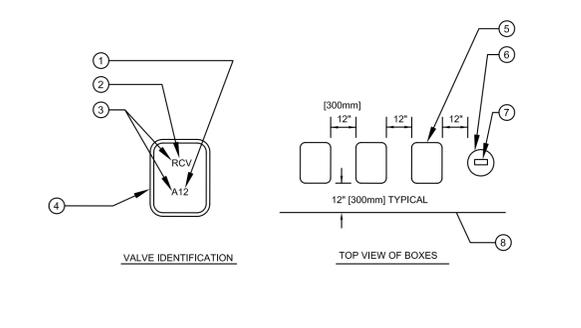


- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 8" [200mm] CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
- 3 PVC MAIN LINE.
- 4 FINISH GRADE.
- 5 PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP (NO SOIL IN VALVE BOX).
- 6 BRICK-2 TOTAL.
- 7 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- 8 GATE VALVE.
- 9 MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.



- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 1 1/4" x 1 1/4" x 3/16" [30mm x 30mm x 5mm] ANGLE IRON 30" [760mm] LONG W/2 STAINLESS STEEL STRAPS (ONE AROUND QCV).
- 3 PVC MAIN LINE.
- 4 3" [75mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
- 5 FINISH GRADE.
- 6 QUICK COUPLING VALVE.
- 7 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- 8 BRICK - 2 TOTAL.
- 9 SCHEDULE 80 PVC THREADED NIPPLE.
- 10 10" [250mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
- 11 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW.
- 12 SCHEDULE 80 PVC THREADED 90° ELL.

NOTE: NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE.



- 1 CONTROLLER AND STATION
- 2 VALVE TYPE
- 3 HEAT BRAND LETTERS AND NUMBERS INTO LID.
- 4 VALVE BOX COVER
- 5 RECTANGULAR VALVE BOX
- 6 ROUND VALVE BOX FOR QCV AND GATE VALVE.
- 7 HEAT BRAND LETTERS AND NUMBERS INTO LID (TYPICAL).
- 8 EDGE OF LAWN, WALK, FENCE, CURB, ETC.

INSTRUCTIONS:  
 1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.  
 2. SET BOXES 1" [25mm] ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.  
 3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.  
 4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.  
 5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.  
 6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

## 6 REMOTE CONTROL VALVE (DRIPZONE)

SCALE: NONE

## 7 WEATHERPROOF WIRE SPLICE ASSEMBLY

SCALE: NONE

## 8 GATE VALVE

SCALE: NONE

## 9 QUICK COUPLING VALVE

SCALE: NONE

## 10 VALVE BOX INSTALLATION

SCALE: NONE

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

10857 Linda Vista Drive  
 Cupertino, CA  
 January 12, 2026

SUMMERHILL HOMES™  
 COMMUNITIES OF DISTINCTION

3000 Executive Parkway, Suite 450 San Ramon, Ca 94583  
 650-857-0122

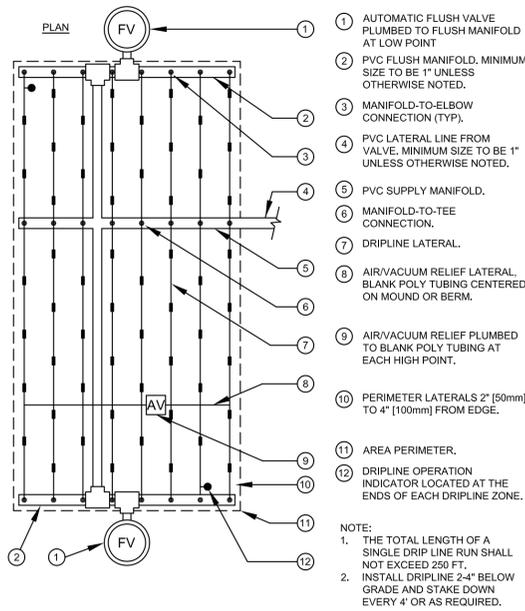
cbg CIVIL ENGINEERS  
 SURVEYORS  
 PLANNERS  
 SAN RAMON • ROSEVILLE

3  
 R STUDIOS

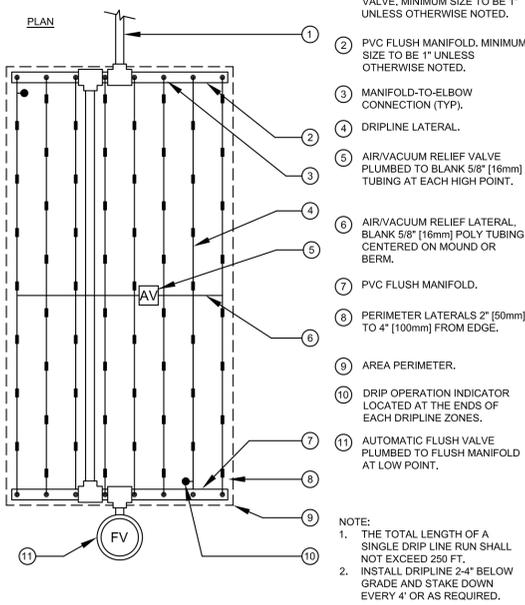
SDG Architects, Inc.  
 3361 Walnut Blvd, Suite 120  
 Brentwood, CA 94513  
 925.634.7000 | sdgarchitectsinc.com

SDG  
 architects

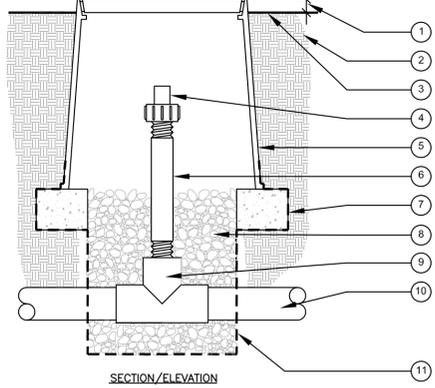
Irrigation Details  
 L.9.1



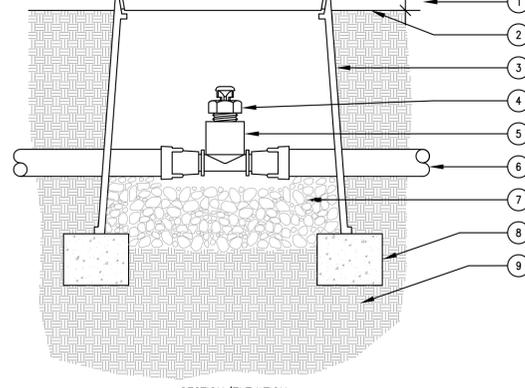
1. AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
  2. PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
  3. MANIFOLD-TO-ELBOW CONNECTION (TYP.).
  4. PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
  5. PVC SUPPLY MANIFOLD.
  6. MANIFOLD-TO-TEE CONNECTION.
  7. DRIPLINE LATERAL.
  8. AIR/VACUUM RELIEF LATERAL. BLANK POLY TUBING CENTERED ON MOUND OR BERM.
  9. AIR/VACUUM RELIEF PLUMBED TO BLANK POLY TUBING AT EACH HIGH POINT.
  10. PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
  11. AREA PERIMETER.
  12. DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- NOTE:  
1. THE TOTAL LENGTH OF A SINGLE DRIPLINE RUN SHALL NOT EXCEED 250 FT.  
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



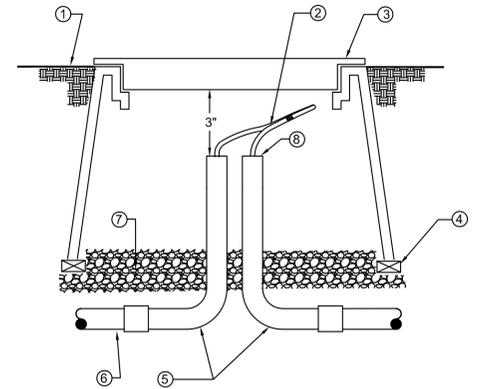
1. PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
  2. PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
  3. MANIFOLD-TO-ELBOW CONNECTION (TYP.).
  4. DRIPLINE LATERAL.
  5. AIR/VACUUM RELIEF VALVE PLUMBED TO BLANK 5/8" [16mm] TUBING AT EACH HIGH POINT.
  6. AIR/VACUUM RELIEF LATERAL. BLANK 5/8" [16mm] POLY TUBING CENTERED ON MOUND OR BERM.
  7. PVC FLUSH MANIFOLD.
  8. PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
  9. AREA PERIMETER.
  10. DRIP OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONES.
  11. AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- NOTE:  
1. THE TOTAL LENGTH OF A SINGLE DRIPLINE RUN SHALL NOT EXCEED 250 FT.  
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



1. 1" [25mm] ABOVE FINISH GRADE.
  2. NATIVE SOIL.
  3. FINISH GRADE.
  4. FLUSH VALVE.
  5. ROUND PLASTIC VALVE BOX. REFER TO IRRIGATION SPECS FOR BOX SIZE. HEAT BRAND "FV" ON LID IN 2" [50mm] HIGH CHARACTERS.
  6. 3/4" [20mm] SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
  7. BRICK - 2 TOTAL.
  8. PEA GRAVEL 18" [450mm] DEEP.
  9. PVC TEE (SxSxT) WITH 3/4" [20mm] THREADED OUTLET.
  10. PVC PIPING.
  11. 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- NOTE:  
USE ONE FLUSH VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT LOW POINTS. FLUSH RATE IS 0.8 GPM. FLUSH PRESSURE IS 2 PSI.



1. 1" ABOVE FINISH GRADE.
  2. FINISH GRADE.
  3. 6" ROUND PLASTIC VALVE BOX. HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
  4. TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
  5. TORO LOC-EZE X 1/2" FPT TEE (FTF18).
  6. TORO DL2000 TUBING (RGP-XX-XXX) OR TORO BLUE STRIPE POLY TUBING (EHD1645-XXX) AIR-RELIEF LATERAL.
  7. PEA GRAVEL SUMP (6" DEEP).
  8. BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
  9. NATIVE SOIL PER SPECIFICATIONS.
- NOTE:  
USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT HIGH POINTS.



1. FINISH GRADE
2. 24" LOOP OF TWO WIRE CABLE.
3. GREY RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. HEAT BRAND "PB" INTO LID.
4. BRICK-ONE ON EACH CORNER
5. SCHEDULE 40 PVC SWEEP ELLS
6. SCHEDULE 40 U.L. LISTED PVC CONDUIT
7. PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [102mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
8. SEAL ALL CONDUIT OPENINGS WITH WATERPROOF FOAM.

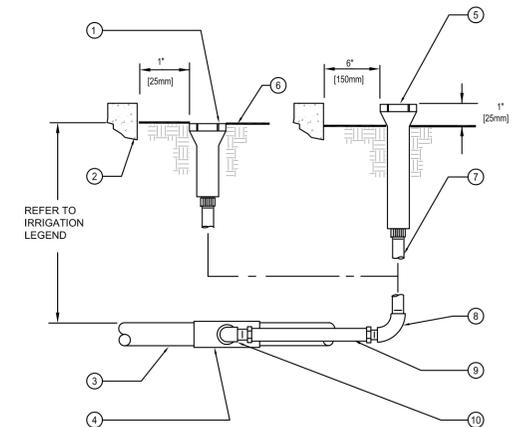
**1 TORO DL 2000 CENTER FEED LAYOUT** SCALE: NONE

**2 TORO DL 2000 END FEED LAYOUT** SCALE: NONE

**3 TORO DL 2000 FLUSH VALVE (PVC TEE)** SCALE: NONE

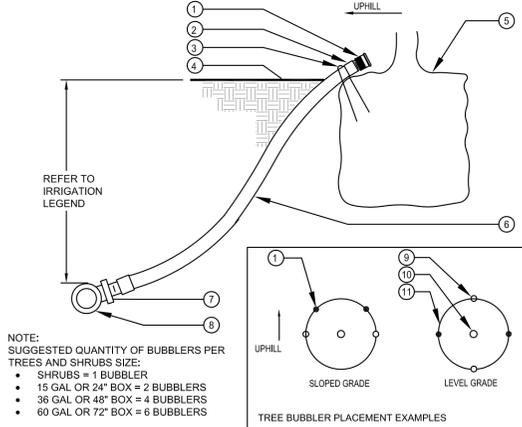
**4 TORO DL 2000 AIR VACUUM RELIEF VALVE** SCALE: NONE

**5 IRRIGATION TWO WIRE PULL BOX** SCALE: NONE



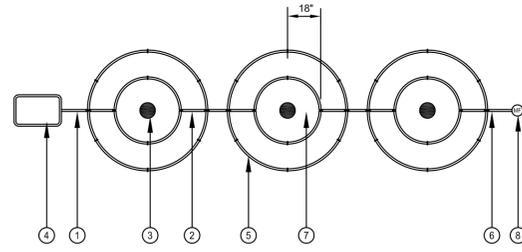
1. POP-UP LAWN SPRAY SPRINKLER
2. WALL, WALK, CURB OR BUILDING
3. PVC LATERAL LINE
4. UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW
5. POP-UP SHRUB SPRAY SPRINKLER OR BUBBLER
6. FINISH GRADE
7. 1/2" [13mm] SCHEDULE 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED).
8. 1/2" [13mm] SCHEDULE 40 PVC THREADED 90° ELL.
9. 1/2" [13mm] FLEXIBLE IPS HOSE 6" [150mm] LONG WITH MALE ADAPTERS OR 1/2" [13mm] FLEXIBLE SWING JOINT (1/2" x 6") [13mm x 150mm] WITH A MINIMUM PRESSURE RATING OF 100 PSI [690kPa].
10. 1/2" [13mm] SCHEDULE 40 PVC STREET ELL.

**6 POP-UP SPRAY SPRINKLER RISER** SCALE: NONE



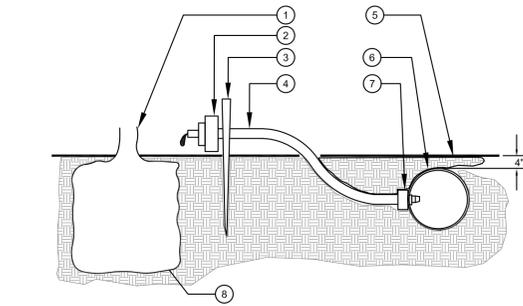
- NOTE:  
SUGGESTED QUANTITY OF BUBBLERS PER TREES AND SHRUBS SIZE:  
• SHRUBS = 1 BUBBLER  
• 15 GAL OR 24" BOX = 2 BUBBLERS  
• 36 GAL OR 48" BOX = 4 BUBBLERS  
• 60 GAL OR 72" BOX = 6 BUBBLERS
1. BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL).
  2. 1/2" [13mm] SCH. 40 MALE ADAPTER.
  3. 6" [150mm] STEEL STAPLE.
  4. FINISH GRADE.
  5. TREE OR SHRUB ROOTBALL.
  6. 1/2" [13mm] IPS FLEXIBLE PVC.
  7. PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER.
  8. PVC LATERAL LINE.
  9. TREE STAKES.
  10. SHRUB.
  11. EDGE OF ROOTBALL (TYPICAL).
- TREE BUBBLER PLACEMENT EXAMPLES:  
UPHILL: BUBBLER PLACED ON THE UPHILL SIDE OF THE ROOTBALL.  
SLOPED GRADE: BUBBLER PLACED ON THE UPHILL SIDE OF THE ROOTBALL.  
LEVEL GRADE: BUBBLER PLACED ON THE UPHILL SIDE OF THE ROOTBALL.

**7 SHRUB BUBBLER** SCALE: NONE



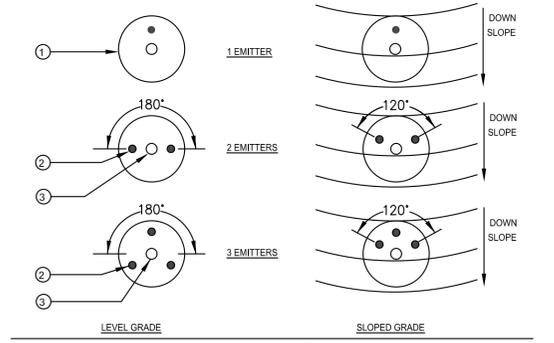
1. SUPPLY HEADER.
2. 17mm BLANK DRIPLINE MODEL: TLCOV
3. TREE TRUNK.
4. REMOTE CONTROL VALVE WITH DISC FILTER AND PRV.
5. TECHLINE CV DRIPLINE. FLOW DRIPPER SPACING, LINE SPACING PER NETAFIM INSTALLATION GUIDELINES.
6. EXHAUST HEADER.
7. TECHLINE CV SPACING PER NETAFIM INSTALLATION GUIDELINES.
8. MANUAL FLUSH VALVE MODEL: TISOV

**8 TREE BUBBLER** SCALE: NONE



- NOTE:  
TO INSERT BARBED CONNECTOR INTO POLYETHYLENE TUBING, USE INSERTION TOOL. WHERE POLYETHYLENE TUBING CAN BE PLACED ADJACENT TO SHRUB ROOTBALL. A BARBED EMITTER MAY BE INSTALLED DIRECTLY INTO POLYETHYLENE TUBING AND DISTRIBUTION TUBING ELIMINATED. POINT OF WATER EMISSION FROM BARBED EMITTER MUST DRIP WATER DIRECTLY ON ROOTBALL.
1. SHRUB STEM.
  2. EMITTER REFER TO EMITTER SCHEDULE FOR QUANTITY OF EMITTERS PER PLANT.
  3. TUBING SUPPORT STAKE (SALCO DTS-200-400)
  4. 1/4" TUBING DO NOT EXCEED 3' [1m] IN LENGTH.
  5. FINISH GRADE.
  6. SALCO PVC FLEX HOSE. INSTALL 4" [100mm] BELOW FINISH GRADE.
  7. BARBED MALE ADAPTER.
  8. EDGE OF ROOTBALL.

**9 SALCO FLEX TUBING EMITTER PLACEMENT** SCALE: NONE



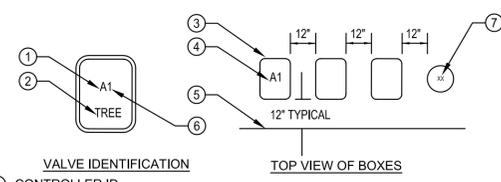
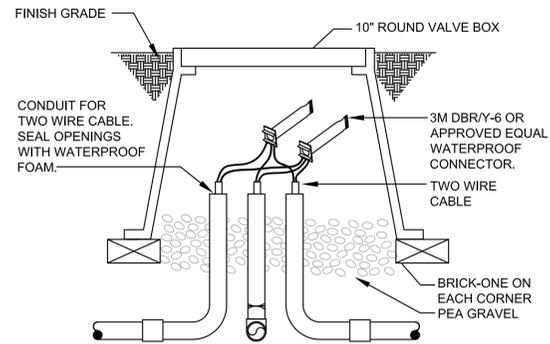
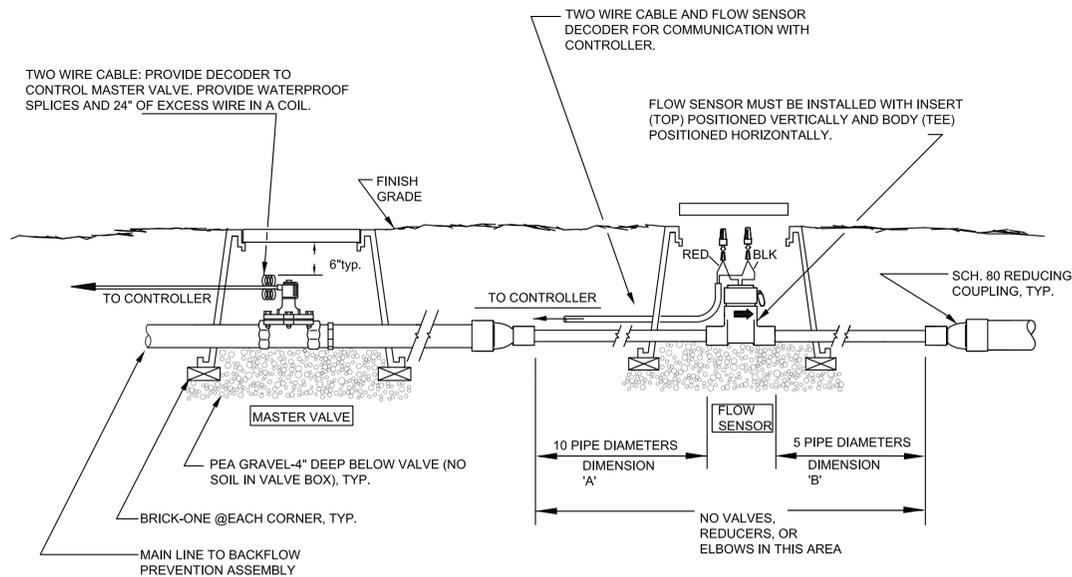
EMITTER SCHEDULE

PLANT SIZE	EMITTER SPECIFICATION	FLOW (GPH)/PER EMITTER OR OUTLET	QUANTITY OF EMITTERS PER SHRUB/TREE
1 GALLON SHRUBS	USE SLV-PS-CV-1	1 GPH	2
5 GALLON SHRUBS	USE SLV-PS-CV-2	2 GPH	2
15 GALLON	USE SLV-PS-CV-2	2 GPH	3

\*\*MAXIMUM AMOUNT OF FLOW PER DRIP TUBING RUN IS 240 GPH\*\*

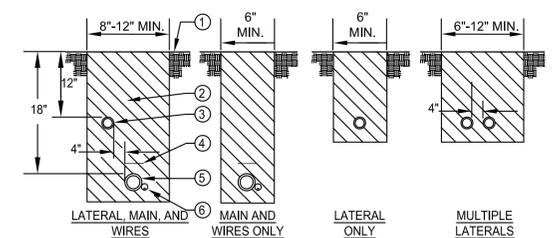
**10 SALCO EMITTER PLACEMENT AND** SCALE: NONE

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1



- VALVE IDENTIFICATION**
- CONTROLLER ID.
  - ALL TREE VALVES TO HAVE TREE BRANDED INTO LID.
  - RECTANGULAR VALVE BOX.
  - HEAT BRAND VALVE TYPE PER TABLE OR CONTROLLER ID AND STATION NUMBER INTO LID.
  - EDGE OF LAWN, WALK, FENCE, CURB, ETC.
  - STATION NUMBER.
  - ROUND VALVE BOX FOR QCV AND GATE VALVE. HEAT BRAND VALVE TYPE INTO LID PER TABLE.

ITEMS TO BRAND:	BRAND CODE
GATE VALVE	GV
PRESSURE REDUCER	PRV
MASTER VALVE	MV
FLOW SENSOR	FS
HYDROMETER	HM
MAIN LINE AIR RELIEF	ARV
REMOTE CONTROL VALVE	A__
QUICK COUPLER	QC
SPLICE BOX	SB
PULL BOX	PB
LIGHTNING ARRESTOR	LA
GROUND ROD	GR



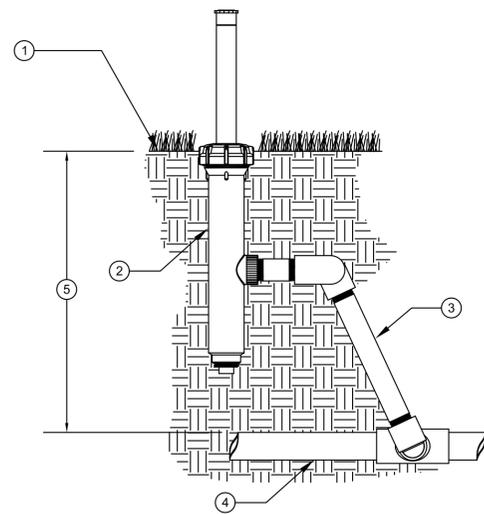
- NOTES:**
- ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT.
  - REUSE SALVAGED EXCAVATED FILL AND COMPACT TO ORIGINAL DENSITY IN LANDSCAPE AREAS. ALL OTHER AREAS SHALL BE AT 95% COMPACTION. BACKFILL MATERIAL SHALL BE THE EARTH EXCAVATED FROM THE TRENCHES, FREE FROM ROCKS (ANYTHING LARGER THAN 2"), CONCRETE CHUNKS, AND OTHER FOREIGN OR COARSE MATERIALS.
  - WHEN 12" POP-UP SPRINKLER HEADS ARE USED, INCREASE THE DEPTH OF LATERAL TO 18" AT THE SPRINKLER LOCATION ONLY.

- INSTRUCTIONS:**
- CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
  - SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
  - SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
  - SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
  - AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
  - INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

- FINISH GRADE.
- CLEAN BACKFILL MATERIAL.
- LATERAL LINE.
- 3" DETECTABLE WARNING TAPE OVER MAIN LINE. INSTALL 3" ABOVE MAIN LINE. USE CHRISTY MODEL #TA-DT-3-BIRR FOR POTABLE IRRIGATION SYSTEMS OR #TA-DT-3-PRW FOR RECYCLED IRRIGATION WATER SYSTEMS
- MAIN LINE.
- TWO WIRE CABLE IN CONDUIT

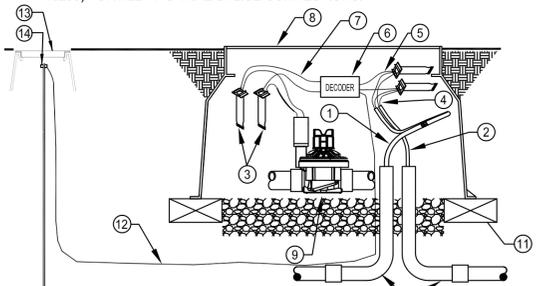
## 1 INSTALLATION DETAIL MASTER VALVE/FLOW SENSOR

SCALE: NONE



- FINISH GRADE.
  - 570 POP-UP DRIP OPERATION INDICATOR ASSEMBLY (TORO MODEL 570-DRIP-IND) INSTALLED AT FURTHEST POINT DOWNSTREAM OF ZONE VALVE.
  - PVC OR SWING PIPE SWING JOINT ASSEMBLY.
  - PVC DRIP ZONE FOOTER.
  - DEPTH OF PVC LINE PER SPECIFICATIONS.
- NOTE: TEFLON TAPE ALL THREADED JOINTS

- NOTE:**
- ALL DECODERS SHALL HAVE A VALVE NUMBER ADDRESSED AT CONTROLLER PRIOR TO INSTALLATION.
  - USE U.F. SAFETY CABLE STRIPPER BY KING INNOVATION (MODEL NUMBER 46200) FOR ALL TWO-WIRE SPLICE CONNECTIONS.



- #14AWG TWO WIRE CABLE FROM CONTROLLER. REFER TO IRRIGATION NOTES FOR MODEL NUMBER OF WIRE. ALLOW A 24" SLACK PER DECODER. USE ELECTRICAL TAPE TO HOLD SLACK CABLES TOGETHER.
- TWO WIRE CABLE TO NEXT DECODER
- 3M DBRY-6 OR APPROVED EQUAL WATERPROOF SPLICE KIT (4 TOTAL)
- A MAXIMUM OF 4" OF WIRE SHALL BE STRIPPED FROM TWO WIRE CABLE WHEN SPLICING AT DECODERS.
- CONNECT CORRECT DECODER WIRES TO TWO WIRE CABLES.
- DECODER
- CONNECT CORRECT DECODER WIRES TO VALVE SOLENOID WIRES
- VALVE BOX. REFER TO REMOTE CONTROL VALVE DETAIL FOR INSTALLATION INSTRUCTIONS.
- REMOTE CONTROL VALVE. REFER TO REMOTE CONTROL VALVE DETAIL FOR INSTALLATION INSTRUCTIONS.
- 1.25" CONDUIT FOR 2 WIRE CABLE WITH LONG SWEEPS IN AND OUT OF EACH VALVE BOX. SEAL ALL CONDUIT OPENINGS WITH WATERPROFF FOAM.
- BRICK-ONE ON EACH CORNER
- #6 BARE COPPER GROUND WIRE. SPLICE INTO GROUND WIRE AT DECODER. ONLY REQUIRED AT EVERY 10TH DECODER AND AT THE ENDS OF THE LINE.
- 8' LONG COPPER GROUND ROD. LOCATE A MINIMUM OF 8' AWAY FROM DECODER AND TWO WIRE CABLE. LOCATE IN 10" ROUND BOX.
- CADWELD CONNECTIONS

## 5 570 POP-UP DRIP OPERATION INDICATOR

SCALE: NONE

## 6 DECODER WIRING IN CONDUIT

SCALE: NONE

## 2 2-WIRE SPLICE BOX AT MAIN LINE TEE OR 3 WAY WIRE BRANCH

SCALE: NONE

## 3 VALVE BOX INSTALLATION

SCALE: NONE

## 4 TRENCHING

SCALE: NONE

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

**SUMMERHILL HOMES**  
COMMUNITIES OF DISTINCTION

3000 Executive Parkway, Suite 450 San Ramon, Ca 94583  
650-857-0122

**cbg** CIVIL ENGINEERS  
SURVEYORS  
PLANNERS  
SAN RAMON • ROSEVILLE

**R3** STUDIOS

**SDG Architects, Inc.**  
3361 Walnut Blvd, Suite 120  
Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com

**SDG**  
architects

Irrigation Details  
L.9.3

**WATER USE ESTIMATION PRELIMINARY - Linda Vista-Cupertino CA**

WATER TYPE	POTABLE
SITE ETO=	42.8
12/5/2024	

NOTATION: THIS PRELIMINARY WATER CALCULATION IS EXAMPLE FOR THE ENTIRE SITE OF THE PROJECT

REGULAR LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	Shrubs/GroundCover	LOW	0.3	DRIP	0.81	0.370	21,567	7,988	211,984	0.65	283.37	84%
2	Shrubs/GroundCover	MOD	0.5	DRIP	0.81	0.617	7,218	4,456	118,233	0.36	158.07	21%
3	Water Treatment	LOW	0.3	SPRAY	0.75	0.400	4,880	1,952	51,798	0.16	69.25	14%
TOTALS							33,665	14,395	381,995	1.17	510.69	100%

SPECIAL LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
												0%
TOTALS							0					0%

MAWA	GALLONS/YR	402,008
	ACRE FEET/YR	1.23
	HCF/YR	537.45

ETWU	GALLONS/YR	381,995
	ACRE FEET/YR	1.17
	HCF/YR	510.69

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
80.1%	0.34	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	14,395
TOTAL AREA	33,665
AVG. ETAF	42.76%

MAWA FORMULA
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
$MAWA = (ET_0)(0.62)[(LA \times 0.45) + (0.55 \times SLA)]$

ET<sub>0</sub> = REFERENCE EVAPOTRANSPIRATION  
 0.55 = ET ADJUSTMENT FACTOR  
 LA = LANDSCAPED AREA (SQUARE FEET)  
 0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

ETWU FORMULA
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
$ETWU = ((ET_0)(0.62)(ETAF \times LA))$

ET<sub>0</sub> = REFERENCE EVAPOTRANSPIRATION  
 PF = PLANT FACTOR FOR HYDROZONES  
 HA = HYDROZONE AREA (SQ. FT)  
 0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP  
 IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

MWEL0 Irrigation Water Calculations  
 L.9.4

400-150 10857 Linda Vista Drive  
 Cupertino, CA  
 January 12, 2026

**WATER USE ESTIMATION PRELIMINARY - Linda Vista-Cupertino CA (Paseo)**

WATER TYPE	POTABLE
SITE ETO=	42.8
12/5/2024	

REGULAR LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	Shrubs	LOW	0.3	DRIP	0.81	0.370	1,578	584	15,509	0.05	20.73	31%
2	GroundCover	LOW	0.3	DRIP	0.81	0.370	905	335	8,804	0.03	11.89	18%
3	Shrubs	MOD	0.5	DRIP	0.81	0.617	947	586	15,512	0.05	20.74	19%
4	Trees	MOD	0.5	BUBBLER	0.81	0.617	350	216	5,733	0.02	7.66	7%
5	Trees	LOW	0.3	BUBBLER	0.81	0.370	50	19	491	0.00	0.66	1%
6	Water Treatment	LOW	0.3	DRIP	0.81	0.370	1,182	438	11,617	0.04	15.53	24%
<b>TOTALS</b>							<b>5,012</b>	<b>2,177</b>	<b>57,757</b>	<b>0.18</b>	<b>77.21</b>	<b>100%</b>

SPECIAL LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
												0%
<b>TOTALS</b>							<b>0</b>					<b>0%</b>

<b>MAWA</b>	GALLONS/YR	59,849
	ACRE FEET/YR	0.18
	HCF/YR	80.01

<b>ETWU</b>	GALLONS/YR	57,757
	ACRE FEET/YR	0.18
	HCF/YR	77.21

<b>SITE IRRIGATION EFFICIENCY</b>	<b>SITE PLANT FACTOR</b>	<b>MAWA COMPLIANT</b>
81.0%	0.35	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	2,177
TOTAL AREA	5,012
AVG. ETAF	43.43%

MAWA FORMULA
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
$MAWA = (ETO)(0.62)[(LA \times 0.45) + (0.55 \times SLA)]$

ETO = REFERENCE EVAPOTRANSPIRATION  
 0.55= ET ADJUSTMENT FACTOR  
 LA=LANDSCAPED AREA (SQUARE FEET)  
 0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

ETWU FORMULA
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
$ETWU = ((ETO)(.62)(ETAF \times LA))$

ETO = REFERENCE EVAPOTRANSPIRATION  
 PF = PLANT FACTOR FOR HYDROZONES  
 HA = HYDROZONE AREA (SQ.FT)  
 0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)  
 IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP  
 IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

**NOTE:** PLANTING, WATER BUDGET CALCULATIONS, AND CHECKLIST ARE AN **EXAMPLE** OF THE ENTIRE SITE.

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

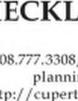
MWEL0 Irrigation Water Calculations (Typical Planting Plans)  
 L.9.5



### WATER-EFFICIENT LANDSCAPE CHECKLIST

Community Development Department  
10300 Torre Avenue  
Cupertino, CA 95014

408.777.3308/Fax 408.777.3333  
planning@cupertino.org  
http://cupertino.org/planning



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**PART 1: CERTIFIED/LICENSED PROFESSIONAL INFORMATION**

COMPANY & COMPANY ADDRESS R3 Studios, Inc. 248 3rd Street, Suite 202, Oakland CA 94607		PROFESSIONAL SEAL
NAME Jason Umemoto	LIC./CERT.# 3652	
E-MAIL roman@r3studios.com	PHONE 510-452-4190	

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**PART 2: PROPERTY & PROPERTY OWNER INFORMATION**

PROPERTY OWNER NAME Summerhill Homes	E-MAIL
PROPERTY OWNER ADDRESS 3000 Executive Parkway, Suite 450, San Ramon, CA 94583	PHONE 650-857-0122
PROJECT ADDRESS 10857 Linda Vista Drive, Cupertino, CA	A.P.N. 356-06-001, 356-06-002, 356-06-003, 356-06-004

PROJECT TYPE (CHECK APPLICABLE)	WATER SOURCE	TOTAL LANDSCAPE AREA	TURF PLANT AREA
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Potable	33,665	0
<input type="checkbox"/> Rehabilitated	<input type="checkbox"/> Recycled	SQ. FT.	SQ. FT.
<input type="checkbox"/> Non-Residential	<input type="checkbox"/> On-site captured rainwater		
	<input type="checkbox"/> Graywater		
	WATER PURVEYOR	NON-TURF PLANT AREA	SPECIAL LANDSCAPE AREA
		33,665	0
		SQ. FT.	SQ. FT.

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**PART 3: COMPLIANCE CHECKLIST**

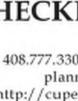
Landscape Parameter	Requirements	Compliance
TURF AREA <input checked="" type="checkbox"/> no turf	Turf shall not exceed 25% of the landscape area or 1,250 sq. ft., whichever is lesser in area. (No turf in non-residential area)	<input type="checkbox"/> YES
	Turf shall not be planted on slopes more than 25%.	<input type="checkbox"/> YES
	All portions of turf areas shall be wider than ten (10) feet (unless irrigated with subsurface irrigation or low volume irrigation system).	<input type="checkbox"/> YES
PLANTING AREA	At least 80% (100% for non-residential area) of non-turf area shall consist of native or low water use plants.	<input type="checkbox"/> YES
	No invasive and/or noxious plant species shall be planted.	<input type="checkbox"/> YES
	Plants with similar water needs shall be grouped within hydrozones. Each hydrozone shall be controlled by a separate valve.	<input type="checkbox"/> YES
SOIL MANAGEMENT	At least 4 cu. yds. of compost, six (6) inches deep, shall be applied per 1,000 sq. ft. of landscape area.	<input type="checkbox"/> YES
	A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas, except in areas of direct seeding application (e.g. hydro-seeding).	<input type="checkbox"/> YES
	Grading shall be designed to minimize soil erosion, run-off, and water waste.	<input type="checkbox"/> YES
IRRIGATION SYSTEM <input type="checkbox"/> no irrigation system	Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data and utilize a rain sensor.	<input type="checkbox"/> YES
	Irrigation controllers shall be a type which does not lose programming data in the event the primary power source is interrupted.	<input type="checkbox"/> YES



### WATER-EFFICIENT LANDSCAPE CHECKLIST

Community Development Department  
10300 Torre Avenue  
Cupertino, CA 95014

408.777.3308/Fax 408.777.3333  
planning@cupertino.org  
http://cupertino.org/planning



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Landscape Parameter	Requirements	Compliance
IRRIGATION SYSTEM	Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturer's recommended pressure range.	<input checked="" type="checkbox"/> YES
	Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close to possible to the point of connection of the water supply.	<input type="checkbox"/> YES
	All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.	<input type="checkbox"/> YES
	Dedicated irrigation meters are required for non-residential projects with more than 1,000 sq. ft. of landscape area.	<input type="checkbox"/> YES
WATER FEATURES <input type="checkbox"/> pool <input type="checkbox"/> other: N/A <input type="checkbox"/> no water features	Pool and spa covers shall be installed.	<input type="checkbox"/> YES
	Recirculating water systems shall be used for all water features.	<input type="checkbox"/> YES
	Water features are limited to 10% of the landscaped area.	<input type="checkbox"/> YES

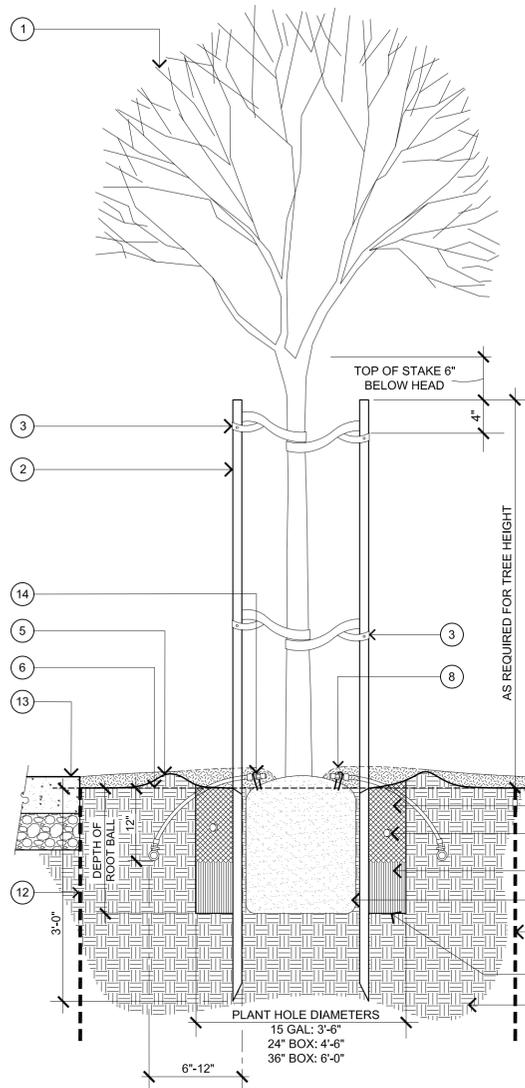
I am aware of available informational resources regarding native and low water use plants, irrigation efficiency, and other aspects of water-efficient landscaping. I certify that the information provided on this checklist is correct, and the installed landscape complies with the requirements of Chapter 14.15 and /or the requirements of the Prescriptive Compliance Option. I also understand that any changes to the project will necessitate a new checklist.

SIGNATURE OF PROPERTY OWNER OR AUTHORIZED REPRESENTATIVE	DATE
SIGNATURE OF LICENSED/CERTIFIED LANDSCAPE PROFESSIONAL	DATE

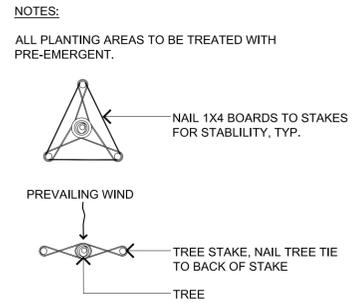
**Applicant Comments**  
Use additional paper if necessary

---

<p><b>Staff Evaluation</b></p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Not Approved</p> <p><b>Permit #</b></p>	<p><b>Staff Comments</b></p> <hr/> <p style="text-align: center;">SIGNATURE _____ DATE _____</p>
---	--

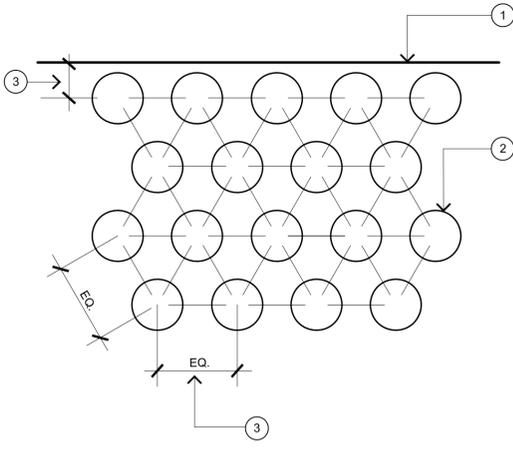


- 1 TREE: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 2 LODGE POLE PINE TREE STAKES: 3"x10" LONG TREE STAKES FOR WINDY CONDITIONS AND 36" BOX AND LARGER TREES
- 3 TREE TIE: WONDER TREE-TIE(800-910-2810) MODEL# W14-46, W24-84 OR APPROVED EQUAL. LOOP IN A FIGURE EIGHT AND NAIL TO BACK OF STAKE WITH GALVANIZED THREADED NAILS. ALLOW 3" OF MOVEMENT OF TREE IN ALL DIRECTIONS.
- 4 TREE ROOTBALL SET ON 12" LAYER UNDISTURBED NATIVE SOIL. DO NOT PENETRATE ROOTBALL WITH STAKES. TAMP SOIL TO 85% RELATIVE COMPACTION. SET CROWN OF ROOTBALL 2" ABOVE FINISH GRADE.
- 5 3" EARTH BERM FOR WATER BASIN
- 6 FINISH GRADE, SET 1" BELOW AT TURF AREAS AND 2" AT SHRUB AND GROUNDCOVER AREAS
- 7 BACK FILL MIX: (TOP 12 INCHES ONLY): 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
- 8 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM TRUNK OF TREE
- 9 PULVERIZED NATIVE SOIL
- 10 FERTILIZER TABS (21 GRAM, 20-10-5):  
- 15 GAL: 7 TABS  
- 24" BOX: 15 TABS  
- 36" BOX: 24 TABS
- 11 PLANTING HOLE, PULVERIZED NATIVE SOIL BELOW 12" FROM FINISHED GRADE; SCARIFY WALLS
- 12 ROOT BARRIER(AS NEEDED); REFER TO PLANTING NOTES AND SPECIFICATIONS
- 13 PAVING: REFER TO PLAN
- 14 1/4 GPM IRRIGATION BUBBLER, OFFSET FROM TREE TUCKED TO ROOTBALL
- 15 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT



## 1 TREE STAKING

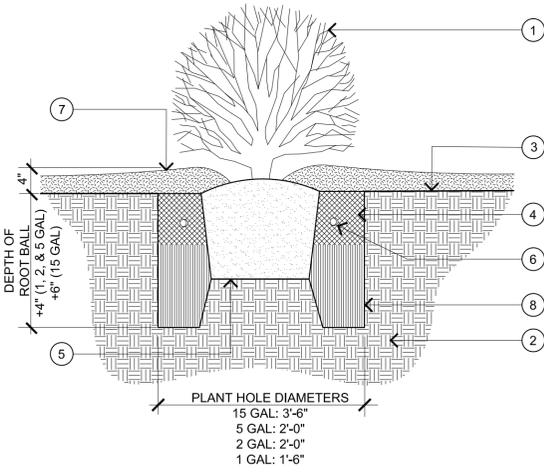
N.T.S.



- 1 EDGE OF PAVING, HEADER, FACE OF BUILDING, WALL, ETC.
  - 2 GROUNDCOVER OR SHRUB: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
  - 3 GROUNDCOVER AND SHRUB SPACING PER PLANTING PLAN AND LEGEND
- NOTES:
1. ALL PLANTS SHALL BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
  2. CENTERLINE OF PLANTS SHALL BE 1/2 OF EQUAL SPACING MINIMUM FROM EDGE OF PLANTING AREA.
  3. INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES.
  4. KEEP MULCH CLEAR OF PLANT BASE.
  5. ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT.

## 2 GROUNDCOVER PLANTING

N.T.S.



- 1 SHRUB: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
  - 2 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
  - 3 FINISH GRADE
  - 4 BACK FILL MIX: (1/2 DEPTH OF ROOT BALL HEIGHT): 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
  - 5 SHRUB ROOTBALL SET ON LIGHTLY TAMPED SOIL. SET CROWN OF ROOTBALL 1" ABOVE FINISH GRADE.
  - 6 FERTILIZER TABS (21 GRAM, 20-10-5):  
- 1 GALLON: 1 TAB  
- 2 GALLON: 2 TABS  
- 5 GAL: 3 TABS  
- 15 GAL: 5 TABS
  - 7 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM ROOT BALL CROWN
  - 8 PULVERIZED NATIVE SOIL
- NOTES:
- ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT

## 3 SHRUB PLANTING

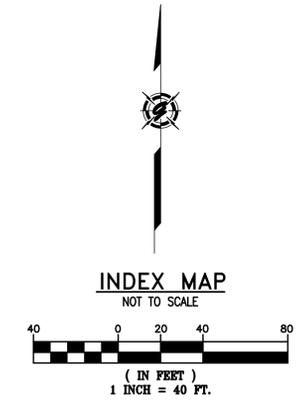
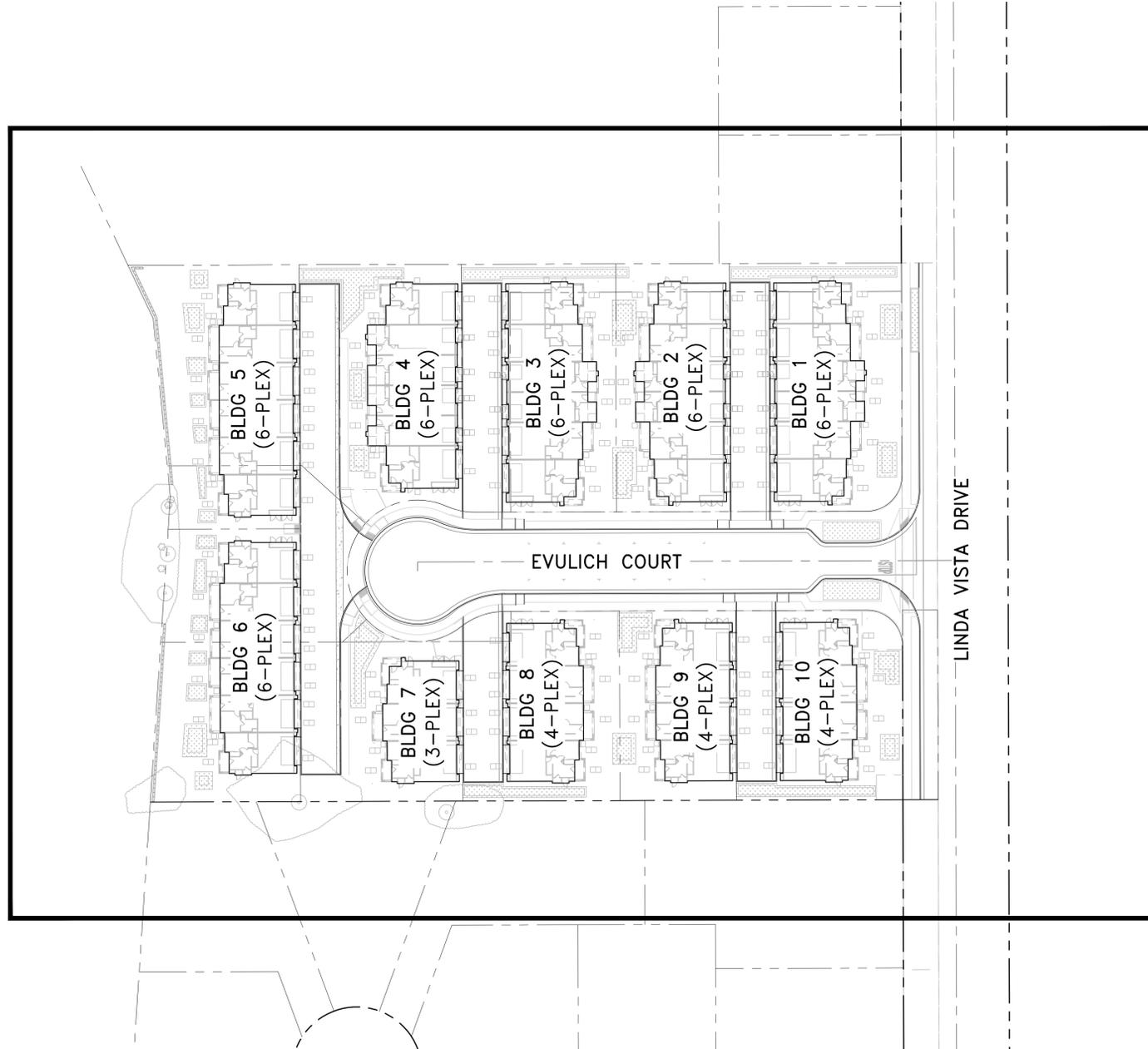
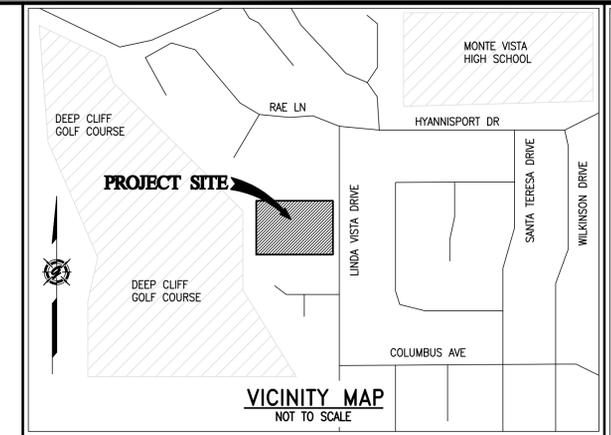
N.T.S.

PROPOSED PLANT PALETTE: REFER TO SHEET L.4.1

400-150 10857 Linda Vista Drive  
Cupertino, CA  
January 12, 2026

Planting Details  
L.10.1

**SUMMERHILL HOMES  
LINDA VISTA DRIVE  
10857 LINDA VISTA DRIVE  
CUPERTINO, CALIFORNIA  
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**



**NOTE**  
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

**NOTE TO UTILITIES:**  
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

SYMBOL	DATE	REVISIONS

**GIACALONE**  
DESIGN SERVICES, INC.  
5200 STONERIDGE MALL, RD., #545 | PLEASANTON, CA 94688  
925-467-1740 | WWW.GIACALONEDSIGN.COM

**JOINT TRENCH INTENT TITLE SHEET**  
SUMMERHILL HOMES  
LINDA VISTA DRIVE  
10857 LINDA VISTA DRIVE  
CUPERTINO CALIFORNIA

PROJECT MANAGER: A. CUMMINS
DRAWN BY: K. CANARIO
CHECKED BY: D. CROWFOOT (P.E.)
SCALE: 1"=40'
JOB NUMBER: 24-139
DATE LAST MODIFIED: 12-16-25
<b>SHEET</b> <b>INT1</b>
OF 3 SHEETS

PROJECT TEAM CONTACTS			
COMPANY:	CONTACT:	EMAIL:	PHONE:
SUMMERHILL HOMES	AUSTIN LIN	ALIN@SHHOMES.COM	
CBG	SHANE CALKINS	SCALKINS@CBANDG.COM	925-866-0322
PG&E	TBD		
AT&T	ROB HASSING	RH1781@ATT.COM	408-635-8900
QUANTA	BENJAMIN LOPEZ	BLOPEZ@FIBERTELLLLC.COM	408-691-8428
GIACALONE DESIGN SERVICES, INC.	ANDREW CUMMINS	ANDREW@DRYUTILITYDESIGN.COM	925-467-1740

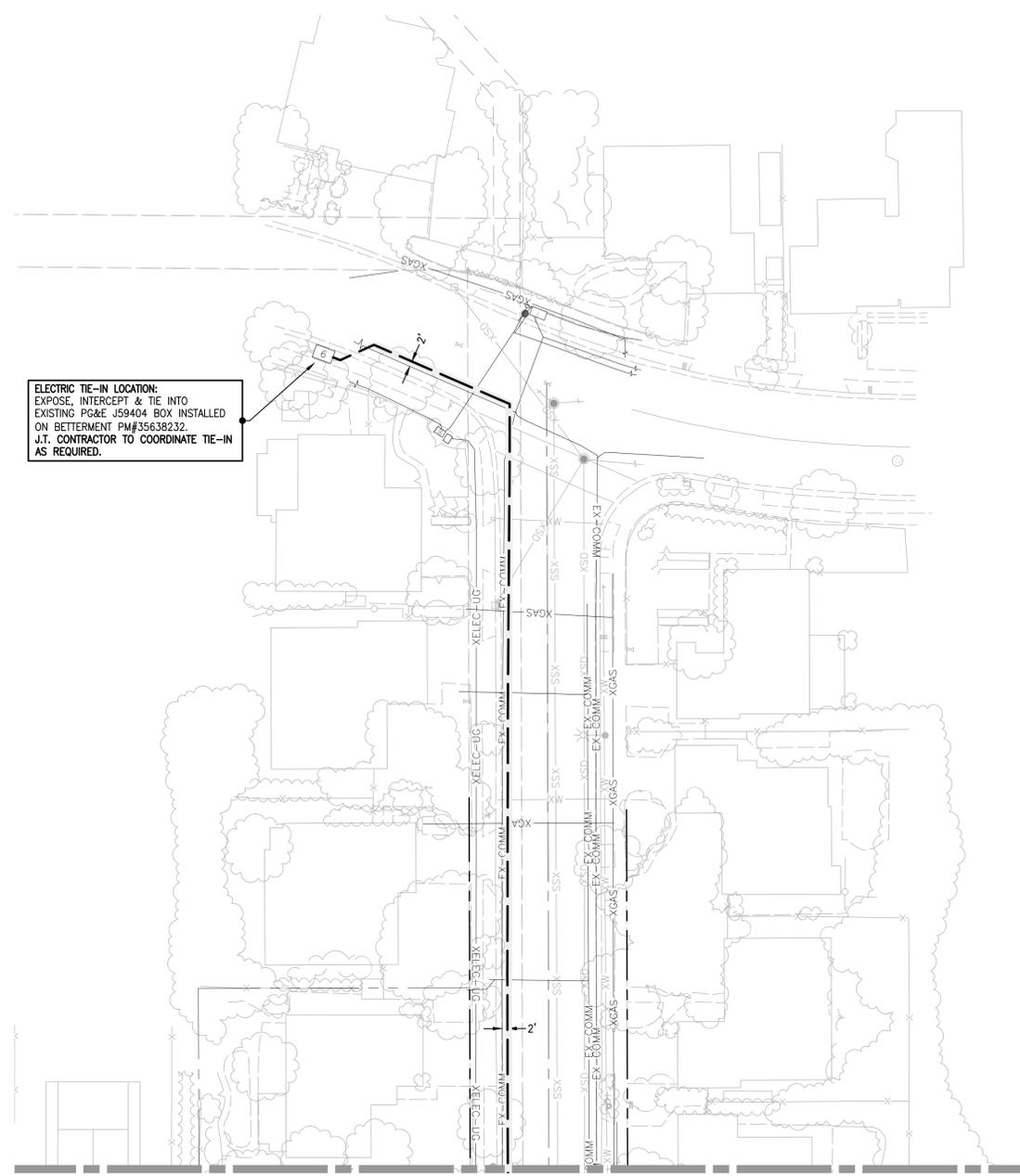
PG&E PM NO.
ELECTRIC:
RULE 15:
RULE 16:
RULE 20:
RELOC:
AFS:
GAS:
RULE 15:
RELOC:

LATEST FILES RECEIVED				
DESCRIPTION:	BY:	DATE:	STATUS:	
GAS DESIGN				
ELECTRIC DESIGN				
TELEPHONE LAYOUT				
CATV LAYOUT				
STREET LIGHT PLANS - PUBLIC				
STREET LIGHT PLANS - PRIVATE				
IMPROVEMENT PLANS (ELECTRONIC FILE)	CBG	12-11-25		

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

PROJECT DESCRIPTION & SCOPE
<ul style="list-style-type: none"> <li>• PROVIDE SERVICE TO 10 MULTI-PLEX BUILDINGS (E,T,C)</li> <li>• OVERHEAD TO UNDERGROUND CONVERSION</li> <li>•</li> <li>•</li> <li>•</li> <li>•</li> <li>•</li> </ul>

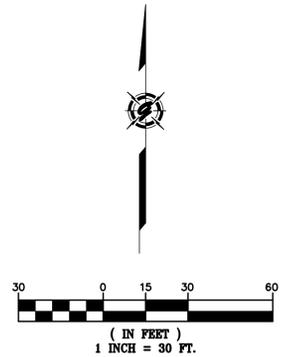
SHEET INDEX	
SHEET	DESCRIPTION
INT1	JOINT TRENCH INTENT TITLE SHEET
INT2-INT4	JOINT TRENCH INTENT
PuSL1	PUBLIC LIGHTING COVER SHEET
PuSL2	PUBLIC LIGHTING SITE PLAN
PrSL1	PRIVATE LIGHTING COVER SHEET
PrSL2	PRIVATE LIGHTING COVER SHEET
PM1	PUBLIC & PRIVATE PHOTOMETRIC PLAN



**ELECTRIC TIE-IN LOCATION:**  
 EXPOSE, INTERCEPT & TIE INTO  
 EXISTING PG&E J59404 BOX INSTALLED  
 ON BETTERMENT PM#35638232.  
 J.T. CONTRACTOR TO COORDINATE TIE-IN  
 AS REQUIRED.

MATCHLINE - SEE SHEET INT3

LEGEND	
	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPLICE BOX
	90"x106" PG&E PAD MOUNT TRANSFORMER
	EXISTING UTILITY POLE
	EXISTING UTILITY POLE GUY ANCHOR
	PG&E SKETCH LOCATION NUMBER
(P.U.E.)	PUBLIC UTILITY EASEMENT
(R/W)	RIGHT OF WAY



**NOTE**  
 PLEASE VERIFY THAT THE SERVICE POINTS IN  
 THIS DRAWING MATCH YOUR DESIGN. IF  
 THERE ARE ANY DISCREPANCIES, PLEASE  
 CONTACT THE PROJECT MANAGER IN OUR  
 OFFICE.

**NOTE TO UTILITIES:**  
 PLEASE INDICATE TIE-IN  
 POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS  
 NOT FOR CONSTRUCTION**

**EXISTING PAVEMENT  
 & SIDEWALK**  
 THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE  
 PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED  
 AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE  
 NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK  
 TO BE PER CITY SPECIFICATIONS.

**R/W, P.U.E. & P.S.E. ACQUISITION NOTE:**  
 CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT  
 AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE  
 APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

TWO DAYS BEFORE YOU DIG  
 CALL USA TOLL FREE  
**811**  
 CALL BEFORE YOU DIG

REVISIONS	DESCRIPTION	DATE	APPROVED

**GIACALONE**  
 DESIGN SERVICES, INC.  
 5200 STONERIDGE MALL, RD., #545 | PLEASANTON, CA 94588  
 925-467-7740 | WWW.GIACALONEDSIGN.COM

**JOINT TRENCH INTENT**  
 SUMMERHILL HOMES  
 LINDA VISTA DRIVE  
 10857 LINDA VISTA DRIVE  
 CUPERTINO CALIFORNIA

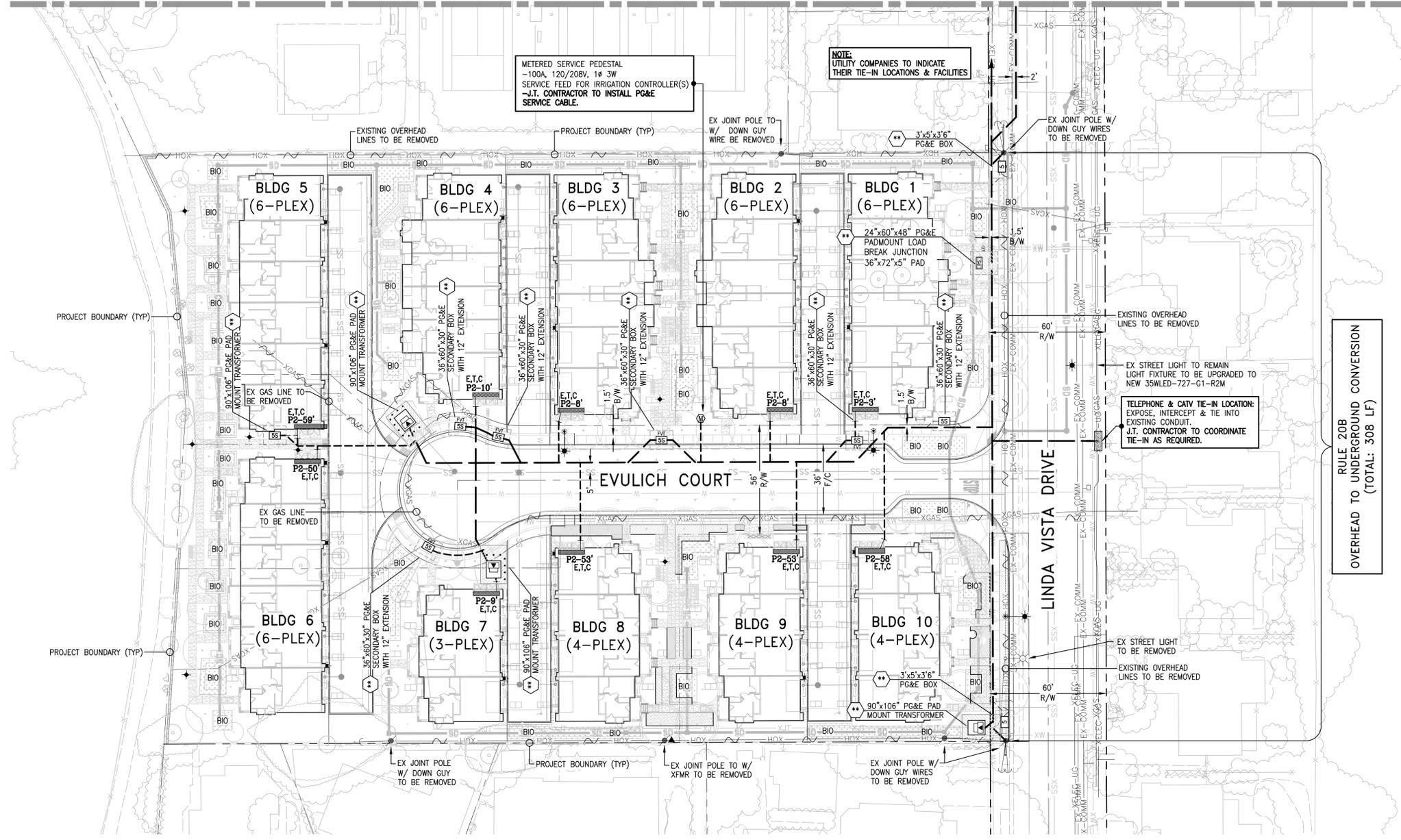
PROJECT MANAGER:  
 A. CUMMINS  
 DRAWN BY:  
 K. CANARIO  
 CHECKED BY:  
 D. CROWFOOT (P.E.)  
 SCALE:  
 1"=30'  
 JOB NUMBER:  
 24-139  
 DATE LAST MODIFIED:  
 12-16-25  
 SHEET  
**INT2**  
 OF 3 SHEETS

BUILDING METER SCHEDULE		
BUILDING #	MAINSWITCH/ VOLTAGE	ELECTRIC METER
BLDG 1-6 (6 PLEX)	600A 120/208V, 4W, 3ø	6 MTR + HSE
BLDG 7 (3 PLEX)	400A 120/208V, 4W, 3ø	3 MTR + HSE
BLDG 8-10 (4 PLEX)	600A 120/208V, 4W, 3ø	4 MTR + HSE

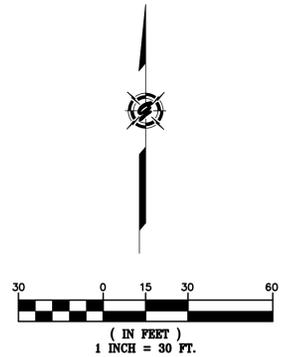
**LEGEND**

- EXISTING TRENCH OR UTILITIES
- PROPOSED TRENCH (DISTRIBUTION)
- PROPOSED TRENCH (SERVICE)
- PROPOSED STREET LIGHT TRENCH
- EXISTING UTILITY SPLICE BOX
- 90"x106" PG&E PAD MOUNT TRANSFORMER
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE GUY ANCHOR
- PG&E SKETCH LOCATION NUMBER
- PUBLIC UTILITY EASEMENT
- RIGHT OF WAY

MATCHLINE - SEE SHEET INT2



RULE 20B  
OVERHEAD TO UNDERGROUND CONVERSION  
(TOTAL: 308 LF)



**NOTE**  
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

**NOTE TO UTILITIES:**  
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

TWO DAYS BEFORE YOU DIG  
CALL USA TOLL FREE  
811  
CALL BEFORE YOU DIG

**EXISTING PAVEMENT & SIDEWALK**  
THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.

**R/W, P.U.E. & P.S.E. ACQUISITION NOTE:**  
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

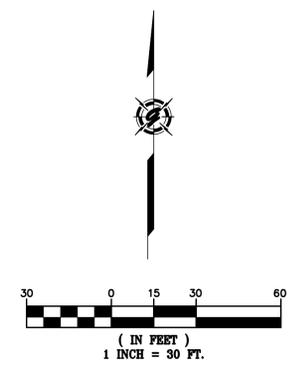
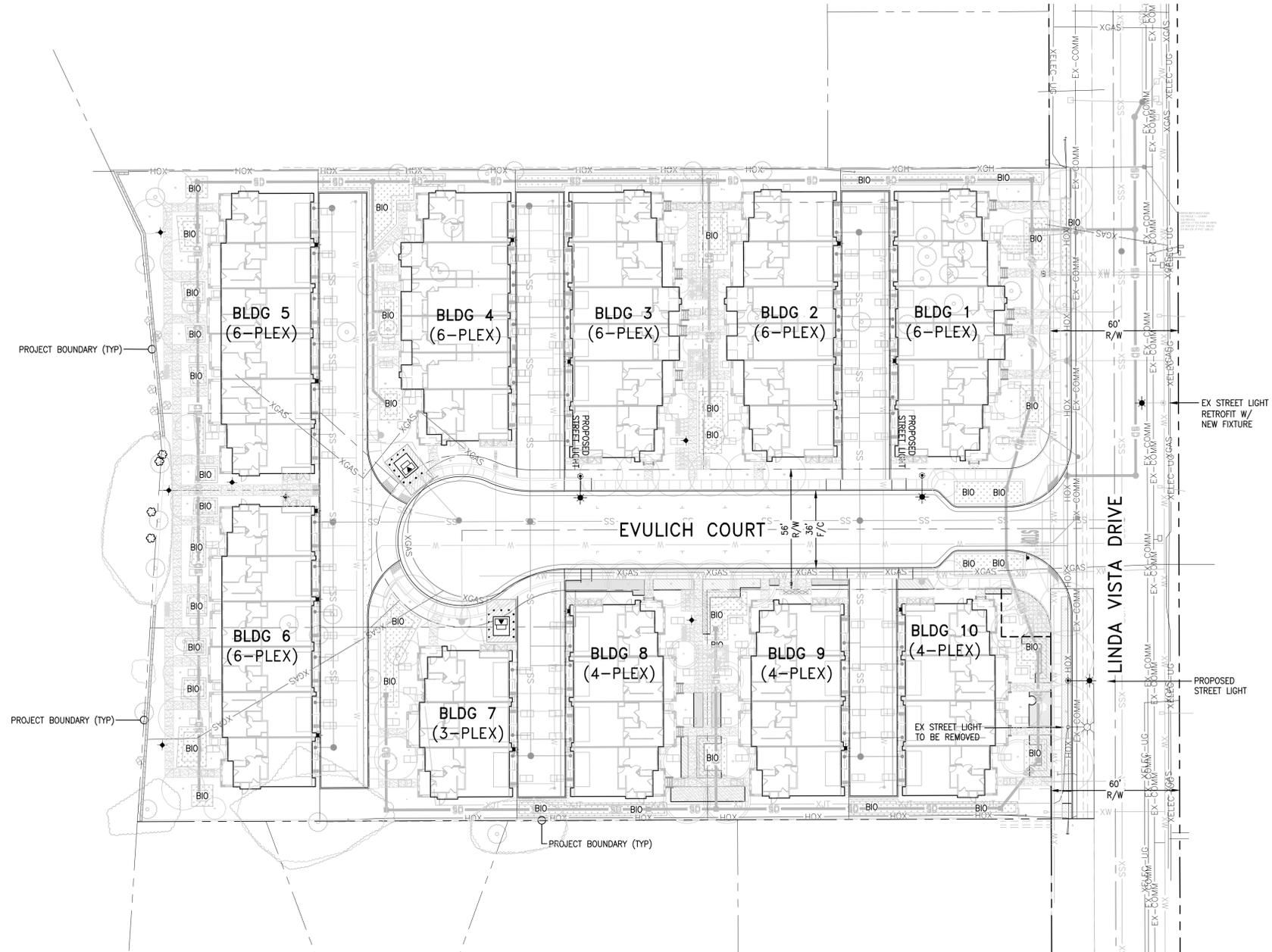
REVISIONS	DESCRIPTION	DATE

**GIACALONE**  
DESIGN SERVICES, INC.  
5200 STONERIDGE MALL RD., #545 | PLEASANTON, CA 94588  
925-467-1740 | WWW.GIACALONEDSIGN.COM

**JOINT TRENCH INTENT**  
SUMMERHILL HOMES  
LINDA VISTA DRIVE  
10857 LINDA VISTA DRIVE  
CUPERTINO CALIFORNIA

PROJECT MANAGER:  
A. CUMMINS  
DRAWN BY:  
K. CANARIO  
CHECKED BY:  
D. CROWFOOT (P.E.)  
SCALE:  
1"=30'  
JOB NUMBER:  
24-139  
DATE LAST MODIFIED:  
12-16-25  
SHEET  
**INT3**  
OF 3 SHEETS





**LEGEND**

- PROPOSED SINGLE ARM STREET LIGHT (34W)
- EX. ST LIGHT RETROFIT W/ NEW FIXTURE (34W)
- EXISTING STREET LIGHT

**CAUTION:**  
 CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".

TWO DAYS BEFORE YOU DIG  
 CALL USA TOLL FREE  
**811**  
 CALL BEFORE YOU DIG

REVISIONS	DATE

**GIACALONE**  
 DESIGN SERVICES, INC.  
5200 STONERIDGE MALL RD., #545 | PLEASANTON, CA 94688  
 925-477-1740 | WWW.GIACALONEDSIGN.COM

**PUBLIC STREET LIGHTING SITE PLAN**  
**SUMMERHILL HOMES**  
**LINDA VISTA DRIVE**  
**10857 LINDA VISTA DRIVE**  
**CUPERTINO CALIFORNIA**

PROJECT MANAGER:  
 A. CUMMINS  
 DRAWN BY:  
 CCP  
 CHECKED BY:  
 D. CROWFOOT (P.E.)  
 SCALE:  
 1"=30'  
 JOB NUMBER:  
 24-139  
 DATE LAST MODIFIED:  
 12-16-25  
 SHEET  
**PuSL2**  
 OF 2 SHEETS

# LINDA VISTA DRIVE - PRIVATE STREET LIGHTING



Site and Area

PureForm

PBL LED bollard



Gardco PureForm LED bollard PBL integrates a sleek, low profile design, extraordinary light output, and energy savings into an innovative pedestrian scale luminaire. PureForm bollard features a high performance optical system designed to achieve wide spacings and full cutoff performance. Three heights available for a customized look. IP66 optics ensure dust or moisture will never interfere with performance.

Project: Linda Vista Drive  
 Location: Cupertino, CA  
 Call No: 800.450.4400  
 Type: RL  
 Lamps: Qty:  
 Notes:

Ordering guide example: PBL-42-14L-450-NW-Q2-6-UNV

Luminaire	Shaft Height	Number of LEDs	Driver Current	LED Color / generation	Distribution	Emergency	Voltage
PBL	42"	14L	200	WW-Q2	3	EBP	UNV

Options:

Dimming controls	Motion Sensing	Photo-sensing	Electrical	Finish
DD 0-10V External dimming (by others) <sup>1,4</sup> FAMS Field Adjustable <sup>1,4</sup> LDC Wireless controls without PIR sensor <sup>1,4,5</sup> BL Bi-level functionality with motion sensor <sup>1,4</sup>	IMR Integral infrared <sup>1,4</sup>	PCB Photocontrol button <sup>1,4,6</sup>	Fluorescing F1 Single (120, 277, 347VAC) <sup>7</sup> F2 Double (208, 240, 480VAC) <sup>7</sup> F3 Combination Double Full (208, 240, 480VAC) <sup>7</sup>	BK Black WH White BR Bronze DGR Dark Gray MDM Medium Gray

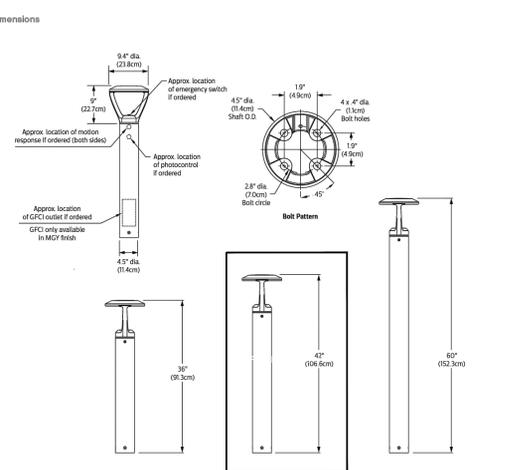
Accessories:

Service	TM-01	Description
(4) 3/8"X3.5" A19 2W-2W-15W + (2) Template		

PBL PureForm bollard 04/24 page 1 of 4

## PBL PureForm LED bollard

Dimensions



Specifications

**Housing:** Main body housing and yoke made of low copper cast aluminum alloy for a high resistance to corrosion. Luminaire shaft features a cylindrical extruded aluminum base housing. Bottom section has a raised ring for ease of assembly. It attaches to base assembly with four (4) hex head set screws. Most electrical components are integrated in the shaft of the bollard by design. This allows for the sleek profile, giving the freedom to have a clean minimalist aesthetic design with minimum obstruction to optical performance. Luminaire housing rated to IP66, tested in accordance to Section 9 of IEC 60598-1.

**Light engine:** Light engine comprises of a 14-LED module made out of aluminum metal clad board fully sealed with optics. Module is RoHS compliant. Color temperatures: 3000K +/- 20K, 4000K, 5000K +/- 200K. Minimum CRI of 70. LED light engine is rated IP66 in accordance to IEC 60598.

**Energy saving benefits:** System efficacy up to 100 lms./W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

**Optical systems:** Type 3 and 5 distributions available. Performance tested per LM-79 and TM-16 conforming to photometric performance. Luminaire designed with 0% uplight (LU per IESNA TM-16).

**Mounting:** Base assembly consists of a cast aluminum platform. Assembly is secured and leveled to the mounting foundation with four (4) 3/8" X 8" x 1 1/2" (86.3 cm x 20.32 cm x 3.81 cm) anchor bolts on a 2 3/4" (6.9 cm) bolt circle.

PBL PureForm bollard 04/24 page 3 of 4

## PBL PureForm LED bollard

LED Wattage and Lumen Values

Ordering Code	LED Qty	LED Current (mA)	Color Temp.	Average System Watts	Type 3		Type 5	
					Beam Output	Beam Rating	Beam Output	Beam Rating
PBL-14L-100-NW-Q2-x	14	100	3500	5.8	561	80-100-01	133	852
PBL-14L-200-NW-Q2-x	14	200	3500	11.3	1077	80-100-01	133	852
PBL-14L-350-NW-Q2-x	14	350	3500	17.1	1619	80-100-01	133	852
PBL-14L-450-NW-Q2-x	14	450	3500	22.0	2126	80-100-01	133	852
PBL-14L-600-NW-Q2-x	14	600	3500	28.8	2859	80-100-01	133	852
PBL-14L-800-NW-Q2-x	14	800	3500	38.1	3663	80-100-01	133	852
PBL-14L-1050-NW-Q2-x	14	1050	3500	50.1	4471	80-100-01	133	852

Notes from photometric tests performed in accordance with IESNA LM-79 and are representative of the configurations shown. Actual performance may vary due to installation and environmental variables. LED and driver tolerances, and field measurement considerations. It is highly recommended to confirm performance with a photometric layout.

NOTE: Some data may be scaled based on tests of similar (but not identical) luminaires. Contact factory for configurations not shown.

LED Wattage and Lumen Values (Emergency Mode)

Ordering Code	LED Qty	LED Current (mA)	Color Temp.	Type 3		Type 5	
				Beam Output	Beam Rating	Beam Output	Beam Rating
PBL-14L-450-NW-Q2-xx-EBP	14	450	4000	23.1	10.4	2007	1231
PBL-14L-600-NW-Q2-xx-EBP	14	600	4000	30.3	15.4	2561	1311
PBL-14L-800-NW-Q2-xx-EBP	14	800	4000	40.5	10.4	3189	1211
PBL-14L-1050-NW-Q2-xx-EBP	14	1050	4000	53.8	10.4	3953	1211

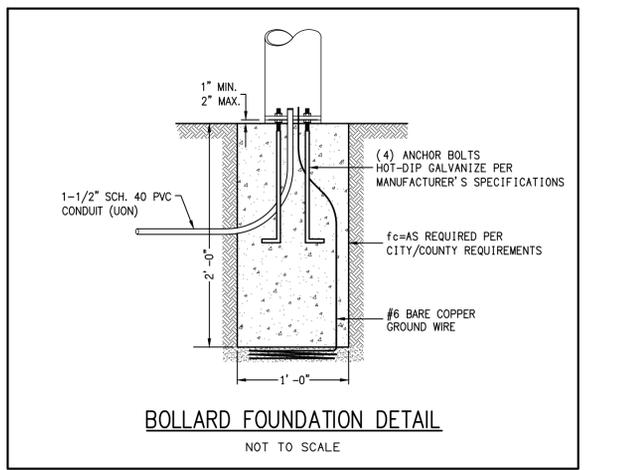
Predicted Lumen Depreciation Data

Ambient Temperature (°C)	Driver mA	Calculated L <sub>80</sub> Hours	L <sub>80</sub> per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	up to 1050mA	>100,000 hours	>460,000 hours	>98%

PBL PureForm bollard 04/24 page 2 of 4

- ### PRIVATE LIGHTING CONTRACTORS NOTES
- CONDUIT AND FITTINGS:** ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED, UNLESS OTHERWISE NOTED OR REQUIRED. PROVIDE PULL ROPE IN ALL EMPTY CONDUITS.
  - CONDUIT DEPTH:** 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 30" UNDER PAVEMENT.
  - CABLE:** CABLE SHALL BE U.L. LISTED, TYPE THW OR THWN WITH MINIMUM OF 3/64" (46 MIL) POLYVINYL CHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED.
  - SPLICE BOXES:** SPLICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. (PER CALTRANS DETAIL ES-8A).
  - FUSES:** EACH STREET LIGHT SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS (BUSHMAN HERB SERIES) AT EACH ADJACENT SPLICE BOX WITH 5 AMP FUSE.
  - SPLICING:** ALL SPLICES SHALL BE MADE IN LIGHT BOXES ONLY. SPLICES SHALL BE IN ACCORDANCE WITH CALTRANS STANDARD METHOD 'B'. (PER CALTRANS DETAIL ES-13A).

- ### PRIVATE LIGHTING GENERAL NOTES
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHAL, FEDERAL AND ALL APPLICABLE CITY, COUNTY, STATE AND LOCAL UTILITY COMPANY REGULATIONS, N.E.C., AND THE LATEST APPROVED STANDARDS OF I.E.E.E., A.S.A., N.E.M.A., U.L. AND OSHA WHERE APPLICABLE. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE ABOVE. ALSO, ALL SECTIONS OF STATE OF CALIFORNIA P.U.C. G.O. 95 SHALL APPLY.
  - MATERIALS FURNISHED UNDER THIS SECTION OF THESE SPECIFICATIONS FOR WHICH UL UNDERWRITER'S LABORATORIES, INC.
  - WHERE REQUIREMENTS OF APPLICABLE CODES AND STANDARDS CONFLICT WITH THE DRAWINGS OR THESE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
  - THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING & OBTAINING APPROVAL FROM CITY/COUNTY AGENCY & GIACALONE DESIGN SERVICES, INC.
  - CONTRACTOR TO INSTALL CIRCUIT GROUNDING AND GROUND WIRE IN CONDUIT PER N.E.C. STANDARDS AND LOCAL GOVERNING AGENCIES REQUIREMENTS.
  - A LIST OF ALL MATERIALS & SUPPLIERS SHOULD BE PROVIDED TO AUTHORITY HAVING JURISDICTION FOR APPROVAL.
  - GROUNDING & BONDING SHALL PROPERLY INTERCONNECT ALL METAL PARTS OF THE SYSTEM.
  - ALL CONNECTIONS SHALL BE SECURED WITH LOCK NUTS AND INSULATED BUSHINGS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE OPERATING SYSTEM.
  - GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
  - ANY CHANGES OR MODIFICATIONS TO PROPOSED LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY/COUNTY AGENCY PRIOR TO INSTALLATION.
  - AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE STREET LIGHT ADMINISTRATION DEPT. OF THE CITY/COUNTY PRIOR TO ACCEPTANCE OF THE PRIVATE LIGHTING SYSTEM.



\*NOTE: CONTRACTOR TO VERIFY ALL QUANTITIES AND SPECIFICATIONS PRIOR TO ORDERING.

### LUMINAIRE SCHEDULE

TYPE	LUMINAIRE	DIST.	MTG. HT.	ARM	POLE HT.	COLOR	MATERIAL	QUANTITY
+	BOLLARD	11W, LED 120V	TYPE 3	3'-6"	-	3'-6"	BLACK ALUMINUM	7

**CAUTION:**  
 CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".

### LIGHTING CONTROL METHOD

PHOTOCELL IN EACH LIGHT FIXTURE  
 METER PEDESTAL INTERNAL PHOTOCELL  
 METER PEDESTAL TIME CLOCK  
 BUILDING CONTROL PANEL

**NOTE:**  
 GIACALONE CONTRACTOR/GENERAL NOTES ARE A REFERENCE ONLY. THE LATEST CITY OF CUPERTINO STANDARD DETAILS SUPERCEDE ALL OTHER NOTES OR DETAILS.

PUBLIC/PRIVATE LIGHTING: PRIVATE  
 PG&E RATE SCHEDULE: BLDG PANEL  
 INSTALL IN JOINT TRENCH:   
 INSTALL IN SEPARATE TRENCH:   
 CITY PERMIT REQUIRED:

TWO DAYS BEFORE YOU DIG  
 CALL USA TOLL FREE  
**811**  
 CALL BEFORE YOU DIG



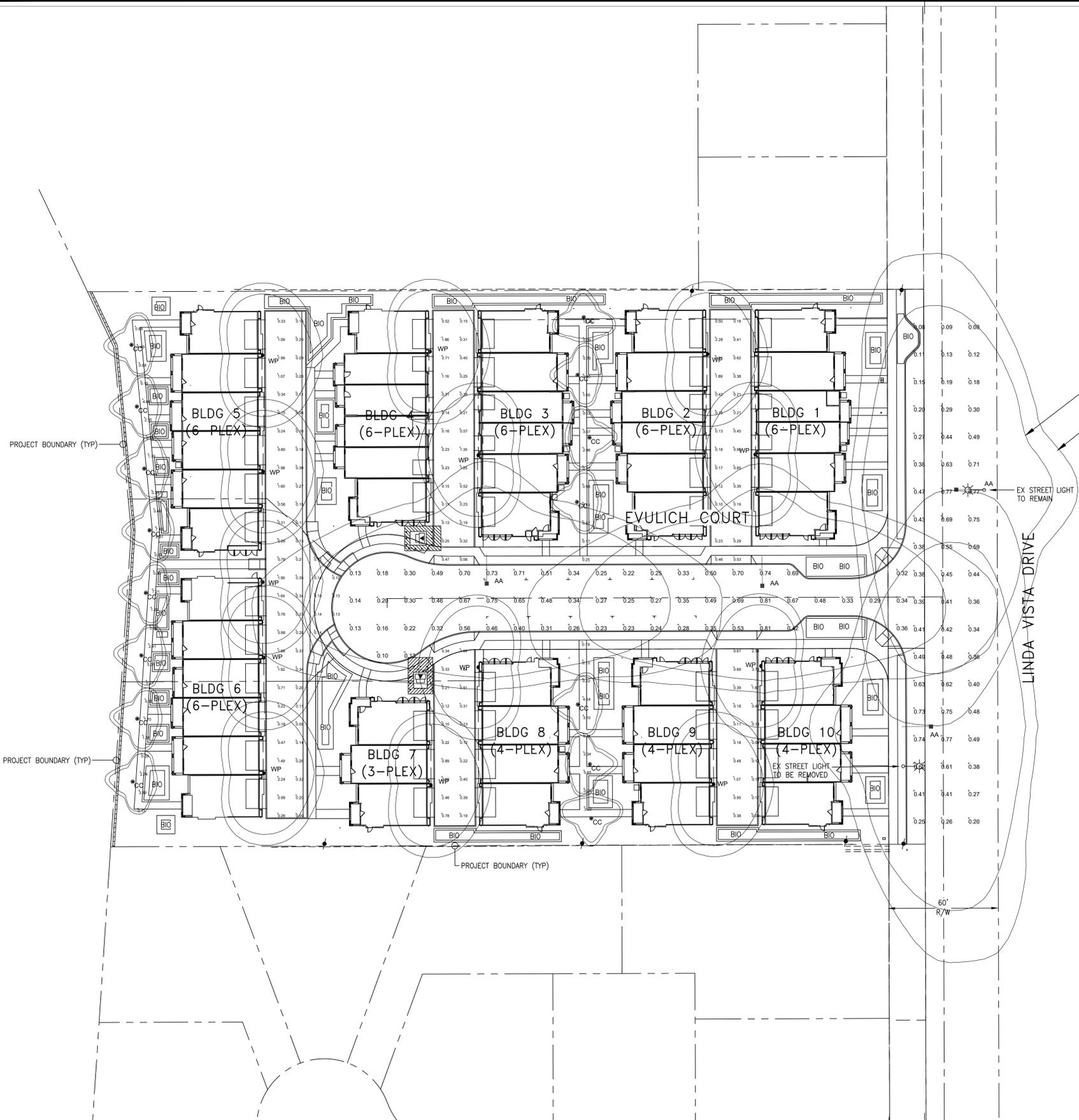
SYMBOL	DATE	REVISIONS	DESCRIPTION

**GIACALONE**  
 DESIGN SERVICES, INC.  
 5200 STONERIDGE WALK, RD., #545 | CUPERTINO, CA 95088  
 828-67-1740 | WWW.GIACALONEDSIGN.COM

PRIVATE STREET LIGHTING TITLE SHEET  
 SUMMERHILL HOMES  
 LINDA VISTA DRIVE  
 10857 LINDA VISTA DRIVE  
 CUPERTINO CALIFORNIA

PROJECT MANAGER:  
 A. CUMMINS  
 DRAWN BY:  
 CCP  
 CHECKED BY:  
 D. CROWFOOT (P.E.)  
 SCALE:  
 N.T.S.  
 JOB NUMBER:  
 24-139  
 DATE LAST MODIFIED:  
 12-16-25  
 SHEET  
**PrSL1**  
 OF 2 SHEETS





0.07FC. TYP.  
0.035FC. TYP.

LINDA VISTA DRIVE

60' R/W

Luminaire Schedule - LED

Project: 10857 LINDA VISTA DR - CUPERTINO

Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
AA	4	AA	Single	0.900	4992	34.091	LUMEC RPN-35W20LED-727-G1-R2M @ 32' + 8' ARM	RPN-35W20LED-727-G1-R2M.ies
CC	15	CC	Single	0.810	965	10.6	GARDCO PBL-42-14L-200-WW-G2-3-UNV	PBL-14L-200-NW-G2-3-UNV.ies
WP	13	WP	Single	0.900	2037	20.9	GARDCO PWS-196L-450-WW-G3-2-UNV @ 8'	PWS-196L-450-WW-G2-2-UNV.ies

Calculation Summary

Project: 10857 LINDA VISTA DR - CUPERTINO

Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALLEY DRIVES	Illuminance	Fc	0.58	3.81	0.08	7.25	47.63
EVULICH COURT	Illuminance	Fc	0.40	0.81	0.10	4.00	8.10
LINDA VISTA	Illuminance	Fc	0.42	0.77	0.08	5.25	9.63
PATHWAYS	Illuminance	Fc	2.69	12.45	0.08	33.63	155.63

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.



ASSOCIATED LIGHTING REPRESENTATIVES, INC  
7777 PARDEE LANE  
P.O. BOX 2265  
OAKLAND, CA 94621  
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: GIACALONE DESIGN SERVICES  
BY: APPLICATIONS ENGINEERING; RAMON ZAPATA  
SALES REPRESENTATIVE: ALR; KRISTIAN REYES



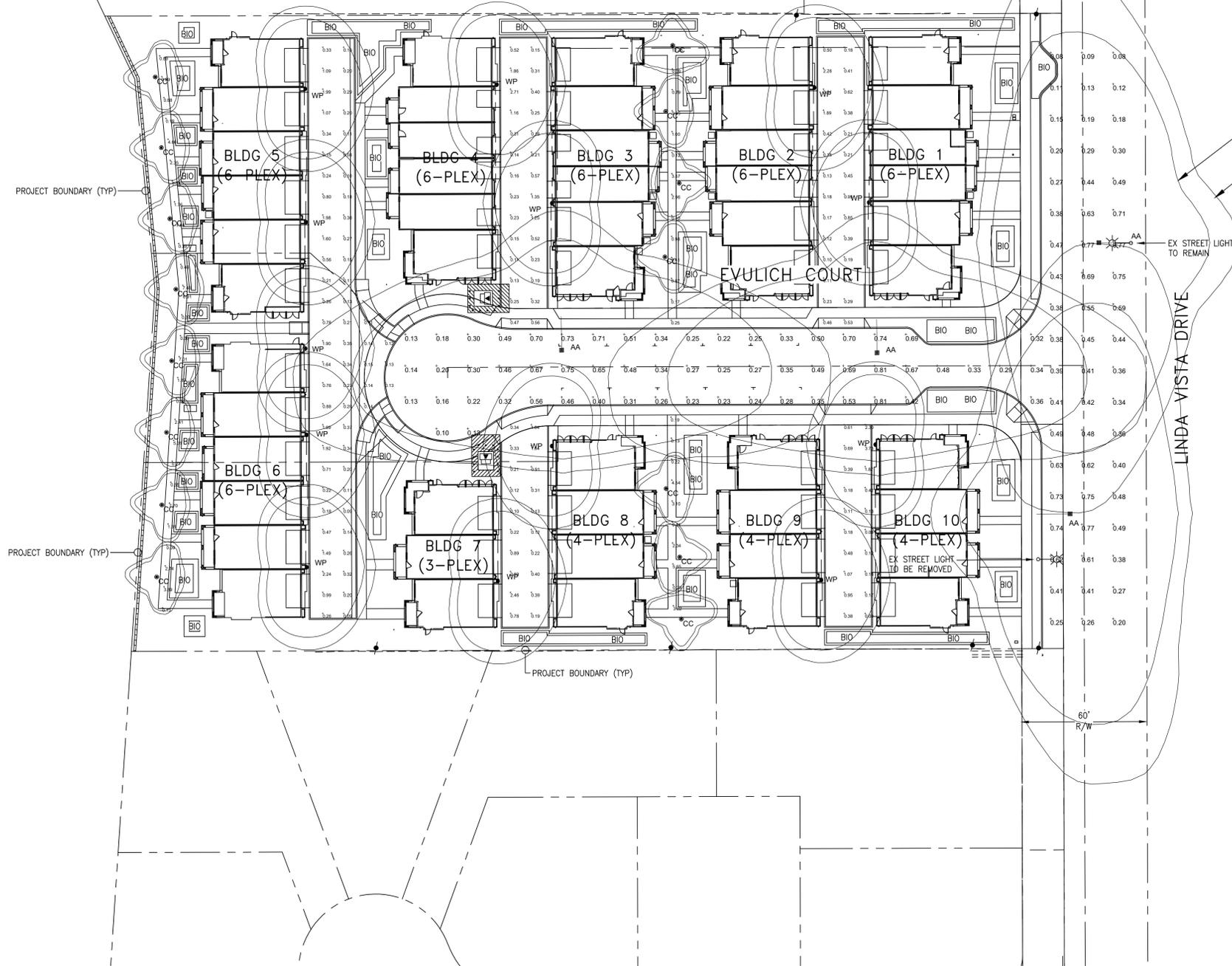
AGI32 VERSION 21.2  
AGI (C) 2024 LIGHTING ANALYSTS, INC.  
10268 W. CENTENNIAL ROAD, SUITE 202  
LITTLETON, CO 80127

PROJECT DESCRIPTION  
10857 LINDA VISTA DR  
CITY OF CUPERTINO

PrSL3

DRAWING NO. / INPUT FILE  
23530REY-R1.DWG / 23530REY-R1.A32

SCALE	SHEET	DATE	REV
1" = 00'	1 OF 1	12.16.2025	1



0.07FC. TYP.  
0.035FC. TYP.

Luminaire Schedule - LED								
Project: 10857 LINDA VISTA DR - CUPERTINO								
Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
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SCALE  
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SHEET  
1 OF 1

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REV  
1