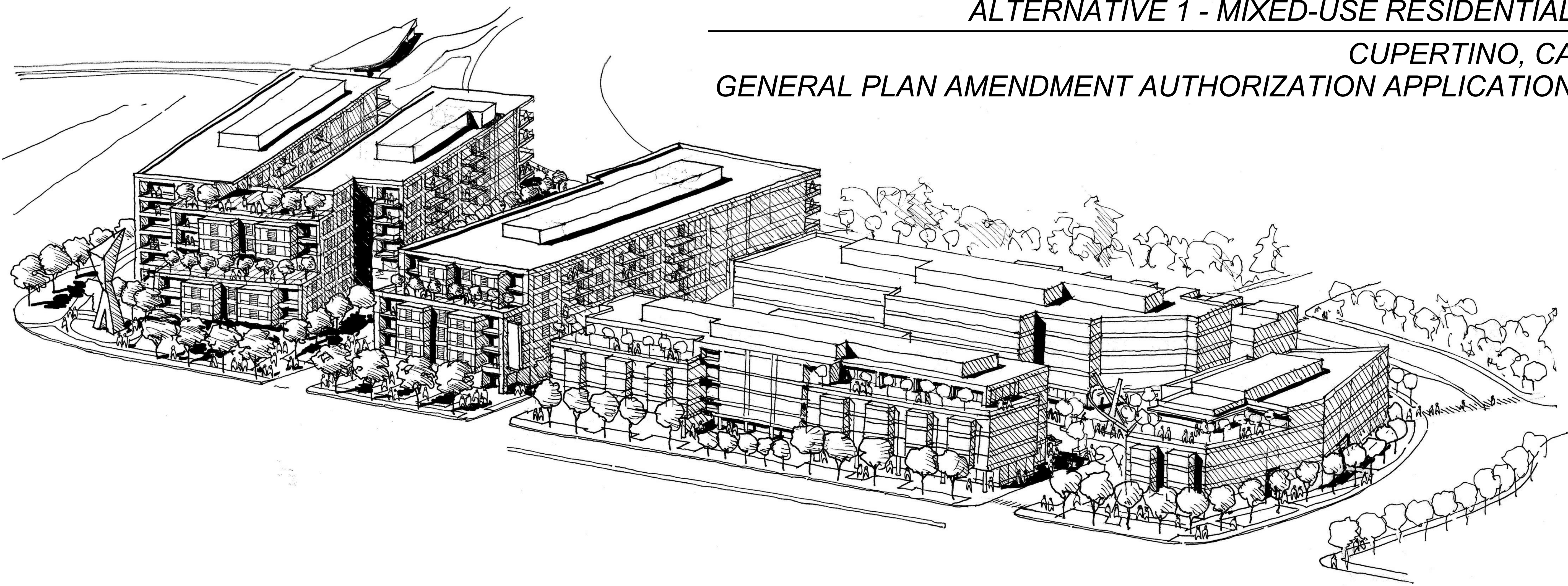


WESTPORT CUPERTINO

ALTERNATIVE 1 - MIXED-USE RESIDENTIAL

CUPERTINO, CA

GENERAL PLAN AMENDMENT AUTHORIZATION APPLICATION



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

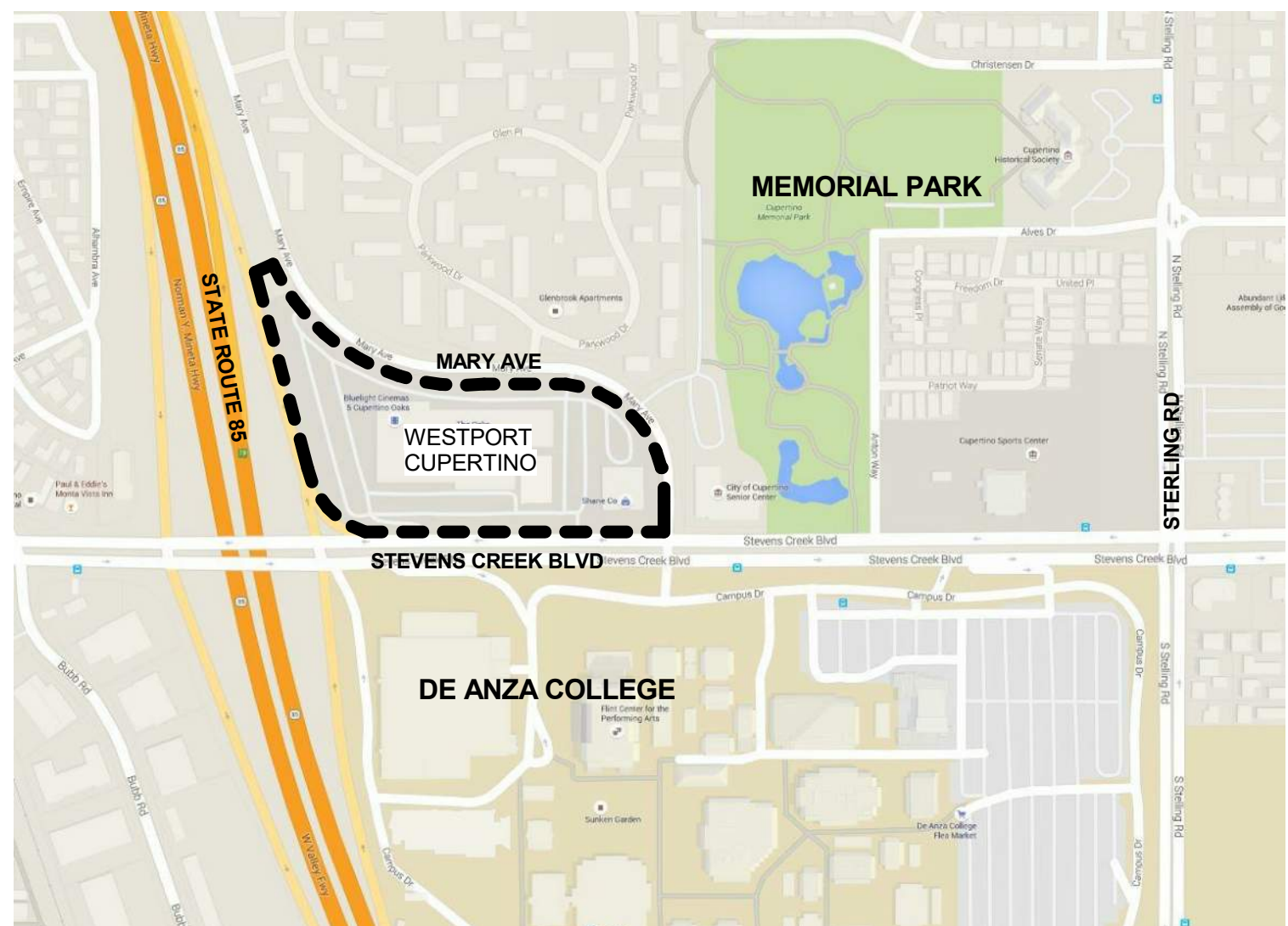
WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

VICINITY MAP



PROJECT TEAM

OWNER

KT URBAN
21710 STEVENS CREEK BLVD #200
CUPERTINO, CA 95104
P: 408.257.2100
CONTACT: MARK TERSINI

ARCHITECT

C2K ARCHITECTURE INC.
1645 NW HOYT ST
PORTLAND, OR 97209
P: 503.244.2100
CONTACT: KEVIN SAUSER
ksauser@c2karch.com
CONTACT/APPLICANT: SAMUEL SANDERSON
sams@c2karch.com

CIVIL

SANDIS
636 9TH STREET
OAKLAND, CA 94607
P: 510.590.3402
CONTACT: AMY TAYLOR
ataylor@sandis.net

LANDSCAPE

PLACE
735 NW 18TH AVE.
PORTLAND, OR 97209
P: 503.334.1630
CONTACT: MIGUEL CAMACHO SERNA
miquel.camacho.serna@place.la

DRAWING INDEX

SHEET NUMBER	SHEET NAME
GENERAL	
G.100	COVER SHEET - ALT 1
G.101	ILLUSTRATIVE SITE PLAN - ALT 1
G.102	PROJECT SUMMARY - ALT 1
G.103	SITE PLAN SETBACKS - ALT 1
G.104	1:1 SLOPE SETBACKS - ALT 1
G.105	OPEN SPACE AREA CALCULATIONS - ALT 1
CIVIL	
C.001	TOPOGRAPHICAL SURVEY - ALT 1
C.101	GRADING AND UTILITY PLAN - ALT 1
C.102	SITE & STORMWATER MGT. PLAN - ALT 1
LANDSCAPE	
L.101	LANDSCAPE PLAN - ALT 1
L.102	PRELIMINARY PLANTING PLAN - ALT 1
ARCHITECTURAL	
A.101	LEVEL 1 BUILDING PLANS - ALT 1
A.102	UPPER LEVEL BUILDING PLANS - ALT 1
A.103	PARKING GARAGE PLAN - ALT 1
A.104	SITE SECTIONS - ALT 1
A.105	STREET ELEVATIONS - ALT 1
A.106	TYPOLOGICAL PRECEDENTS - ALT 1
A.107	RESIDENTIAL - RETAIL BUILDINGS A,B,C - ALT 1
A.108	RESIDENTIAL - RETAIL BUILDING D,E - ALT 1
A.109	ENLARGED UNIT PLANS - ALT 1
A.110	PHASING PLAN - ALT 1
A.111	NEIGHBORHOOD BUILDING HEIGHTS - ALT 1

SHEET NUMBER	SHEET NAME
GENERAL	
G.200	COVER SHEET - ALT 2
G.201	ILLUSTRATIVE SITE PLAN - ALT 2
G.202	PROJECT SUMMARY - ALT 2
G.203	SITE PLAN SETBACKS - ALT 2
G.204	1:1 SLOPE SETBACKS - ALT 2
G.205	OPEN SPACE AREA CALCULATIONS - ALT 2
CIVIL	
C.002	TOPOGRAPHICAL SURVEY - ALT 2
C.201	GRADING AND UTILITY PLAN - ALT 2
C.202	SITE & STORMWATER MGT. PLAN - ALT 2
LANDSCAPE	
L.201	LANDSCAPE PLAN - ALT 2
L.202	PRELIMINARY PLANTING PLAN - ALT 2
ARCHITECTURAL	
A.201	LEVEL 1 BUILDING PLANS - ALT 2
A.202	UPPER LEVEL BUILDING PLANS - ALT 2
A.203	PARKING GARAGE PLAN - ALT 2
A.204	SITE SECTIONS - ALT 2
A.205	STREET ELEVATIONS - ALT 2
A.206	TYPOLOGICAL PRECEDENTS - ALT 2
A.207	TYPOLOGICAL PRECEDENTS - ALT 2
A.208	RESIDENTIAL - RETAIL BUILDINGS A,B,C - ALT 2
A.209	HOTEL BUILDING - ALT 2
A.210	OFFICE BUILDING - ALT 2
A.211	ENLARGED UNIT PLANS - ALT 2
A.212	PHASING PLAN - ALT 2
A.213	NEIGHBORHOOD BUILDING HEIGHTS - ALT 2

GENERAL PLAN AMENDMENT APP

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NO ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
COVER SHEET ALTERNATIVE 1

SHEET NO.:

G.100

5/12/2017 2:38:36 PM



1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.:	14148
DRAWN:	Author
DATE:	15 MAY 2017
REVISIONS	GENERAL PLAN AMENDMENT APP
MARK:	DATE: DESCRIPTION:

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NO ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
ILLUSTRATIVE SITE PLAN -
ALTERNATIVE 1

SHEET NO.:

G.101

5/12/2017 2:38:46 PM

GENERAL PLAN AMENDMENT APP



BUILDING CODE DATA (CONT.):

4. OCCUPANT LOAD:

- Res-Retail Building A - Res:	640 Occupants	(127,820 SF / 200 GSF per Occ)
- Res-Retail Building A - Retail:	232 Occupants	(13,875 SF / 60 GSF per Occ)
- Res-Retail Building B - Res:	450 Occupants	(96,465 SF / 200 GSF per Occ)
- Res-Retail Building B - Retail:	262 Occupants	(15,710 / 60 GSF per Occ)
- Res-Retail Building C - Res:	290 Occupants	(61,700 SF / 200 GSF per Occ)
- Res-Retail Building C - Retail:	208 Occupants	(12,425 SF / 60 GSF per Occ)
- Residential Building D:	1,155 Occupants	(230,810 SF / 200 GSF per Occ)
- Res-Retail Building E - Res:	743 Occupants	(148,520 SF / 200 GSF per Occ)
- Theater - Building E:	102 Occupants	(27,500 SF / Occ per seating)
- Below-Grade Parking Garage:	3,660 Occupants	(732,135 SF / 200 GSF per Occ)

RESIDENTIAL UNIT MATRIX:

Residential-Retail Building A (Northern Building)				
Unit Mix	Studio	1 BR	2BR	Total
Level 6				-
Level 5	5	13	5	23
Level 4	5	13	5	23
Level 3	11	17	5	33
Level 2	12	16	3	31
Level 1	1	4	-	5
Total Units	34	63	18	115
Ratio %	29.6%	54.8%	15.7%	100%

Residential-Retail Building B (Southern Building)				
Unit Mix	Studio	1 BR	2BR	Total
Level 5	4	8	1	13
Level 4	6	13	5	24
Level 3	6	13	5	24
Level 2	6	13	5	24
Total Units	22	47	16	85
Ratio %	25.9%	55.3%	18.8%	100%

Residential-Retail Building C (Eastern Building)				
Unit Mix	Studio	1 BR	2BR	Total
Level 5	-	1	6	7
Level 4	20	1	-	21
Level 3	20	1	-	21
Level 2	20	1	-	21
Total Units	60	4	6	70
Ratio %	85.7%	5.7%	8.6%	100%

Residential Building D (Western Bldg)				
Unit Mix	Studio	1 BR	2BR	Total
Level 7	10	13	5	28
Level 6	10	15	5	30
Level 5	10	15	5	30
Level 4	10	15	5	30
Level 3	10	15	7	32
Level 2	10	15	7	32
Level 1	9	13	5	27
Total Units	69	101	39	209
Ratio %	33.0%	48.3%	18.7%	100%

Residential-Retail Building E (Central Bldg)				
Unit Mix	Studio	1 BR	2BR	Total
Level 6	10	11	3	24
Level 5	10	11	3	24
Level 4	10	11	5	26
Level 3	10	11	5	26
Level 2	10	3	3	16
Level 1	6	2	2	10
Total Units	56	49	21	126
Ratio %	44.4%	38.9%	16.7%	100%

Total Residential Housing				
Unit Mix	Studio	1 BR	2BR	Total
Level 7	10	13	5	28
Level 6	20	26	8	54
Level 5	29	48	20	97
Level 4	51	53	20	124
Level 3	57	57	22	136
Level 2	58	48	18	124
Level 1	16	19	7	42
Total Units	241	264	100	605
Ratio %	39.8%	43.6%	16.5%	100%

BUILDING CODE DATA:

1. LOCAL CODES :

2016 California Building Standards Codes & Cupertino Municipal Code Chapter 16.04

- 2016 California Building Code, w/ local amendments

- 2016 California Electrical Code, w/ local amendments

- 2016 California Mechanical Code, w/ local amendments

- 2016 California Plumbing Code, w/ local amendments

- 2016 California Energy Code, w/ local amendments

- 2016 California Fire Code, w/ local amendments

- 2016 California Green Building Standards (CALGreen) Code, w/ local amendments

Accessibility

- Fair Housing Safe Harbor: 2003 ICC/ANSI A117.1

- 2010 ADA Standards for Accessible Design

2. BUILDING USE AND OCCUPANCY :

Occupancy Groups (Separated & Non-Separated)

- Residential-Retail Buildings:

Residential Units: Group R-2, Separated

Lobby/Office: Group A-3, Non-separated

Fit Center: Group A-3, Non-separated

Conference Room: Group A-3, Separated

Theater: Group A-1, Separated

Retail: Groups A-2 and M, Separated

- Transit Center:

Group A-3, Separated

3. BUILDING HEIGHTS AND AREAS :

Story, Height, and Area Limitations:

- Residential-Retail Building A - Construction Type VA over IA:

Allowable Stories: 4 Stories over 1 Story allowed per Table 504.4 and Section 510.2

Actual Stories: 4 Stories Residential Building, over 1 Story Retail

Maximum Building Height: 60'-0" per Table 504.3

Actual Building Height: 60'-0" to top of highest roof parapet (N.I. stair and elevator overruns or fall protection)

Allowable Building Area: 24,000+ SF/Story for Type VA Housing per Table 506.2 and Section 506.2;

Unlimited for Type IA Retail

Actual Building Area: 33,740 SF, w/ 2-Hr rated fire walls to subdivide residential floor levels; 13,875 GSF Retail

- Residential-Retail Building B - Construction Type VA over IA:

Allowable Stories: 4 Stories over 1 Story allowed per Table 504.4 and Section 510.2

Actual Stories: 4 Stories Residential Building, over 1 Story Retail

Maximum Building Height: 60'-0" per Table 504.3

Actual Building Height: 60'-0" to top of highest roof parapet (N.I. stair and elevator overruns or fall protection)

Allowable Building Area: 24,000+ SF/Story for Type VA Housing per Table 506.2 and Section 506.2;

Unlimited for Type IA Retail

Actual Building Area: 23,400 SF, w/ 2-Hr rated fire walls to subdivide residential floor levels; 15,700 GSF Retail

- Apartment-Retail Building C - Construction Type VA over IA:

Allowable Stories: 4 Stories over 1 Story allowed per Table 504.4 and Section 510.2

Actual Stories: 4 Stories Residential Building, over 1 Story Retail

Maximum Building Height: 60'-0" per Table 504.3

Actual Building Height: 60'-0" to top of highest roof parapet (N.I. stair and elevator overruns or fall protection)

Allowable Building Area: 24,000+ SF/Story for Type VA Housing per Table 506.2 and Section 506.2;

Unlimited for Type IA Retail

Actual Building Area: 14,440 SF, w/ 2-Hr rated fire walls to subdivide residential floor levels; 12,425 GSF Retail

- Residential Building D - Construction Type IA:

Allowable Stories: Unlimited Stories allowed per Table 504.4

Actual Stories: 7 Stories, not a "high rise" building

Maximum Building Height: Unlimited per Table 504.3

Actual Building Height: 75'-0" to top of roof (N.I. stair and elevator overruns or fall protection)

Allowable Building Area: Unlimited per Table 506.2

Actual Building Area: 230,810 GSF

- Residential-Retail Building E - Construction Type IA:

Allowable Stories: Unlimited Stories allowed per Table 504.4

Actual Stories: 6 Stories, not a "high rise" building

Maximum Building Height: 75'-0" per Section 504.3

Actual Building Height: 70'-0" to top of roof parapet (N.I. stair and elevator overruns or fall protection)

Allowable Building Area: Unlimited per Table 506.2

Actual Building Area: 157,520 GSF (incl Comm Space and Theater Lobby)

- Below-Grade Parking Garage - Construction Type IA:

Allowable Stories: Unlimited Stories allowed per Table 504.4

Actual Stories: 3 Stories below grade

Allowable Building Area: Unlimited per Table 506.2

Actual Building Area: 720,000 GSF

- Transit Center - Construction Type VB, Occupancy A-1, Sprinklered NFPA 13 (S1)

ZONING CODE DATA:

1. GENERAL PLAN/ ZONING:

- General Plan Guidelines

- Zoning Reference

- (E) Land Use Designation:

- (E) Zoning Designation:

- Site Area, Gross:

- Site Area, Net:

Community Vision 2040, and the Heart of the City Specific Plan Title 19

Commercial / Residential P(CG/RES)

8.1 acres; 352,836 GSF

7.9 acres; 343,958 NSF (Gross Site Area - 8,878 SF for Public Roadway/Public Utilities easement)

40% (136,040 SF / 343,958 NSF)

2,105 (724,000 GSF / 343,958 NSF)

30 DUA, up to a maximum of 200 units

34 DUA, for a total of 270 Units (includes a 35% BMR state density bonus). Therefore, the proposed density is not a General Plan amendment.

2. HEIGHT:

- Zoning Max Allowable Height:

- Actual Project Max Height:

- See Amendments request below.

45'-0" Max

75'-0" to top of roof of Bldg D

See Building Code Data for heights of each proposed building.

3. MINIMUM YARDS BUILDING SETBACKS :

- Stevens Creek Blvd (South side):

- Mary Ave (East side):

- Mary Ave (North Side):

- Highway 85 (West Side):

- See General Plan Amendments request below.

35'-0" from edge of curb

9'-0" from property line

9'-0" from property line

35'-6" from property line (eq. to 1/2 ht. of Bldg D)

See Architectural Site Plan sheet G.103 for Building Setbacks dimensions.

4. OPEN SPACE:

- See Open Space Area Calcos Site Plan sheet G.105.

No "Recreation Area" has been designated within this project.

5. AUTO PARKING:

- Required Parking for Each Building Use, per Parking Table 19.124.040(A) for Retail and Residential:

Conf Rm/Community Space:

Retail (42,000 SF):

Residential (605 units):

Total Required Spaces:

39 Spaces (Uni-size)

168 Spaces (Uni-size)

1,210 Spaces (9'-6"x20')

1,417 Spaces

- Required Parking for Residential, per Density Bonus Ordinance Table 19.56.040B:

(1) Space per Studio & 1-Bedroom Units, for 505 Units

(2) Spaces per 2-Bedroom Units, for 200 Units

Residential (605 units):

Revised Total Required Spaces:

705 Spaces (9'-6"x20')

912 Spaces

- Provided Parking for Each Building Use:

Retail:

Theater:

Transit Center:

Residential:

Add'l Grade-Level Spaces:

Total Provided Spaces:

168 Spaces (Uni-size)

102 Spaces (Uni-size)

50 Spaces (Uni-size)

1,160 Spaces (9'-6"x20')

23 Spaces (Uni-size)

1,503 Spaces

- Provided Parking meets the reduced parking demand of 1,140 spaces for the buildings per SANDIS' Parking Assessment Letter; see Parking Garage sheet A.103 for Parking Matrix and parking layout.

6. BICYCLE PARKING:

- Required Bicycle Parking for Each Building Use, per Parking Table 19.124.040(A):

Residential (1/ 2 units):

Residential (1/ 10 units):

Retail (1/ 5,000 SF):

Transit Center:

Total Required Spaces:

303 Spaces (Class I)

61 Spaces (Class II)

14 Spaces (Class II)

10 Spaces (Class II)

388 Spaces

- Provided Parking for Each Building Use:

Residential:

Residential:

Retail:

Transit Center:

Total Provided Spaces:

303 Spaces (Class I)

61 Spaces (Class II)

14 Spaces (Class II)

10 Spaces (Class I)

388 Spaces

- See architectural sheets A.103 for bicycle parking locations.

7. REQUESTED GENERAL PLAN AMENDMENTS (REFER TO APPLICATION):

a. Increase in Building Height:

Request to revise from 45'-0" to 75'-0" for tallest buildings on site.

b. Increase in Residential Unit Allocation:

Request to revise from 200 units to 448 units (for a total of 605 units on site). See Application for further explanation.

8. REQUESTED HEART OF THE CITY SPECIFIC PLAN EXCEPTIONS (REFER TO APPLICATION):

a. Side Interior Setback:

Request to revise setback at the western property line along Highway 85, specifically at the Transit Center, from 1/2 the building height to 0'-0" setback.

b. Residential Common Open Space:

Request to revise the residential common open space from 150 SF/unit to 70 SF/unit. The landscape common open space will be 70% of the total.

PROJECT SUMMARY:

1. STREET ADDRESS AND APN FOR SITE:

- Street Address: 21267 Stevens Creek Boulevard, Cupertino, CA 95014

- Parcel 1 (APN:326-27-039) and Parcel 2 (APN: 326-27-040 & 041) per Map 838, pg 24-25

2. PROJECT SUMMARY:

- Redevelopment of 71,254 SF Shopping Center (53,701 SF Retail, 17,503 SF Office) on 8.1 acres site, to provide mixed-use urban village with the following structures:

- Residential-Retail Building A: 5-stories; 127,820 SF residential; 115 units; w/ 13,875 SF of ground-level retail.

12,135 SF garage w/ 10 grade-level parking spaces.

- Residential-Retail Building B: 5-stories; 89,815 SF residential; 85 units;w/ 15,700 SF of ground-level retail.

- Residential-Retail Building C: 5-stories; 58,060 SF residential; 70; w/ 12,425 SF of ground-level retail.

- Residential-Retail Building D: 7-stories; 230,810 SF residential; 209 units.

- Residential Building E: 6-stories; 148,520 SF residential; 126 units; w/ 4,000 SF Conference Facility / Community Space.

- Theater at Building E: 27,500 SF; 5 theaters. 5,000 SF at Bldg E Level 1, 22,500 SF at Below-Grade Basement.

- Transit Center: 1000 SF of covered Vertical Circulation to pedestrian bridge to center of Highway 85, and vehicular roundabout for unloading zone and local bus stop. Designated parking spaces in garage below.

- Below-Grade Parking Garage: 3-stories; 720,000 SF; 1,470 parking spaces, w/ 230 bicycle spaces

3. GPA PRELIMINARY PLAN CONTENT REQUIREMENTS:

- General Plan Land Use Designation:

- Zoning Designation:

- Scale and North Arrow:

- Vicinity Map:

- Site Area:

- Lot Line Dimensions:

- Proposed Program:

- Density:

- Unit Plans:

- Setbacks:

- Site Plan, Existing:

- Site Plan, Proposed:

- Existing Buildings on Adjoining Properties:

- General Plan Amendment Requests & Heart of the City Specific Plan Exceptions:

- Preliminary Floor Plans:

- Preliminary Grading Plans, Existing:

- Preliminary Grading Plans, Proposed:

- Preliminary Elevations, Proposed:

- Preliminary Architectural Renderings:

- Proposed Materials and Colors:

- Preliminary Building Cross-Sections:

- Public Improvements:

- Driveways/Parking:

- Loading/Unloading Areas:

- Parking (Required and Proposed):

- Preliminary Landscape Plans:

- Open Space and Common Area:

- Phasing Plan:

See Sheet G.102

See Sheet G.102

See drawings sheets

See Sheet G.000

See Sheet G.102

See Sheet C.101

See Sheet G.102

See Sheet G.102

See Sheet A.109

See Sheets G.103 & G.104

See Sheet C.101

See Sheet G.101

See Sheet A.111

See Sheets G.102 thru G.105

See Sheet C.101

See Sheet C.101

See Sheets A.105 thru A.108

See Sheets A.105 thru A.108

See Sheets A.105 thru A.108

See Sheet A.104

See Sheets C.101 and C.102

See Sheets A.101 and A.103

See Sheets A.101 and A.103

See Sheets G.102 and A.103

See Sheet L.101

See Sheet G.105

See Sheet A.110

ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT
CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148		
DRAWN:	Author	
DATE:	15 MAY 2017	
GENERAL PLAN AMENDMENT APP		
REVISIONS		
MARK:	DATE:	DESCRIPTION:

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSENTS OR TRANSFERS ANY RIGHT TO, OR LICENSE TO, USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION THEREON, NOW OR IN THE FUTURE, TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
PROJECT SUMMARY -
ALTERNATIVE 1

SHEET NO.:

G.102

5/12/2017 2:39:29 PM

GENERAL PLAN AMENDMENT APP

PRELIMINARY,
NOT FOR
CONSTRUCTION



1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

PRELIMINARY,
NOT FOR
CONSTRUCTION

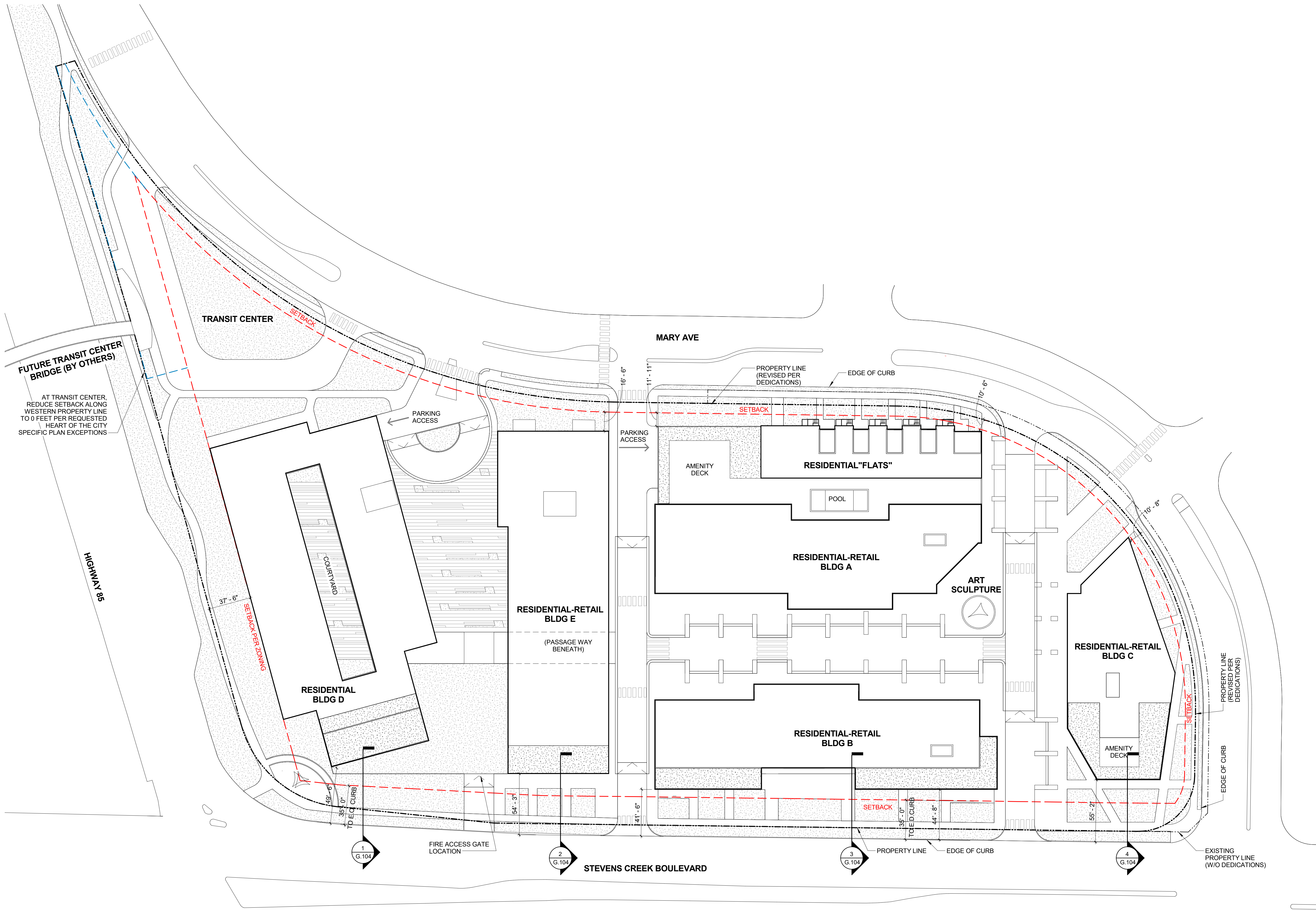
REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER THE PROJECT OR THE DRAWING IS TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS SUBMITTED. NO PART OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON, NOR ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
SITE PLAN SETBACKS -
ALTERNATIVE 1

SHEET NO.:

G.103

5/12/2017 2:39:34 PM

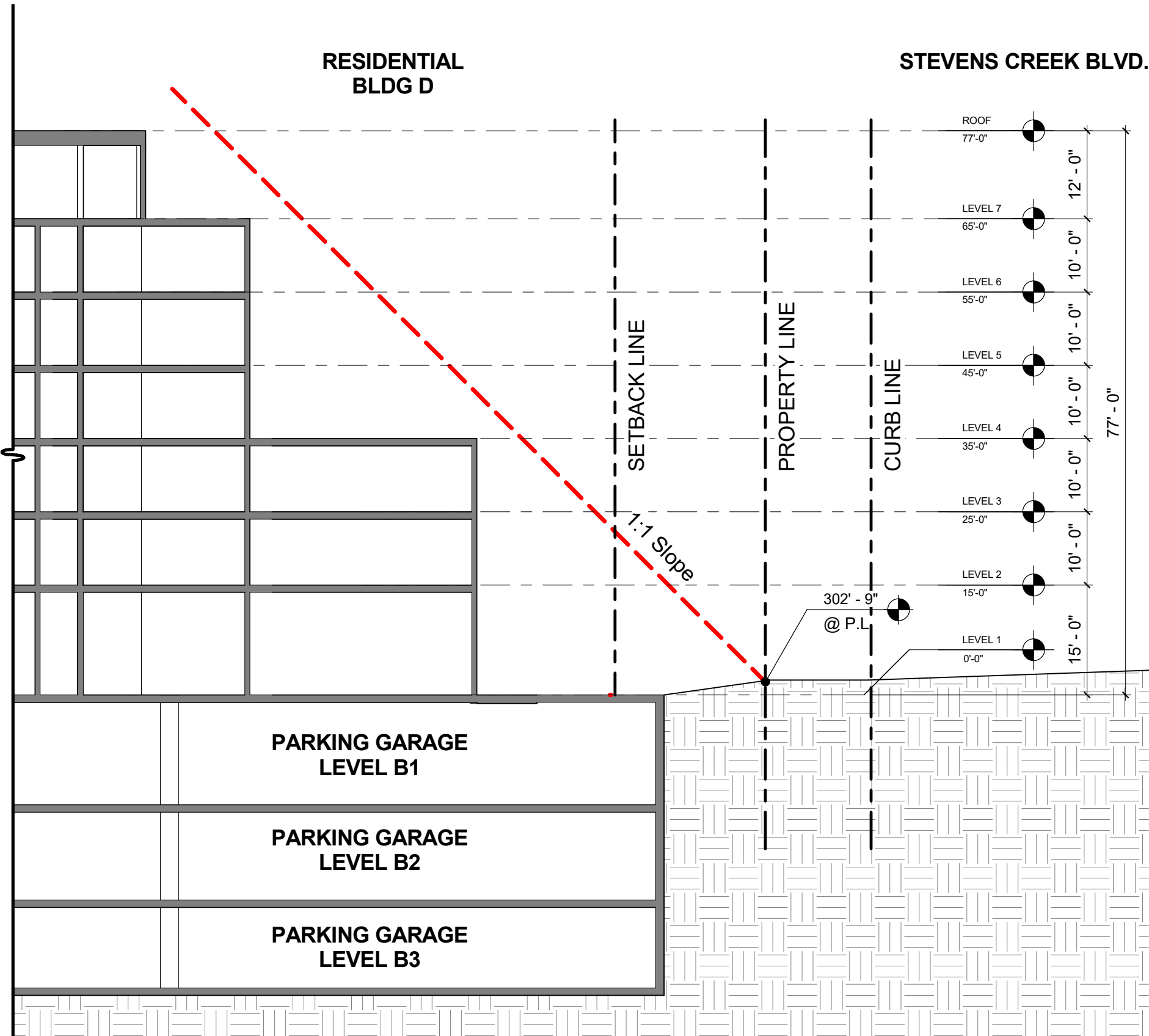


1
G.103
SETBACK ZONING SITE PLAN
1" = 40'-0"

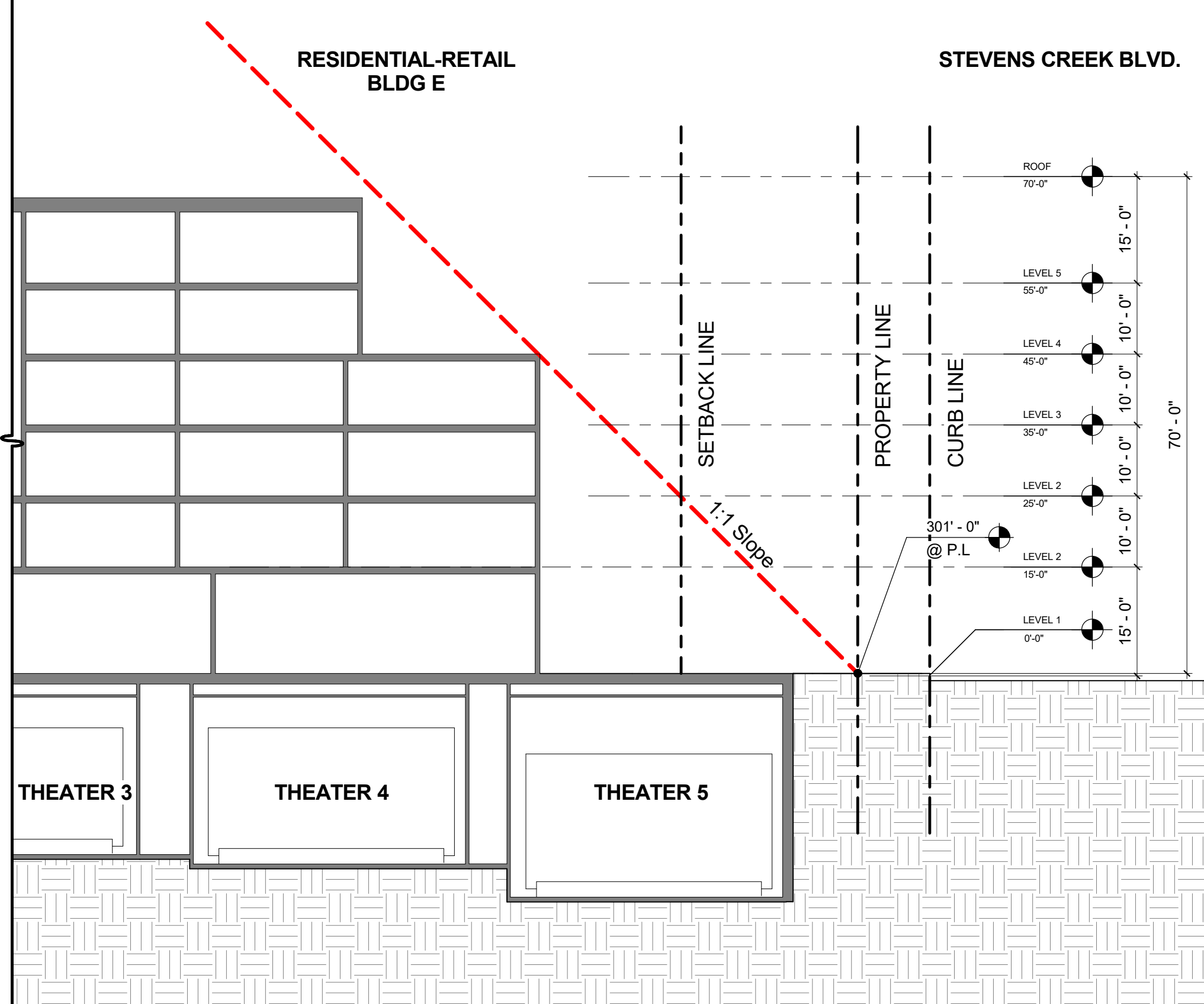


C:\Users\elhan.taing\C2KARCH\Documents\14148_Oaks-CENTRAL_ALT_1_Elhan.taing.rvt

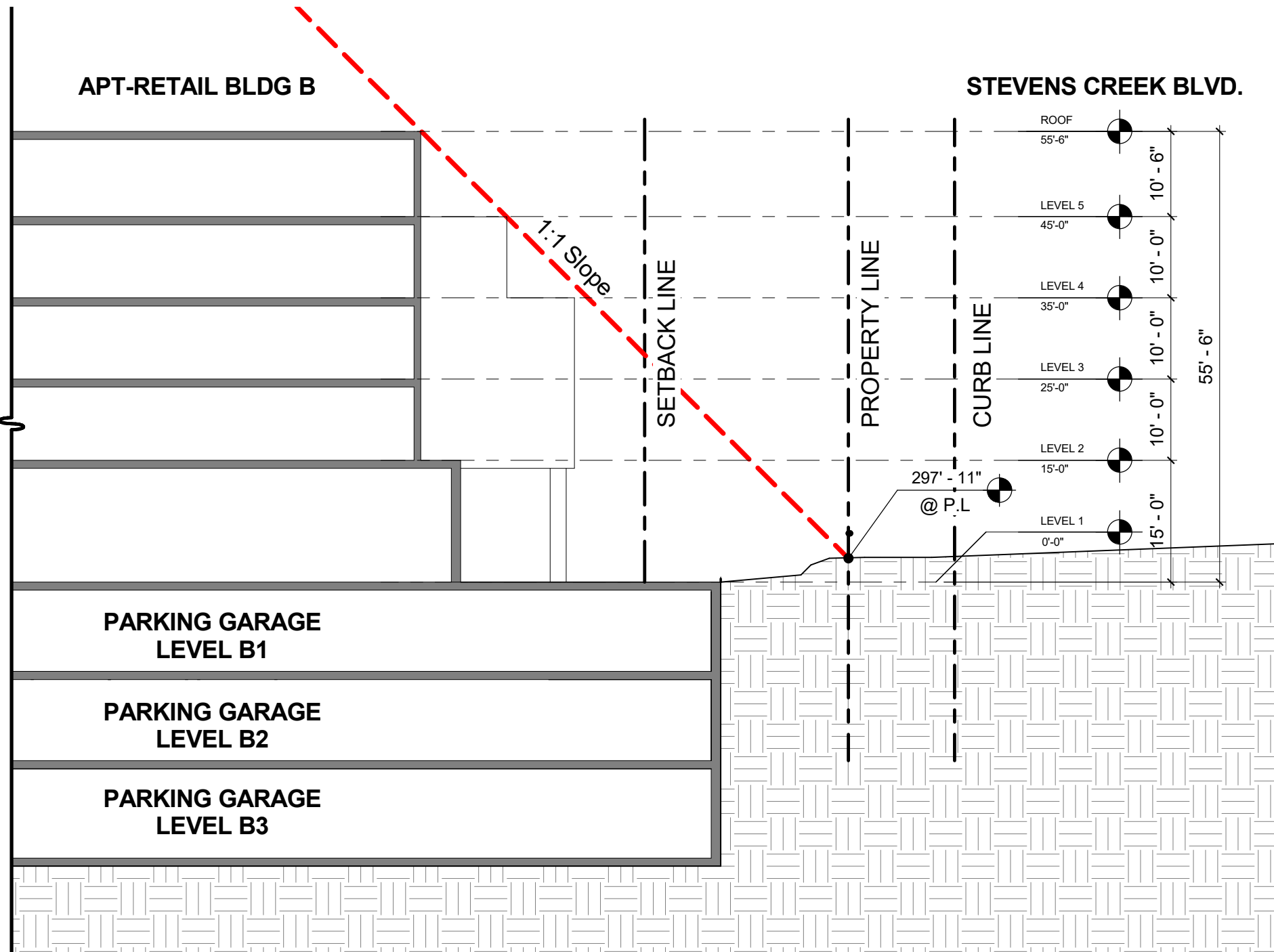
5/12/2017 2:39:51 PM



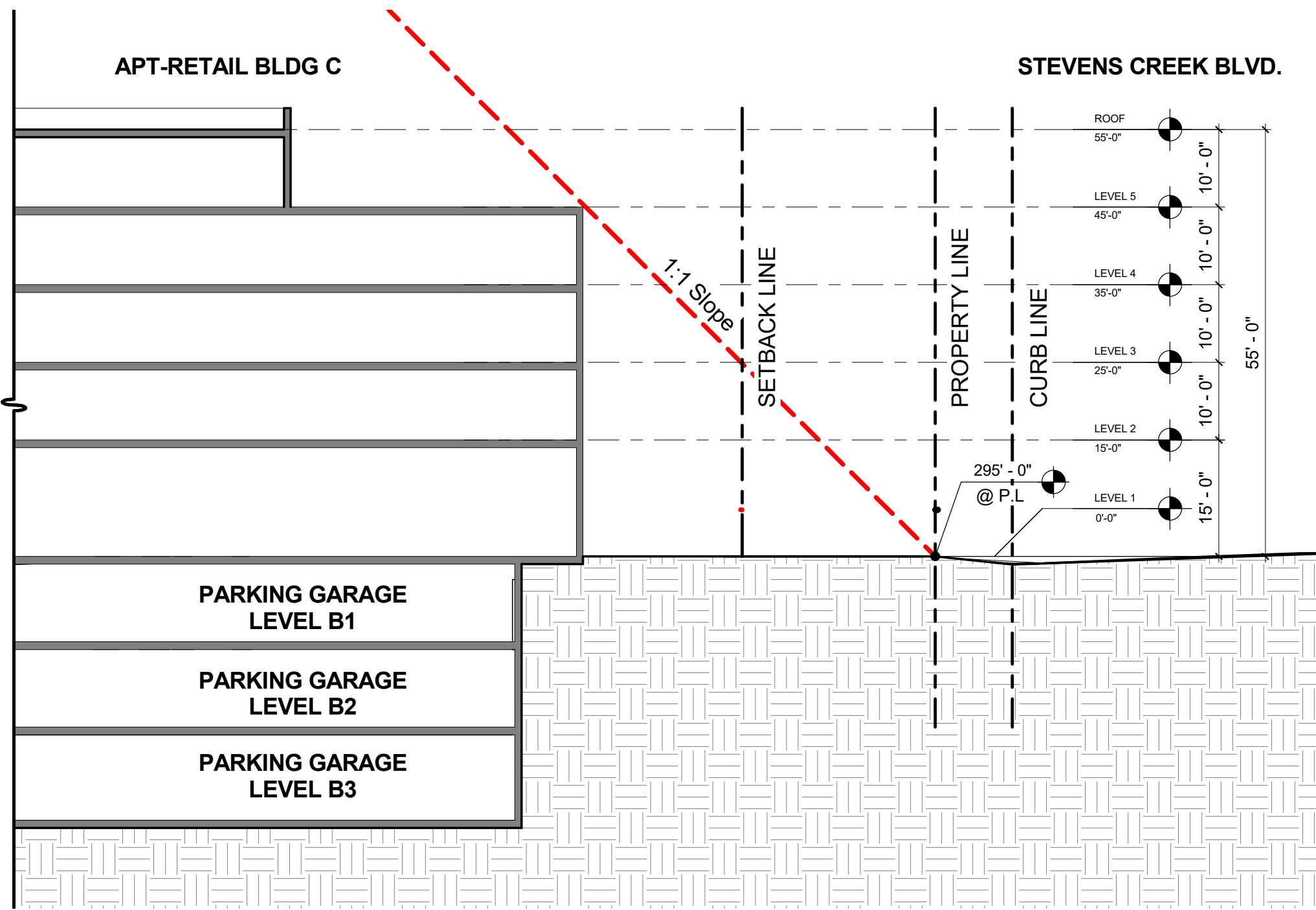
1 RES BLDG D - SLOPE SETBACK - ALTERNATIVE 1
G.104 1/16" = 1'-0"



2 RES-RETAIL BLDG E - SLOPE SETBACK - ALTERNATIVE 1
G.104 1/16" = 1'-0"



3 RES-RETAIL BLDG B - SLOPE SETBACK - ALTERNATIVE 1
G.104 1/16" = 1'-0"



4 RES-RETAIL BLDG C - SLOPE SETBACK - ALTERNATIVE 1
G.104 1/16" = 1'-0"



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NO PART OF THIS DRAWING OR ANY PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
1-1 SLOPE SETBACKS -
ALTERNATIVE 1

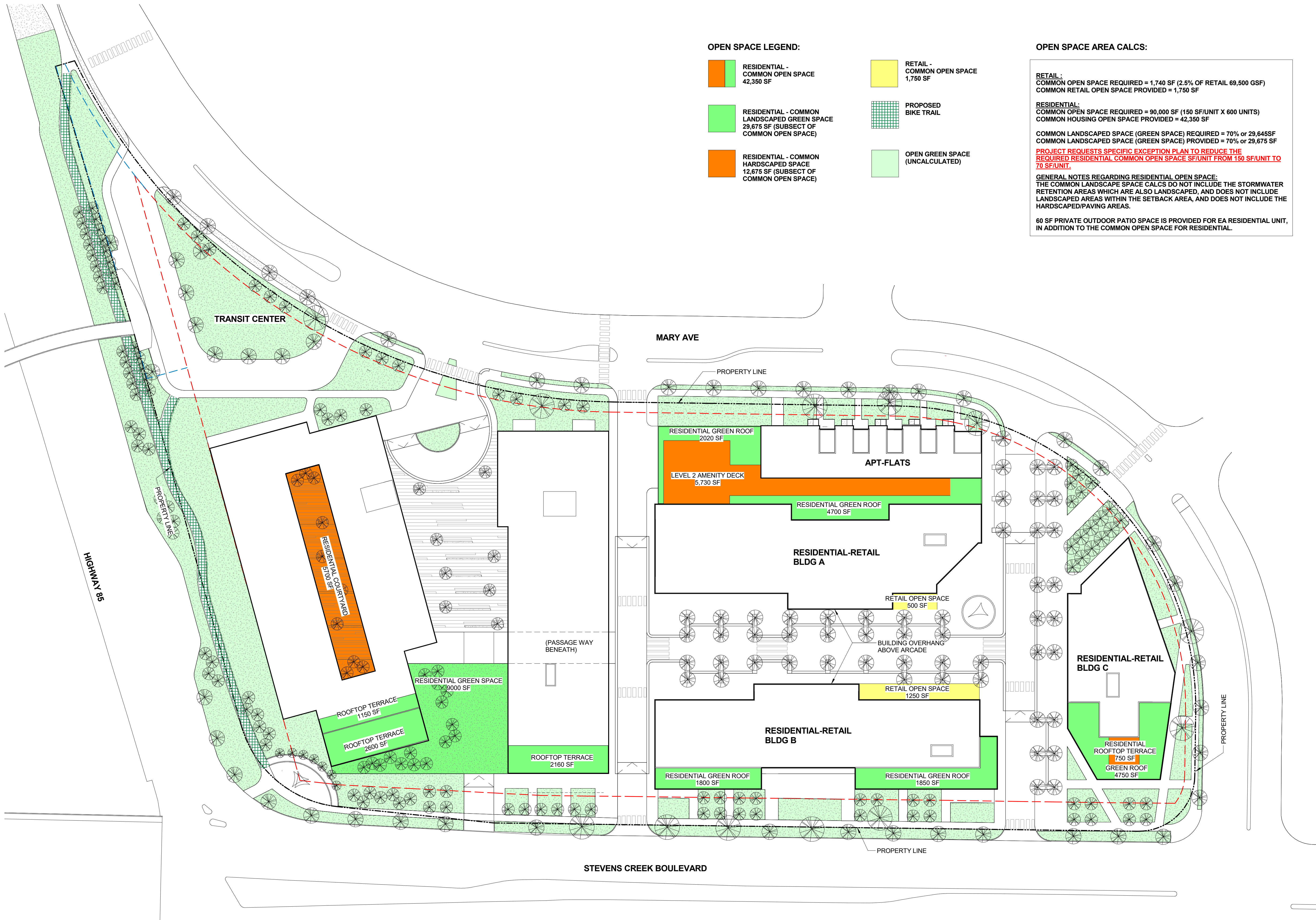
SHEET NO.:

G.104

5/12/2017 2:39:51 PM

C:\Users\elhan taing\Documents\14148_Caks-CENTRAL_ALT_1_Elhan taing.rvt

5/12/2017 2:40:01 PM



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

**PRELIMINARY,
NOT FOR
CONSTRUCTION**

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION THEREON. NO PART OF THIS DRAWING OR ANY PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
**OPEN SPACE CALCS -
ALTERNATIVE 1**

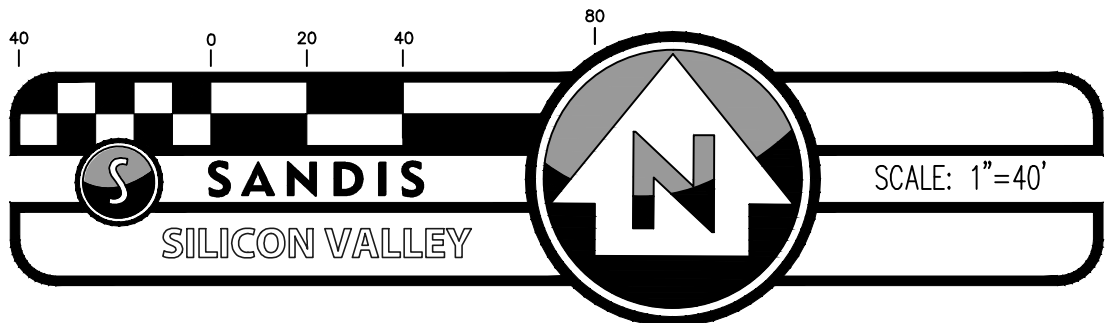
SHEET NO.:

G.105

5/12/2017 2:40:01 PM

1 OPEN SPACE CALCS - ALTERNATIVE 1
G.105 1" = 40'-0"





LEGEND

SD	STORM DRAIN LINE
SS	SANITARY SEWER LINE
COM	COMMUNICATION LINE
WTR	WATER SUPPLY LINE
JT	JOINT UTILITY TRENCH
E	ELECTRICAL LINE

SURVEY NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS FROM PRELIMINARY BOUNDARY AND TOPOGRAPHIC MAP BY CHARLES W. DAVIDSON CO. DATED 2-24-2015.
- UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM FIELD OBSERVATION AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.

UTILITY/POTHOLE NOTE

THE TYPES, LOCATIONS, SIZES AND /OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND FACILITIES AND UTILITIES BY POTHOLES PRIOR TO COMMENCING CONSTRUCTION.



CIVIL ENGINEERS
SURVEYORS
PLANNERS

1700 S. Winchester Blvd,
Suite 200, Campbell, CA 95008
P. 408.636.0900
F. 408.636.0999
www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY
SACRAMENTO EAST BAY/ SF

THE OAKS
CUPERTINO

KT URBAN

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 215085

DRAWN: NT

DATE: 16 NOVEMBER 2015
GENERAL PLAN AMENDMENT APP

REVISIONS

MARK: DATE: DESCRIPTION:

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C&K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED, AND NEITHER RECEIPT OR PROGRESS OF THESE CONCEPTS OR TRANSMISSIONS ANY RIGHT TO, OR LICENSE TO, USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON, NOR ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C&K ARCHITECTURE LLC.

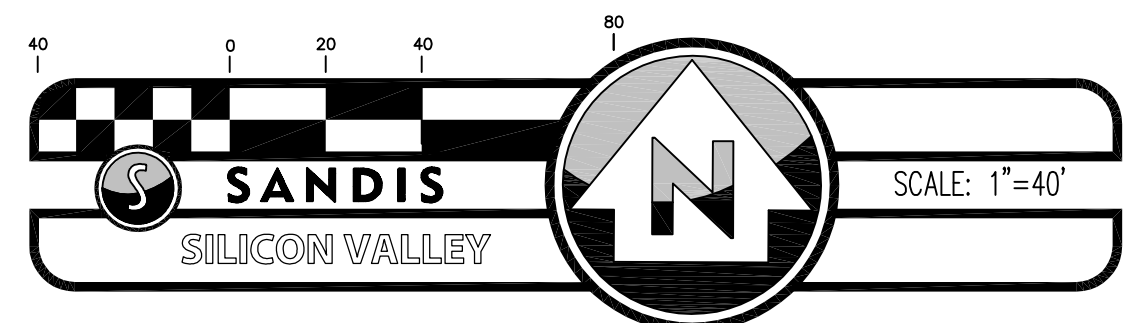
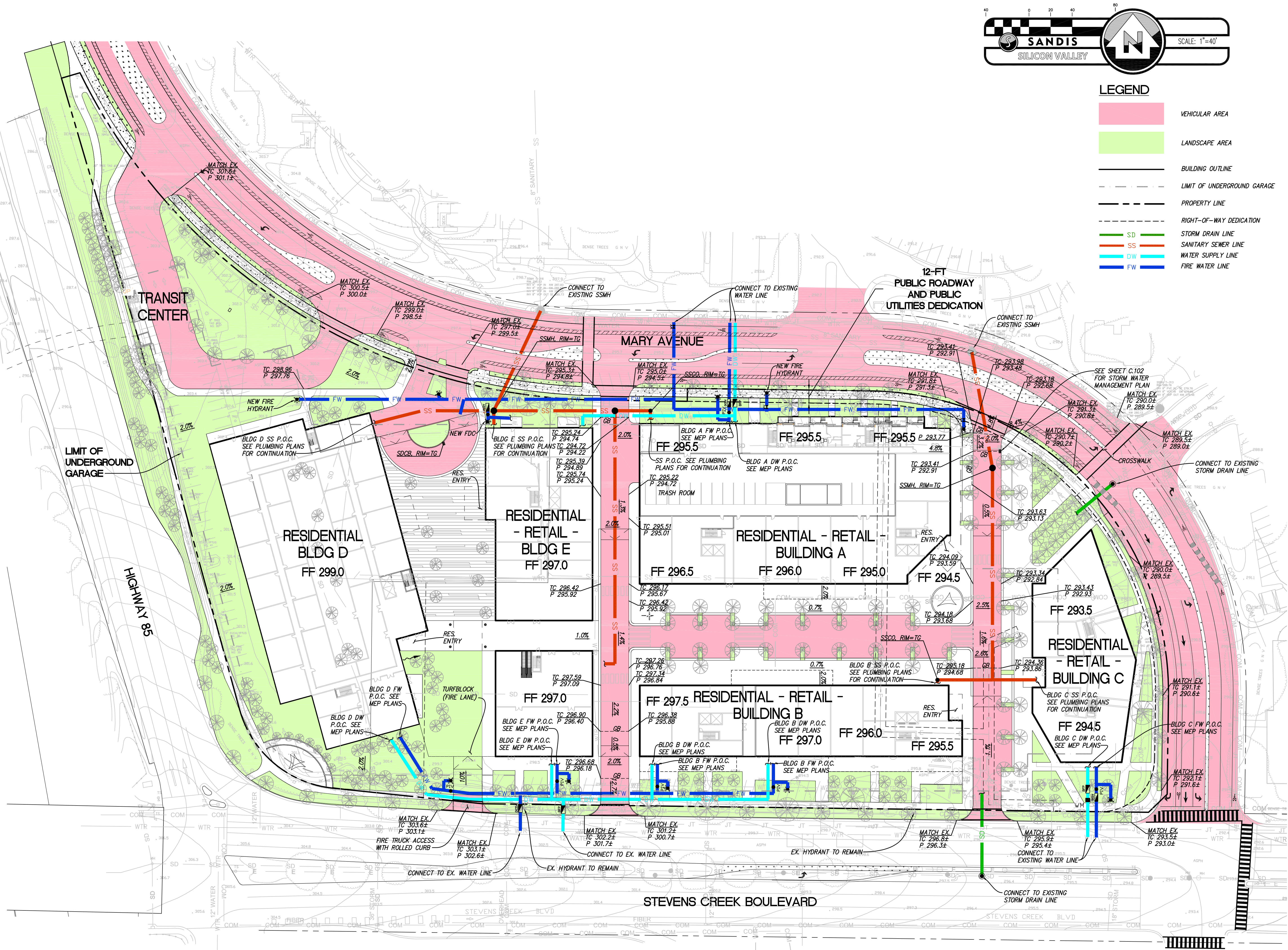
GENERAL PLAN AMENDMENT APP

SHEET TITLE:
TOPOGRAPHIC
SURVEY

SHEET NO.:

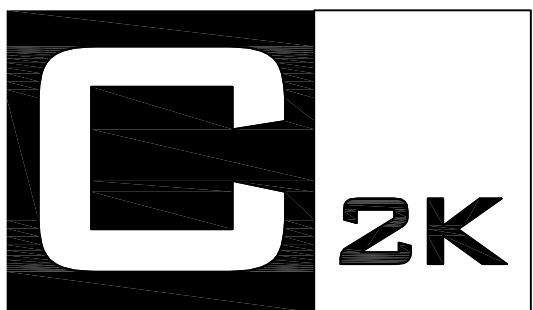
C.001

File: X:\P\215065\4) ENGINEERING\2) PLAN SETS\3) SHEET SET\ON SITE\C.101.dwg Date: May 12, 2017 - 1:57pm jfstau



LEGEND

	VEHICULAR AREA
	LANDSCAPE AREA
	BUILDING OUTLINE
	LIMIT OF UNDERGROUND GARAGE
	PROPERTY LINE
	RIGHT-OF-WAY DEDICATION
	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER SUPPLY LINE
	FIRE WATER LINE



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200



636 Ninth Street
Oakland, CA 94607
P: 510.873.8866
F: 510.873.8868
www.sandis.net

**SILICON VALLEY TRI-VALLEY
CENTRAL VALLEY EAST BAY/SF**

WESTPORT CUPERTINO

KT Urban

**21267 STEVENS CREEK
BLVD, CUPERTINO, CA**

PROJECT NO.: 14148
DRAWN: SHS
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

**PRELIMINARY,
NOT FOR
CONSTRUCTION**

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER THE C2K ARCHITECTURE INC. NOR ITS EMPLOYEES OR AGENTS SHALL BE RESPONSIBLE FOR ANY DAMAGE OR LOSS OF ANY KIND, INCLUDING BUT NOT LIMITED TO, THE LOSS OF PROFITS, REVENUE, OR ANY OTHER ECONOMIC LOSS, ARISING OUT OF THE USE OF THIS DRAWING OR ANY PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE INC.

SHEET TITLE:
**GRADING, DRAINAGE
AND UTILITY PLAN -
ALTERNATIVE 1**

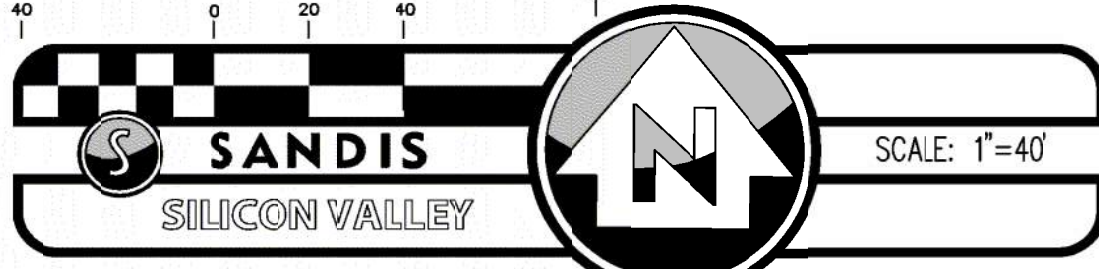
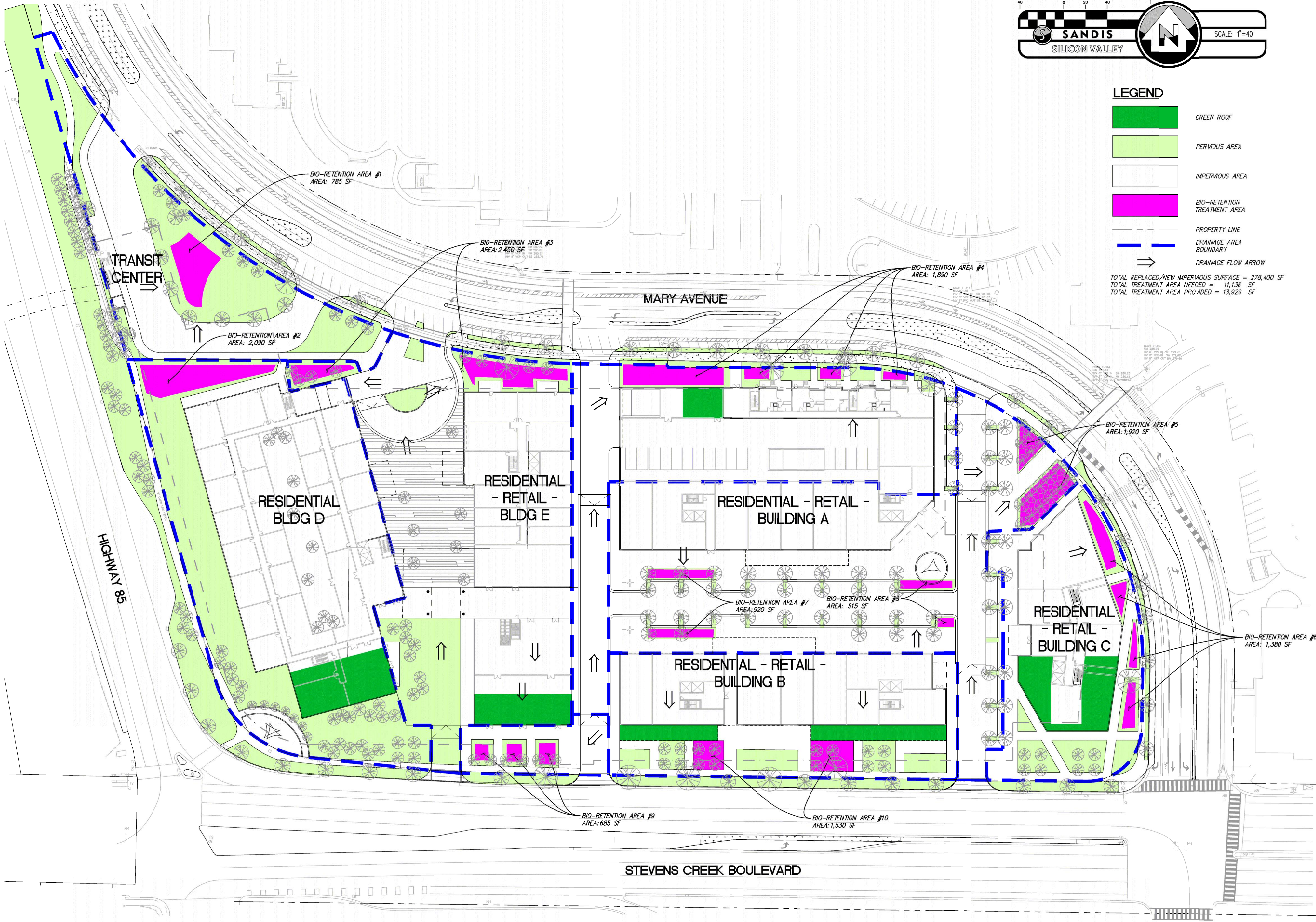
SHEET NO.:

C.101

5/3/2017 4:06:38 PM

GENERAL PLAN AMENDMENT APP

File: X:\P\215085\4\ ENGINEERING\2\ PLAN SETS\3\ SHEET SET\ON SITE\C.102.dwg Date: May 12, 2017 - 1:57pm jfstau



LEGEND

- GREEN ROOF
- PERVIOUS AREA
- IMPERVIOUS AREA
- BIO-RETENTION TREATMENT AREA
- PROPERTY LINE
- DRAINAGE AREA BOUNDARY
- DRAINAGE FLOW ARROW

TOTAL REPLACED/NEW IMPERVIOUS SURFACE = 278,400 SF
TOTAL TREATMENT AREA NEEDED = 11,136 SF
TOTAL TREATMENT AREA PROVIDED = 13,920 SF



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200



636 Ninth Street
Oakland, CA 94607
P: 510.873.8868
F: 510.873.8868
www.sandis.net

SILICON VALLEY TRI-VALLEY
CENTRAL VALLEY EAST BAY/SF

WESTPORT
CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14143
DRAWN: SHS
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN
PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NOT BE
REPRODUCED OR OTHERWISE USED FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF C2K
ARCHITECTURE INC. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF C2K
ARCHITECTURE INC. IS EXPRESSLY FORBIDDEN.

SHEET TITLE:
STORMWATER
MANAGEMENT PLAN -
ALTERNATE 1

SHEET NO.:

C.102

5/3/2017 4:06:38 PM



KEY

- Landscape Zones
 - Asphalt Pavement
 - Scored Concrete Pavement
 - Concrete Unit Pavers
 - Concrete Sidewalk Pavement
- Landscape area: 69,362 Sq Ft
- Hardscape area: 135,336 Sq Ft
- X
 Existing Trees (21)
 - Proposed Trees (295)



ARCHITECTURE INC
 1645 NW HOYT ST
 PORTLAND OREGON 97209
 503 444 2200

PLACE

735 NW 18TH AVE
 PORTLAND, OR 97209
 (503) 334 2080

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
 DRAWN: CSM / MCS
 DATE: 15 MAY 2017
 GENERAL PLAN AMENDMENT APP

REVISIONS
 MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

PRELIMINARY, NOT FOR CONSTRUCTION

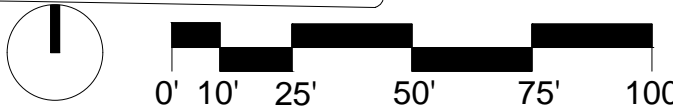
REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED, AND NEITHER RECEIPT OR POSSESSION THEREOF CONVEYS OR TRANSFERS ANY RIGHT TO, OR LICENSE TO, USE THE SUBJECT MATTER OF THE DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON, NOR ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

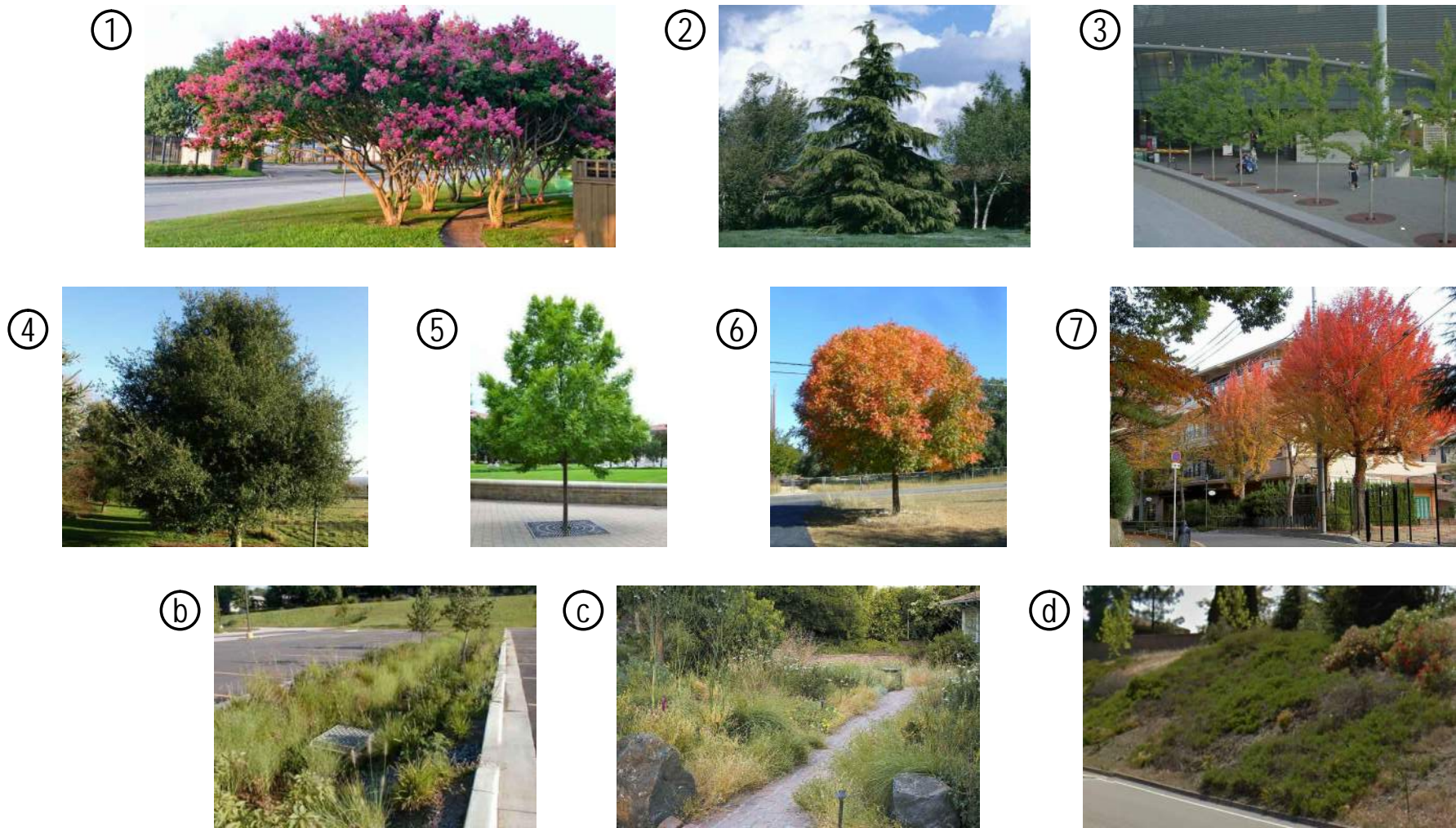
SHEET TITLE:
**LANDSCAPE PLAN
 ALTERNATIVE 1**

SHEET NO.:

L.101

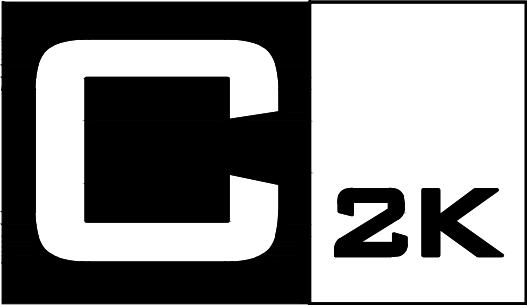
1 LANDSCAPE PLAN - ALTERNATIVE 1
 L.101 1" = 40'-0"





TREES			
KEY	COMMON NAME	BOTANICAL NAME	LOCATION
1	Tuskegee Crape Myrtle	Lagerstroemia x fauriei 'Tuskegee'	NE entry plaza
2	Deodar Cedar	Cedrus deodara	SW project identity node
3	Autumn Gold Ginkgo	Ginkgo biloba 'Autumn Gold'	NE entry plaza
4	Coast Live Oak	Quercus agrifolia	N-S of Resid. Bldg. D
5	Bosque Chinese Elm	Ulmus parvifolia 'Bosque'	Street trees on retail blvd.
6	Chinese Pistache	Pistacia chinensis	Perimeter street trees
7	Trident Maple	Acer buergerianum	West boundary
	Existing Trees	Various (as noted on plan)	Plaza between Resid. Bldgs. D & E
			Transit Center street trees
			North & South perimeters
			Transit Center
			Resid. Bldgs. D & E drop off
			Resid. Bldg. D courtyard
			Perimeter trees

SHRUBS AND GROUNDCOVERS			
KEY	COMMON NAME	BOTANICAL NAME	LOCATION
a	LAWN (TURF BLOCK AT FIRE LANES)		Center island on south retail edge
b	STORMWATER PLANTINGS		5 fire lane betw. Resid. Bldgs. D & E
c	NATIVE/ORNAMENTAL GRASSES		Perimeter zones
d	MIXED NATIVE GROUND COVERS		See Civil plans for specific locations
			Perimeter plantings understory
			Sidewalk parkway strips
			West boundary



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

PLACE

735 NW 18TH AVE
PORTLAND, OR 97209
(503) 334 2080

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: CSM / MCS
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN
PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED, AND NEITHER
NEITHER C2K ARCHITECTURE INC. NOR ITS ARCHITECTS OR ENGINEERS, SHALL BE RESPONSIBLE FOR ANY
REPRODUCTION OF THIS DRAWING OR ANY PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K
ARCHITECTURE INC.

SHEET TITLE:
LANDSCAPE
PRELIMINARY PLANTING PLAN
ALTERNATIVE 1

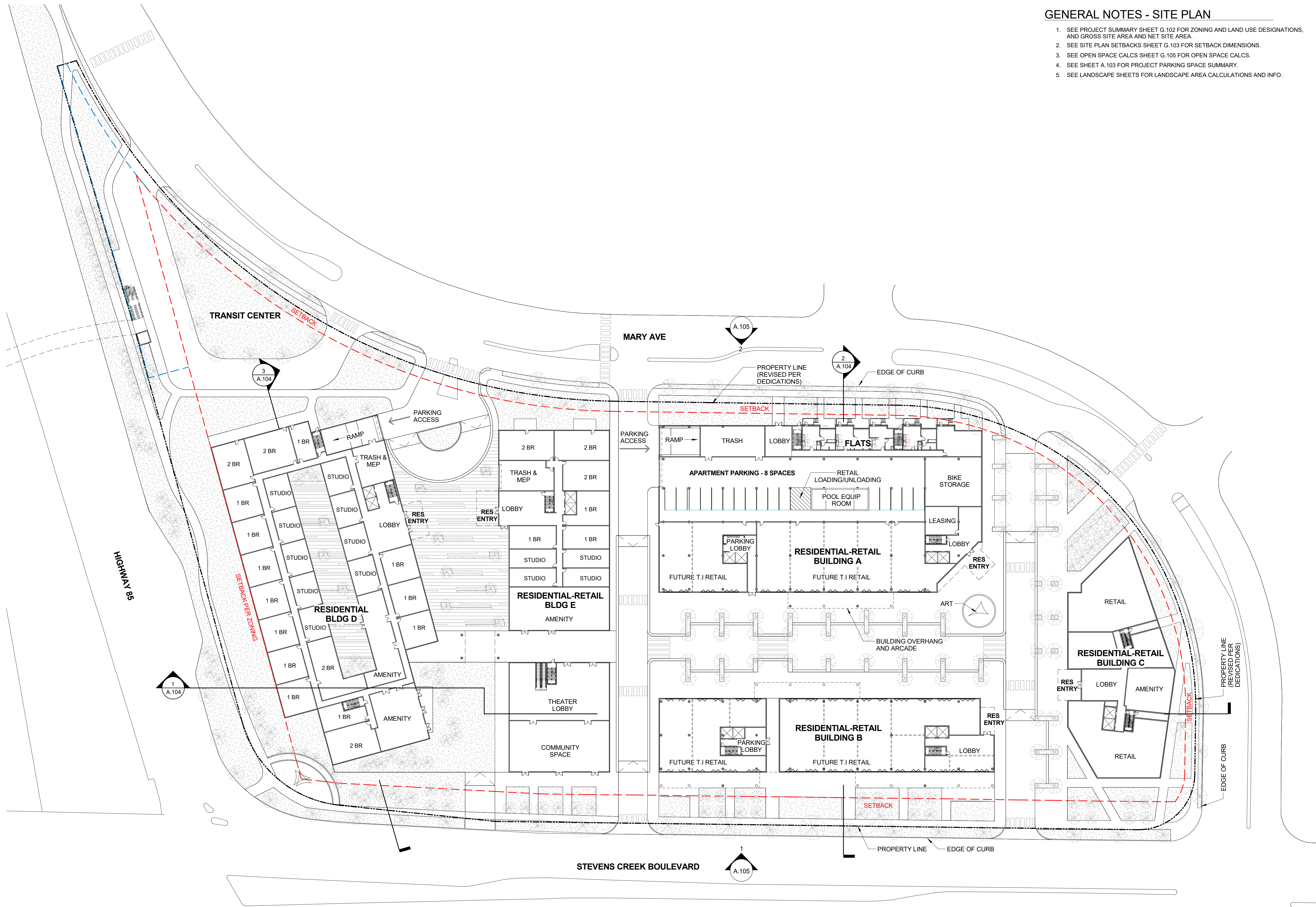
SHEET NO.:

L.102

1 PRELIMINARY PLANTING PLAN - ALTERNATIVE 1
L.102 1" = 40'-0"

C:\Users\elhan taing\Documents\14148_Caks-CENTRAL_ALT_1_Elhan taing.rvt

5/12/2017 2:37:21 PM



GENERAL NOTES - SITE PLAN

1. SEE PROJECT SUMMARY SHEET G.102 FOR ZONING AND LAND USE DESIGNATIONS, AND GROSS SITE AREA AND NET SITE AREA.
2. SEE SITE PLAN SETBACKS SHEET G.103 FOR SETBACK DIMENSIONS.
3. SEE OPEN SPACE CALCS SHEET G.105 FOR OPEN SPACE CALCS.
4. SEE SHEET A.103 FOR PROJECT PARKING SPACE SUMMARY.
5. SEE LANDSCAPE SHEETS FOR LANDSCAPE AREA CALCULATIONS AND INFO.



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT
CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: SHS
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION THEREON. NO PART OF THIS DRAWING OR ANY PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
LEVEL 1 BUILDING PLANS -
ALTERNATIVE 1

SHEET NO.:

A.101

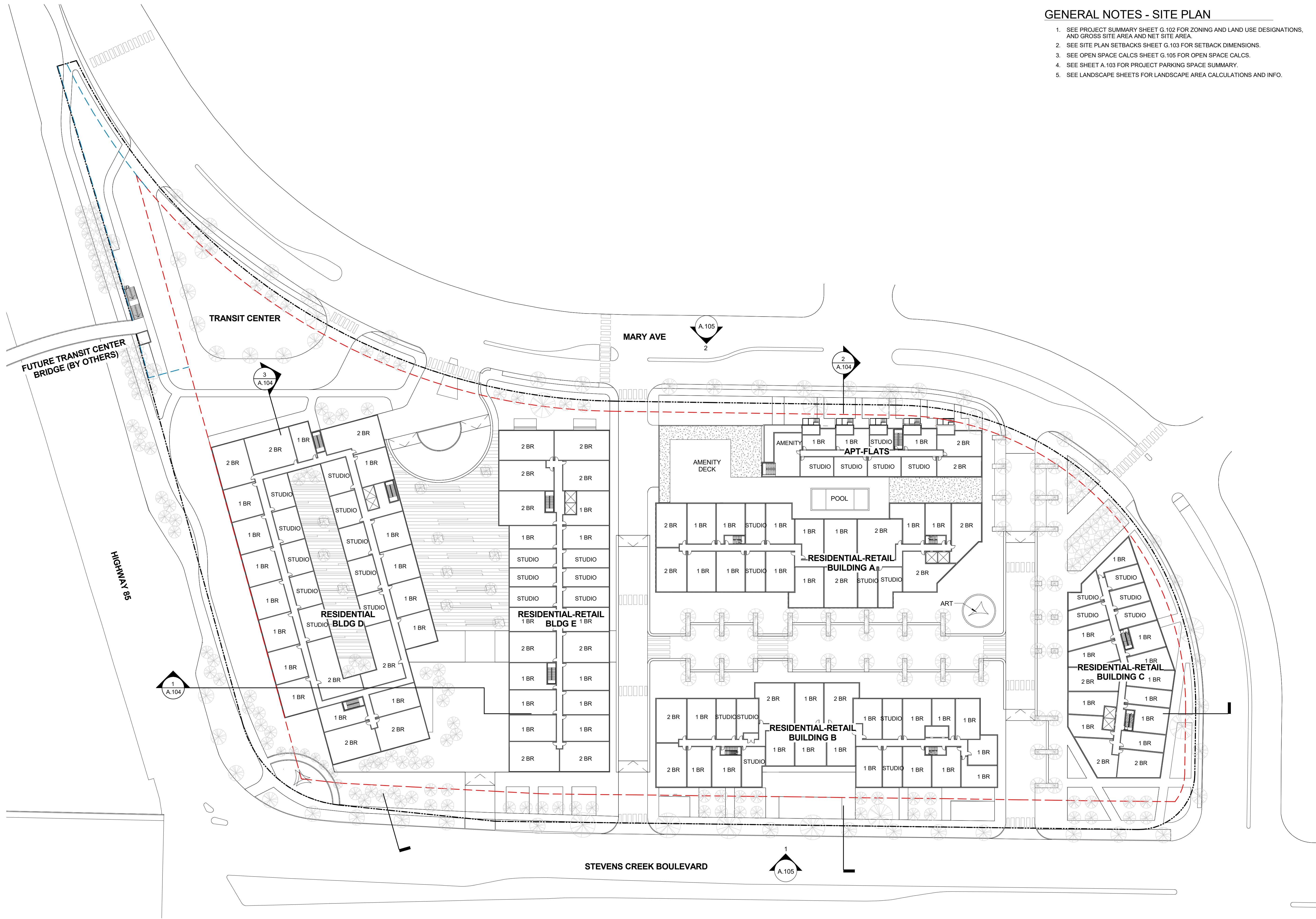
5/12/2017 2:37:21 PM

1 LEVEL 1 BUILDING PLANS - ALTERNATIVE 1
A.101 1" = 40'-0"



C:\Users\elhan taing\OneDrive\Documents\14148_Cake-CENTRAL_ALT_1_Elhan taing.rvt

5/12/2017 2:37:28 PM



GENERAL NOTES - SITE PLAN

1. SEE PROJECT SUMMARY SHEET G.102 FOR ZONING AND LAND USE DESIGNATIONS, AND GROSS SITE AREA AND NET SITE AREA.
2. SEE SITE PLAN SETBACKS SHEET G.103 FOR SETBACK DIMENSIONS.
3. SEE OPEN SPACE CALCS SHEET G.105 FOR OPEN SPACE CALCS.
4. SEE SHEET A.103 FOR PROJECT PARKING SPACE SUMMARY.
5. SEE LANDSCAPE SHEETS FOR LANDSCAPE AREA CALCULATIONS AND INFO.



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

**21267 STEVENS CREEK
BLVD, CUPERTINO, CA**

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

**PRELIMINARY,
NOT FOR
CONSTRUCTION**

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NO ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
**UPPER LEVEL BUILDING PLANS
(TYP. PLAN) - ALTERNATIVE 1**

SHEET NO.:

A.102

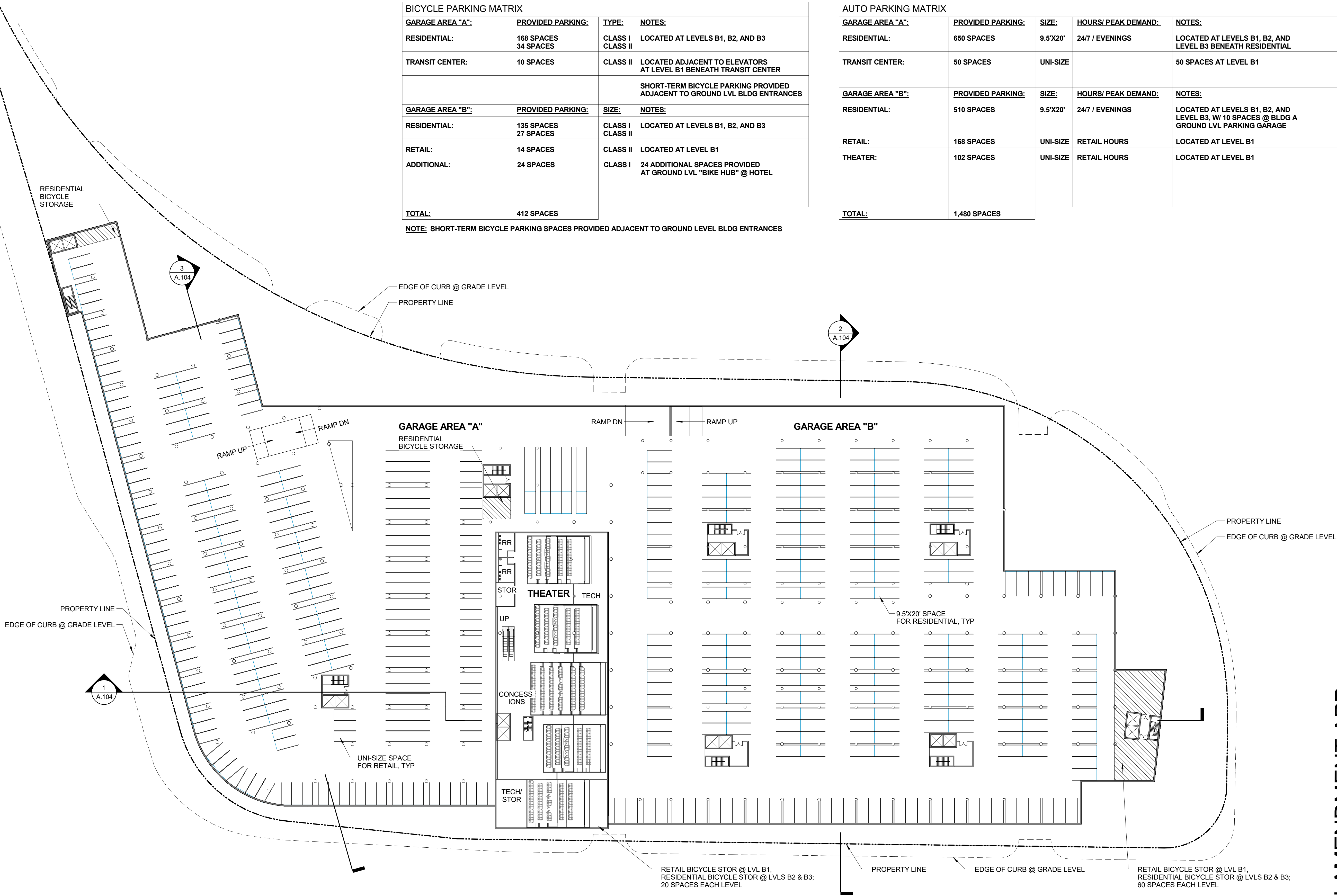
5/12/2017 2:37:28 PM

1 UPPER LEVEL BUILDING PLANS - ALTERNATIVE 1
A.102 1" = 40'-0"



C:\Users\elhan\taing\C2KARCH\Documents\14148_Oaks-CENTRAL_ALT 1_Elhan\taing.rvt

5/12/2017 3:23:04 PM



BICYCLE PARKING MATRIX			
GARAGE AREA "A":	PROVIDED PARKING:	TYPE:	NOTES:
RESIDENTIAL:	168 SPACES 34 SPACES	CLASS I CLASS II	LOCATED AT LEVELS B1, B2, AND B3
TRANSIT CENTER:	10 SPACES	CLASS II	LOCATED ADJACENT TO ELEVATORS AT LEVEL B1 BENEATH TRANSIT CENTER
			SHORT-TERM BICYCLE PARKING PROVIDED ADJACENT TO GROUND LVL BLDG ENTRANCES
GARAGE AREA "B":	PROVIDED PARKING:	SIZE:	NOTES:
RESIDENTIAL:	135 SPACES 27 SPACES	CLASS I CLASS II	LOCATED AT LEVELS B1, B2, AND B3
RETAIL:	14 SPACES	CLASS II	LOCATED AT LEVEL B1
ADDITIONAL:	24 SPACES	CLASS I	24 ADDITIONAL SPACES PROVIDED AT GROUND LVL "BIKE HUB" @ HOTEL
TOTAL:	412 SPACES		

NOTE: SHORT-TERM BICYCLE PARKING SPACES PROVIDED ADJACENT TO GROUND LEVEL BLDG ENTRANCES

AUTO PARKING MATRIX				
GARAGE AREA "A":	PROVIDED PARKING:	SIZE:	HOURS/ PEAK DEMAND:	NOTES:
RESIDENTIAL:	650 SPACES	9.5'X20'	24/7 / EVENINGS	LOCATED AT LEVELS B1, B2, AND LEVEL B3 BENEATH RESIDENTIAL
TRANSIT CENTER:	50 SPACES	UNI-SIZE		50 SPACES AT LEVEL B1
GARAGE AREA "B":	PROVIDED PARKING:	SIZE:	HOURS/ PEAK DEMAND:	NOTES:
RESIDENTIAL:	510 SPACES	9.5'X20'	24/7 / EVENINGS	LOCATED AT LEVELS B1, B2, AND LEVEL B3, W/ 10 SPACES @ BLDG A GROUND LVL PARKING GARAGE
RETAIL:	168 SPACES	UNI-SIZE	RETAIL HOURS	LOCATED AT LEVEL B1
THEATER:	102 SPACES	UNI-SIZE	RETAIL HOURS	LOCATED AT LEVEL B1
TOTAL:	1,480 SPACES			



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED, AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NO ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

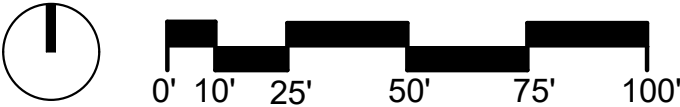
SHEET TITLE:
PARKING GARAGE BUILDING PLANS (TYP. PLAN) - ALTERNATIVE 1

SHEET NO.:

A.103

5/12/2017 3:23:04 PM

1 A.103 PARKING GARAGE BUILDING PLANS - ALTERNATIVE 1
1" = 40'-0"





1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

PRELIMINARY,
NOT FOR
CONSTRUCTION

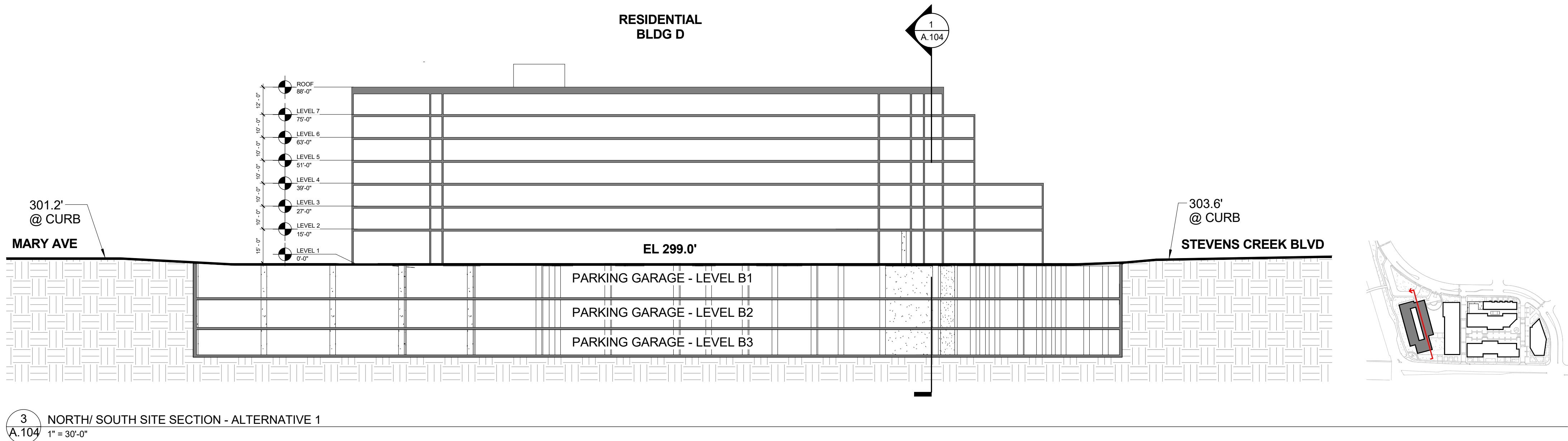
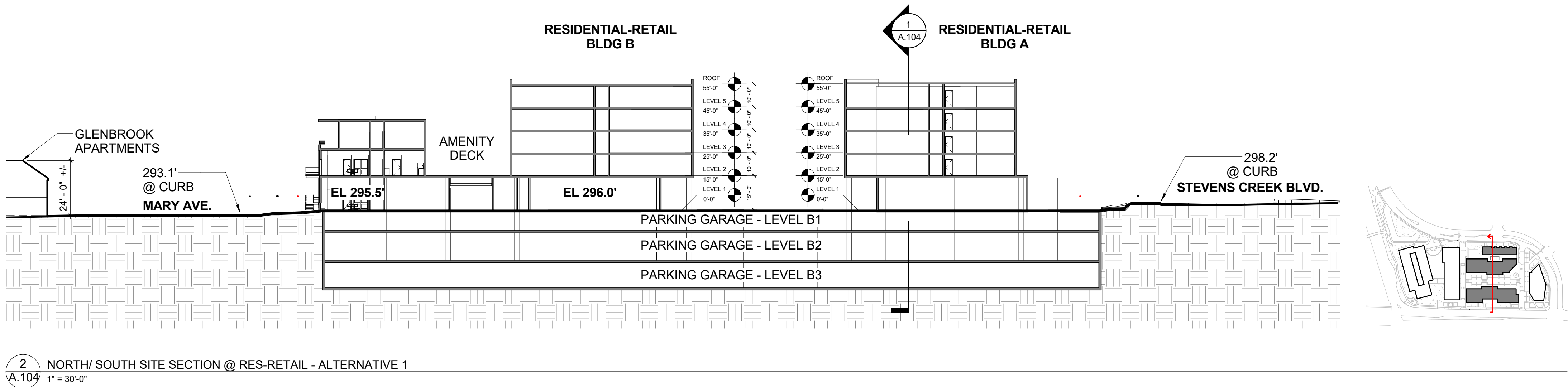
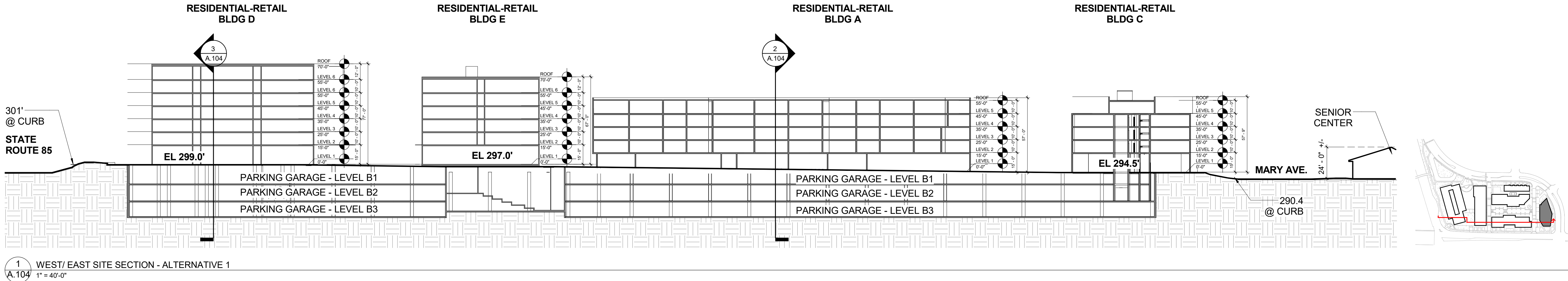
REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NOB ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
SITE SECTIONS - ALTERNATIVE
1

SHEET NO.:

A.104

5/12/2017 3:23:19 PM



C:\Users\elhan\taing\2KARCH\Documents\14148_Oaks-CENTRAL_ALT_1_Elhan\taing.rvt

5/12/2017 2:37:37 PM



1

A.105

STEVENS CREEK BLVD. STREET ELEVATION - ALTERNATIVE 1

1" = 40'-0"



2

A.105

MARY AVE. STREET ELEVATION - ALTERNATIVE 1

1" = 40'-0"



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148		
DRAWN:	Author	
DATE:	15 MAY 2017	
GENERAL PLAN AMENDMENT APP		
REVISIONS		
MARK:	DATE:	DESCRIPTION:

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF 2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NOB ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF 2K ARCHITECTURE LLC.

SHEET TITLE:
STREET ELEVATIONS -
ALTERNATIVE 1

SHEET NO.:

A.105

5/12/2017 2:37:37 PM

GENERAL PLAN AMENDMENT APP



HOUSING PRECEDENTS



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200



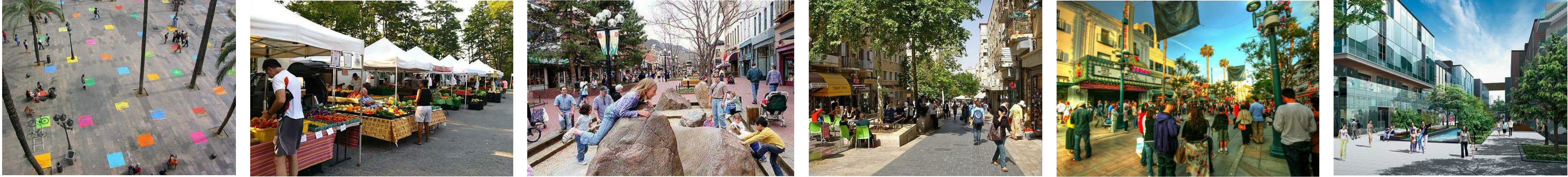
WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK BLVD, CUPERTINO, CA



PEDESTRIAN PLAZA PRECEDENTS



PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:



PUBLIC ART PRECEDENTS

**PRELIMINARY,
NOT FOR
CONSTRUCTION**

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER THE PROJECT NOR THE DESIGN IS GUARANTEED. NO PART OF THIS DRAWING IS TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.



TRANSIT CENTER PRECEDENTS

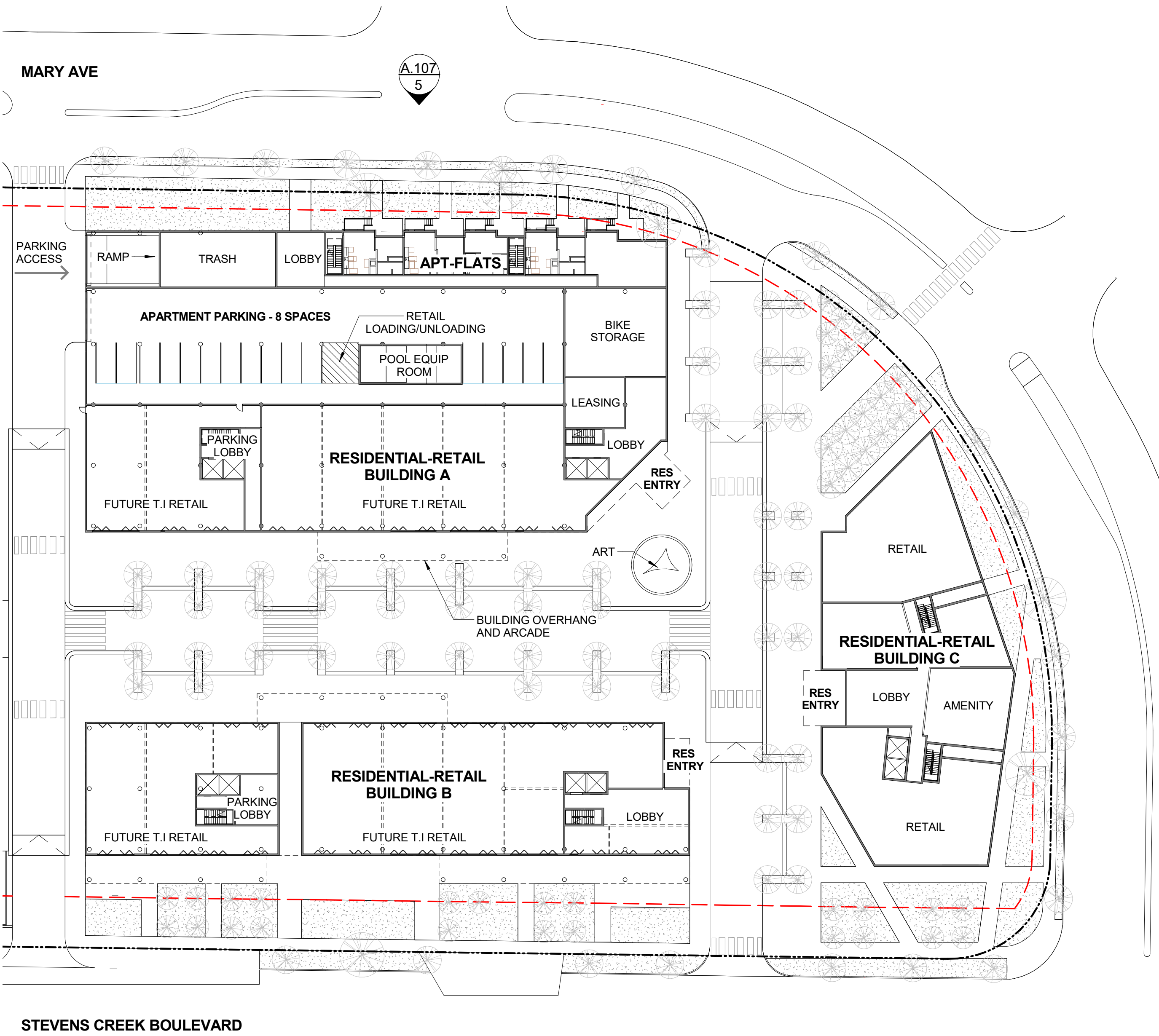
SHEET TITLE:
**TYPOLOGICAL PRECEDENTS -
ALTERNATIVE 1**

SHEET NO.:
A.106

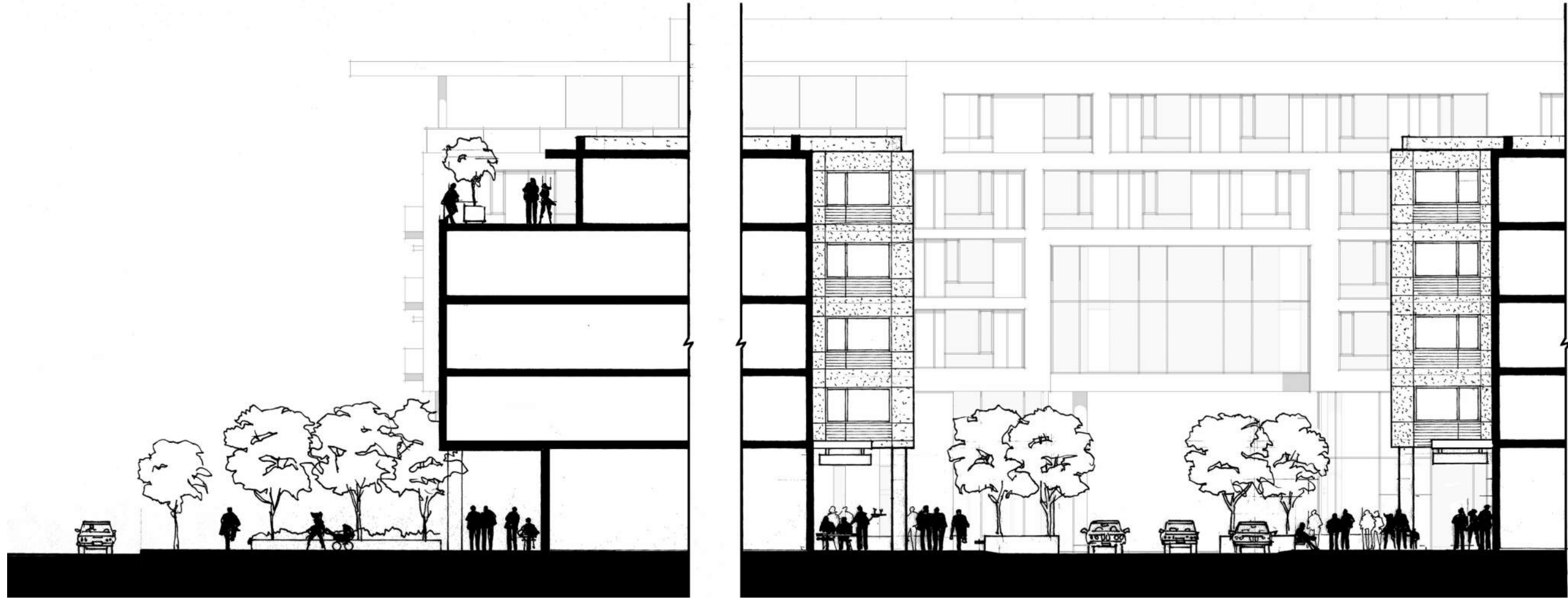
5/12/2017 2:37:54 PM

GENERAL PLAN AMENDMENT APP

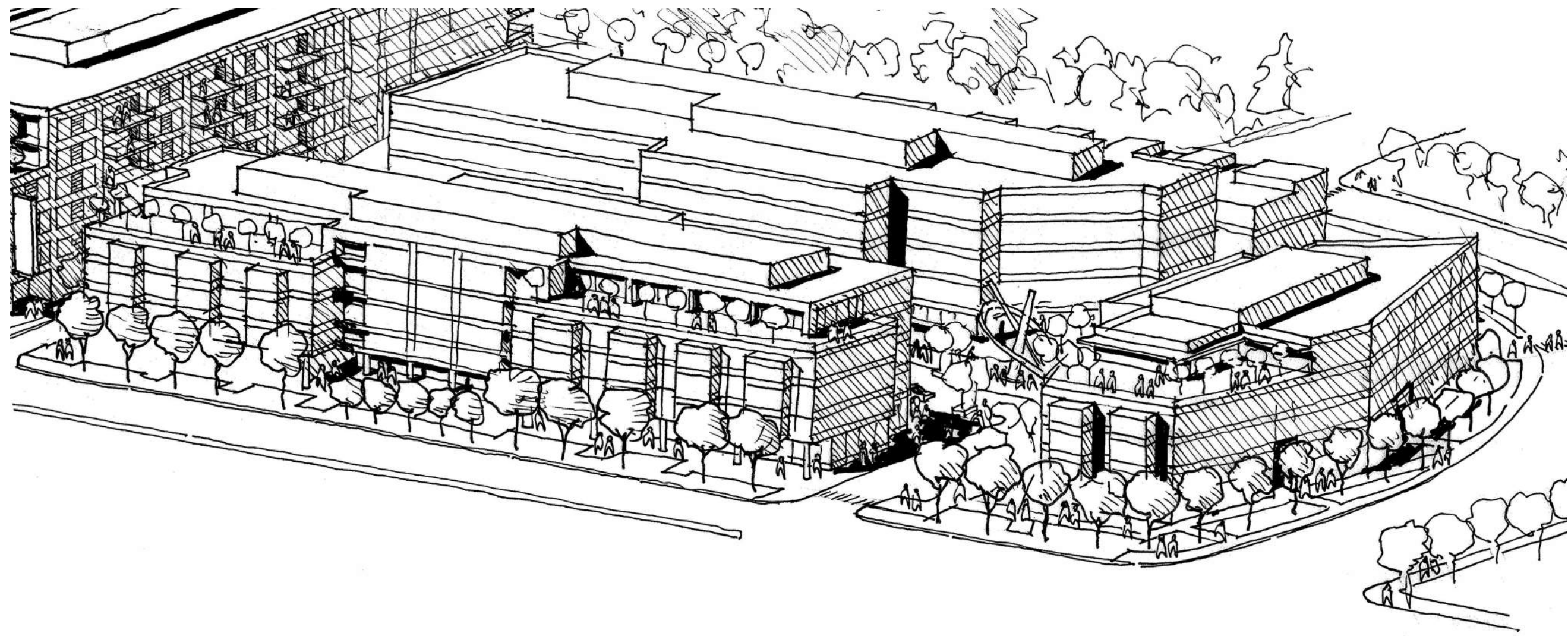
RETAIL BLVD. PRECEDENTS



1 RESIDENTIAL-RETAIL ENLARGED PLAN - ALTERNATIVE 1
A.107 1" = 40'-0"



2 RESIDENTIAL-RETAIL SITE SECTION - ALTERNATIVE 1
A.107 NO SCALE



3 RESIDENTIAL-RETAIL-STEVEN'S CREEK BLVD. - ALTERNATIVE 1
A.107 NO SCALE



4 RESIDENTIAL-RETAIL ELEVATION-STEVEN'S CREEK BLVD. - ALTERNATIVE 1
A.107 NO SCALE



5 RESIDENTIAL-RETAIL ELEVATION-MARY AVE. - ALTERNATIVE 1
A.107 NO SCALE



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVEN'S CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NO PART OF THIS DRAWING OR ANY PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE INC.

SHEET TITLE:
RESIDENTIAL / RETAIL A, B & C
- ALTERNATIVE 1

SHEET NO.:

A.107

5/12/2017 2:38:07 PM

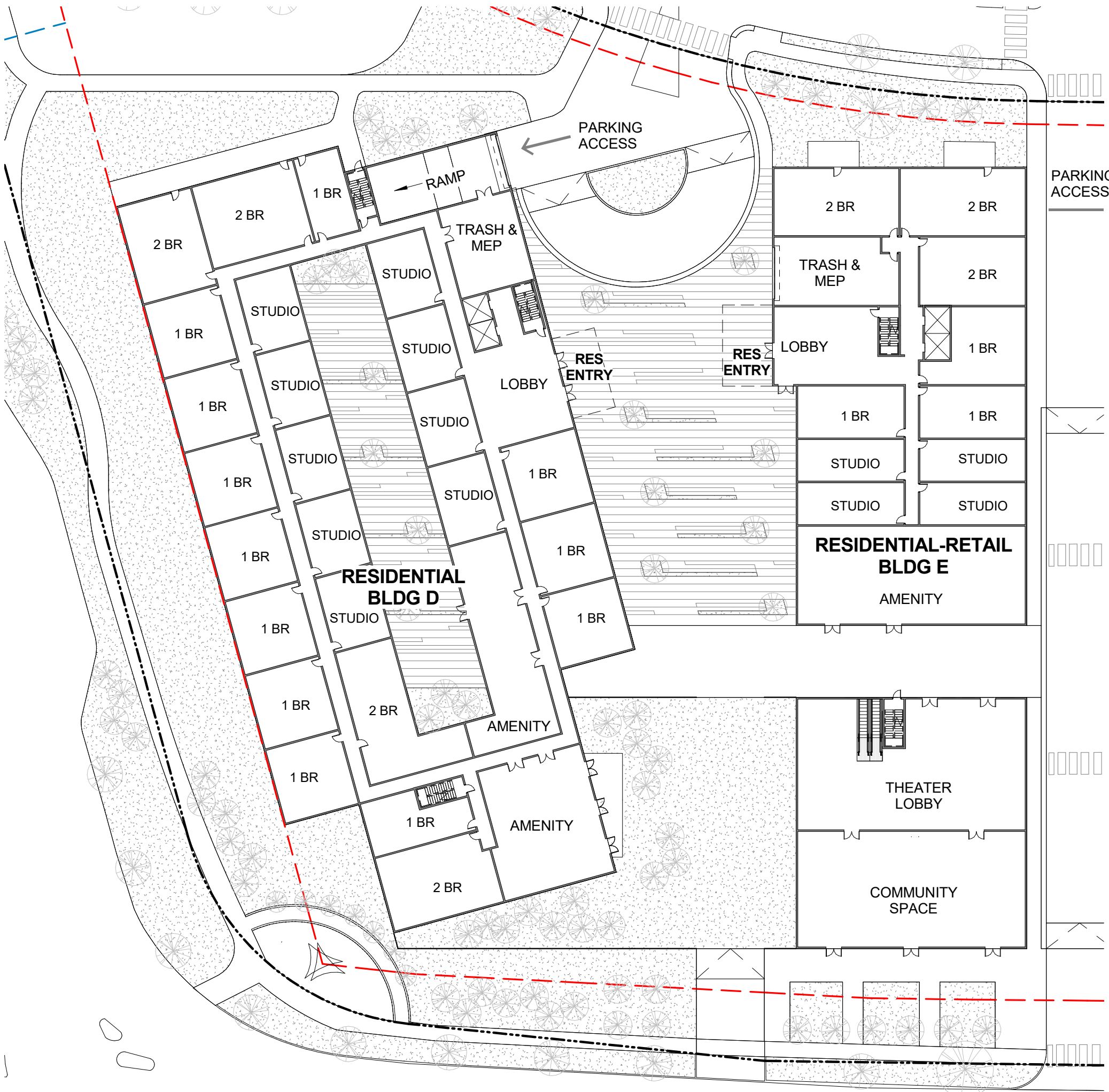
RESIDENTIAL PRECEDENTS



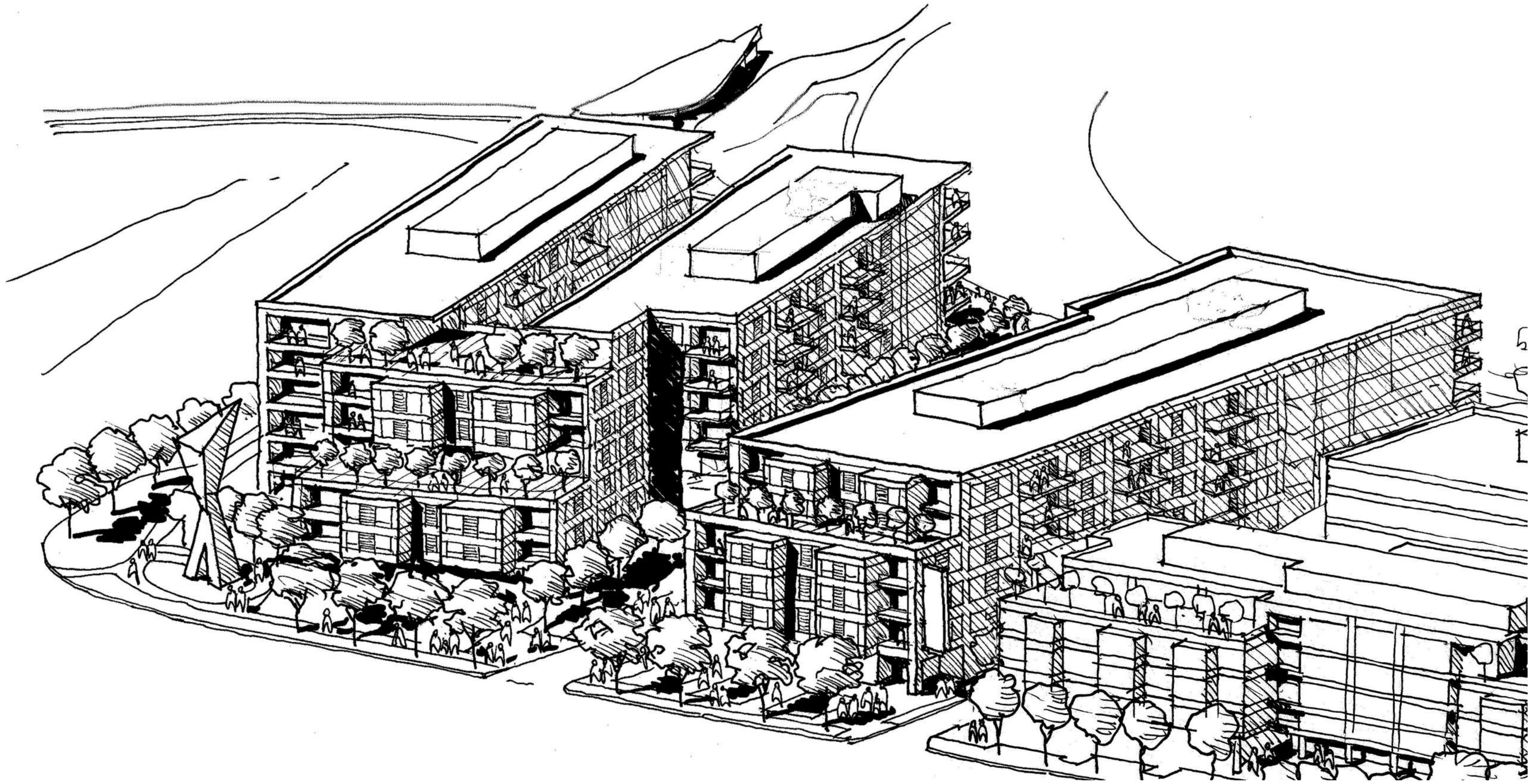
2 RESIDENTIAL-RETAIL D-E STEVENS CREEK BLVD. - ALTERNATIVE 1
A.108 NO SCALE



3 RESIDENTIAL-RETAIL D-E - MARY AVE. - ALTERNATIVE 1
A.108 NO SCALE



1 RESIDENTIAL-RETAIL LEVEL 1 PLAN D-E - ALTERNATIVE 1
A.108 1" = 40'-0"



4 RESIDENTIAL-RETAIL D-E STEVENS CREEK BLVD. - ALTERNATIVE 1
A.108 NO SCALE



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT
CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NO IN ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

SHEET TITLE:
RESIDENTIAL BUILDING D -
ALTERNATIVE 1

SHEET NO.:

A.108

5/12/2017 2:38:20 PM

GENERAL PLAN AMENDMENT APP

PRELIMINARY,
NOT FOR
CONSTRUCTION



1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED, AND NEITHER RECEIPT OR POSSESSION THEREOF CONSTITUTES OR TRANSFERS ANY RIGHT TO, OR LICENSE TO USE THE SUBJECT MATTER OF THIS DRAWING OR ANY TECHNICAL INFORMATION SHOWN THEREON. NO ANY RIGHT TO REPRODUCE THIS DRAWING OR PART THEREOF, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE LLC.

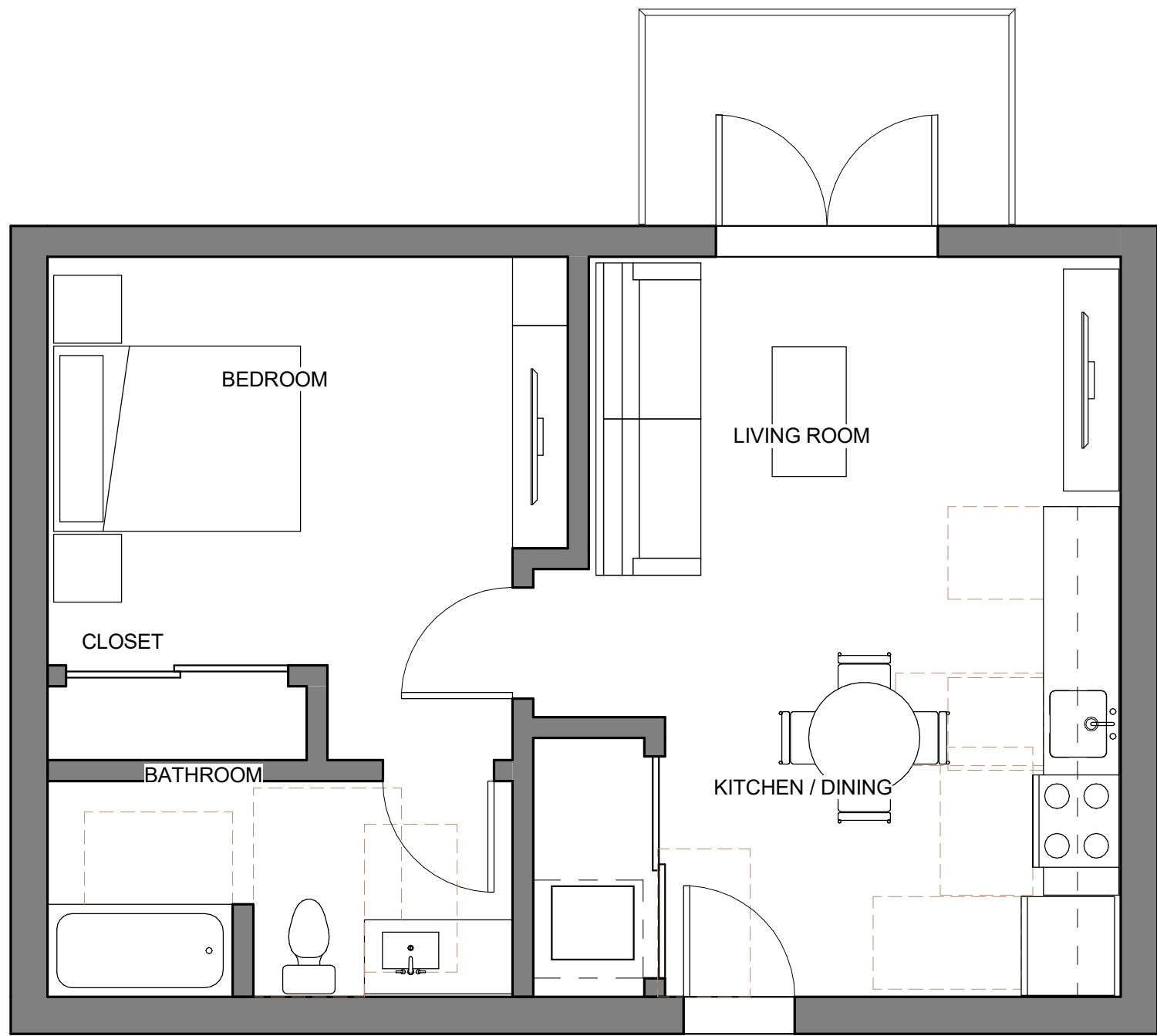
SHEET TITLE:
ENLARGED UNIT PLANS -
ALTERNATIVE 1

SHEET NO.:

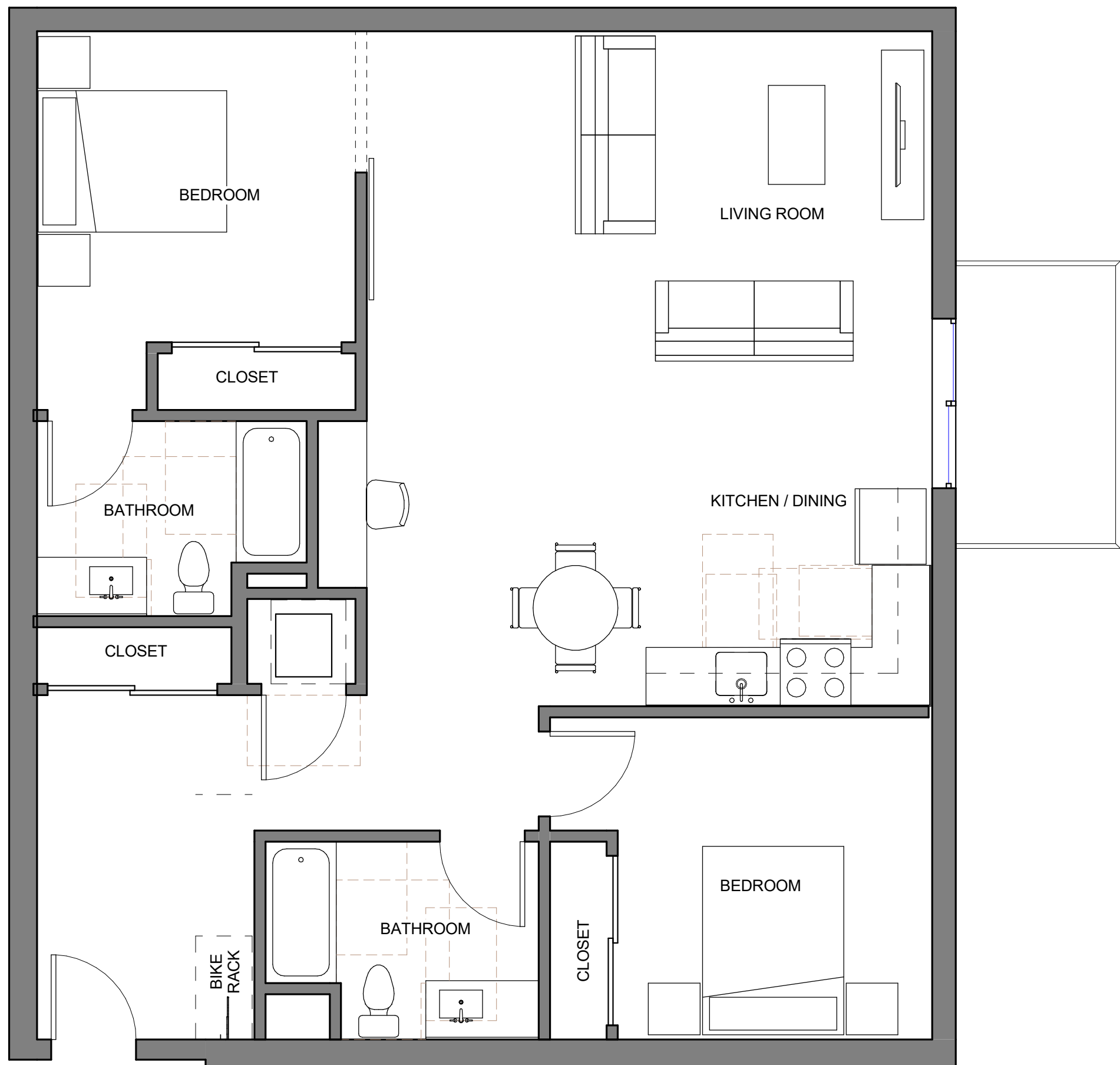
A.109

5/12/2017 2:38:30 PM

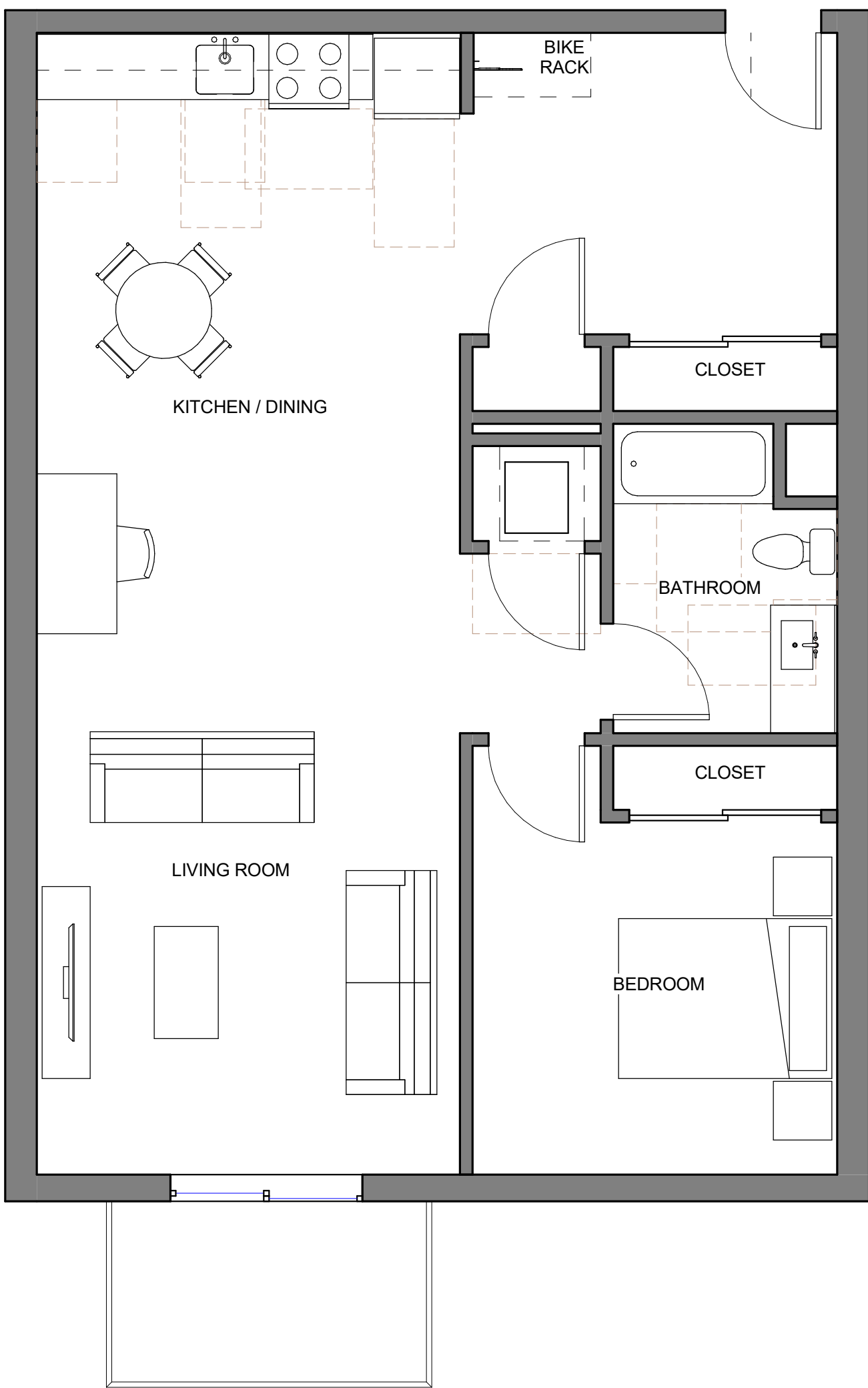
GENERAL PLAN AMENDMENT APP



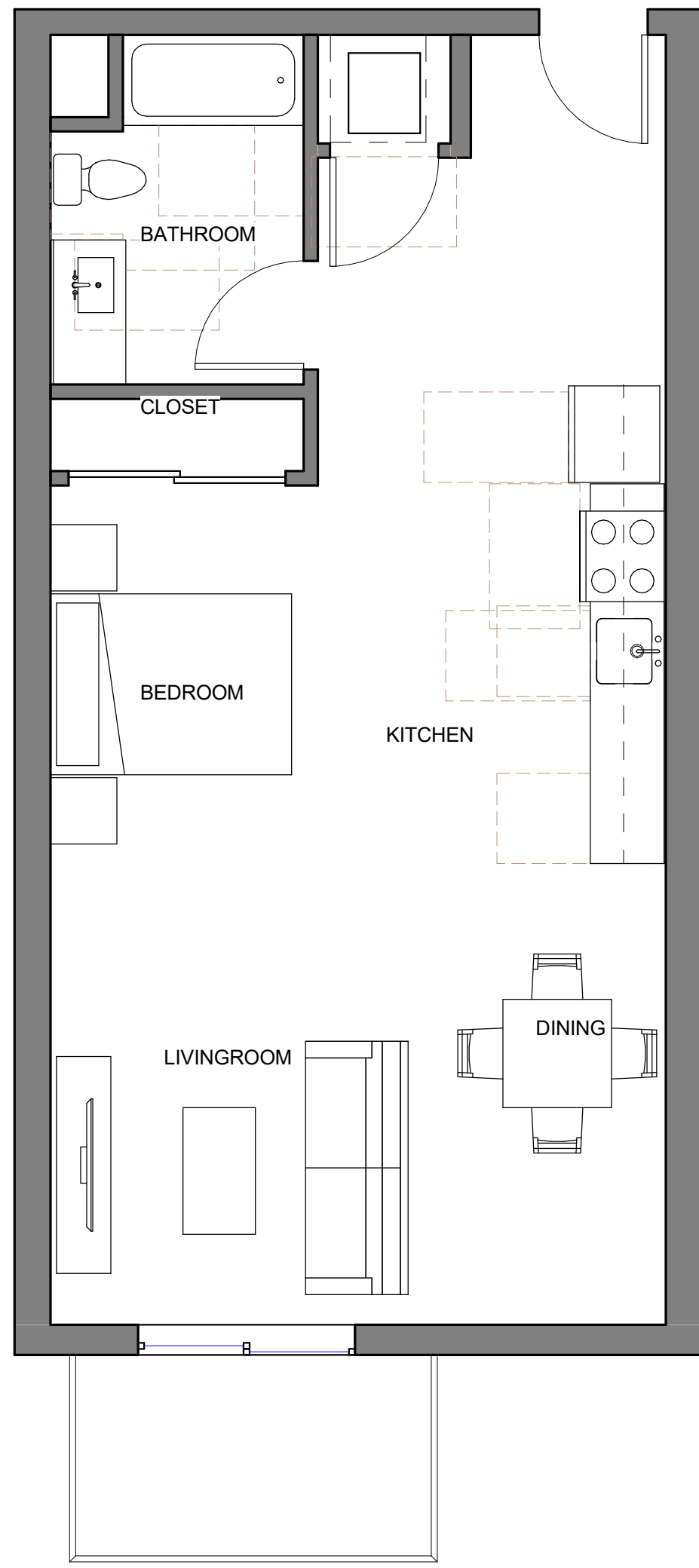
4 UNIT - 1BR FLAT 600 SF
A.109 1/4" = 1'-0"



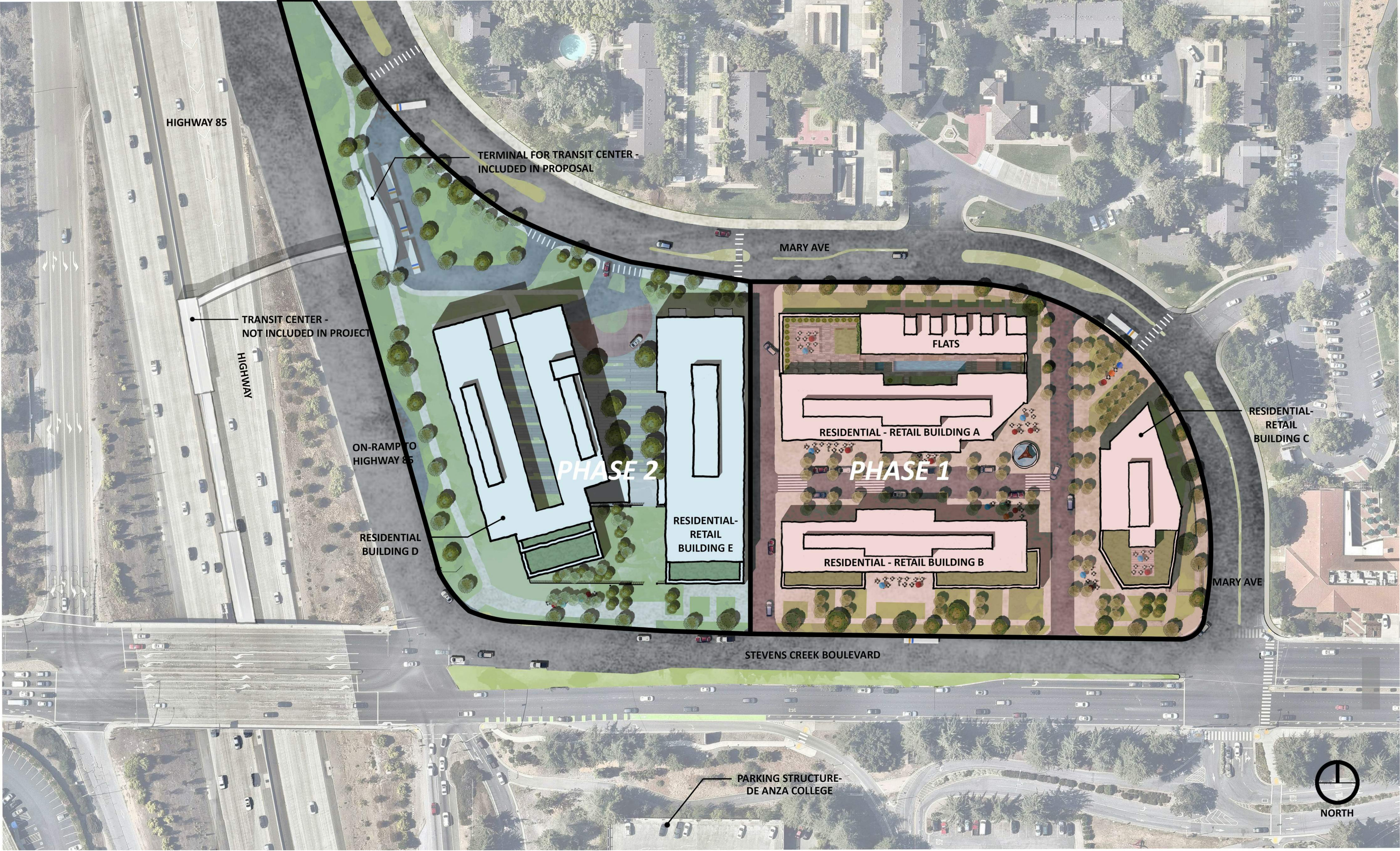
3 UNIT - 2BR 1100 SF
A.109 1/4" = 1'-0"



2 UNIT - 1BR 800 SF
A.109 1/4" = 1'-0"



1 UNIT - STUDIO 500-600 SF
A.109 1/4" = 1'-0"



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF 2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER THE PROJECT OR THE DRAWING IS TO BE USED FOR ANY OTHER PURPOSE. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN AUTHORIZATION OF 2K ARCHITECTURE LLC.

SHEET TITLE:
PHASING PLAN -
ALTERNATIVE 1

SHEET NO.:

A.110

5/12/2017 2:54:40 PM

GENERAL PLAN AMENDMENT APP



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148		
DRAWN:	Author	
DATE:	15 MAY 2017	
GENERAL PLAN AMENDMENT APP		
REVISIONS		
MARK:	DATE:	DESCRIPTION:

PRELIMINARY,
NOT FOR
CONSTRUCTION

REPRODUCTION OF THIS DRAWING IS EXPRESSLY FORBIDDEN WITHOUT THE SPECIFIC WRITTEN PERMISSION OF C2K ARCHITECTURE INC. THIS DRAWING IS ONLY CONDITIONALLY ISSUED AND NEITHER THE C2K ARCHITECTURE INC. NOR ITS ARCHITECTS, ENGINEERS, OR OTHER PROFESSIONAL CONSULTANTS, NOR ANY OTHER PERSONS, SHALL BE RESPONSIBLE FOR ANY CONSEQUENCES OF ANY USE OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED. NO PART OF THIS DRAWING OR ANY TECHNICAL INFORMATION THEREON, SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN AUTHORIZATION OF C2K ARCHITECTURE INC.

SHEET TITLE:
NEIGHBORHOOD BUILDING
HEIGHTS - ALTERNATIVE 1

SHEET NO.:

A.111

5/12/2017 3:23:22 PM



GENERAL PLAN AMENDMENT APP